

old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

- (10) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property will be unimpaired.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings
(other SOI Guidelines may also apply):

Building Site

Not Recommended: Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color and texture or which destroys historic relationships on the site.

Additions

Recommended: Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.

Locating and designing a new addition so that significant site features, including mature trees and landmark status trees, are not lost or damaged.

Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Designing new additions in a manner that makes clear what is historic and what is new.

Not Recommended: Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

Designing a new addition so that its size and scale in relation to the historic building are out of proportion, thus diminishing the historic character.

Designing and constructing new additions that result in the diminution or loss of the historic character of the resource, including its design, materials, workmanship, location, or setting.

Roofs

Recommended: Retaining and preserving roofs—and their functional decorative features—that are important in defining the overall historic character of the building. This includes the roof's shape, decorative features such as chimneys, and roofing material.

From the Ann Arbor Historic District Design Guidelines (other Guidelines may also apply):

All Additions

Appropriate: Locating a required addition on the least character-defining elevation and keeping it subordinate in volume to the historic building.

Placing a new addition on a non-character defining or inconspicuous elevation and limiting the size and scale in relationship to the historic property.

Locating and designing a new addition so that significant site features, including mature trees and landmark status trees, are not lost or damaged.

Designing the addition so it is compatible in terms of massing, materials, relationship of solids to voids, and proportion of openings.

Designing a new addition in a manner that makes clear what is historic and what is new.

Limiting the size and scale of the addition in relationship to the historic building so that it does not diminish or visually overpower the building or the district. The addition's footprint should not exceed half of the original building's footprint, or half of the original building's total floor area.

Not Appropriate: Designing an addition that requires the removal of significant building elements or site features.

Constructing an addition that significantly changes the proportion of built mass to open space on the individual site.

Additions to Historic Residential Structures

Appropriate: Placing new walls in a different plane from the historic structure in a subordinate position to the historic fabric.

Not Appropriate: Designing an addition that overpowers or dramatically alters the original building through size or height.

Historic District Design Guidelines for Roofs

Appropriate: Retaining and maintaining original historic roofing materials, roof shape, dormers, cupolas, chimneys, and built-in or decorative gutters & downspouts.

STAFF FINDINGS:

1. The one-story rear wing appears on 1931/1948 Sanborn maps, but the smaller addition behind it at the southwest corner does not. A door is proposed to be removed and infilled from this smaller addition. The work is appropriate since the door is not from the period of significance. A new 6" vent on the south elevation is inconspicuous, painted to match, and appropriate.
2. The house is currently 1,217 square feet (not including the basement). The proposed addition adds 129 square feet, for an increase of 11%. The addition will not cause the footprint to increase.
3. The second-floor addition is 8' x 16'1". It is inset 7'6" from the northwest corner of the house's second floor (along West William), and 6 ½" from the southwest corner. It would

sit on the one-story rear wing and tie into the second-story roof. The slope of the addition's roof matches the slope of the smaller rear addition. Cladding is synthetic stucco in a smooth, seamless finish. Windows are Marvin aluminum-clad, with square picture windows on each side elevation and a wide, narrow window across the back. The roof is standing seam metal. The roof isn't visible from the public right of way.

4. It is difficult to hide an addition on a house on a corner lot. By setting the second-floor bathroom addition in over 7' from the William Street-facing front and using a smooth finish with very little detailing, the addition is as inconspicuous as possible. Staff recommends approval.

POSSIBLE MOTIONS: (Note that the motion supports staff findings and is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 402 Second, a contributing property in the Old West Side Historic District, to add a 129 square foot second floor bathroom addition on top of an existing single-story rear wing; infill a door opening on a post-1948 addition; and add a 6" x 6" vent on the south elevation. As proposed, the work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation* and *Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 5, 9, and 10 and the guidelines for building site, additions and roofs, as well as the *Ann Arbor Historic District Design Guidelines* for all additions, residential additions, and roofs.

ATTACHMENTS: drawings, photos, materials information

402 Second Street (November 2020 courtesy Google Street View)





HISTORIC DISTRICT COMMISSION

PLANNING AND DEVELOPMENT SERVICES

City Hall: 301 E. Huron St. Ann Arbor, MI 48104-6120
 Mailing: P.O. Box 8647, Ann Arbor, MI 48107-8647
 Phone: 734.794.6265 ext. 42608 ithacher@a2gov.org
 Fax: 734.994.8460

OFFICE USE ONLY	
Permit Number	HDC# _____
	BLDG# _____
DATE STAMP	

APPLICATION MUST BE FILLED OUT COMPLETELY

PROPERTY LOCATION/OWNER INFORMATION

NAME OF PROPERTY OWNER		HISTORIC DISTRICT	
PROPERTY ADDRESS			CITY ANN ARBOR
ZIP CODE	DAYTIME PHONE NUMBER	EMAIL ADDRESS	
PROPERTY OWNER'S ADDRESS (IF DIFFERENT FROM ABOVE)		CITY	STATE, ZIP

PROPERTY OWNER'S SIGNATURE

SIGN HERE	PRINT NAME	DATE
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APPLICANT INFORMATION

NAME OF APPLICANT <i>(IF DIFFERENT FROM ABOVE)</i>			
ADDRESS OF APPLICANT			CITY
STATE	ZIPCODE	PHONE / CELL #	FAX No
EMAIL ADDRESS			

APPLICANT'S SIGNATURE *(if different from Property Owner)*

SIGN HERE	PRINT NAME X	DATE
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BUILDING USE – CHECK ALL THAT APPLY

<input type="checkbox"/> SINGLE FAMILY	<input type="checkbox"/> DUPLEX	<input type="checkbox"/> RENTAL	<input type="checkbox"/> MULTIPLE FAMILY	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> INSTITUTIONAL
--	---------------------------------	---------------------------------	--	-------------------------------------	--

PROPOSED WORK

Describe in detail each proposed exterior alteration, improvement and/or repair (use additional paper, if necessary).

DESCRIBE CONDITIONS THAT JUSTIFY THE PROPOSED CHANGES:

For Further Assistance With Required Attachments, please visit www.a2gov.org/hdc



HISTORIC DISTRICT COMMISSION APPLICATION

FEE CHART

DESCRIPTION	
STAFF REVIEW FEES	FEE
Application for Staff Approval	\$35.00
Work started without approvals	Additional \$50.00
HISTORIC DISTRICT COMMISSION FEES	
All other proposed work not listed below	\$100.00
Work started without approvals	Additional \$250.00
RESIDENTIAL – Single and 2-story Structure	
Addition: single story	\$300.00
Addition: taller than single story	\$550.00
New Structure - Accessory	\$100.00
New Structure – Principal	\$850.00
Replacement of single and 2-family window(s)	\$100 + \$25/window
COMMERCIAL – includes multi-family (3 or more unit) structures	
Additions	\$700.00
Replacement of multi-family and commercial window (s)	\$100 + \$50/window
Replacement of commercial storefront	\$250.00
DEMOLITION and RELOCATION	
Demolition of a contributing structure	\$1000.0
Demolition of a non-contributing structure	\$250.00
Relocation of a contributing structure	\$750.00
Relocation of a non-contributing structure	\$250.00

FOR COMMISSION REVIEWS:

- Application withdrawals made before public notice is published will qualify for a 50% refund of the application fee.
- Application withdrawals made after public notice is sent but before the public hearing will qualify for a 25% refund of the application fee.

