

PLANNING AND DEVELOPMENT SERVICES STAFF REPORT

For Planning Commission Meeting of September 4, 2019

**SUBJECT: The Vic Village South Site Plan for City Council Approval
1100 South University Avenue
Project No. SP19-009**

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission hereby recommends that the Mayor and City Council approve The Vic Village South Site Plan and Development Agreement, subject to combining the lots prior to issuance of any permits.

STAFF RECOMMENDATION

Staff recommends that the site plan be **approved**, because the contemplated development would comply with all applicable state, local, and federal law, ordinances, standards and regulations; and the development would not cause a public or private nuisance, limits the disturbance of natural features to the minimum necessary to allow a reasonable use of the land, and would not have a detrimental effect on the public health, safety or welfare.

LOCATION

This site is located on the north side of South University Avenue between the East University Avenue pedestrian mall and Church Street, including 1100 through 1122 South University Avenue. It is in the Downtown Development Authority district and Ward 1.

DESCRIPTION OF PETITION

The petitioner seeks site plan approval to construct a new 13-story, 206,834-square foot mixed-use building (189,457 sf residential, 17,377 commercial) with two floors of underground parking, on seven lots on the south side of South University Avenue between the East University and Church Street.

Existing Conditions – The subject site is seven adjacent lots having a combined lot area of 23,862 square feet (0.54 acre), zoned D1 (Downtown Core base district) and South University character overlay district, and Primary street frontage designation. The site also has frontage on East University and Church Street. The assembled site contains adjoining two-story buildings that house various retail businesses. All existing buildings will be demolished. There are no natural features on this site and one landmark tree within the East University Right of Way that will be removed.

Proposed Development – The proposed building is 150 feet tall and has 13 stories, plus two levels of underground parking, which also includes area for mechanical systems. Retail space is planned for the street level. Residential apartments are offered for the second floor and above. Building services and utilities are located at the rear (south) and will be accessed by a private alley along the south side of the site to Church Street. There will be four surface parking

spaces for loading and deliveries accessed from the alley. Solid waste and recycling will also be serviced in this area.

The proposed footprint is generally rectangular but with a cutout at the northeast corner to accommodate an existing building that is not part of the development. Passers-by will perceive the building as a two-story base supporting a slightly recessed, eleven-story tower and roof top mechanical and amenity area.

Area, height and placement, plus off-street parking data is provided in the comparison chart below. Other development details include:

- Parking – There will be 71 off-street parking spaces provided, 67 parking spaces will be located under the building and four spaces will be accessed via an alley from Church Street. The petitioner will enter into a contract for an additional 41 permits in the public parking system for the premium floor area included in the development.
- Apartment Units – 133 apartments are proposed including one bedroom (43 units), two-bedroom (35 units), three-bedroom (32 units) and four-bedroom units (23 units). No five or six-bedroom apartments are planned.
- Affordable Housing – This development is utilizing the affordable housing premium which permits for 3,000 square feet of floor area for every affordable unit with a minimum of 600 square feet per unit. Units must be guaranteed affordable for the life of the building. The developer is proposing 14 affordable housing units for a premium floor area increase of 39,800 square feet.
- Access – The site has frontage on three public streets: East University Avenue, South University Avenue and Church Street. Vehicular access to the underground parking will be from East University, while solid waste and deliveries will be accessed from Church Street. Bicycle parking will be accessed from a pedestrian walkway and vehicular delivery area through the back of the building in two rooms
- Storm Water Management – Storm water management for the 100-year storm volume is proposed underneath the building.
- Streetscape Improvements – The South University Streetscape Improvement Project is almost completed. The petitioner will be responsible for reinstalling any street improvements from the East University corner to Church Street with materials furnished by the Downtown Development Authority as part of this site plan development.
- Retail Spaces – At least two, and up to four, retail spaces are proposed, providing 17,377-square feet of total retail space.

COMPARISION CHART

	EXISTING	PROPOSED	REQUIRED/PERMITTED
Base Zoning	D1 (Downtown Core)	D1 (Downtown Core)	D1 (Downtown Core)
Lot Area	23,862 sq ft	23,862 sq ft	No minimum
Max. Usable Floor Area in % of Lot Area	Approximately 200%	867% (206,834 sq ft)	400% MAX normal (66,248 sq ft MAX) Up to 900% MAX with premiums (up to 214,758 sq ft MAX)
Premiums		71,586 sq ft from residential use premium	Maximum 71,586 sq ft additional floor area
		39,800 sq ft from affordable housing premium based on 14 units provided at 3,000 sq ft per unit	Maximum 42,000 sq ft
Character Overlay District	South University	South University	South University
Streetwall Height	2 stories	2 stories	2 stories MIN 3 stories MAX
Offset at Top of Streetwall	Not Applicable	5 ft average	5 ft AVERAGE
Building Height	Approximately 2 stories, 20 feet	150 ft	150 feet MAX
Massing Articulation	Approximately 30 ft average	45 ft	45 ft MAX
Front Setback	0-5ft	0 ft	0 – 10 ft MAX
Rear Setback	0-20 ft rear	0 ft rear	None
Building Frontages	Primary Street	Primary Street	Primary Street
S. University Ave.	0 ft	0 ft	0 ft MIN, 1 ft MAX
E. University Ave.	0 ft	0 ft	0 ft MIN, 1 ft MAX
Building Frontages	Secondary Street	Secondary Street	Secondary Street
Church St.	14 ft	0 ft	0 ft MIN, 10 ft MAX
Parking	Special Parking District	Special Parking District	Special Parking District
Parking – Automobiles	Approx. 15	112 total: 71 underground parking spaces	112 spaces MIN

		Contract for 41 permits in public parking system	
Parking – Bicycles	None	104 Class A, 4 Class C	76 Class A, 2 Class C

SURROUNDING LAND USES AND ZONING

	LAND USE	ZONING
NORTH	Residential/Commercial	D1 (Downtown Core) base, South University overlay
EAST	Commercial	D1 (Downtown Core) base, South University overlay
SOUTH	Residential/Commercial	D1 (Downtown Core) base, South University overlay
WEST	University of Michigan Central Campus	PL (Public Land)

DESIGN REVIEW BOARD REVIEW

The petitioner presented The Vic Village South to the Design Review Board on March 13, 2019 and May 8, 2019.

At its first meeting, the Board discussed the details of the development and how the design team arrived at the proposed design. The Board’s discussion focused on streetwall massing and façade elements more than site context. The Board strongly encouraged a more prominent design at the northwest corner of the building given the prominent location. The overall tone of the first meeting was general agreement that the design was in keeping with the basic design guidelines but many improvements and refinements were suggested for design excellence.

At its second meeting, the Board expressed appreciation for the design team’s efforts to address its previous suggestions while noting the proposed development still could improve upon the entrance areas to the residential and retails areas. It was encouraged that the designers keep working to a more significant northwest corner design of the building. As a result of this discussion, the petitioner has inset and increased the height of the corner entrance from a single-story to two stories and added glass along the façade. They are also considering a raised art element above the entrance to make it a more notable building corner.

The Design Review Board’s minutes and recommendation letters, and the petitioner’s responses, are attached.

CITIZEN PARTICIPATION MEETING

The petitioner held a meeting for interested citizens on May 6, 2019. Invitations were sent to all residents and property owners within 1,000 feet of the site. Three persons attended. The full report provided by the petitioner is attached. In general, the discussion at the meeting concerned describing the proposed development and clarifying questions.

HISTORY

The site was rezoned as part of the Ann Arbor Discovering Downtown (A2D2) zoning initiative. The current base and character overlay zoning districts and building frontage standards became effective in December 2009.

Buildings on the site were constructed in the 1910's. Prior to the current 100+ year old commercial buildings, it's likely the lots contained single-family dwellings.

SERVICE UNIT COMMENTS

Planning – Staff's comments regarding compliance with City codes and ordinances were addressed by the petitioner. Staff find the proposed development to meet zoning and off-street parking regulations and, as mentioned above.

A draft development agreement will be prepared for necessary improvements not addressed on the site plan such as contracts for permits in the public parking system and coordination and responsibilities for installing or repairing streetscape improvements adjacent to the site.

Downtown Development Authority – Staff have provided suggested language for the development agreement to address coordination and responsibilities for the streetscape improvements which will be delayed because of this project as well as on-street metered parking and parking permit contracts. The project will be removing one metered space from the public parking system along East University. The developer will be responsible for paying a meter removal fee of \$78,426.70. This fee must be paid prior to issuance of any Certificate of Occupancy for the building.

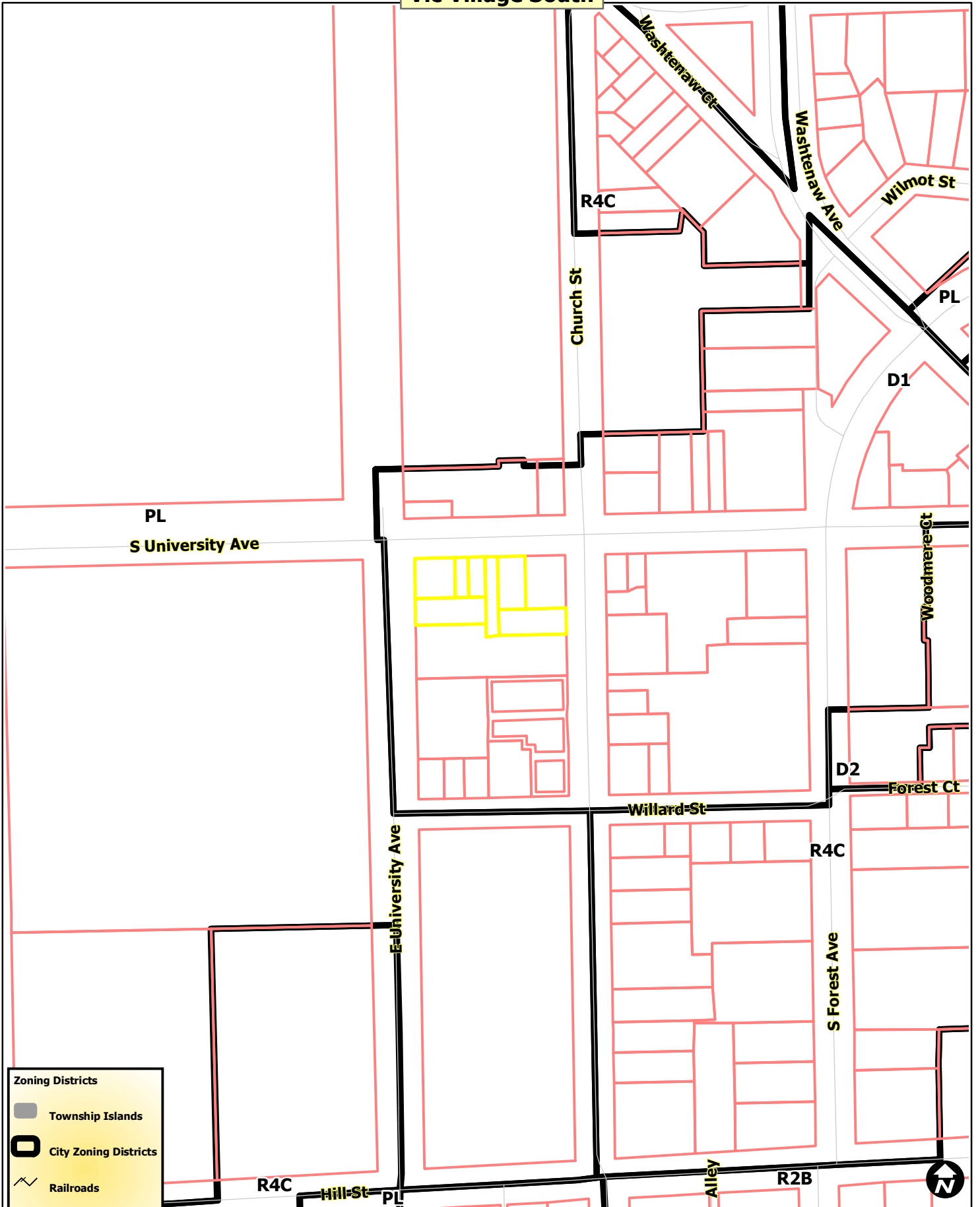
Parks – Staff suggested a park contribution of \$83,125.00 based on 133 proposed dwelling units for improvements to a downtown park.

