



Conflicting Land Use Buffer (CLUB)

City Planning Commission
Ordinance Revision Committee

4-25-2023



Discussion Agenda

1. Introduction
2. Issues + Proposed Amendments
3. Discussion Questions



1. Introduction

CLUB Overview

The Unified Development Code (UDC) requires conflicting land use buffers for particular site improvements (vehicular use areas, refuse/recycling containers) or when certain zoning districts (O, RE, ORL, C, M, TC, R3, R4) are adjacent to a public park, residential uses, or residential zoning districts.

1. Introduction



Current Requirements (5.20.4)

1. A Vehicular Use Area adjacent to a public park or land principally used or zoned for residential purposes.
2. A refuse/recycling container adjacent to a public park or land principally used or zoned for residential purposes.
3. The portion of a parcel zoned O, RE, ORL, C, or M abutting a public park or parcel principally used or zoned for residential purposes.
4. The portion of a parcel zoned R3 or R4 adjacent to a parcel principally used or zoned for residential purposes.
5. The portion of a parcel zoned TC abutting a Residential Zoning District or the PL district.



2. Issues + Proposed Amendments

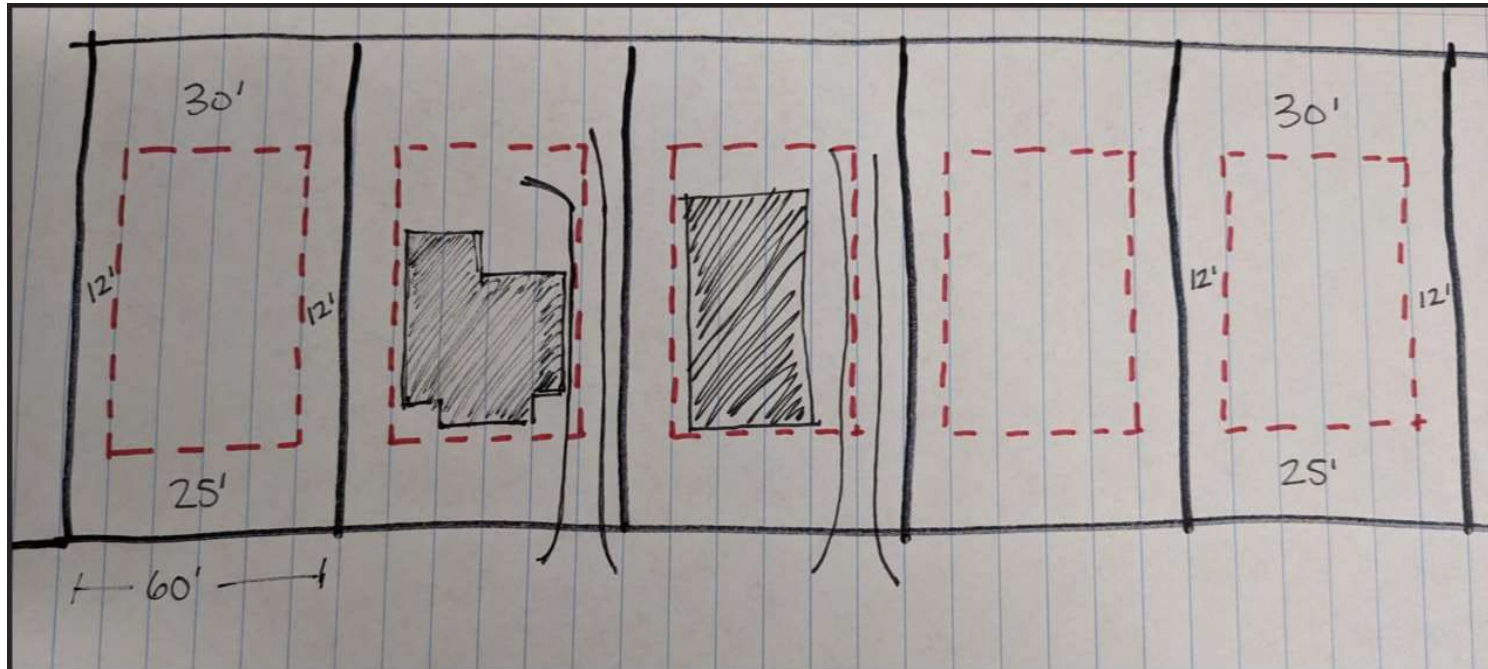
Issue 1:

Adjacent land use can change over time, and sometimes without planning approval.

Issue 2:

CLUBs separate the same uses from each other (ex: R3 + R4).

