

ANN ARBOR HISTORIC DISTRICT COMMISSION

Staff Report

ADDRESS: 423-425 W Liberty Street, Application Number HDC12-134

DISTRICT: Old West Side Historic District

REPORT DATE: August 6, 2012

REPORT PREPARED BY: Jill Thacher, Historic Preservation Coordinator

REVIEW COMMITTEE DATE: Monday, August 13 for the Thursday, August 16, 2012 HDC meeting

OWNER

APPLICANT

Name: Tom Fitzsimmons
Huron Contracting, LLC

Address: 423 W Liberty
Ann Arbor, MI 48103

Phone: (734) 320-9680

Same

BACKGROUND: This two story wood frame house features a curving front porch supported by paired Doric columns along portions of the north and west elevations. This house first appears as a duplex in 1907 city directories. Edward W and Magdalena Staebler are listed as the occupants of 423 W Liberty, and Michael and Rosina Staebler are listed as the occupants of 425 W Liberty. In the 1910 City Directory, Edward is listed as the son of Michael, who together owned the M. Staebler and Son store on Washington Street.

LOCATION: The site is located on the southeast corner of the intersection of West Liberty Street and Third Street.

APPLICATION: The applicant seeks HDC approval to 1) construct a 150 square foot addition on an existing second story rear addition, 2) construct a new deck at the rear of 425 W Liberty, 3) expand an existing one car garage at the rear of 423 W Liberty and construct a new deck above it, and 4) construct a new garage in the rear of 425 W Liberty.

APPLICABLE REGULATIONS:

From the Secretary of the Interior's Standards for Rehabilitation:

- (2) The historic character of a property shall be retained and preserved.



The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):

Additions

Recommended: Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.

Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Designing new additions in a manner that makes clear what is historic and what is new.

Not Recommended: Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

Duplicating the exact form, material, style, and detailing of the historic building in the new addition so that the new work appears to be part of the historic building.

Designing a new addition so that its size and scale in relation to the historic building are out of proportion, thus diminishing the historic character.

Site

Not Recommended: Introducing a new building or site feature that is out of scale or of an otherwise inappropriate design.

District or Neighborhood Setting

Not Recommended: Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

STAFF FINDINGS:

1. The rear of the house has been altered since the house was built in the 1900s. The alterations occurred after 1931, based on a Sanborn Fire Insurance Map, and the

applicant believes that it occurred during the 1950s or 1960s. The alterations included removing or severely altering two small porches and building a two story rear addition. A small second-story porch located above the rear garage and wood stairs were also added within the past several decades. A two-story outbuilding was demolished between 1931 and 1947, based on the Sanborn maps.

2. The applicant proposes altering the roof from shed to hipped on the two-story addition on the back of the house. The addition is not historically significant. A number of non-original windows on the addition are proposed to be replaced with doublehangs that are more consistent with the historic character of the house, a non-original ground-floor door would be replaced with a window, and a ground-floor slider with a door. The garage under the house is likely part of the original structure, but is located on a non-character defining elevation and appears to have been altered in the past. Its location in the southeast corner of the building does not make it easily visible from the street.
3. The applicant proposes building a new 150 square foot addition on the rear of the house on top of the second floor. The addition will be located near the center of the building, have a gable roof, and its ridge will be at the same height as the existing roof. The proposed asphalt shingled roof will match the existing roof. The addition will have cement board siding with a 3 inch exposure. The east and west (side) elevations of the proposed addition will each have one double-hung window. The south (rear) elevation will have a set of paired double-hung windows, and two small double-hung windows will be located in the gable.
4. The applicant proposes constructing a new deck to the rear of 425 E Liberty. The deck will include construction of a new concrete masonry unit or retaining wall foundation to bring the height of the deck even with the rear entrance. The proposed deck measures fourteen feet wide and thirteen feet six inches deep. Although the new construction will occur on the west (side) elevation that parallels the street, the new deck is located within a recessed corner of the building. Staff feels that its size and location will make it appear relatively unobtrusive. A new doorway will be cut into the south (rear elevation) between the two existing windows to provide access to the deck. The deck will be reached from the exterior by a short flight of stairs.
5. The existing one-car garage at 423 E Liberty is proposed to be expanded by fourteen feet. The south (rear) elevation wall where the existing garage is located will be removed, which includes a single bay garage door and two windows. The new garage addition will extend fourteen feet towards the rear of the property. A two-bay insulated steel garage door will be installed. The walls of the addition will be sided with cement board siding with a three inch exposure.
6. A new wood deck will be constructed above the expanded garage. The deck will measure twenty-four feet wide and fourteen feet deep. A wood stairway will be built along the east (side) elevation of the expanded garage to access the deck. The deck will create access to the rear entrance of the house. The deck will have a beveled top rail, boxed column newel posts, and square balusters.
7. The applicant also proposes constructing a new two-car garage to the rear of 425 W Liberty that is located to the rear of the existing driveway. The garage will be twenty feet wide, twenty feet deep, and approximately sixteen feet high at the roof peak. The proposed garage has an asphalt gable roof, a man door in the west elevation, and the

west and east elevations will each have a small double-hung window in the center of the elevation. A double-hung window will also be located in the gable of the north elevation above the garage door. Cement board siding with a three inch exposure will be used.

8. The design and scale of the rear addition, new rear deck at 425 W Liberty, expanded garage with roof deck at 423 W Liberty, and new detached garage are compatible with the house, do not detract from it, and use distinct materials to differentiate them from the historic structure. Overall, the historical integrity and character-defining features will not be harmed. Although the work will be visible from Third Street, staff feels that the proposed work is appropriate in size and will be relatively unobtrusive when viewed from the street.
9. Staff recommends approval of the proposed addition, new rear deck at 425 W Liberty, expanded garage with roof deck at 423 W Liberty, and new detached garage. The proposed sign is generally compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation*, in particular standards 2, 9 and 10, and the guidelines for additions, site, and district or neighborhood setting.

POSSIBLE MOTIONS: (Note that the motion supports staff findings and is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 423-425 West Liberty Street, a contributing property in the Old West Side Historic District, to construct a 150 square foot addition on the rear second story, construct a new deck at the rear of 425 West Liberty, construct a new garage at the rear of 425 West Liberty, and expand an existing garage at 423 West Liberty as proposed. The proposed work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 9 and 10 and the guidelines for additions, site, and district or neighborhood setting.

MOTION WORKSHEET:

I move that the Commission issue a Certificate of Appropriateness for the work at 423-425 West Liberty Street in the Old West Side Historic District

_____ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

ATTACHMENTS: application, drawings, photos.