Prepared by Matt Kowalski
Reviewed by Brett Lenart
8/20/19





Attachments: Zoning Map
Aerial Photo
[Site Plan](#)
[Elevations](#)
[Design Review Board Minutes and Recommendations](#)
[Citizen Participation Report](#)

c: Petitioner (South University-South, LLC [Sean Havera]) *by email*
Petitioner's Agent (Midwestern Consulting, LLC [Tom Covert]) *by email*
Systems Planning
File – Project No. SP19-009

Vic Village South



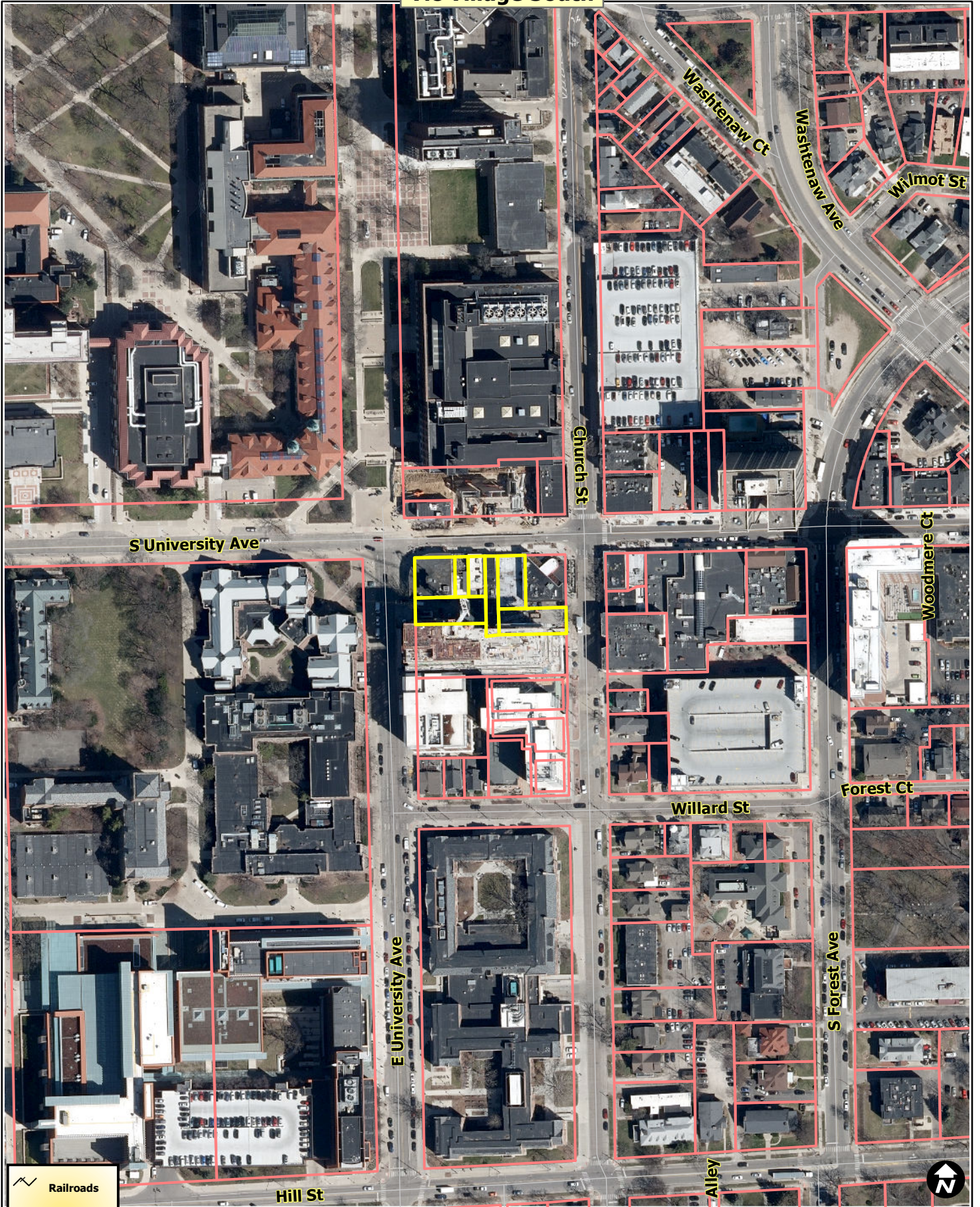
Zoning Districts




-  Township Islands
-  City Zoning Districts
-  Railroads
-  Huron River
-  Tax Parcels



Map date: 3/27/2019
 Any aerial imagery is circa 2018 unless otherwise noted
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Vic Village South