INSTRUCTIONS FOR SUBMITTING APPLICATIONS

All HDC applications must be signed by the property owner and the applicant, if different, with the exception of staff approvals, which may be signed by only the applicant.

All completed HDC applications and their attachments may be submitted to Planning and Development Services by mail, in person (paper or digital), faxed, or via email to building@a2gov.org.

We accept CASH, CHECK, and all major credit cards. Checks should be made payable to “City of Ann Arbor”

HDC applications that are incomplete or not submitted with the required documentation or payment will not be processed or approved.

APPLICATION EXPIRATION

HDC applications expire three (3) years after the date of approval.

OFFICE USE ONLY

Date of Hearing:		
Action	<input type="checkbox"/> HDC COA	<input type="checkbox"/> HDC Denial
	<input type="checkbox"/> HDC NTP	<input type="checkbox"/> Staff COA
Staff Signature		
Comments		
Fee:	\$ _____	
Payment Type	<input type="checkbox"/> Check: # _____ <input type="checkbox"/> Cash <input type="checkbox"/> Credit Card	

Describe in detail each proposed exterior alteration, improvement and/or repair:

The proposed work at 402 Second Street consists of an interior renovation of the first floor kitchen and bathroom and the addition of a rear second floor bathroom on the west side of the existing house.

Exterior work necessary for the first floor renovation includes the addition of a small 6"x6" painted louvered vent on the south side of the house for the range hood exhaust, and the removal of a non-contributing pre-1945 door on the west side of the house. The 1931-48 Sanborn map of the property shows that the west side addition containing the door to be removed was not present at that time. The wall will be infilled in the space where the door is to be removed and wood siding and trim will be added to the exterior to match the existing.

The proposed second floor addition is a new bathroom of 129 gross square feet. The addition has been designed to be simple, tasteful in proportion and massing, and not to draw attention away from the existing house. The proposed work will top out at more than one foot below the existing roof ridge, and will be set back in plan on both the north and south from the existing exterior walls. On the north side of the house, which is the most prominent, the addition will be set back by more than seven feet. The massing of the addition has been designed to recall the proportions and roofline of the existing house, while its placement and material expression allow the viewer to clearly understand what is new and what is historic. As presently designed, almost all of the historic massing and roofline of the house can be clearly understood. The exterior will be a seamless synthetic stucco with a smooth finish. Properly detailed and installed synthetic stucco is a high quality and extremely durable finish that can compliment many architectural styles. The proposed windows are Marvin Ultimate clad wood windows, which is a very high quality product. The roof is a standing seam metal roof. In order to ensure that the addition tops out more than one foot below the existing roof ridge, while maintaining an occupiable height within, the roof has a relatively shallow pitch. While roofs of similar pitch can be found with asphalt shingles throughout the Old West Side, it is not a recommended pitch for asphalt. A standing seam roof, as specified here, is much more appropriate to ensure proper drainage.

Describe conditions that justify the proposed changes:

In order to preserve the historic fabric of our city, while maintaining livability for homeowners, it is important that structures can be tastefully updated to reflect contemporary lifestyles. For reasons of safety and convenience, contemporary houses almost always have a bathroom on the same floor as the bedrooms. This is particularly important for children, the elderly, or others with compromised mobility who might have difficulty moving up and down stairs at night. The proposed changes bring 402 Second Street up to this broadly accepted norm, while maintaining the legibility of the historic structure.

DRAWING INDEX

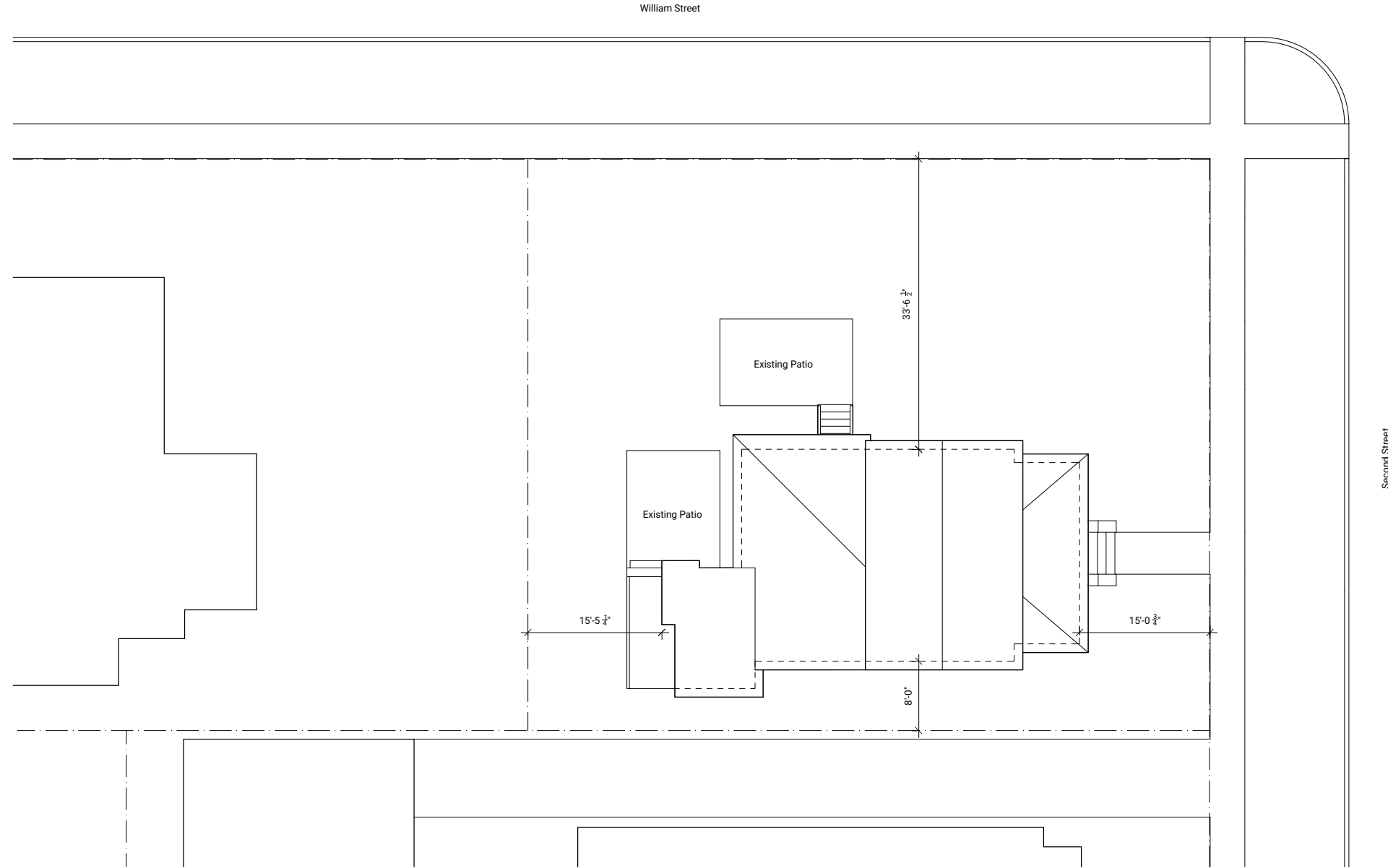
- A-01 Existing Site Plan
- A-02 Existing First Floor Plan
- A-03 Existing Second Floor Plan
- A-04 Existing North Elevation
- A-05 Existing East Elevation
- A-06 Existing West Elevation
- A-07 Existing South Elevation
- A-08 Existing Exterior Views
- A-09 Existing Exterior Views
- A-10 Site Plan
- A-11 First Floor Plan
- A-12 Second Floor Plan
- A-13 North Elevation
- A-14 East Elevation
- A-15 South Elevation
- A-16 Proposed Exterior Views
- A-17 Window Specifications
- A-18 Stucco Finish Examples
- A-19 View Comparison