423-425 West Liberty Street (April 2008 photos)



HDC12-134



City of Ann Arbor
PLANNING & DEVELOPMENT SERVICES — PLANNING SERVICES
100 North Fifth Avenue P.O. Box 8647 Ann Arbor, Michigan 48107-8647
734.794.6265 734.994.8312 planning@a2gov.org

ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION

Section 1: Property Being Reviewed and Ownership Information

Address of Property: 423 - 425 WEST LIBERTY

Historic District: OLD WEST SIDE

Name of Property Owner (If different than the applicant):

HURON CONTRACTING, LLC (TOM FITZSIMMONS)

Address of Property Owner: 423 WEST LIBERTY

Daytime Phone and E-mail of Property Owner: 734 320 9680

Signature of Property Owner: [Signature] Date: 7-27-12

Section 2: Applicant Information

Name of Applicant: TOM FITZSIMMONS

Address of Applicant: 423 WEST LIBERTY ST. ANN ARBOR, MI 48103

Daytime Phone: (734) 320 9680 Fax: ()

E-mail: tomfitzsimmons@comcast.net

Applicant's Relationship to Property: owner architect contractor other

Signature of applicant: [Signature] Date: 7-27-12

Section 3: Building Use (check all that apply)

Residential Single Family Multiple Family Rental
 Commercial Institutional

Section 4: Stille-DeRossett-Hale Single State Construction Code Act
(This item MUST BE INITIALED for your application to be PROCESSED)

Public Act 169, Michigan's Local Historic Districts Act, was amended April 2004 to include the following language: "...the applicant has certified in the application that the property where the work will be undertaken has, or will have before the proposed completion date, a a fire alarm or smoke alarm complying with the requirements of the Stille-DeRossett-Hale Single State Construction Code Act, 1972 PA 230, MCL 125.1501 to 125.1531."

Please initial here: TPF

Section 5: Description of Proposed Changes (attach additional sheets as necessary)

1. Provide a brief summary of proposed changes. SEE ATTACHMENT

2. Provide a description of existing conditions. SEE ATTACHMENT

3. What are the reasons for the proposed changes? SEE ATTACHMENT

4. Attach any additional information that will further explain or clarify the proposal, and indicate these attachments here.

SEE ATTACHMENT

5. Attach photographs of the existing property, including at least one general photo and detailed photos of proposed work area.

STAFF USE ONLY

Date Submitted: _____ Application to _____ Staff or _____ HDC

Project No.: HDC Fee Paid: _____

Pre-filing Staff Reviewer & Date: _____ Date of Public Hearing: _____

Application Filing Date: _____ Action: _____ HDC COA _____ HDC Denial

Staff signature: _____ _____ HDC NTP _____ Staff COA

Comments:

MEMORANDUM

DATE: July 27, 2012
TO: City of Ann Arbor Historic District Commission
FROM: Marc M Rueter AIA
PROJECT: 423 -425 West Liberty Street Rear Second Floor Addition and Garage
CC:

REGARDING: Supplement to HDC Application

1. PROVIDE A BRIEF SUMMARY OF PROPOSED CHANGES:

The Owner wishes to add 150 square feet to the second story rear addition for the construction of and expansion of bathrooms for both 423 and 425 West Liberty. Additionally, a detached garage will be built for 425 West Liberty and an expansion of an existing one car garage at 423 West Liberty is proposed. A deck will be constructed over the roof of the extended garage. A new 190 square foot deck will be built off the rear of 425 West Liberty.

2. PROVIDE A DESCRIPTION OF EXISTING CONDITIONS:

This structure was originally built as a duplex residence in the early 1900's. The house is a two-story frame building. All the Sanborn maps from 1908 to 1947 show a porch extending fully across the front façade facing Liberty Street. Only a portion of that porch exists today in front of 425 West Liberty. The rear of the building originally had two small porches, one for each dwelling unit. The structure was remodeled probably in the late 1950's to 1960's and the small rear porches were either eliminated or substantially altered. A two story stable or car barn in the back yard was removed between 1931 and 1947.

3. WHAT ARE THE REASONS FOR PROPOSED CHANGES:

The 425 West Liberty dwelling does not have a second floor laundry, or master bathroom and does not meet the needs of a modern family. The modest addition will allow for two baths, a laundry and adequate walk in laundry. The addition will also allow for the expansion of the 423 West Liberty bathroom, and more second floor storage.

4. ATTACH ADDITIONAL INFORMATION THAT WILL FURTHER EXPLAIN OR CLARIFY THE PROPOSAL:

See the attached site plan, floor plans and elevation drawings of the exterior.

5. ATTACH PHOTOGRAPHS OF THE EXISTING PROPERTY

See the attached Submission

Marc Rueter AIA
Rueter Associates Architects

ADDITIONS TO THE 423 & 425 WEST LIBERTY RESIDENCES

423 AND 425 WEST LIBERTY STREET, ANN ARBOR, MICHIGAN 48103

LIST OF DRAWINGS

- A1 TITLE PAGE
- A2 SANBORN MAPS
- A3 SITE PLAN
- A4 LOWER LEVEL PLAN-EXISTING
- A5 FIRST FLOOR PLAN-EXISTING
- A6 SECOND FLOOR PLAN-EXISTING
- A7 ELEVATIONS-EXISTING
- A8 LOWER LEVEL PLAN PROPOSED 423 & 425
- A9 FIRST FLOOR PLAN-PROPOSED
- A10 SECOND FLOOR PLAN-PROPOSED
- A11 WEST AND PARTIAL EAST ELEVATION
- A12 SOUTH ELEVATION-PROPOSED
- A13 GARAGE ELEVATIONS-PROPOSED



ABOVE:
photo of existing house,
from the South-West.

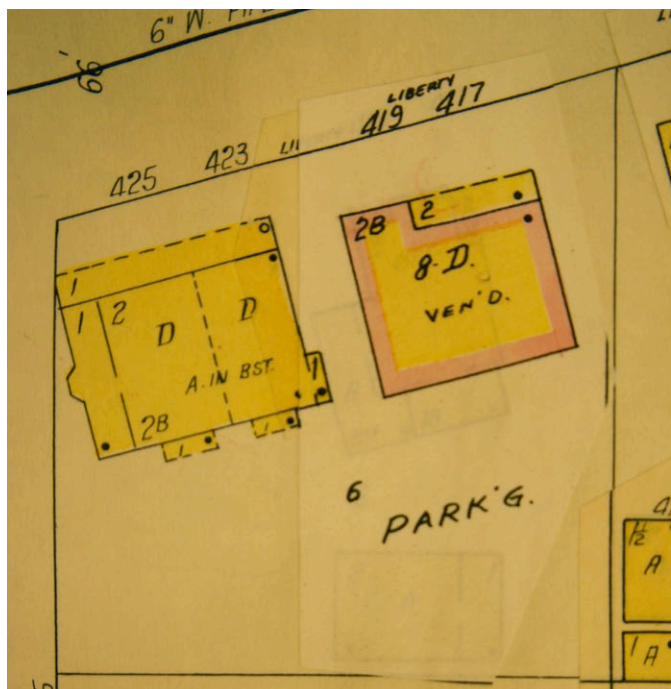
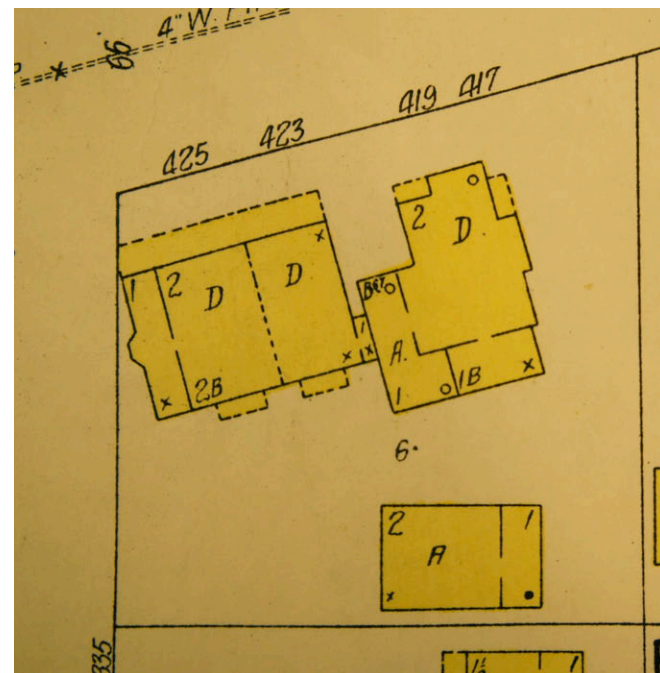
LEFT:
photo of existing house from
the South.