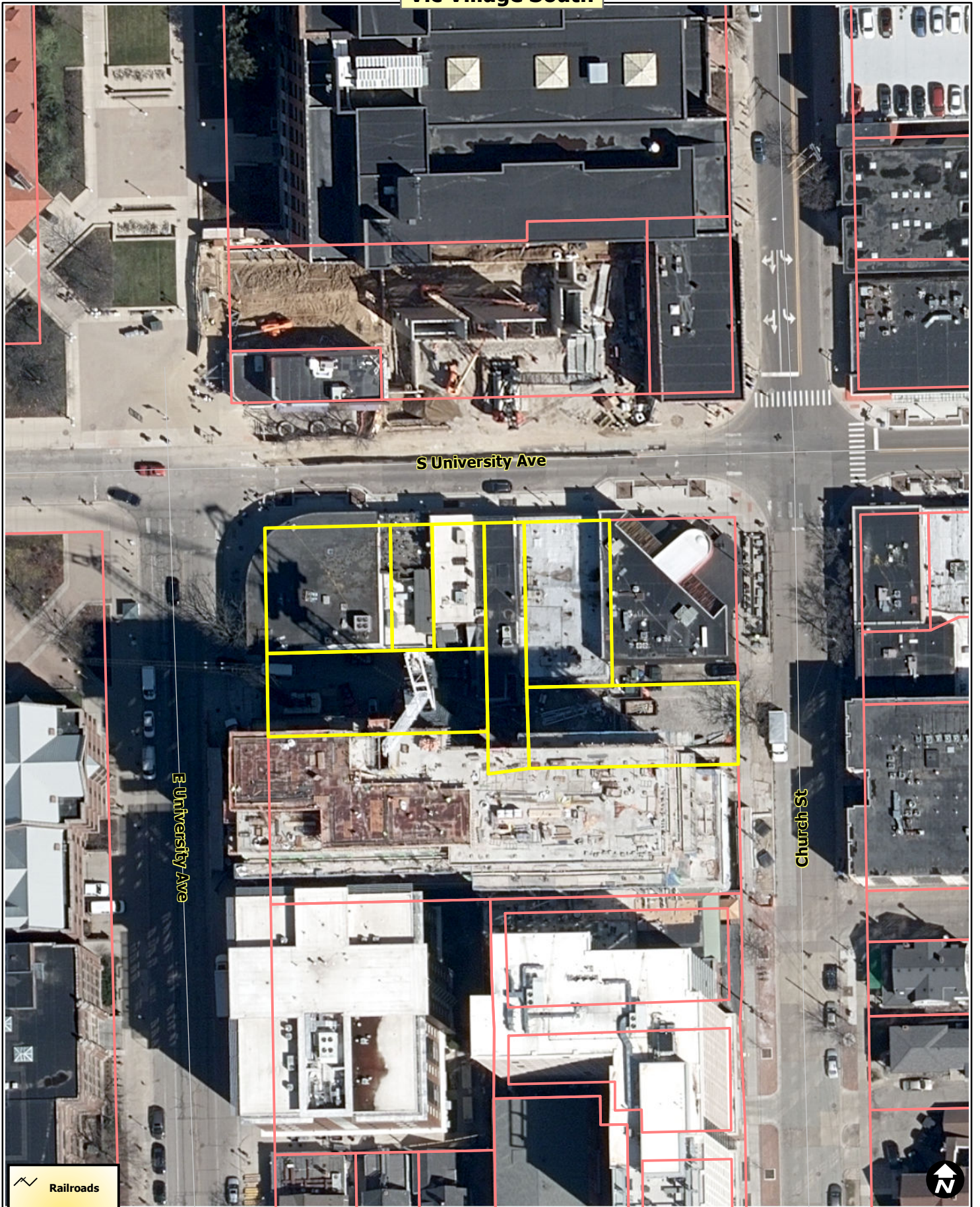




-  Railroads
-  Huron River
-  Tax Parcels



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Vic Village South



-  Railroads
-  Huron River
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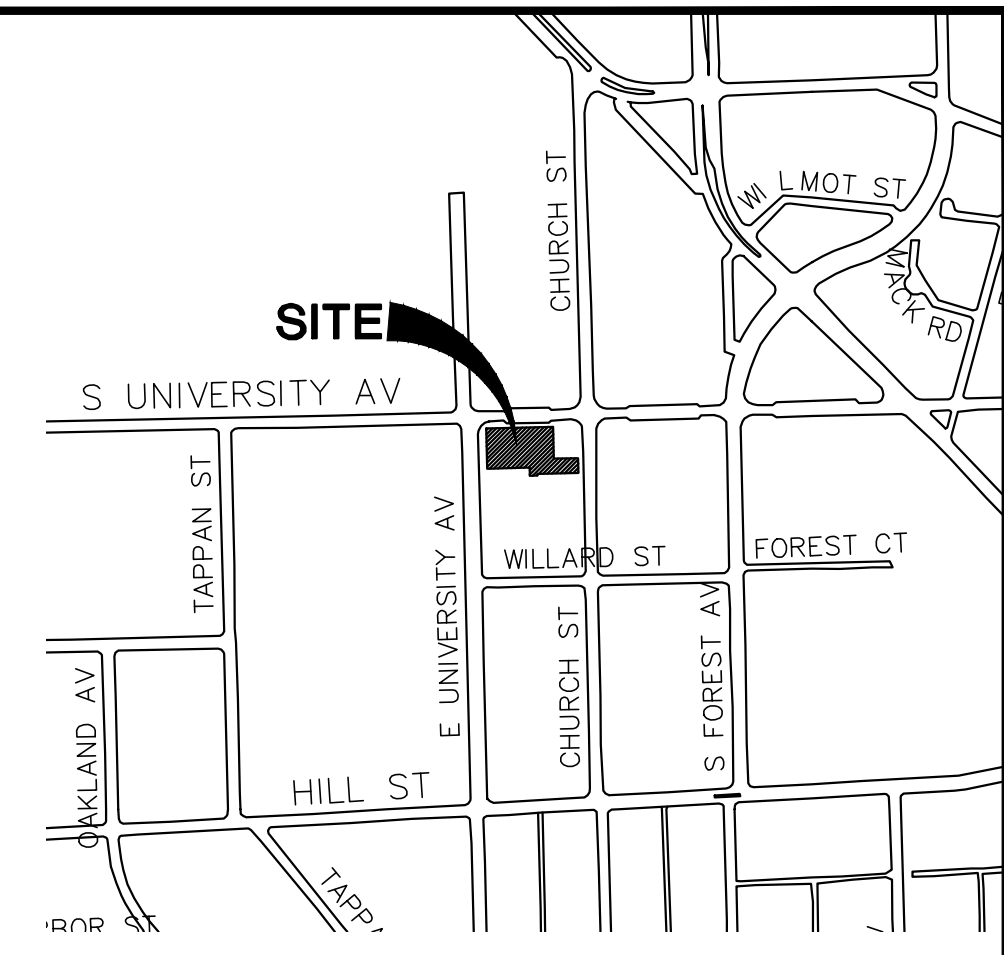


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THE VIC VILLAGE SOUTH

CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

SITE PLAN



SHEET LIST TABLE

#	SHEET TITLE
1	COVER SHEET
2	PROJECT DATA AND GENERAL INFORMATION
3	SOIL BORINGS
4	SOIL BORINGS AND TREE HEALTH ASSESSMENT FORM
5	ALTA SURVEY
6	EXISTING CONDITIONS
7	REMOVAL PLAN
8	DIMENSIONAL SITE PLAN
9	STREETSCAPE AND LANDSCAPE PLAN
10	GRADING AND SOIL EROSION CONTROL PLAN
11	UTILITY PLAN
12	STORMWATER MANAGEMENT PLAN
13	STORMWATER MANAGEMENT CALCULATIONS
14	FIRE PROTECTION PLAN
15	MISCELLANEOUS SITE DETAILS
16	DDA STREETSCAPE DETAILS
17	DDA STREETSCAPE DETAILS
A-100	LEVEL P2 FLOOR PLAN
A-110	LEVEL P1 FLOOR PLAN
A-120	LEVEL 1 FLOOR PLAN
A-130	LEVEL 2 FLOOR PLAN
A-140	LEVELS 3-9 FLOOR PLAN
A-150	LEVELS 10-11 FLOOR PLAN
A-160	LEVEL 12 FLOOR PLAN
A-170	LEVEL 13 FLOOR PLAN
A-180	ROOF PLAN
A-200	NORTH ELEVATION
A-201	SOUTH ELEVATION
A-202	WEST ELEVATION
A-203	EAST ELEVATION
A-300	BUILDING SECTION
A-400	CORNER PERSPECTIVE

OWNER/APPLICANT

SOUTH UNIVERSITY - SOUTH LLC.
30100 TELEGRAPH ROAD, SUITE 220
BINGHAM FARMS, MI 48025
PH. (248) 647-2600
ATTN: SEAN T. HAVERA

ENGINEER/SURVEYOR/ LANDSCAPE ARCHITECT

MIDWESTERN CONSULTING, LLC
3815 PLAZA DR.
ANN ARBOR, MI 48108
CONTACT: TINA FIX, RLA
734-995-0200

ARCHITECT

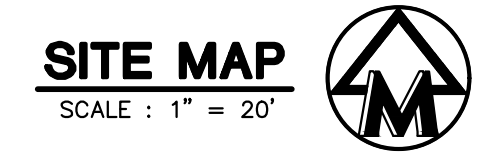
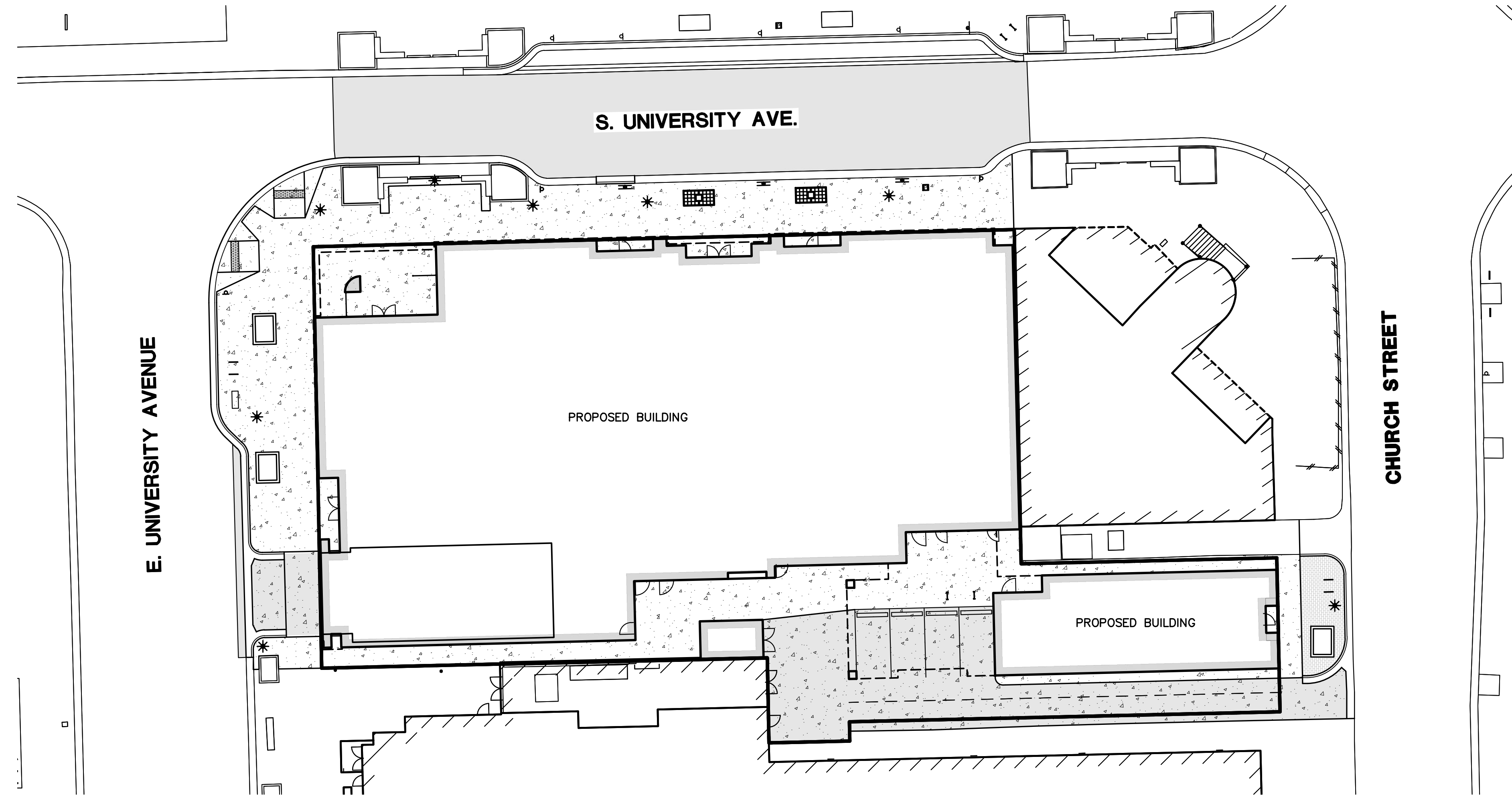
HOBBS & BLACK
100 N. STATE STREET
ANN ARBOR, MI 48104
PH. (734) 663-4189
ATTN: DIANE MCINTYRE