BUILDING AREA DATA
Pre-1945 Footprint: 733 SF
Existing Footprint: 823 SF
New Footprint: 823 SF
Increase of Footprint: 0%

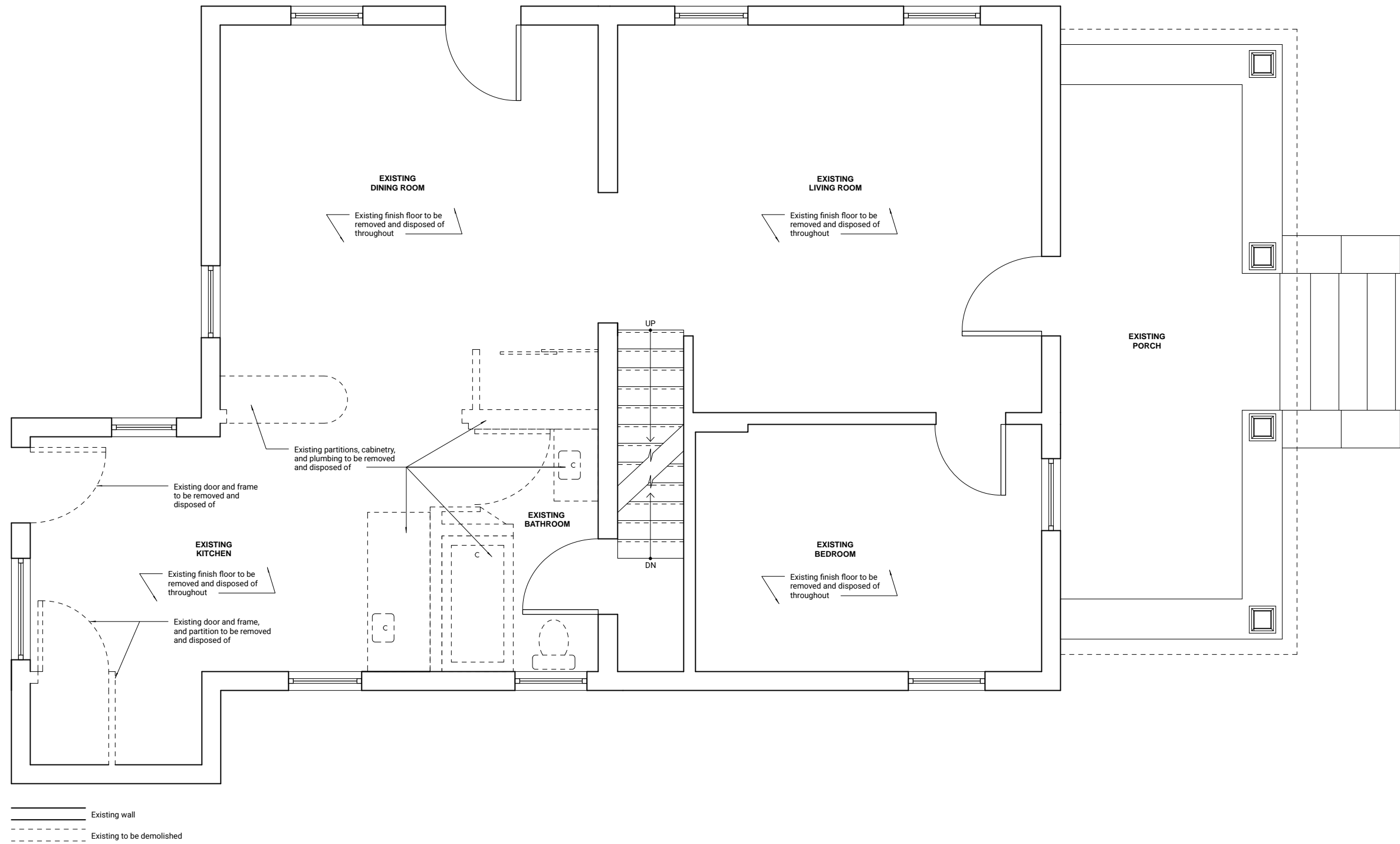
Pre-1945 Floor Area: 1,127 GSF
Existing Floor Area: 1,217 GSF
New Floor Area: 129 GSF
Proposed Floor Area: 1,346 GSF
Increase in Floor Area: 10.6%