HDC JULY 27, 2012

RESIDENCES AT 423-425 W. LIBERTY ST.
423-425 West Liberty Street, Ann Arbor MI 48103

■ RUETER ASSOCIATES
ARCHITECTS

515 Fifth Street, Ann Arbor, Michigan 48103
phone: (734) 769-0070, fax: (734) 769-0167

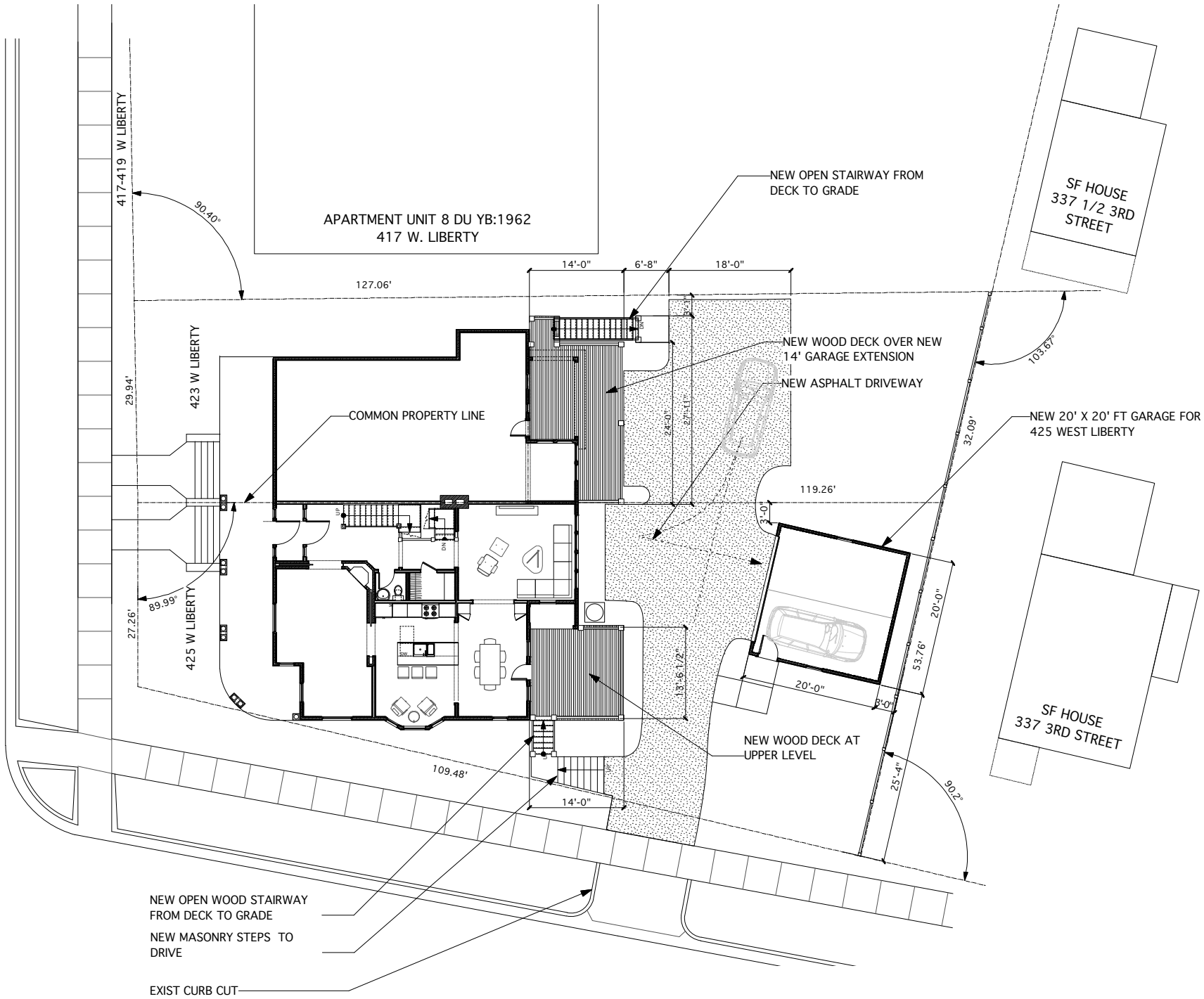


ABOVE:
1931 Sanborn no observable changes have occurred since 1908

ABOVE LEFT:
1908 Sanborn showing two small porches on south elevation and attached dwelling units at 417-419 West Liberty

All MAPS:
All Sanborn maps show a long porch stretching along the north side of both dwellings. The porch on 423 W. Liberty St. appears to have been removed.

LEFT:
Updated 1931 Sanborn showing the attached dwelling units at 417-419 West Liberty removed and replaced with a with the 1962 brick apartment building. The two story auto/barn has also been removed.