SITE DATA

	Required / Permitted	Proposed
Site Area:	None	0.54 ac / 23,862 sf S University St: 182 ft E. University: 109 ft Church St: 40 ft
Lot Width:	None	
Zoning:	D1	D1
Character District:	South University	South University
Street Frontage Type:	S. University - Primary E. University - Primary Church St. - Secondary	S. University - Primary E. University - Primary Church St. - Secondary
Land Use:	Apartments/Commercial	Apartments/Commercial 189,457sf residential; 17,377 sf commercial/retail; 206,834 sf Total 133 Units, 247 dia 301 bedrooms total / 558 br per ac 1 bldg. basement; underground parking, storm detention ground level retail, trash, bike storage level 2 residential, residential office 11 levels residential/amenity above fully fire suppressed
Proposed Building:		
Floor Area:		
Standard Floor Area:	400% FAR = 95,448sf	95,448 sf residential
Residential Premiums:	300% FAR = 71,586sf 95,448sf mf residential x 0.75 = 71,586sf allowed	17,377 sf commercial/retail + 57,809sf residential = 71,586sf proposed
Affordable Housing Premiums:	200% FAR - 3,000sf per unit = 47,724sf max	14 units x 3,000sf = 42,000sf allowed 39,800sf proposed
Streetwall Height:	2 stories min., 3 stories max.	2 stories
Offset at Top of Streetwall:	5 ft average	5' average
Maximum Building Module Length:	45 ft max.	45 ft max. See architectural plans
Unit Types/No. s:		
Vehicular Parking:	1 per 1000 sf premium	111,386 sf premium 112 spaces required 67 below grade (20 compact / 30%), 4 surface level 71 spaces provided.
Total Vehicular Parking:		41 spaces - contribution in lieu to DDA
Bicycle Parking:		75 Class A, 2 Class C required 104 Class A provided 0 Class B provided 4 Class C provided 108 spaces provided
Setbacks:		
Front (north):	0 ft min, 1 ft max. at streetwall	Front (north): 0ft min, 6 ft max (not including NW entrance offset)
Front (east):	0 ft min, 10ft max at streetwall	Front (east): 0ft min, 4 ft max
Front (west):	0 ft min, 1 ft max. at streetwall	Front (west): 0 ft min, 6 ft max (not including NW entrance offset)
Rear (south):	none	Rear (south): 0 ft min. (electrical enclosure)
Building Height:	existing - not determined	150 ft
Impervious Surface:		100%
Pervious Surface:		0.0%

UNIT TABULATION

UNIT NAME	UNIT TYPE	NET AREA(SF)	UNIT COUNT	BEDS	PERCENTAGE	RENTABLE AREA	PERCENTAGE
1 Bed-1	1br/1ba	710	1	1	0.75%	710	0.53%
1 Bed-2	1br/1ba	665	11	11	8.27%	7,315	5.49%
1 Bed-3	1br/1ba	639	11	11	8.27%	7,029	5.27%
1 Bed-4	1br/1ba	607	7	7	5.26%	4,249	3.19%
1 Bed-5	1br/1ba	659	7	7	5.26%	4,613	3.46%
1 Bed-6	1br/1ba	602	3	3	2.26%	1,806	1.35%
1 Bed-7	1br/1ba	634	3	3	2.26%	1,902	1.43%
2 Bed-1	2br/2ba	901	12	24	9.02%	10,812	8.11%
2 Bed-2	2br/2ba	1056	10	20	7.52%	10,560	7.92%
2 Bed-3	2br/2ba	922	12	24	9.02%	11,064	8.30%
2 Bed-5	2br/2ba	780	1	2	0.75%	780	0.59%
3 Bed-1	3br/3ba	1080	10	30	7.52%	10,800	8.10%
3 Bed-2	3br/3ba	1174	7	21	8.21%	8,218	6.16%
3 Bed-3	3br/3ba	1171	7	21	8.21%	8,197	6.15%
3 Bed-4	3br/3ba	1146	3	9	2.26%	3,438	2.58%
3 Bed-5	3br/3ba	1169	3	9	2.26%	3,507	2.63%
3 Bed-6	3br/3ba	1099	1	3	0.75%	1,099	0.82%
3 Bed-7	3br/3ba	1404	1	3	0.75%	1,404	1.05%
4 Bed-1	4br/4ba	1401	1	4	0.75%	1,401	1.05%
4 Bed-2	4br/4ba	1354	1	4	0.75%	1,354	1.02%
4 Bed-3	4br/4ba	1727	1	4	0.75%	1,727	1.30%
4 Bed-4	4br/4ba	1535	7	28	8.26%	10,731	8.05%
4 Bed-5	4br/4ba	1611	10	40	7.52%	16,110	12.08%
4 Bed-6	4br/4ba	1498	3	12	2.26%	4,494	3.37%
TOTALS			133	301	100.00%	133,320	100.00%



PROJECT SUMMARY

THE PROPOSED DEVELOPMENT INCLUDES THE DEMOLITION OF EXISTING BUILDINGS ON THE SITE AND CONSTRUCTION OF A 13 STORY MIXED-USE BUILDING INCLUDING COMMERCIAL/RETAIL, STUDENT FOCUSED RESIDENTIAL, AND AFFORDABLE HOUSING RESIDENTIAL. PROPOSED VEHICULAR PARKING INCLUDES FOUR SURFACE LEVEL PARKING SPACES, BELOW GRADE VEHICULAR PARKING, AND ONE OF THE DDA CONTRIBUTION OPTIONS. BIKE PARKING IS PROVIDED IN LOCKABLE SPACES ON THE FIRST FLOOR OF THE BUILDING FOR RESIDENTIAL UNITS AND IN THE ALLEYWAY IN THE CENTRAL PORTION OF THE SITE FOR COMMERCIAL/RETAIL. STORMWATER DETENTION IS PROPOSED IN AN UNDERGROUND DETENTION CHAMBER. TOTAL NEW FLOOR AREA WILL BE 206,834 SQUARE FEET WITH 867% FLOOR AREA RATIO WITH MULTI-FAMILY RESIDENTIAL AND AFFORDABLE HOUSING PREMIUMS.

GENERAL NOTES

PER CHAPTER 49, SECTION 4:58 OF THE CITY CODE, "ALL SIDEWALKS ARE TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME." PRIOR TO ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.

"THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO THE CITY OF ANN ARBOR PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS WHICH ARE INCLUDED BY REFERENCE."

"THE OMISSION OF ANY STANDARD DETAILS DOES NOT RELIEVE THE CONTRACTORS OF THEIR OBLIGATION TO CONSTRUCT ITEMS IN COMPLETE ACCORDANCE WITH PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS."

ANY REMOVALS AND REPLACEMENT OF SOUTH UNIVERSITY STREETSCAPE IMPROVEMENTS SHALL BE CONSTRUCTED IN KIND PER THE DOWNTOWN DEVELOPMENT AREA (DDA) STREETSCAPE IMPROVEMENT PLANS AS APPROVED BY THE CITY OF ANN ARBOR.

THE VIC VILLAGE SOUTH

JOB No. 15148	DATE: 5/30/19	1
REVISIONS:	SHEET 1 OF 32	
PER REVIEW COMMENTS	REV. DATE: 07/05/19 CADD: CTS	
PER CITY COMMENTS	08/08/19 ENG: SGF/TPH PM: TJC TECH: 15148CV1	



MIDWESTERN CONSULTING

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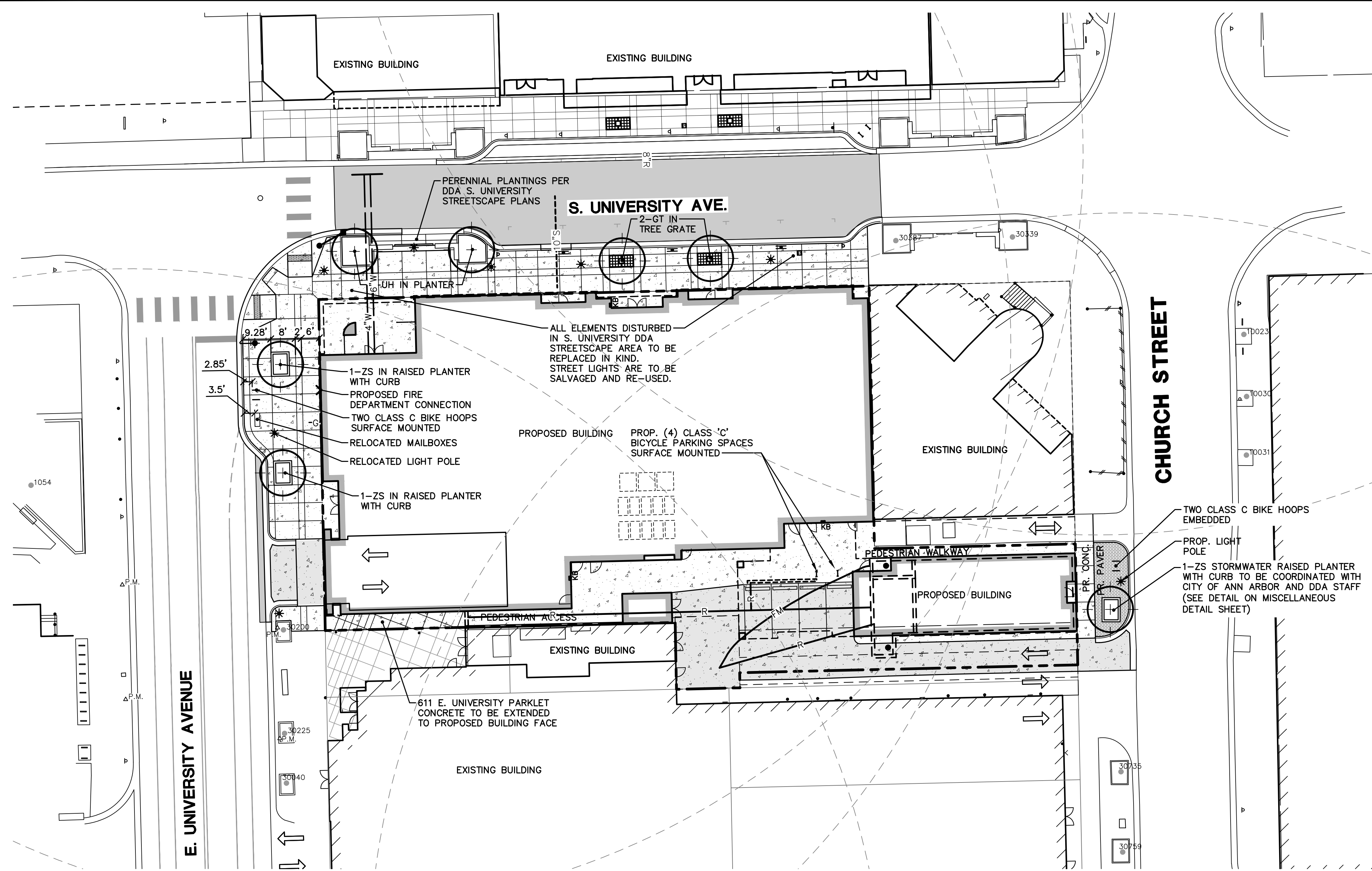
Land Development • Land Survey • Institutional • Municipal
Wireless Communications • Transportation • Landfill Services