SHUGARD RESIDENCE

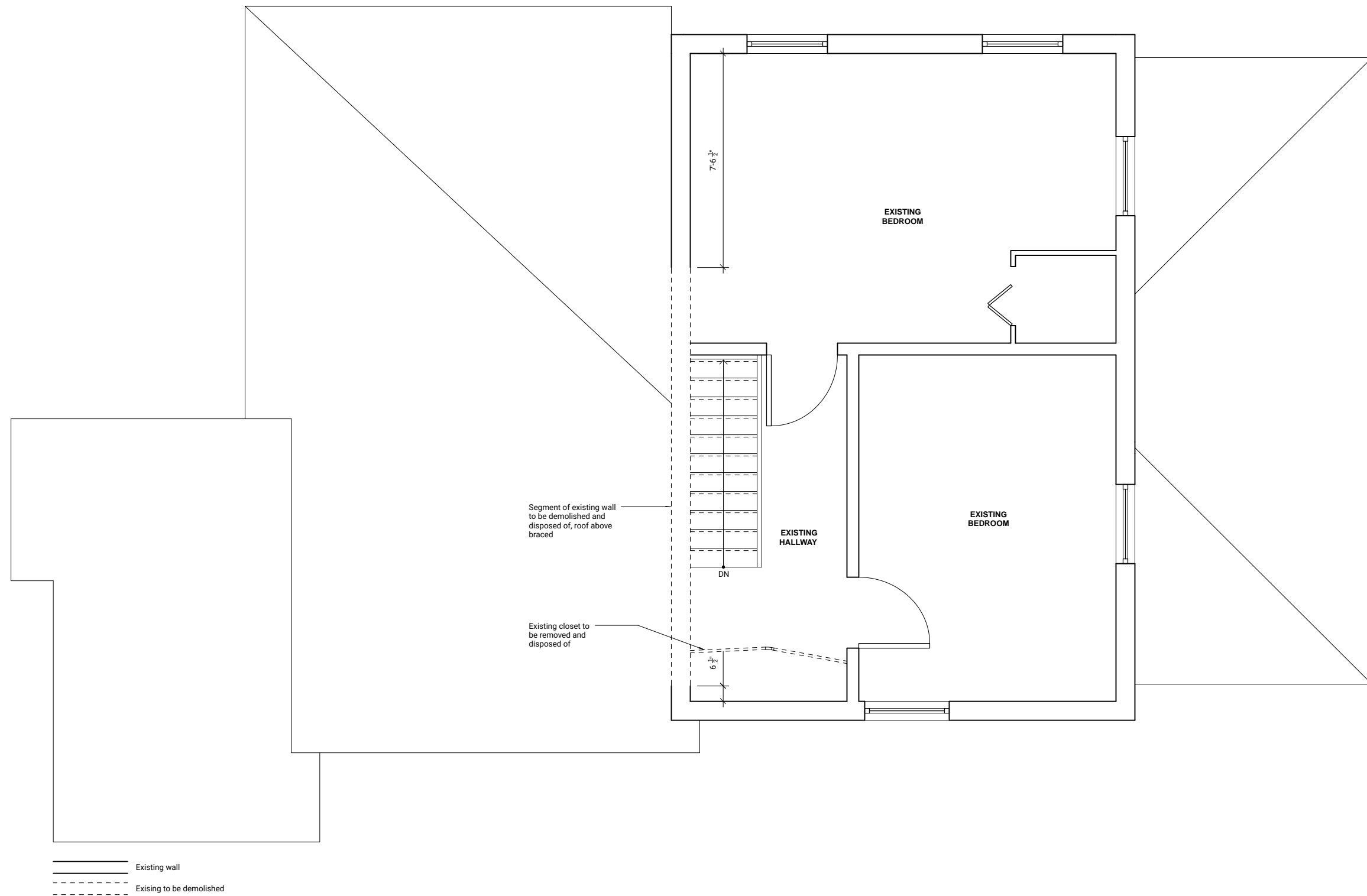
402 Second Street
Ann Arbor, MI 48103



1 EXISTING SITE PLAN
1/16"=1'-0"



1 EXISTING FIRST FLOOR PLAN
1/4"=1'-0"



1 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"



1 EXISTING NORTH ELEVATION
1/4"=1'-0"

ROOF RIDGE
+22'-8"

SECOND FLOOR
+12'-2"

FIRST FLOOR
+3'-7"

GRADE
0'-0"