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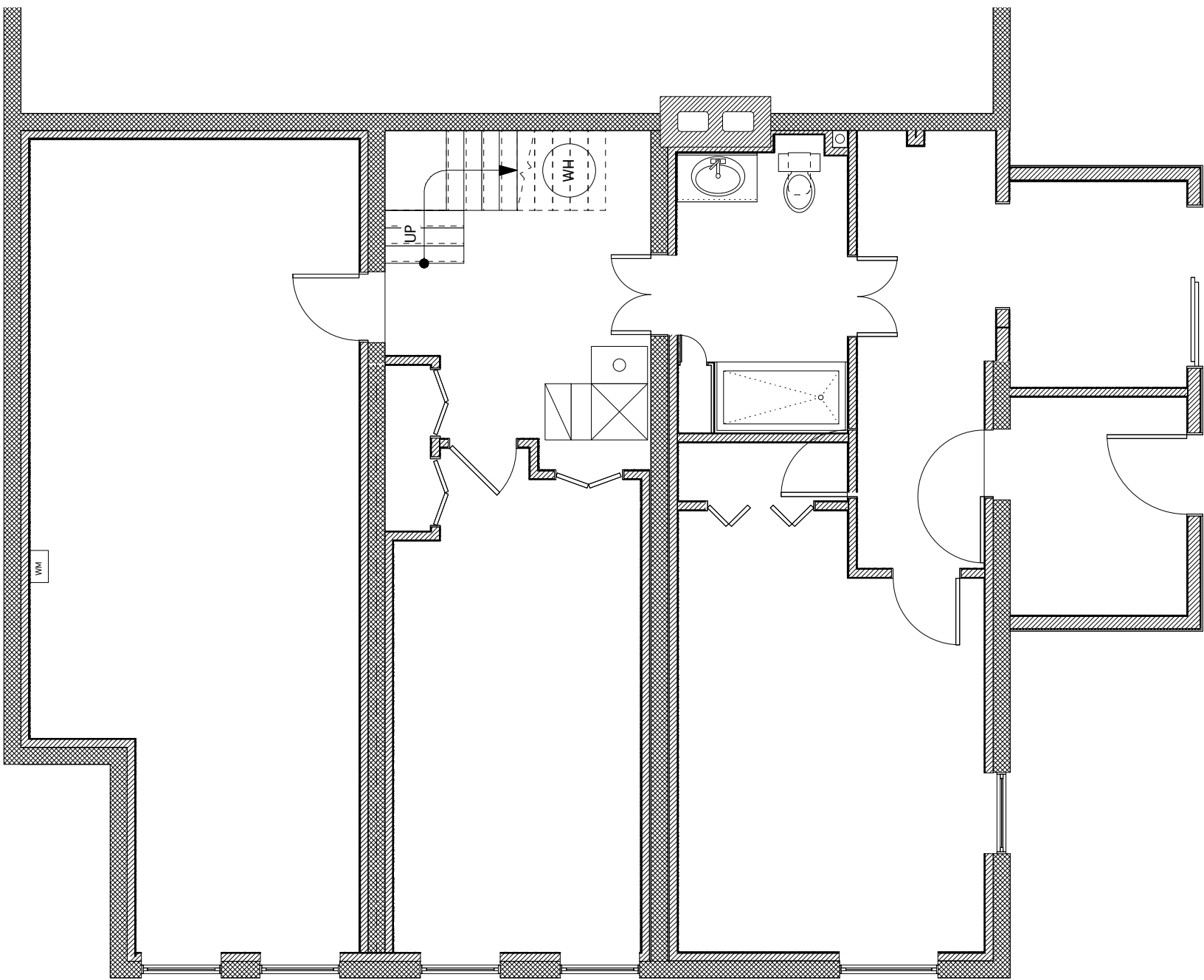
RUETER ASSOCIATES
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Site Plan-Proposed Scale: 1" = 20'-0" on 8 1/2" x 11"



A3



Lower Level Floor Plan-Existing

Scale: 3/16" = 1'-0" on 8 1/2" x 11"



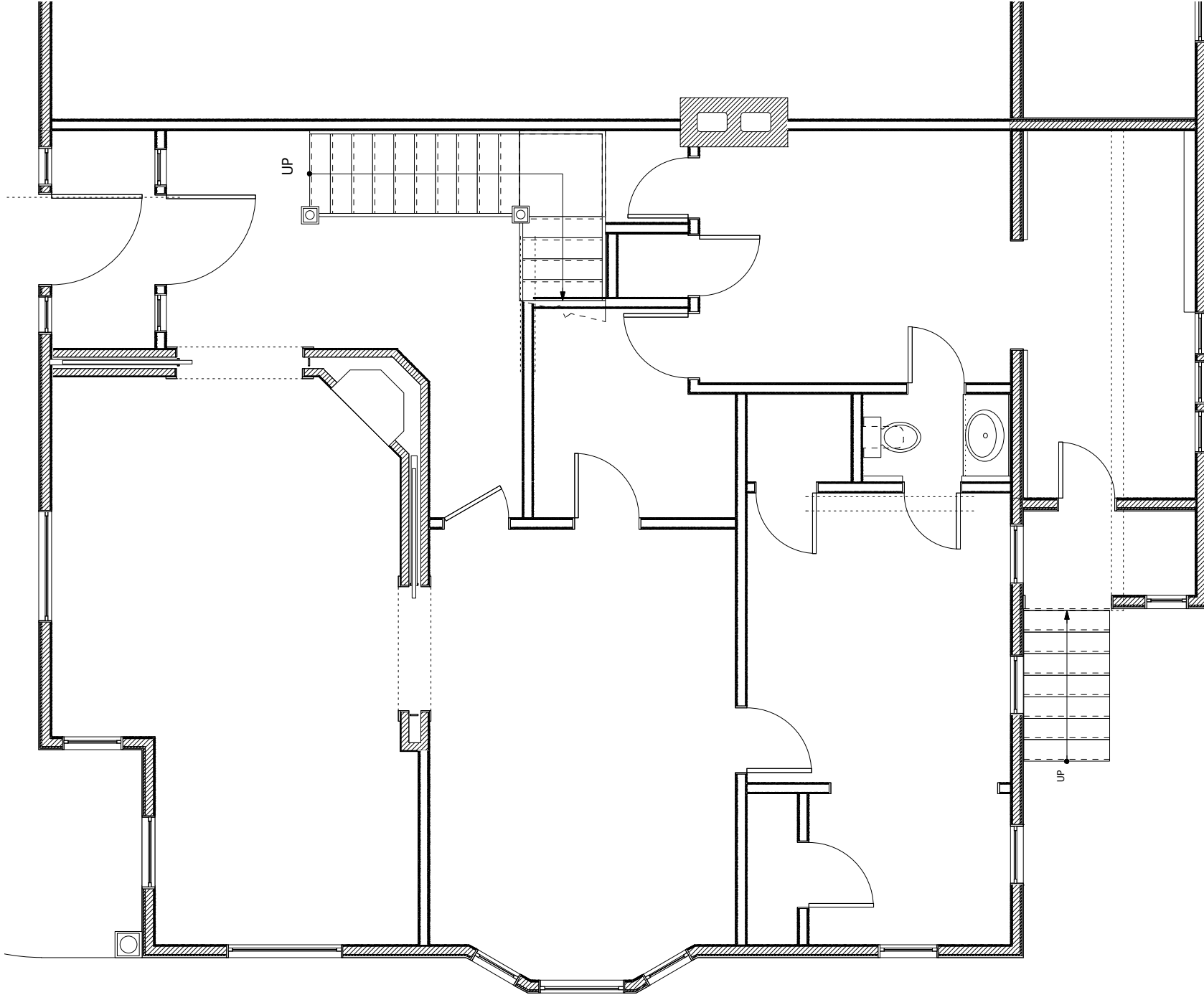
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A4