RELEASED FOR	DATE

SCOTT G. FISHER
P.E. #58473

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LEGEND

U.P.	EXIST. SPOT ELEVATION
O.H.	EXIST. UTILITY POLE
*	EXIST. OVERHEAD UTILITY LINE
e	EXIST. LIGHT POLE
g	EXIST. ELECTRIC LINE
c	EXIST. GAS LINE
w	EXIST. COMMUNICATION LINE
W	EXIST. WATER MAIN
H	EXIST. HYDRANT
B	EXIST. GATE VALVE IN BOX
B	EXIST. GATE VALVE IN WELL
R	EXIST. CURB STOP & BOX
S	EXIST. STORM SEWER
S	EXIST. CATCH BASIN OR INLET
S	EXIST. SANITARY SEWER
P.M.	SIGN
P.M.	PARKING METER
E	ELECTRIC METER
P	POST
F	FENCE
T	SINGLE TREE
F	FOUND MONUMENT
PT.	CONTROL PT.
W	PROP. WATER MAIN
H	PROP. HYDRANT
B	PROP. GATE VALVE IN BOX
B	PROP. GATE VALVE IN WELL
R	PROP. CURB STOP & BOX
S	PROP. STORM SEWER
S	PROP. CATCH BASIN OR INLET
S	PROP. SANITARY SEWER
C	PROP. CLEANOUT
CONC	PROP. CONCRETE PAVEMENT
HD CONC	PROP. HEAVY DUTY CONCRETE PAVEMENT
BITUM	PROP. BITUMINOUS PAVEMENT
T	PROPOSED DECIDUOUS TREE

SCALE: 1" = 20'

811
Know what's below.
Call before you dig.

LANDSCAPE NOTES

- For any plant quantity discrepancies between the plan view and the plant schedules, the plant schedule shall take precedence.
- Plant materials shall be selected and installed in accordance with standards established by the Ann Arbor City Parks and Recreation Department.
- Water outlets shall be provided within 150 feet of all required plantings.
- All diseased, damaged or dead material shown on the site plan as proposed plantings shall be replaced by the end of the following growing season.
- Restore disturbed areas with a minimum of four (4) inches of topsoil and then fertilize/mulch or plant.
- Tree planters, tree grate areas, and infiltration/rain garden planting beds within S. University Avenue streetscape shall be re-planted per the current/final Downtown Development Authority (DDA) South University Streetscape plans as provided by the DDA. Tree planters in the E. University Avenue and Church Street streetscape shall have four (4) inches shredded hardwood mulch installed.
- After the first growing season, only fertilizers that contain NO phosphorus shall be used on the site.
- Deciduous plants shall be planted between March 1 and May 15 and from October 1 until the prepared soil becomes frozen. Evergreen plants shall be planted between March 1 and June 1 and from August 15 to September 15.
- All planting beds are to receive four (4) inches of shredded bark mulch.
- All trees to be located a minimum of five feet from public utilities.
- All single trunk, deciduous trees shall have a straight and a symmetrical crown with a central leader. One sided trees or those with thin or open crowns shall not be accepted.
- All compacted subgrade soils in proposed landscape areas shall be tilled to a minimum 12-inch depth prior to placement of topsoil, geotextile fabric, or other planting media as specified.
- Proposed trees will be planted a minimum of 15 feet apart.
 - Ratio of Loose Compost to Topsoil by Volume: 1:4.
 - Weight of Lime per 1000 Sq. Ft.: Amend with lime only on recommendation of soil test to adjust soil pH.
 - Weight of Sulfur or Aluminum Sulfate per 1,000 Sq. Ft.: Amend with sulfur or aluminum sulfate only on recommendation of soil test to adjust soil pH.
 - Volume of Sand: Amend with sand only on recommendation of Landscape Architect to adjust soil texture.
 - Weight of Slow-Release Fertilizer per 1,000 Sq. Ft.: Amend with fertilizer only on recommendation of soil test to adjust soil fertility.
- Planting Soil: Existing, in-place or stockpiled topsoil. Supplement with imported topsoil as needed. Verify suitability of existing surface soil to produce viable planting soil. Remove stones, roots, plants, sod, clods, clay lumps, pockets of coarse sand, concrete slurry, concrete layers or chunks, cement, plaster, building debris, and other extraneous materials harmful to plant growth. Mix surface soil with the following soil amendments to produce planting soil.

PLANT SCHEDULE

Total	Street Tree	Code	Scientific Name	Common Name	Root	Size	Spacing	Notes
Deciduous Trees								
3	3	ZS	Zelkova serrata 'Green Vase'	Green Vase Zelkova	B&B	2.5" cal.	As shown	
2	2	UH	Ulmus 'Homestead'	Homestead Elm	B&B	3" cal.	As shown	
2	2	GT	Gleditsia triacanthos f. inermis 'Skycoler'	Skyline Honeylocust	B&B	3" cal.	As shown	

*Refer to DDA S. University Streetscape Plans for perennial/ornamental grass plantings for planting bed on S. University

LANDSCAPE REQUIREMENTS

	Required / Permitted	Proposed
Street Tree Canopy Loss	Shade Tree: \$194/inch for shade tree \$176/inch for ornamental tree credit per inch for replacements	Church Street - 14' Locust - 2.5" replacement tree = 11.5" x \$194/inch = \$2,231.00 E. University - 19' Locust - 2.5" replacement tree = 16.5" x \$194/inch = \$3,201.00 S. University - 3"x3"x3"x2" = 11" x \$194/inch = \$2,134.00 Total = \$7,666.00
Street Tree Escrow	\$1.30 per lf of street frontage (1 tree per 45 linear feet)	S. University St., 182 ft 182ft x \$1.30 = \$236.60 (4 proposed street trees) E. University, 109 ft 45ft x 1 existing trees = 45 feet 109-45 = 64ft x \$1.30 = \$83.20 (2 proposed street trees) Church St., 40 ft \$1.30 x 40ft = \$52.00 (1 proposed street tree) Total = \$371.80
Refuse/Recycling Container Screening	Screening to adjacent residential	NA - in alley
Vehicular Use Area Landscaping	NA	NA
Conflicting Land Use Buffers	NA	NA
Shared Driveway Buffer	8 foot buffer to adjacent property of non-served parcels	NA
Tree Mitigation	0.5' DBH per 1" DBH removed one 19'DBH landmark street tree to be removed	The street tree removal is being compensated for via the street tree canopy loss fee noted above. Therefore, no mitigation is proposed.

STREET TREE ESCROW

STREET TREE ESCROW OF \$371.80 WILL BE PROVIDED PRIOR TO ISSUING BUILDING PERMITS AND WILL BE REFUNDED AFTER CITY STAFF INSPECTION SHOWS LONG TERM SURVIVAL OF THE PROPOSED STREET TREES.

PARKS CONTRIBUTION

PER CITY OF ANN ARBOR DEVELOPER CONTRIBUTIONS FOR PARKS AND OPEN SPACE GUIDANCE, THE DEVELOPMENT WILL INCLUDE A CONTRIBUTION IN LIEU OF LAND TO THE CITY OF ANN ARBOR PARKS AND RECREATION AT A RATE OF 0.0124 ACRES PER RESIDENTIAL UNIT.

133 UNITS X 0.0125 ACRES X \$50,000 PER ACRE = \$83,125

NOTES

- THE DDA WILL OWN AND MAINTAIN THE BIKE HOOPS IN THE E. UNIVERSITY AVENUE AND CHURCH STREET RIGHT-OF-WAYS.
- THE DEVELOPER WILL PAY THE PARKING SPACE REMOVAL FEE AS IDENTIFIED BY THE DDA.

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

MIDWESTERN CONSULTING

3815 Plaza Drive Ann Arbor, Michigan 48108
 (734) 995-0200 • www.midwesternconsulting.com
 Land Development • Land Survey • Institutional • Municipal
 Wireless Communications • Transportation • Landfill Services