Existing asphalt shingles to remain

Existing wood windows with vinyl storm windows to remain throughout

Existing wood siding and trim to remain throughout

Existing porch and all details to remain

1 EXISTING EAST ELEVATION
1/4"=1'-0"

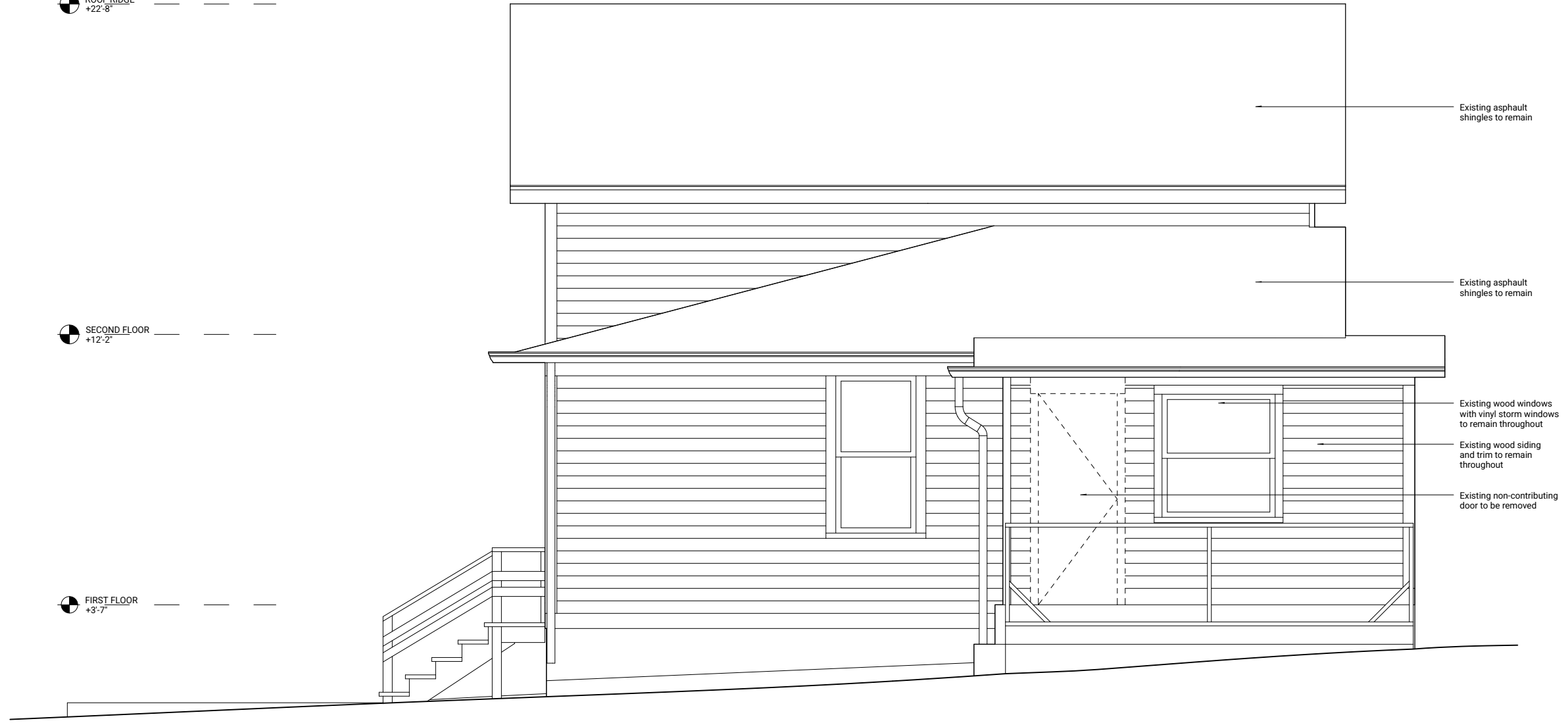


1 EXISTING SOUTH ELEVATION
1/4"=1'-0"

ROOF RIDGE
+22'-8"

SECOND FLOOR
+12'-2"

FIRST FLOOR
+3'-7"