□ First Floor Plan-Existing

Scale: 3/16" = 1'-0" on 8 1/2" x 11"



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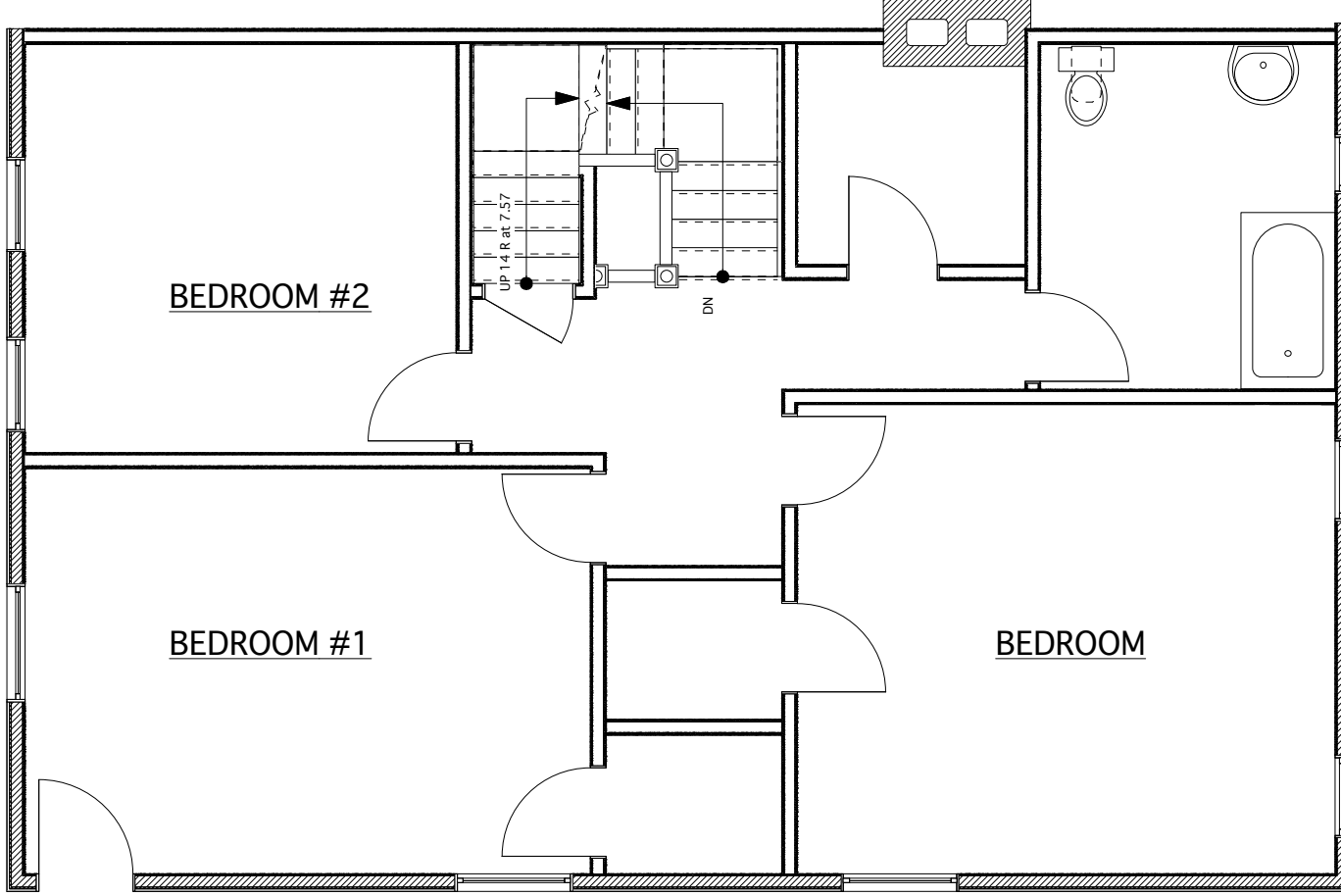
■ RUETER ASSOCIATES
ARCHITECTS

RESIDENCES AT 423-425 W. LIBERTY ST.

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A5



□ Second Floor Plan-Existing

Scale: 3/16" = 1'-0" on 8 1/2" x 11"



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A6



DEMOLITION SCHEDULE

MARK:

(1A) REMOVE NON ORIGINAL EXISTING WINDOW OR DOOR

(1B) REMOVE NON HISTORIC ADDITION DATING FROM ca 1950's

(1C) REMOVE PART OF ORIGINAL CONSTRUCTION



□ South Elevation (top) and West Elevation (bottom)-Existing

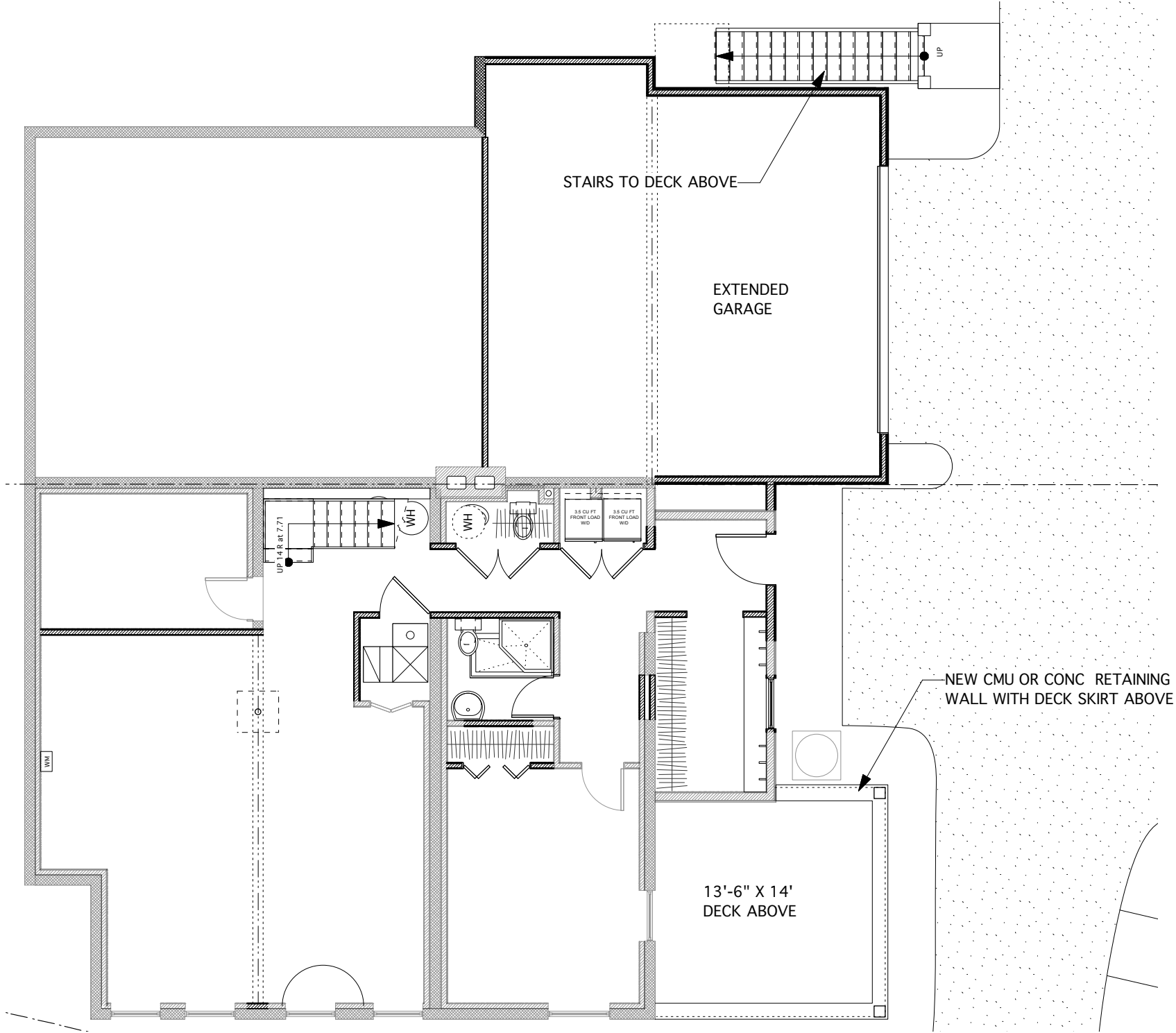
Scale: 3/32" = 1'-0" on 8 1/2" x 11"