CLIENT

SOUTH UNIVERSITY-SOUTH, LLC
 30100 TELEGRAPH ROAD, SUITE 220
 BINGHAM FARMS, MI 48305
 SEAN T. HAVERA
 248-647-2600

THE VIC VILLAGE SOUTH

SITE PLAN

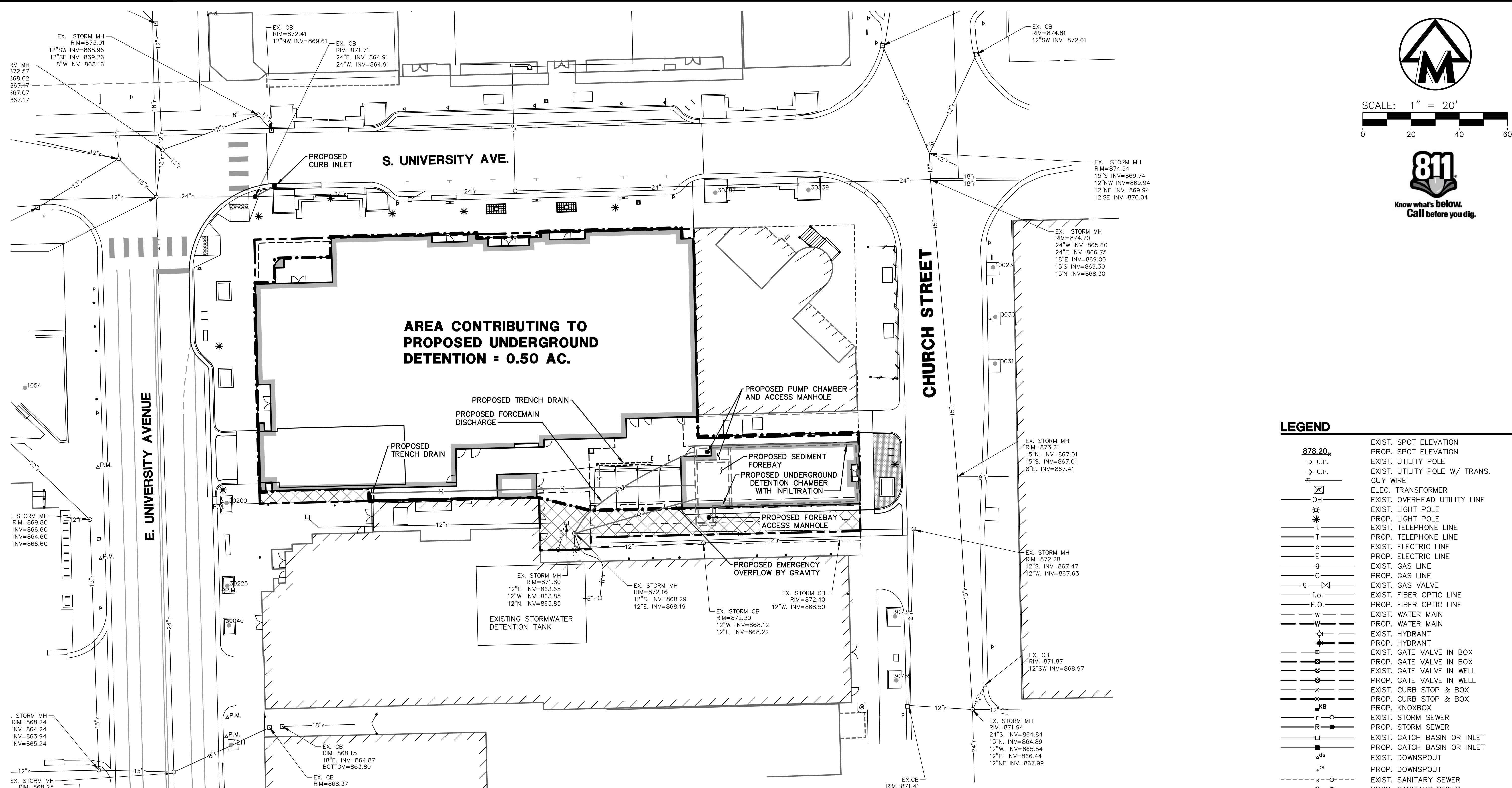
STREETSCAPE AND LANDSCAPE PLAN

9

JOB No. 15148

DATE: 8/20/19
 SHEET: 9 OF 32
 REV. DATE: 07/05/19
 ADD: GTS
 PER REVIEW COMMENTS: 08/08/19
 ENGR: SSF/TPH
 PER CITY COMMENTS: PM: TJC
 TECH: TJC
 DATE PLOTTED: 8/20/19
 PLOT BY: FBH

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AREA CONTRIBUTING TO PROPOSED UNDERGROUND DETENTION = 0.50 AC.

LEGEND	
878.20x	EXIST. SPOT ELEVATION
-o-U.P.	PROP. SPOT ELEVATION
-o-U.P.	EXIST. UTILITY POLE
-o-U.P.	EXIST. UTILITY POLE W/ TRANS. GUY WIRE
OH	ELEC. TRANSFORMER
OH	EXIST. OVERHEAD UTILITY LINE
*	EXIST. LIGHT POLE
*	PROP. LIGHT POLE
t	EXIST. TELEPHONE LINE
T	PROP. TELEPHONE LINE
e	EXIST. ELECTRIC LINE
E	PROP. ELECTRIC LINE
g	EXIST. GAS LINE
G	PROP. GAS LINE
g	EXIST. GAS VALVE
f.o.	EXIST. FIBER OPTIC LINE
F.O.	PROP. FIBER OPTIC LINE
w	EXIST. WATER MAIN
W	PROP. WATER MAIN
h	EXIST. HYDRANT
h	PROP. HYDRANT
h	EXIST. GATE VALVE IN BOX
h	PROP. GATE VALVE IN BOX
h	EXIST. GATE VALVE IN WELL
h	PROP. GATE VALVE IN WELL
h	EXIST. CURB STOP & BOX
h	PROP. CURB STOP & BOX
h	EXIST. KNOXBOX
h	PROP. KNOXBOX
r	EXIST. STORM SEWER
R	PROP. STORM SEWER
r	EXIST. CATCH BASIN OR INLET
R	PROP. CATCH BASIN OR INLET
ds	EXIST. DOWNSPOUT
ds	PROP. DOWNSPOUT
s	EXIST. SANITARY SEWER
S	PROP. SANITARY SEWER
→	DRAINAGE DIRECTION
P.M.	PARKING METER
MB	MAILBOX
tr	TELEPHONE RISER
cov	CABLE TELEVISION RISER
em	ELECTRIC METER
wm	WATER METER
gm	GAS METER
fb	FIBER OPTIC MARKER
•	POST
---	DRAINAGE AREA BOUNDARY
---	ONSITE AREAS TO BE DETAINED IN 611 E. UNIVERSITY STORMWATER SYSTEM

STORMWATER NARRATIVE

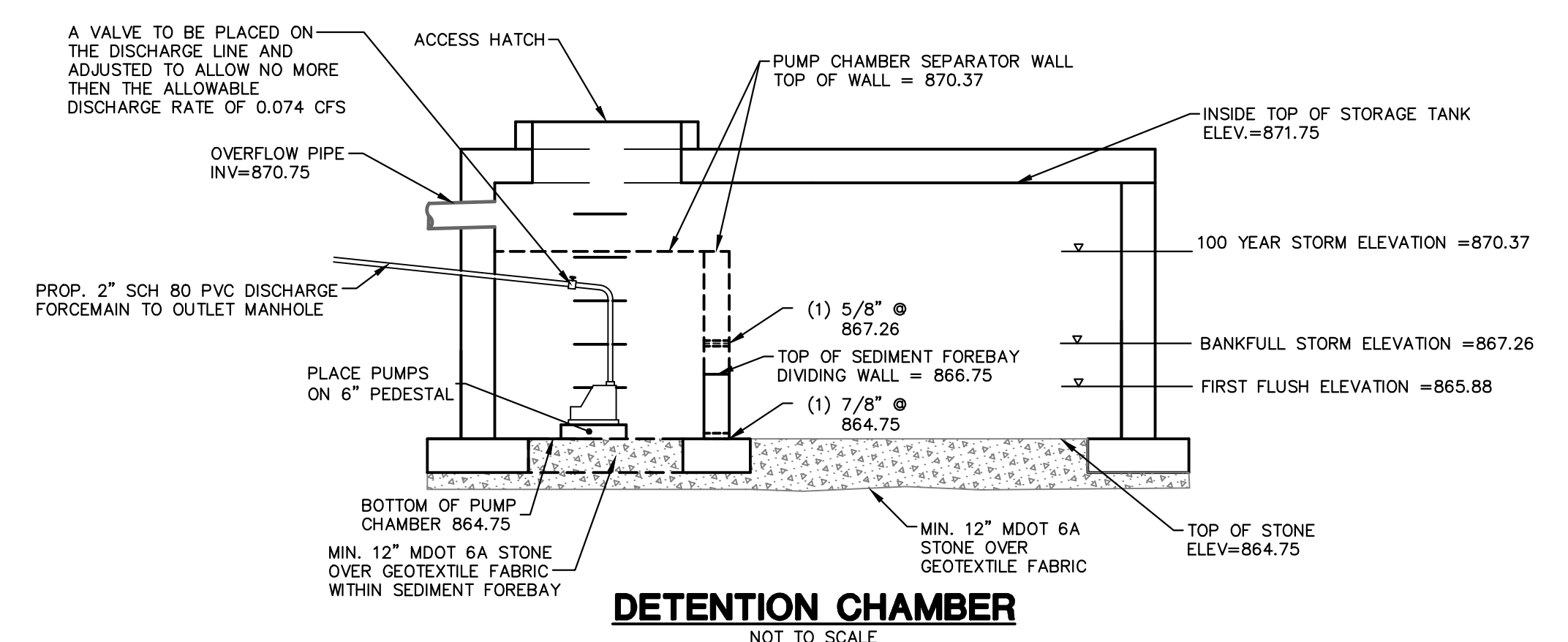
THE PROPOSED BUILDING ROOF DRAINAGE WILL BE ROUTED TO THE DETENTION CHAMBER LOCATED BELOW THE TENANT E BUILDING. RUNOFF FROM A PORTION OF THE SURFACE PARKING/REFUSE MANAGEMENT AREA WILL BE COLLECTED AND ROUTED TO THE DETENTION CHAMBER. THE DETENTION SYSTEM HAS BEEN SIZED TO PROVIDE FIRST FLUSH, BANKFULL, AND 100-YEAR STORM DETENTION.

SMALL PORTIONS OF THE SITE, INDICATED BY HATCHES ON THIS PLAN, WILL DRAIN TO AND BE MANAGED BY THE STORMWATER CONVEYANCE AND DETENTION SYSTEM INSTALLED AS PART OF THE 611 E. UNIVERSITY SYSTEM.

THE DETENTION CHAMBER WILL HAVE AN OPEN BOTTOM TO PERMIT INFILTRATION INTO THE SANDY SOIL. A SEDIMENT FOREBAY WILL BE PROVIDED TO PROVIDE PRE-TREATMENT AND MAINTAIN THE INFILTRATION CAPABILITIES OF THE BOTTOM OF THE DETENTION CHAMBER.

WHILE INFILTRATION IS EXPECTED, THE UNDERGROUND DETENTION VOLUME AND ASSOCIATED OUTLETS HAVE BEEN CONSERVATIVELY DESIGNED FOR A SCENARIO IN WHICH NO INFILTRATION OCCURS. THE STORMWATER STORAGE VOLUME WILL BE DETAINED AND THEN GRAVITY DISCHARGE AT A CONTROLLED RATE THROUGH ORIFICES IN A WALL INTERIOR TO THE UNDERGROUND CHAMBER. FROM THERE STORMWATER WILL BE PUMPED AT A CONTROLLED RATE TO AN EXISTING STRUCTURE IN THE ALLEY, WHICH DISCHARGES TO THE EAST INTO THE EXISTING STORM SEWER IN CHURCH ST. ADDITIONALLY, A GRAVITY EMERGENCY OVERFLOW PIPE WILL BE PROVIDED AND CONNECTED TO THE EXISTING STRUCTURE IN THE ALLEY.

THE LONG TERM MAINTENANCE PLAN AND ESTIMATED COSTS ARE SHOWN ON SHEET 9.