Existing asphalt shingles to remain

Existing asphalt shingles to remain

Existing wood windows with vinyl storm windows to remain throughout

Existing wood siding and trim to remain throughout

Existing non-contributing door to be removed

1 EXISTING WEST ELEVATION
1/4"=1'-0"



Existing view from east



Existing view from northeast



Existing view from southwest



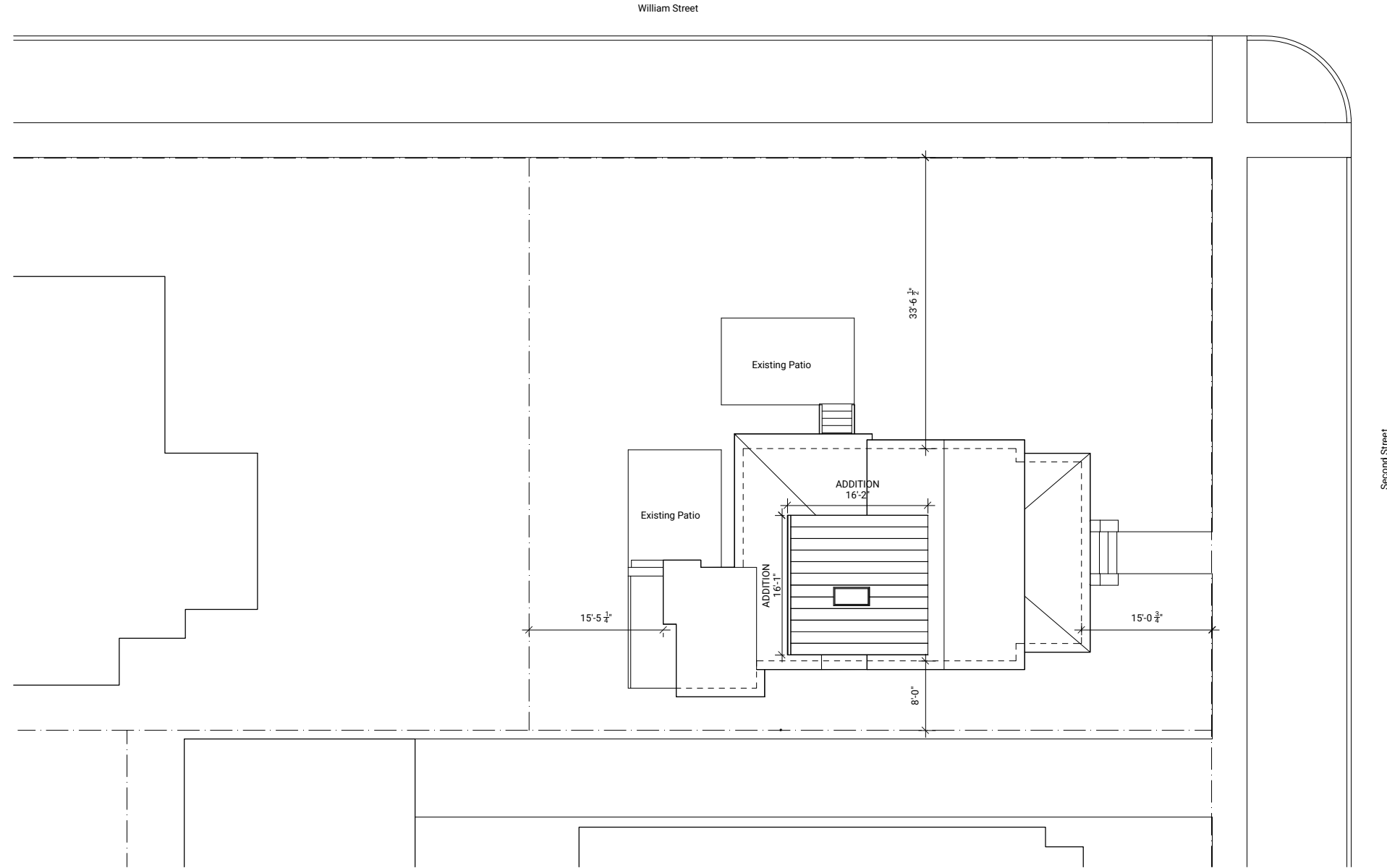
Existing view from north



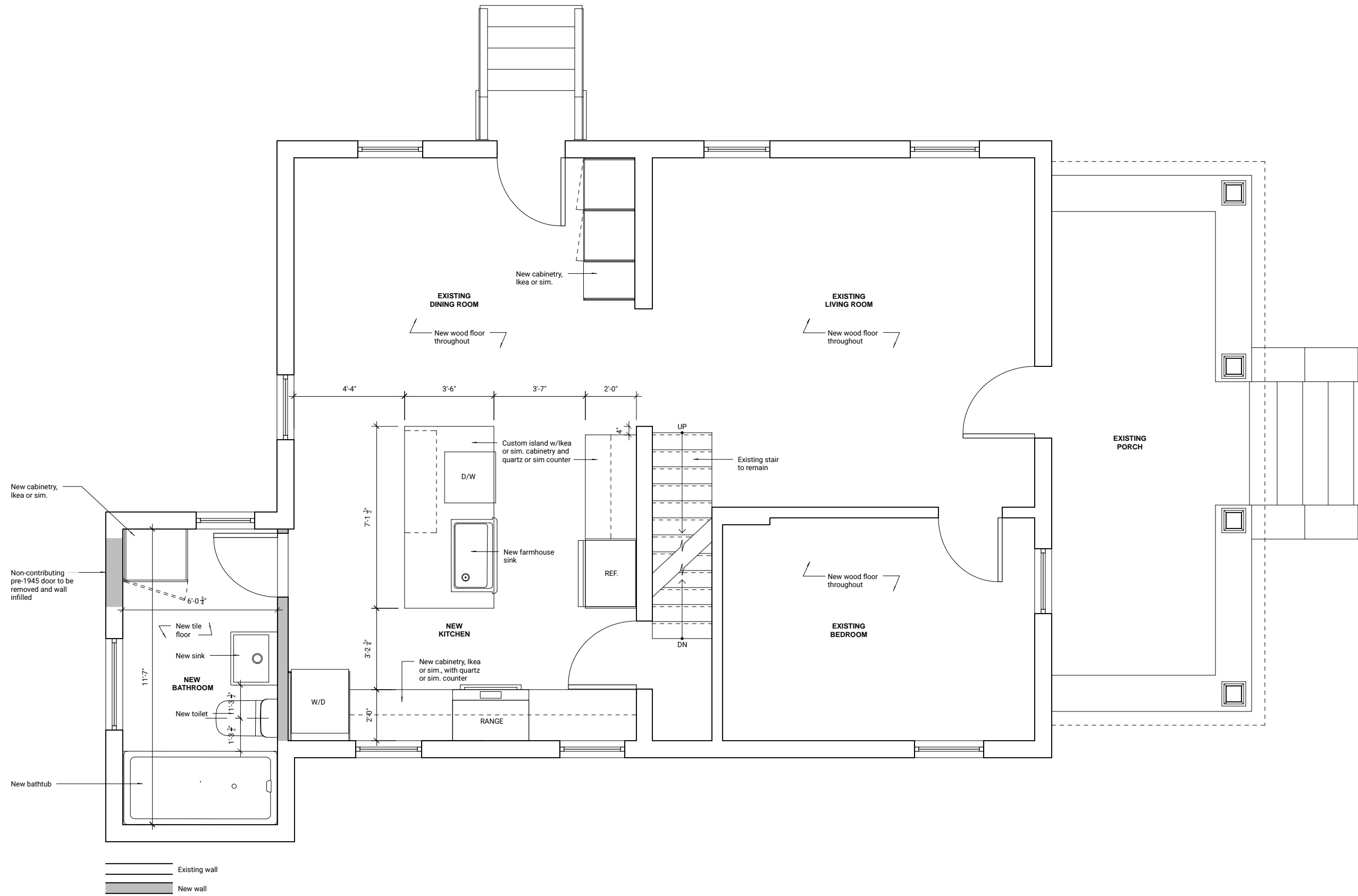
Existing view from east



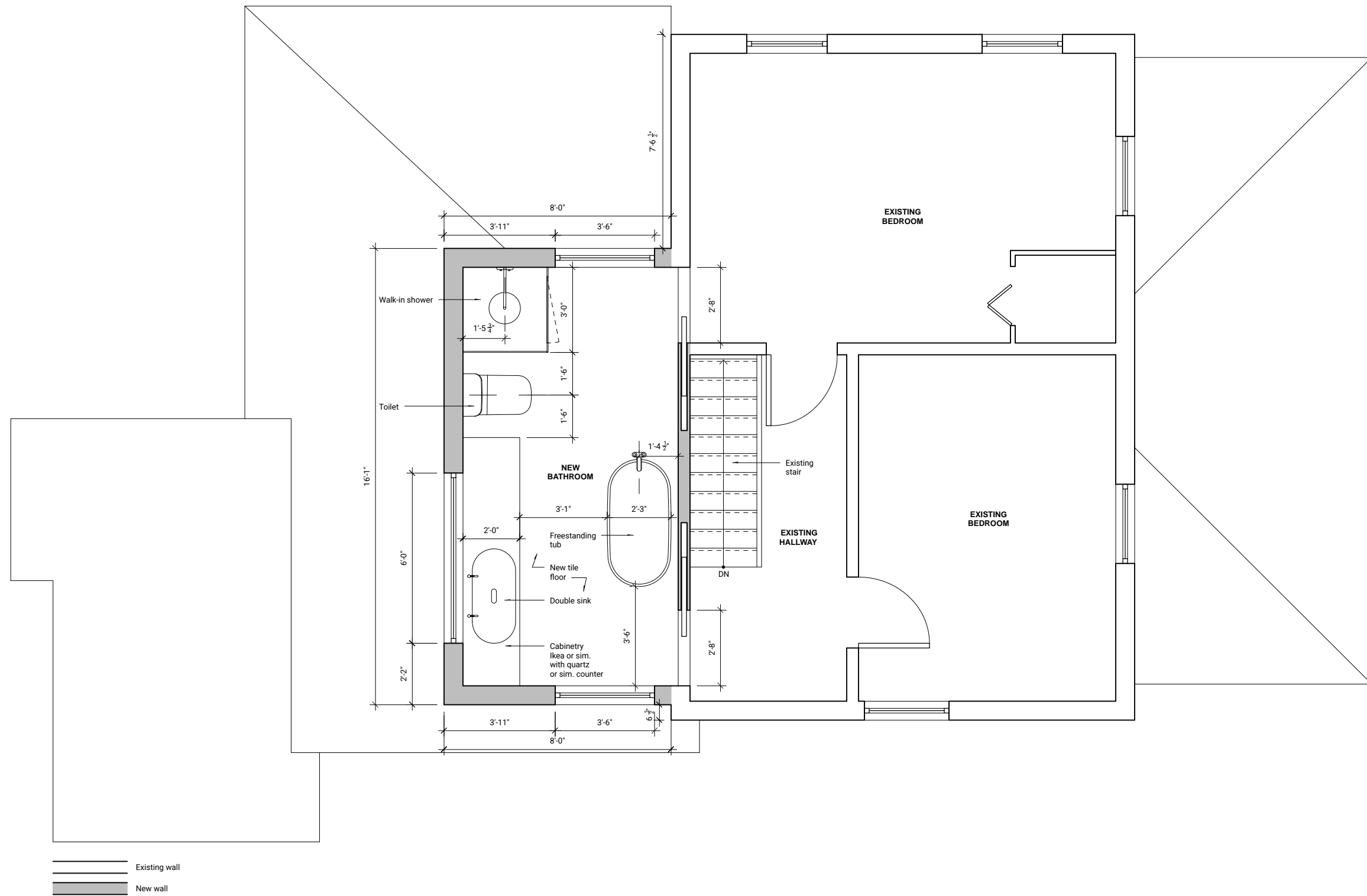
Existing view from west, with non-contributing pre-1945 door