2. Issues + Proposed Amendments

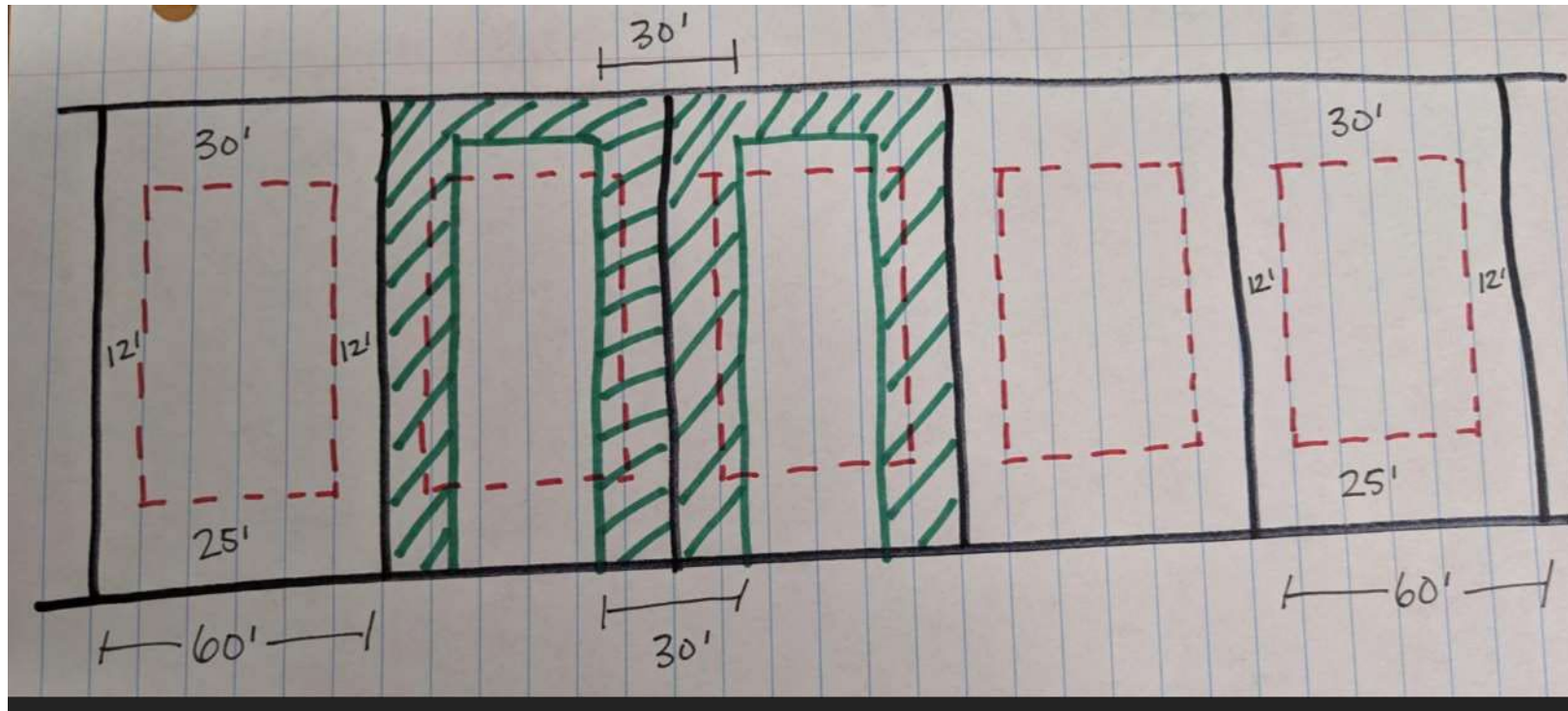


Situation:

Four typical R4C lots. Each is 60' wide and require 25' front, 12' side, and 30' rear setbacks.

Development is usually converted single-family home, or new building with 4 apts and driveway, leading to parking area / rear parking lot.

2. Issues + Proposed Amendments



Issue: CLUB required for the portion of a parcel zoned R4 "adjacent to a parcel principally used or zoned for residential purposes". Buildings 30'+ apart on block.



2. Issues + Proposed Amendments

⇒ In paragraph 4, staff propose to remove the requirement for a conflicting land use buffer when adjacent to land “principally used” for residential purposes. Buffers will only be required when adjacent to park or land zoned for residential uses.

Amendment Example:

3. The portion of a parcel zoned O, RE, ORL, C, or M abutting a public park or parcel ~~principally used or~~ zoned for residential purposes.