DETENTION CHAMBER
NOT TO SCALE

MIDWESTERN CONSULTING

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Land Development • Land Survey • Institutional • Municipal
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BINGHAM FARMS, MI 48205
SEAN T. HAVERA
248-647-2600

THE VIC VILLAGE SOUTH

SITE PLAN

STORMWATER MANAGEMENT PLAN

DATE: 07/30/19

SHEET 12 OF 32

REV. DATE: 07/15/19

ADD: GTS

ENG: SGT/PH

PLN: TJC

TECH: JTB

FILE: 15148.dwg

JOB No. **15148**

12

SPA RESUBMISSION 02 8/8/2019
 SPA RESUBMISSION 7/5/2019
 SITE PLAN APPROVAL 5/30/2019
 DATE ISSUED
 T JV
 DRAWN BY
 DMM
 CHECKED BY

HOBBS + BLACK
 ARCHITECTS
 100 N. State St.
 Ann Arbor, MI 48104
 P.734.663.4189
 www.hobbs-black.com

VIC VILLAGE SOUTH
 1116 S. UNIVERSITY AVE.
 ANN ARBOR, MI 48104

PROJECT

CONSULTANT

NORTH ELEVATION

SHEET TITLE

17-000

PROJECT NUMBER

A-200

SHEET NUMBER



Drawing: P:\2017\170000\Drawings\SD\2017-08-08\Floor Plans_SPA_Resubmission_02.dwg
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 Layout: Model
 Plotted by: bballanz

SPA RESUBMISSION 02 8/8/2019
 SPA RESUBMISSION 7/5/2019
 SITE PLAN APPROVAL 5/30/2019
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VIC VILLAGE SOUTH
 1116 S. UNIVERSITY AVE.
 ANN ARBOR, MI 48104

PROJECT

CONSULTANT

SOUTH ELEVATION

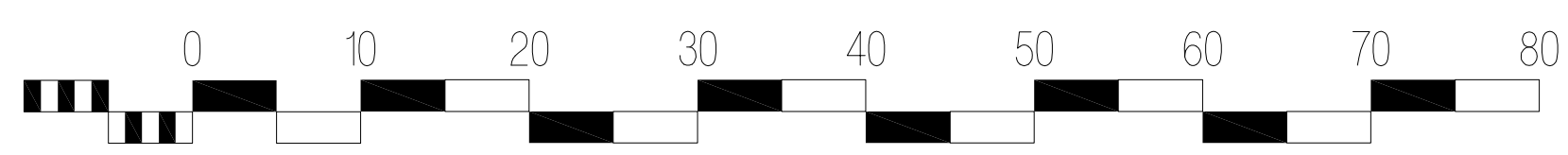
SHEET TITLE

17-000

PROJECT NUMBER

A-201

SHEET NUMBER



SOUTH ELEVATION
 SCALE - 3/32" = 1'-0"
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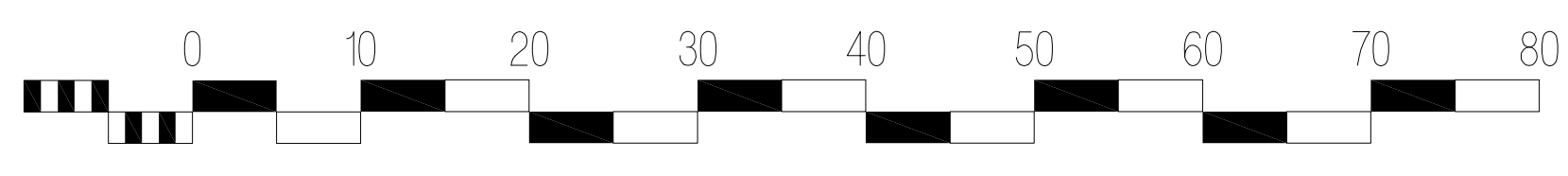
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SPA RESUBMISSION	7/5/2019
SITE PLAN APPROVAL	5/30/2019
DATE ISSUED	
DRAWN BY TJV	
CHECKED BY DMM	

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VIC VILLAGE SOUTH
 1116 S. UNIVERSITY AVE.
 ANN ARBOR, MI 48104

PROJECT
 CONSULTANT

WEST ELEVATION
 SHEET TITLE
 17-000
 PROJECT NUMBER
 A-202
 SHEET NUMBER



WEST ELEVATION
 SCALE - 3/32" = 1'-0"
 201908 FLOOR PLAN_SPA RESUBMISSION 02

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 Plotted by: twillanz

SPA RESUBMISSION 02	8/8/2019
SPA RESUBMISSION	7/5/2019
SITE PLAN APPROVAL	5/30/2019
DATE ISSUED	
TJV	
DRAWN BY	
DMM	
CHECKED BY	

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PROJECT

CONSULTANT

EAST ELEVATION

SHEET TITLE

17-000

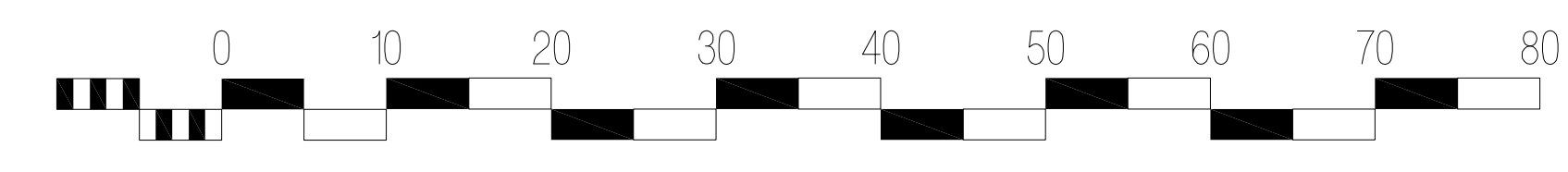
PROJECT NUMBER

A-203

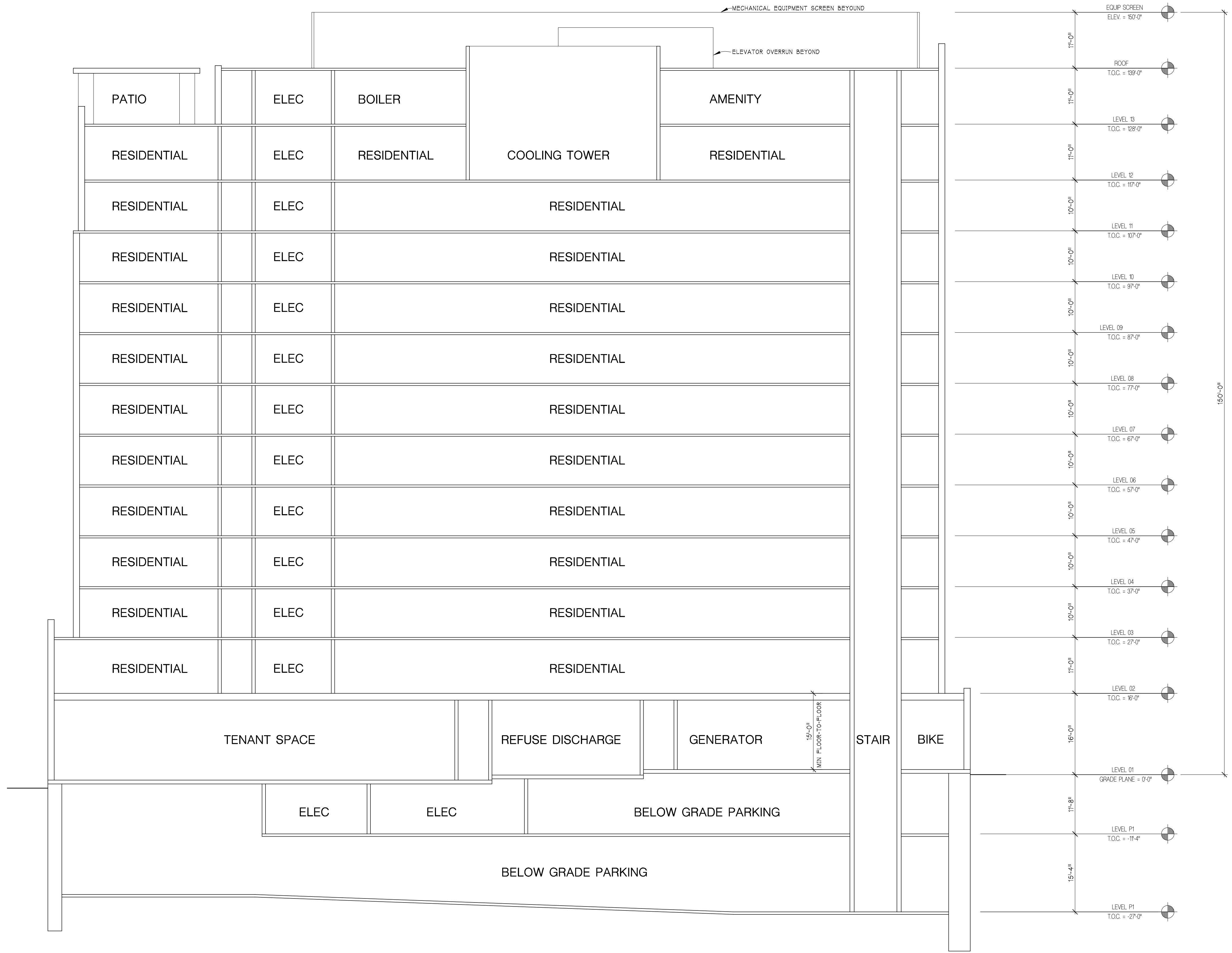
SHEET NUMBER



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 Date: Aug 06, 2019, 10:36am
 Layout: Model
 Plotted by: bhallan2



EAST ELEVATION
 SCALE - 3/32" = 1'-0"
201908 FLOOR PLANS_SPA RESUBMISSION 02



SPA RESUBMISSION 02	8/8/2019
SPA RESUBMISSION	7/5/2019
SITE PLAN APPROVAL	5/30/2019
DATE ISSUED	
DRAWN BY	TJV
CHECKED BY	DMM

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VIC VILLAGE SOUTH
 1116 S. UNIVERSITY AVE.
 ANN ARBOR, MI 48104

PROJECT
 CONSULTANT

BUILDING SECTION
 SHEET TITLE
 17-000
 PROJECT NUMBER
 A-300
 SHEET NUMBER

BUILDING SECTION
 SCALE - 3/32" = 1'-0"
 201908 FLOOR PLAN_SPA RESUBMISSION 02

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 Date: Aug 06, 2019, 10:34am
 Layout: Model
 Plotted by: bballanz



SPA RESUBMISSION 02	8/8/2019
SPA RESUBMISSION	7/5/2019
SITE PLAN APPROVAL	5/30/2019
DATE ISSUED	
DRAWN BY	TJV
CHECKED BY	DWM

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PROJECT

CONSULTANT

CORNER
PERSPECTIVE

SHEET TITLE

17-000
PROJECT NUMBER

A-400
SHEET NUMBER

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City of Ann Arbor

Formal Minutes

Design Review Board

301 E. Huron St.
Ann Arbor, MI 48104
<http://a2gov.legistar.com/Calendar.aspx>

Wednesday, May 8, 2019

3:00 PM

Larcom City Hall, 301 E Huron St, Second floor, City Council Chambers

Rescheduled from May 15, 2019

A CALL TO ORDER

Meeting called to order at 3:00 p.m.