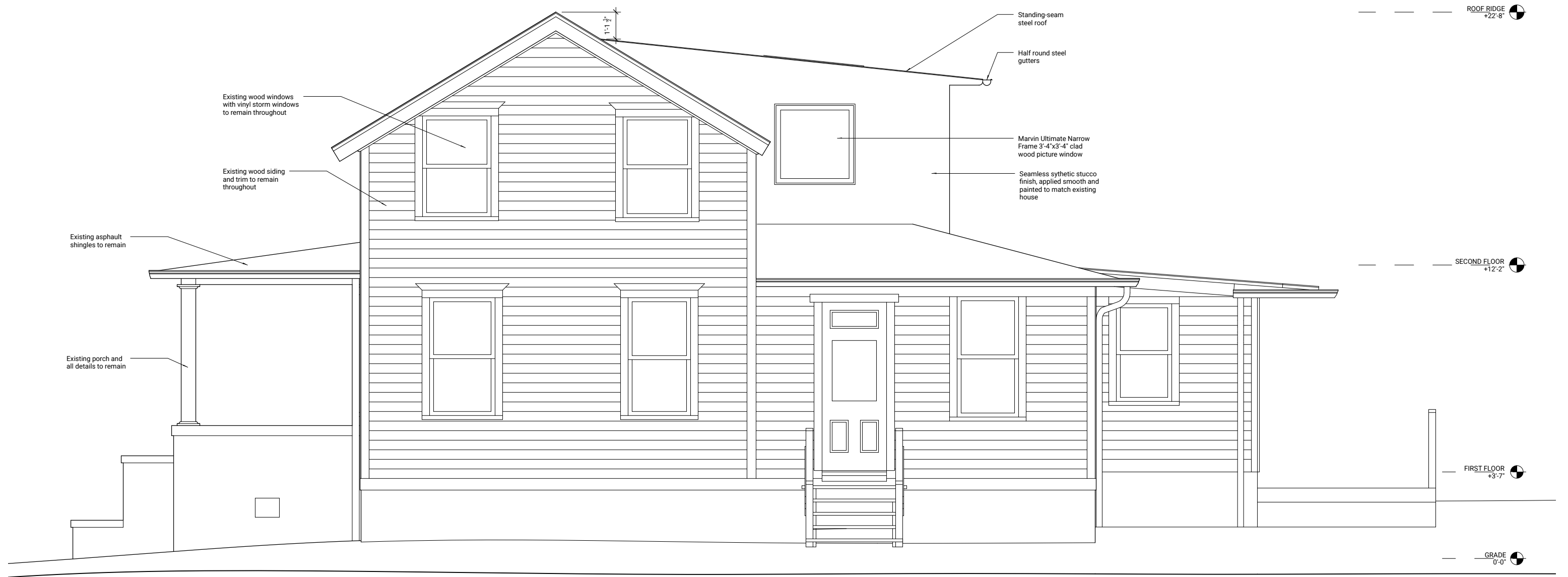
1 SITE PLAN
1/16"=1'-0"



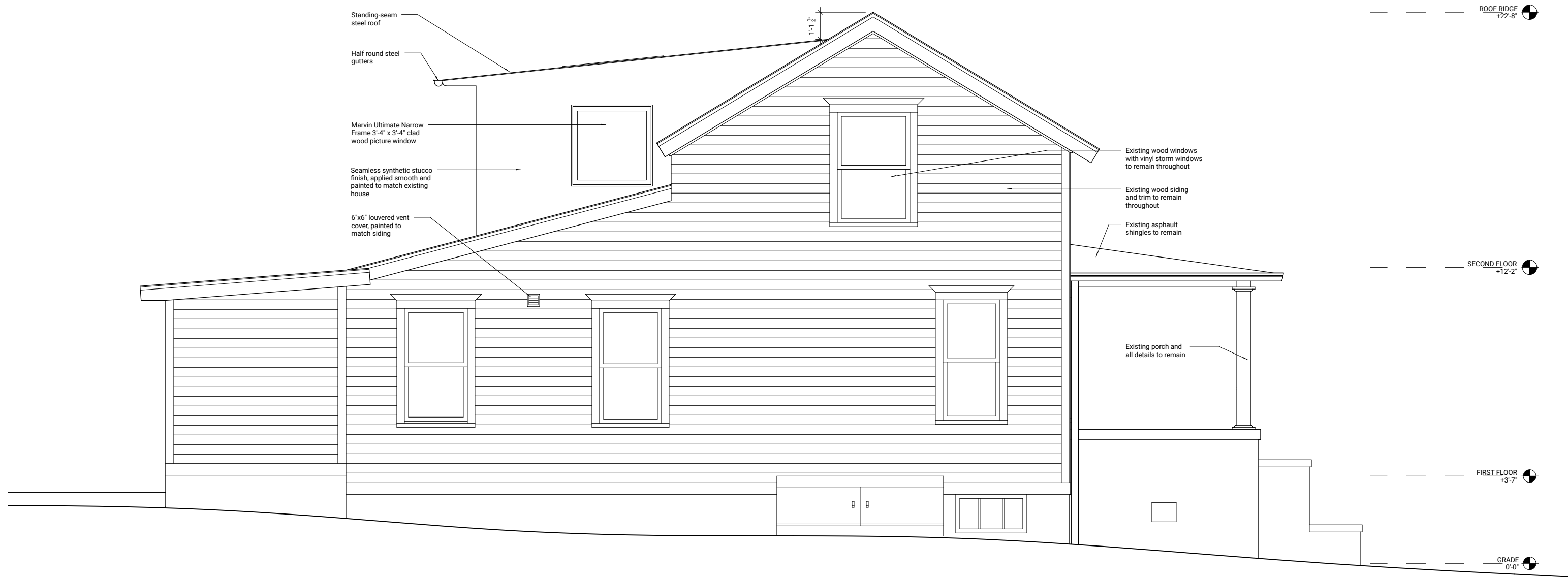
1 FIRST FLOOR PLAN
1/4"=1'-0"