⇒ In paragraph 5, staff propose to amend the requirement so that parcels zoned R3 or R4 need only to provide a buffer when adjacent to a R1 zoning district. Buffers will not be required between parcels both zoned R3 or R4.

Amendment Example:

4. The portion of a parcel zoned R3 or R4 adjacent to a parcel ~~principally used or~~ zoned ~~for residential purposes~~ R1.

2. Issues + Proposed Amendments

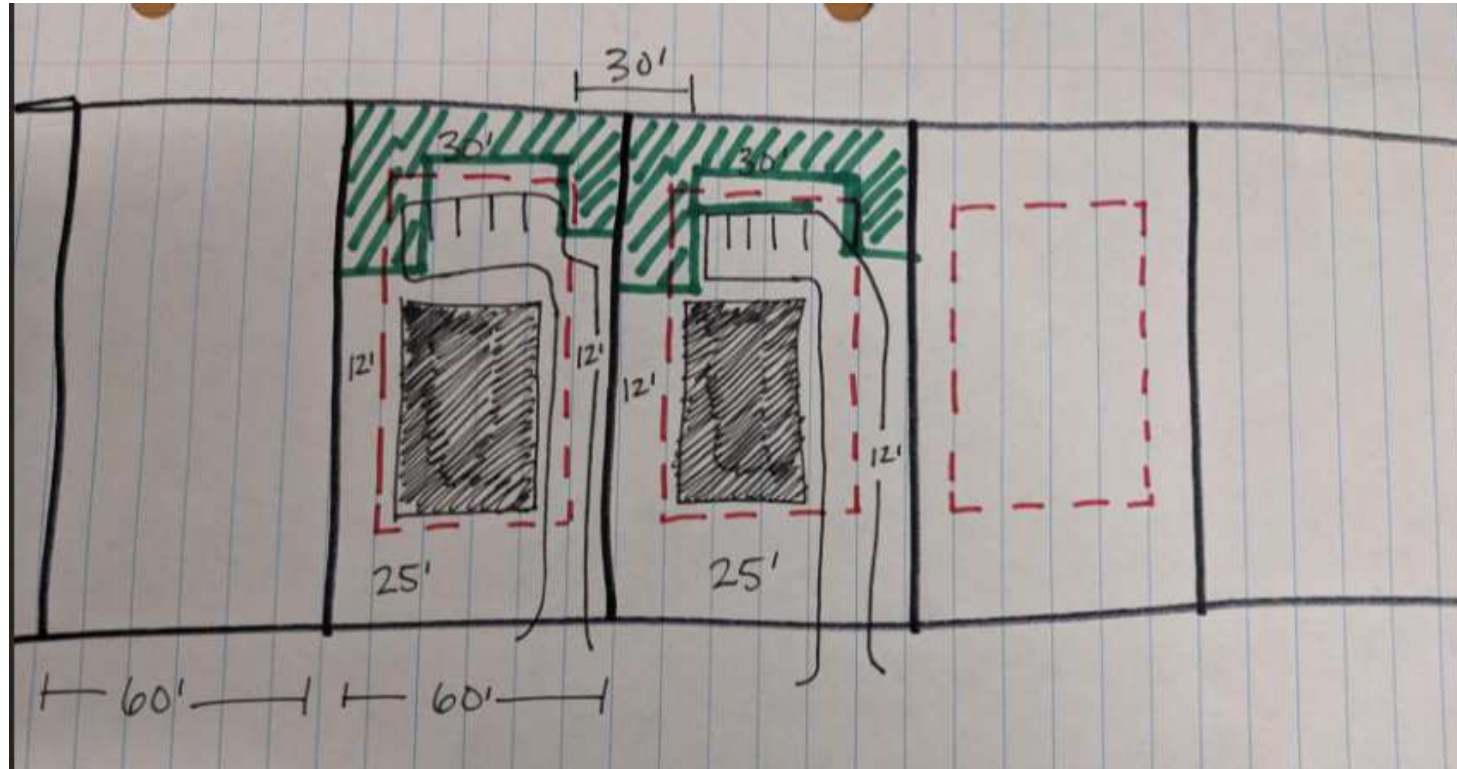


Issue 3:

CLUBs do not consider scale, context or neighborhood character.

- This issue is not as simple to address.
- It requires code writing, and developing circumstances for "light buffers", including aspects like dimensions, etc.

2. Issues + Proposed Amendments



Situation: CLUB required for small vehicular use area in backyard.
Parking areas 30' apart, with two hedgerows or two fences.