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Lower Level Plan- 423-425 Proposed

Scale: 1/8" = 1'-0" on 8 1/2" x 11"

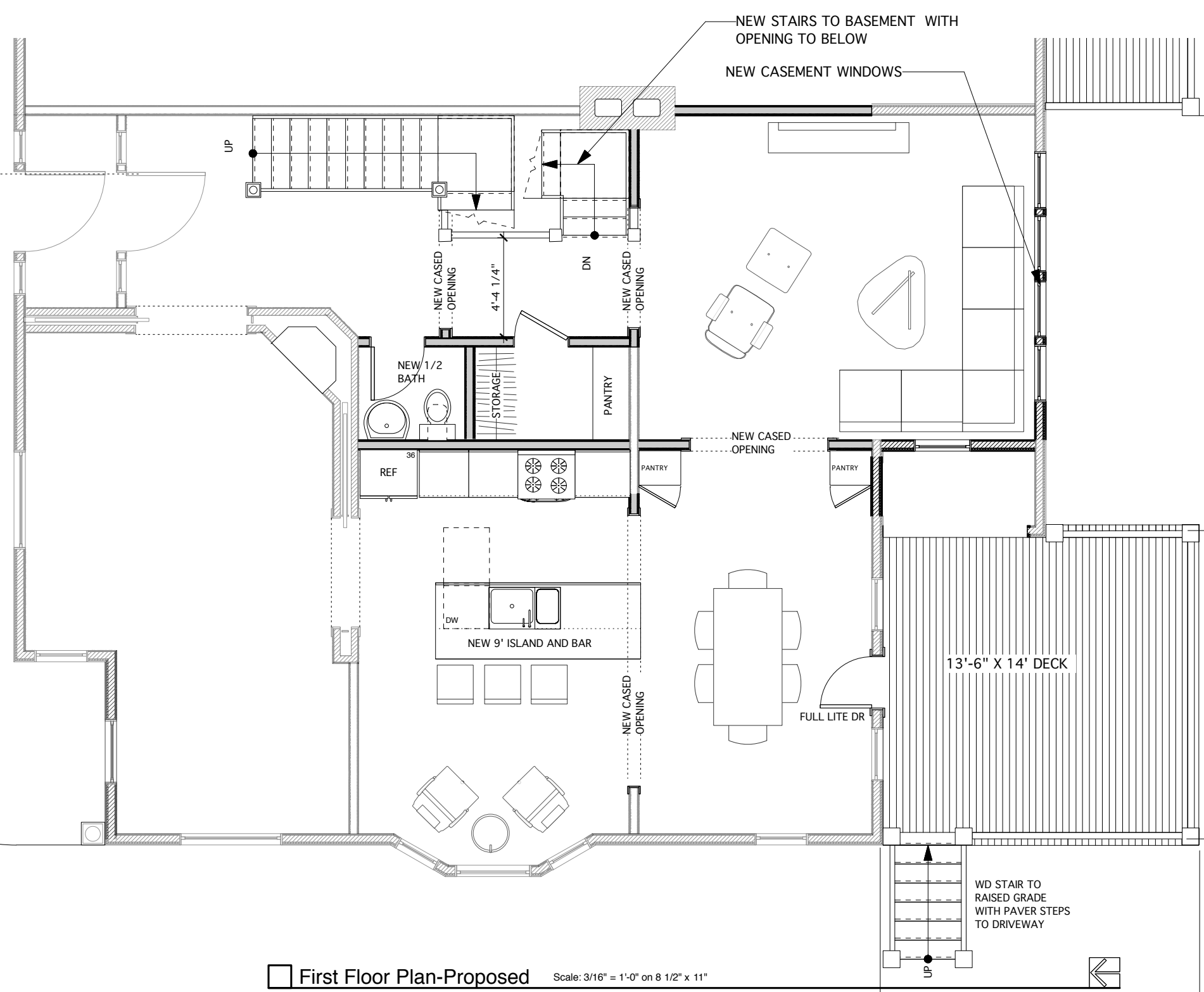


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First Floor Plan-Proposed Scale: 3/16" = 1'-0" on 8 1/2" x 11"