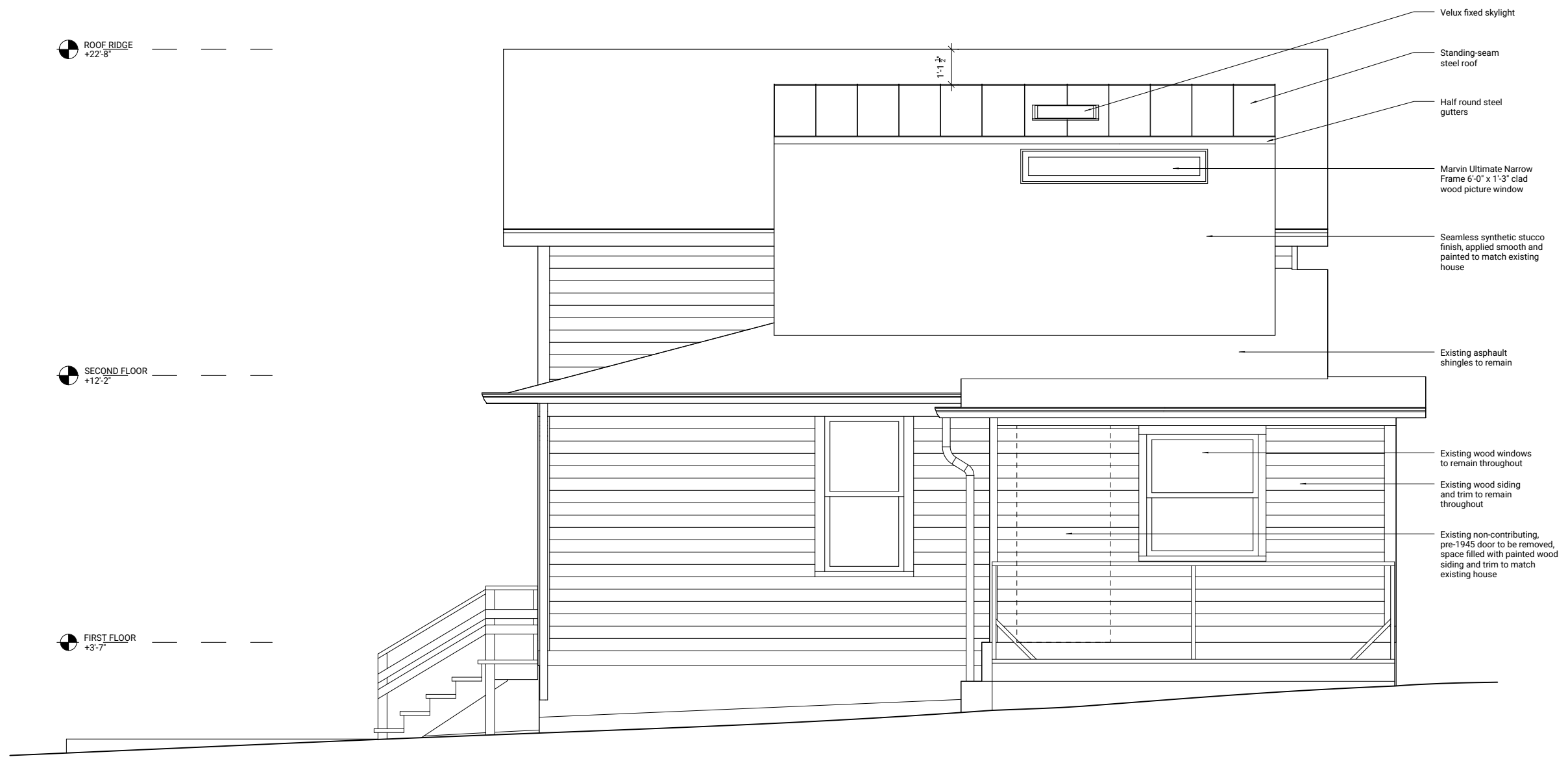
1 SECOND FLOOR PLAN
 1/4" = 1'-0"



1 NORTH ELEVATION
1/4"=1'-0"



1 SOUTH ELEVATION
1/4"=1'-0"



ROOF RIDGE
+22'-8"

SECOND FLOOR
+12'-2"

FIRST FLOOR
+3'-7"

Velux fixed skylight

Standing-seam steel roof

Half round steel gutters

Marvin Ultimate Narrow Frame 6'-0" x 1'-3" clad wood picture window

Seamless synthetic stucco finish, applied smooth and painted to match existing house

Existing asphalt shingles to remain

Existing wood windows to remain throughout

Existing wood siding and trim to remain throughout

Existing non-contributing, pre-1945 door to be removed, space filled with painted wood siding and trim to match existing house

1 WEST ELEVATION
1/4" = 1'-0"



Proposed view from east (unchanged)



Proposed view from northeast (unchanged)



Proposed view from southwest



Proposed view from north



Ultimate Casement Narrow Frame

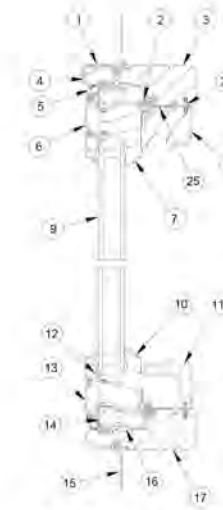
The Ultimate Casement Narrow Frame window features a sleek design and square profiles and makes a great fit for new construction or remodeling projects that call for slim lines and maximum views.

- Extruded aluminum exterior and wood interior
- Fits openings up to 3.5 feet wide by 8 feet high
- Narrow jamb for replacement applications that minimizes tear-down of existing frame and walls
- Contemporary-style window with sleek design and square profiles

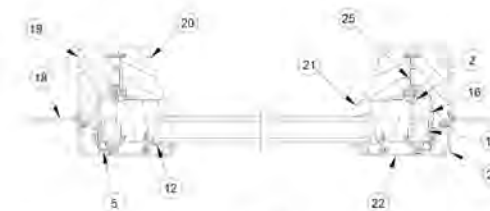
Find Marvin products in your area and request a price quote. Connect with a dealer near you to get started.



<https://www.marvin.com>



Head Jamb and Sill



Jamb

1. Head Jamb Nailing Fin and Drip Cap, V119
2. Frame Weather Strip, V1983
3. Head Jamb
4. Head Jamb Cladding
5. Sash Weather Strip, V1797
6. Top Rail Cladding
7. Top Rail
8. Head Jamb Stop, W9787
9. Insulating Glass
10. Bottom Rail
11. Sill Cover, W9788
12. Sash Glazing Bead, V2843
13. Bottom Rail Cladding
14. Stationary Sash Block, V1613
15. Sill Nailing Fin, V084
16. Frame Thermal Break
17. Sill
18. Jamb Nailing Fin, V104
19. Jamb
20. Jamb Stop, W9790
21. Stile
22. Stile Cladding
23. Jamb Cladding
24. Connecting Barb, V803
25. Stationary Sash Bracket

2023-07-07

Ultimate and Ultimate Wood Casement and Awning Collection



Properly applied synthetic stucco can be seamless, providing a high quality and durable finish that is complimentary to a broad range of architectural styles





Existing view from southeast



Proposed view from southeast



Existing view from north



Proposed view from north