2. Issues + Proposed Amendments



Example: CLUB installed at 140 Hill Street



3. Discussion Questions

- Why buffer parking areas - what are we buffering against?
 - *Sight? Sound? Smell?*
- Are all parking lots the same?
- Is a small parking lot a conflict in an urban residential area?
- Is a CLUB used as proxy for something else?
 - *Setbacks? Open space? Parking restrictions?*
- Do parking lot CLUBs prevent other (wanted) things in urban residential neighborhoods?
- What would happen if there was no parking lot CLUB requirement?



3. Discussion Questions: FACTS

- A Vehicular Use Area is 1,200 SF used for parking, not including driveway
- A Parking Space is 9' x 18' and 162 SF
- Most Driveways must be 18' wide
- A Conflicting Land Use Buffer has three components:
 - *Width – 15'*
 - *Plantings – 1 tree/15' (half as evergreens)*
 - *Continuous Screening – 4' hedge, berm, wall, fence or combination*



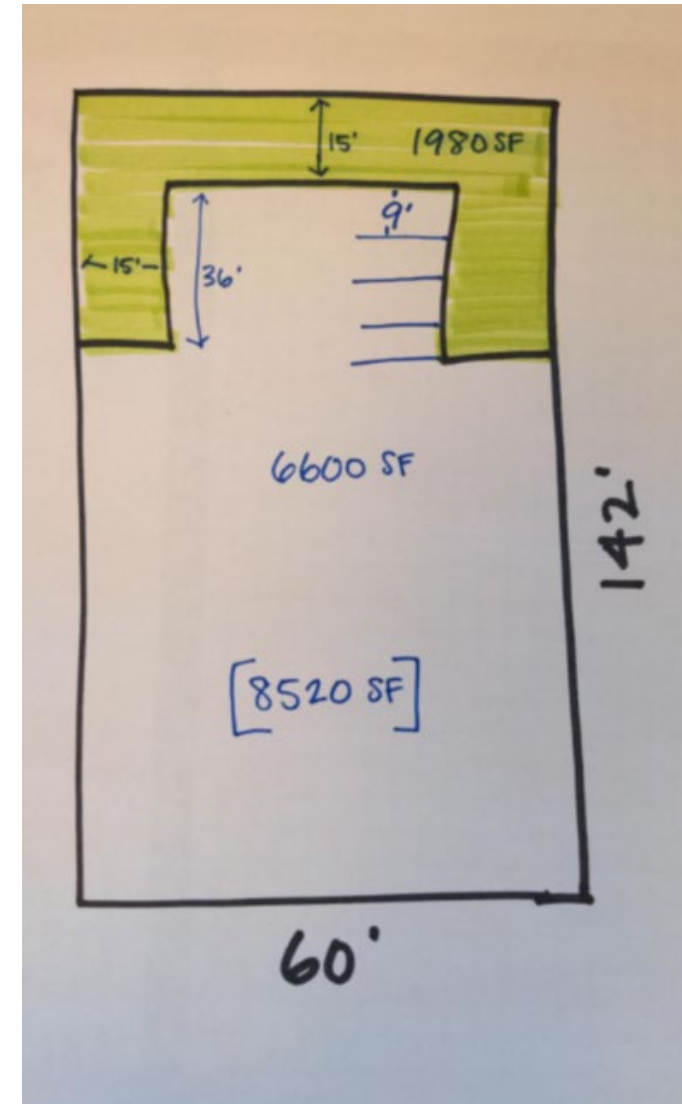
3. Discussion Questions: FACTS

- Urban Neighborhoods
 - *R1C Single-Family Dwelling (7,200 SF, setbacks 25'/5'/30')*
 - *R1D Single-Family Dwelling (5,000 SF, setbacks 25'/3'/30')*
 - *R2A Two-Family Dwelling (5,000 SF, setbacks 25'/5'/20')*
 - *R4C Multiple-Family Dwelling (8,500 SF, setbacks 25'/12'/30')*
- Parking is not permitted in front yards (allowed in side + rear yards)
- Vehicular Use Areas generally not seen in R1C, R1D or R2A - but common in R4C

3. Discussion Questions: FACTS



- A small parking lot CLUB on a minimum R4C lot could take up 25% of the lot area





3. Discussion Questions



- Should we treat vehicular use areas for 5 cars the same as 50 or 500 cars?
- Where is the line between small parking lots and large?
- Could less or none of a CLUB component still get the job done for a small parking lot?
 - *Less than 15' in width?*
 - *Fewer plantings? No restrictions on tree type?*
 - *Less screening?*