NEW STAIRS TO BASEMENT WITH OPENING TO BELOW

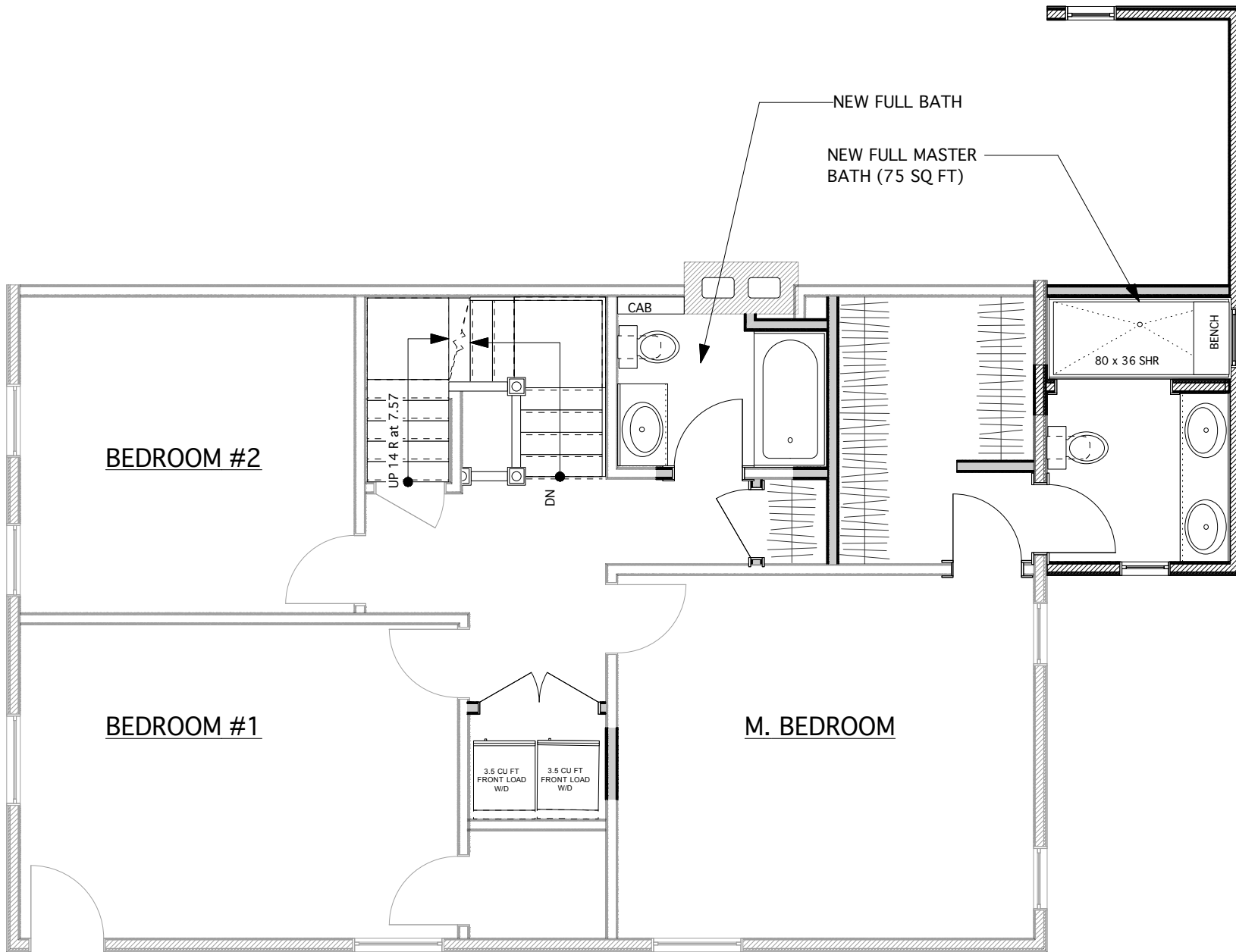
NEW CASEMENT WINDOWS

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A R C H I T E C T S

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□ Second Floor Plan-Proposed

Scale: 3/16" = 1'-0" on 8 1/2" x 11"



HDC JULY 27, 2012

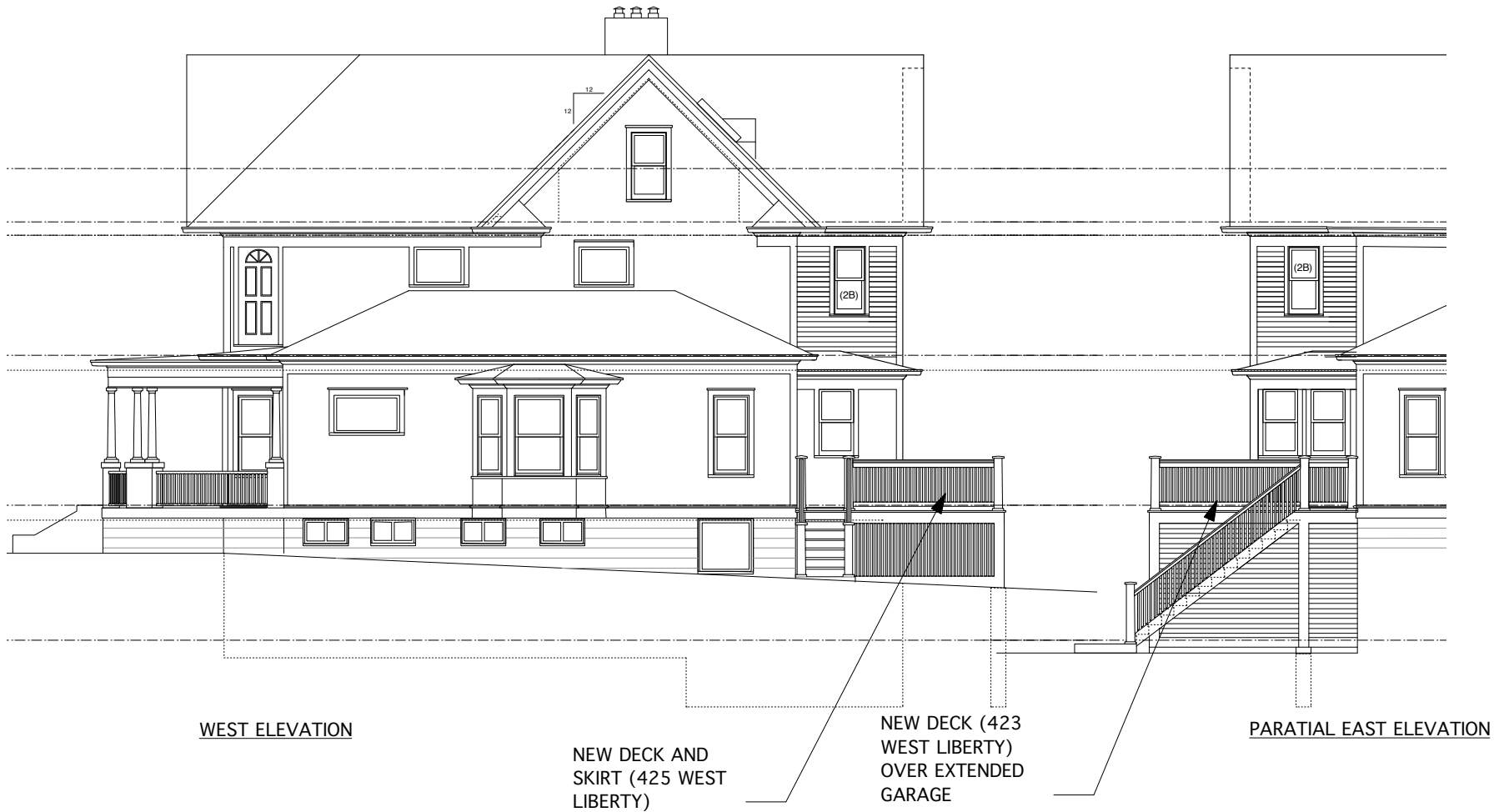
A10

RESIDENCES AT 423-425 W. LIBERTY ST.

423-425 West Liberty Street, Ann Arbor MI 48103

■ R U E T E R A S S O C I A T E S
A R C H I T E C T S

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phone: (734) 769-0070, fax: (734) 769-0167



WEST ELEVATION

NEW DECK AND
SKIRT (425 WEST
LIBERTY)

NEW DECK (423
WEST LIBERTY)
OVER EXTENDED
GARAGE

PARATIAL EAST ELEVATION

West and Partial East Elevation-Proposed

Scale: 3/32" = 1'-0" on 8 1/2" x 11"

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A11

WINDOW SCHEDULE

Mark	Type	Unit Size*	Notes
(2A)	double hung	1-8, 3-8	
(2B)	double hung	2-0, 4-6	
(2C)	double hung	2-6, 4-6	
(2D)	double hung	2-4, 5-4	
(2E)	doluble hung	1-2, 1-8	

WINDOW NOTES:
 Windows shall be wood with alum or vinyl cladding. Glazing shall be double glazed low e. Cladding shall be white. Screens shall be supplied with all windows.

+ window size may vary (+2")

DOOR SCHEDULE

Mark	Type	Unit Size	Notes
(1A)	door	36 x 80	wood Simpson 7044
(1B)	OH garage	7'0" x 16'0"	insul steel panel
(1B)	door	36" x 90"	hinged alum clad patio

DOOR NOTES:
 Glazing shall be double glazed low e.

NEW MATERIAL DESCRIPTION:

ROOF:
 Laminated asphalt shingles to match existing

FASCIA:
 1" x 6" wd bd

GUTTERS:
 5" K style alum gutters

GABLE RAKE BOARD
 4-1/4" crown moulding on 1"X 8" wd bd

FRIEZE BDS (below rake and below fascia)
 2 1/4" cove on 5/4"x 10"

SOFFITS:
 perforated 5/16" cement board

CORNER BOARDS"
 5/4" X 4" WD

SIDING:
 5/16"x 6" cement board siding with 3" exposure.

DECK:
 deck balustrades:
 2" X 4" beveled top rail on 1x4 sub rails (top and btm) with 2 x 2 balusters spaced 1 1/2" apart.

deck stair guards:
 1-3/4" wall rail on 2" X 4" beveled top rail on 1x4 sub rails (top and btm) with 2 x 2 balusters spaced 1 1/2" apart.

deck newels:
 6"x 6" boxed column with 1-1/2" top cap and 1-1/2" beveled finishing cap 1-1/2" smaller than btm cap. Wrap cap with 3/4" cove moulding under cap

deck flooring:
 5/4 x 6 ipe wood flooring

deck steps:
 1"x 6" ipay wood spaced 1/4" with 3/4" cedar risers on painted 2"x 12" treated stringers

deck skirting:
 1 x 2 bds spaced 1-1/2" apart with 1 x 8 skirting bds



South Elevation-Proposed

Scale: 3/32" = 1'-0" on 8 1/2" x 11"

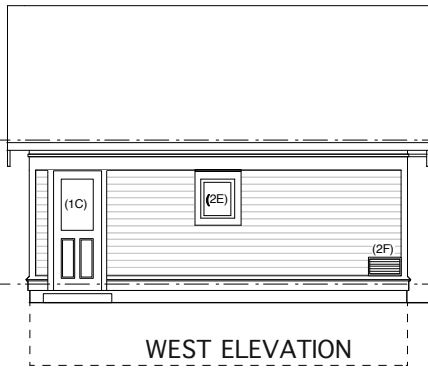
HDC JULY 27, 2012

RESIDENCES AT 423-425 W. LIBERTY ST.
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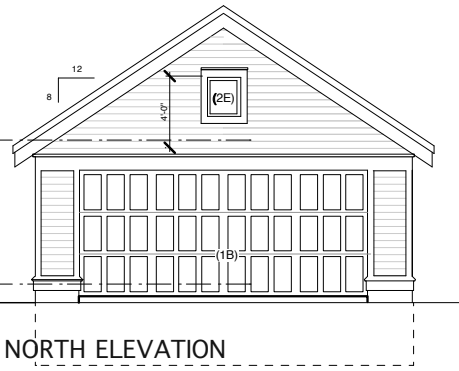
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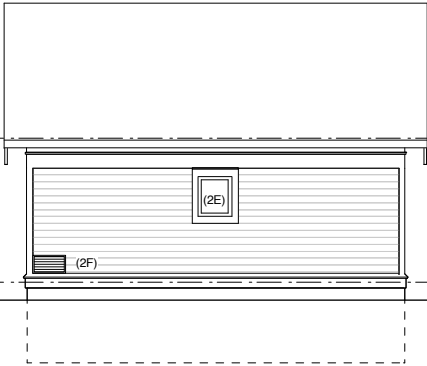
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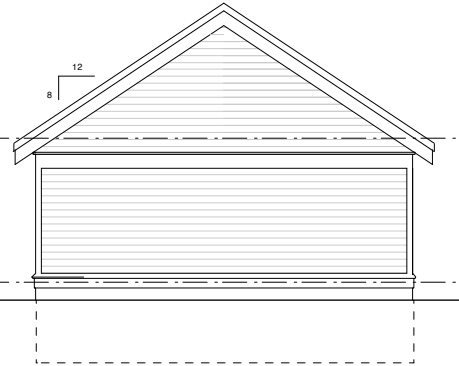
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION

NEW MATERIAL DESCRIPTION for GARAGE:

- ROOF: Laminated asphalt shingles to match existing
- FASCIA: 1" x 6" wd bd
- GUTTERS: 5" K style alum gutters
- GABLE RAKE BOARD 1 x 2 on 1" X 8" wd bd
- FRIEZE BDS (below rake and below fascia) 5/4" x 10"
- SOFFITS: perforated 5/16" cement board
- CORNER BOARDS" 5/4" X 4" WD
- SIDING: 5/16"x 6" cement board siding with 3" exposure.

DOOR SCHEDULE

Mark	Type	Unit Size	Notes
(1C)	door	34 x 80	insul steel panel
(1B)	OH door	7'0" x 16'0"	C insul steel panel

DOOR NOTES:
Doors shall be steel single lite

WINDOW and OPENING SCHEDULE

Mark	Type	Unit Size*	Notes
(2E)	double hung	2-0, 2-4	
(2F)	louvered opng	200 net free sq in	

WINDOW NOTES:
Windows shall be wood with alum or vinyl cladding. Glazing shall be single glazeing. Cladding shall be white.

* Window size may vary (+-2")



RELATIONSHIP OF HOUSE TO NEW GARAGE

Garage Elevations-Proposed

Scale: 3/32" = 1'-0" on 8 1/2" x 11"



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