B ROLL CALL

Others present: City Planner, Alexis DiLeo

Present 5 - Richard (Dick) Mitchell, William Kinley, Geoffrey M. Perkins, Gary Cooper, and Lori Singleton

Absent 1 - Tamara Burns

C APPROVAL OF AGENDA

D APPROVAL OF MINUTES

D-1 [19-0918](#) Design Review Board Minutes Meeting of April 10, 2019

Attachments: 4-10-2019 DRB Minutes.pdf

Moved by Perkins, seconded by Cooper, approved unanimously as presented and forwarded to the City Council.

E REGULAR BUSINESS

E-1 [19-0919](#) DR19-002; 545 S Main Street A design plan to redevelop the existing industrial facility at 545 South Main Street into a brewery and restaurant by adding a second floor to main building, restoring the façade, replacing some asphalt with landscaping and turf grass, and formalizing a smaller parking lot on the south side of the site. Site is approximately 45,000 square feet, zoned D2 (Downtown Interface)/First Street Character overlay district.

Attachments: DR19-002 545 S Main Staff Report (5-8-19).pdf,
DR19-002; 545 S Main Revised Submission Materials
(5-8-2019).pdf

The Design Review Board discussed the revised design plan for the proposed development at 545 South Main Street on May 8, 2019. They made the following comments and recommendations:

Continue to include a durable surface material for the outdoor space that can tolerate furniture and foot traffic.

Rotate the orientation of the parking stalls so that headlights do not shine directly into the outdoor open space. Provide a visual barrier between the parking lot and the outdoor space at least 3 feet tall.

Doorways and openings into the site could be made wider and more gracious.

Craft the site edges more thoughtfully to mask some of the furniture but allow glimpses to the buildings. Full exposure into the site is not the best way to say there is something wonderful on the other side.

Take care to provide a curated, composed, preconceived experience. Avoid promoting an eclectic, jumbled rummage aesthetic.

The rooftop seating would benefit from more shade. Be mindful of mitigating sound generated by the building operations and customers for adjacent neighbors.

The design guidelines for open space are intended to encourage more courtyards like those found in the Kerrytown area. If needed, more inspiration and design ideas can be found there.

- E-2** **19-0920** DR19-003; 1100 S University Ave A design plan for a 13-story high-rise on the south side of South U between East U and Church St. The building has a two-story streetwall on South U and East U, then steps back at the 3rd through 13th floors. A new alley along the south side of the site acts as a pedestrian connection between East U and Church St. A driveway to a vehicle ramp on Church St. leads to parking underneath the building. The building's exterior is a composition of brick with metal panel and stone accents, and a vertical glass element extends the height of the northwest corner. The site is 23,000 square feet, zoned D1 (Downtown Core) and South University character overlay district.

Attachments: DR19-003; Vic Village Staff Report (5-8-19).pdf, Vic Village South DRB Resubmission Materials (5-8-19) .pdf

The Design Review Board discussed the revised design plan for the proposed development Vic Village South at 1100 South University Avenue on May 8, 2019. The Design Review Board made the following comments and recommendations:

Continue to include the deep material reveals separating the masses of the upper levels throughout the site plan review and approval process.

Consider increasing the height of the South University Avenue streetwall at the residential entrance, and perhaps all three entrances, up to the height of the railing and eliminating the railing.

Consider switching the materials of the residential entrance and retail entrances so that the retail is emphasized rather than the residential lobby.

Continue to explore ways to activate the pedestrian alley and open space on the south side of the site.

Continue to explore designs for an exceptional, impressive, and noteworthy northwest corner. One change to consider is a two-story street-level entrance with a significant piece, such as a chandelier, in the space. The northwest corner of the building will be one of the most prominent, most viewed, and most visible corners in the entire downtown and must be made worthy of that position.

F PLANNING COMMISSION COMMUNICATIONS

G COMMUNICATIONS

H PUBLIC COMMENT (Three Minutes Per Speaker)

I ADJOURNMENT

Unanimously adjourned at 4:45 p.m.

Community Television Network Channel 16 live televised public meetings are also available to watch live online from CTN's website, www.a2gov.org/ctn, on "The Meeting Place" page (<http://www.a2gov.org/livemeetings>).

Live Web streaming is one more way, in addition to these listed below, to stay in touch with Ann Arbor City Council and board and commission actions and deliberations. Video on Demand: Replay public meetings at your convenience online at

www.a2gov.org/government/city_administration/communicationsoffice/ctn/Pages/VideoOnDemand.aspx

Cable: Watch CTN Channel 16 public meeting programming via Comcast Cable channel 16. The complete record of this meeting is available in video format at www.a2gov.org/ctn, on "The Meeting Place" page (<http://www.a2gov.org/livemeetings>), or is available for a nominal fee by contacting CTN at (734) 794 6150,

Tamara Burns, Chairperson of the Design Review Board

/kvl

Citizens' Participation Meeting Report

Project: **Vic Village South, 1116 S. University - Mixed Use Development - Ann Arbor, MI**

Meeting Date: **May 6, 2019**

Location: **Pizza House**

Time: **6:00pm-8:00pm**

The City Planning & Development Services provided a list of addresses to receive notice of the meeting. Approximately 1,403 postcards were mailed out on April 10, 2019 to the addresses provided by the City of Ann Arbor, describing the project and indicating the time, date and location of the Citizens' Participation Meeting (CPM).

At approximately 6:10 pm the meeting was convened by the Developer's Representative Sean T. Havera with South University – South, LLC and Project Architect, Diane McIntyre of Hobbs & Black. A sign in sheet was provided at the start of the meeting for participants to record their presence. At the start of the meeting there were 3 citizens in attendance with an additional 1 citizen joining the meeting around 7:00 pm.

Mr. Havera began the meeting by presenting the rest of the project team members including a representative from Midwestern Consulting the civil engineer, additional representatives of the developer, and additional team members from Hobbs & Black.

Diane McIntyre, of Hobbs and Black, outlined the process and requirements of obtaining site plan approval through the City's site plan process. She then proceeded to present the mixed-use project proposed for the South Side of South University Ave between E. University and Church St. to be called Vic Village South. The proposed project has frontage on S. University, E. University and Church St. consisting of active uses at street level including retail spaces and an entry into the residential floors of the building. The second floor is comprised of residential tenants and the building leasing office. Residual floors three through twelve contain the residential units consisting of one, two, three and four bedroom units. The thirteenth floor is comprised primarily of amenity space for the residential tenants and limited residential units. The project will also be utilizing the Affordable Housing premium. After the presentation, the meeting was opened to attendees for their questions and comments.

The following is a summary of comments and questions voiced by participants and answers provided (*answers/responses in italics*) by project team members:

1. What is the address for the project?

The address for the project is 1116 S. University.

2. How many affordable units are anticipated in the building?

There are anticipated to be between 13 – 14 affordable units based on the final Floor Area Ratio (FAR) of the project.

3. Are all of the affordable unit's single bedroom units?

Yes, all affordable units are anticipated to be single bedroom units and will meet the 80% AMI requirements of the zoning ordinance.

4. How does the affordable housing premium work?

For every affordable unit, with a minimum of 600 SF, you receive an additional 3,000 SF of FAR Premium Square Footage.

5. Is there a sunset provision for the affordable housing units?

It is our understanding, based on the current zoning ordinance, that the affordable units are required to remain in place for the life of the building. It is also our understanding that the City will place this requirement within the project Development Agreement.

6. How many units are in the project?

There are approximately 132 Units

7. Where are you in the development process?

We completed our first Design Review Board (DRB) review in March and will have our second meeting on May 8, 2019. We will be submitting our site plan application at the end of May and anticipate City Council approval by years end.

8. Is the building totally flush and what is the brick depth?

No, the building is not totally flush as there are several areas where we bring the face of the building out to create recesses in the façade. The brick is 3-5/8" in depth.

9. How wide are the pedestrian access sidewalk areas?

The pedestrian walkways along the south portions of the building vary from approximately 5' to 3'.

10. How many underground parking spaces are provided?

As currently designed, there are approximately 60 spaces in the two lower levels and 4 surface parking spaces. The developer will be working with the City and the DDA on meeting the additional requirements for parking through the DDA's parking in lieu options.

11. How many bicycle parking spaces are planned?

Approximately 100 bike parking spaces are planned for the project.

12. Will you have zip cars?

We will discuss this option with Zip Cars and Maven both. From our experience on the Vic Village North project, they have not been interested in adding additional spaces into their systems in Ann Arbor.

13. How many retail spaces are there and what are the rental rates?

There are currently 5 retail spaces on the ground floor. The rental rates have not been set at this time.

14. Are there any provisions for Uber or Lyft loading and unloading?

There is currently no loading or unloading areas designed along the frontages of the project on our site, or within the public rights-of-way as we have to meet the requirements of the DDA streetscape plans for these areas. However, we noted that there are several loading areas on both Church St. and on E. University. We will work with our operator to inform tenants of these loading areas when they are using Uber, Lyft or similar services.

15. Will the sidewalk be closed?

We will be working with the City regarding the overall logistical plan for the project. It is our anticipation that the sidewalk will be closed for a majority of the project. Per City of Ann Arbor Requirements, pedestrians will be directed to cross at E. University and Church St. to use the S. University sidewalk on the North Side of the street in lieu of using the sidewalk in front of this project. We will not have the sidewalk on South University closed at the same time on both the north and south sides of the Street.

16. Will there be uplighting?

We have not yet planned the exterior lighting of the building. We are aware of the Dark Sky Ordinance that is currently being evaluated by the City. Should such an ordinance be enacted, we will make sure we consider it in our building lighting design.

17. How will noise from the Mechanical Equipment be handled?

We have placed the major pieces of mechanical equipment on the roof and will screen these areas to further minimize noise transmission. The generator, located on the ground floor, is designed to be enclosed and necessary acoustic measures will be taken to ensure that we adhere to the City of Ann Arbor noise ordinance.

18. Will you be pursuing LEED certification?

We will not be pursuing formal LEED Certification through the USGBC. However, many of the items outlined in the LEED Program are being applied. These include onsite storm water management, energy efficient lighting, and energy efficient HVAC systems.

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Approximately 100 bike parking spaces are planned for the project.

12. Will you have zip cars?

We will discuss this option with Zip Cars and Maven both. From our experience on the Vic Village North project, they have not been interested in adding additional spaces into their systems in Ann Arbor.

13. How many retail spaces are there and what are the rental rates?

There are currently 5 retail spaces on the ground floor. The rental rates have not been set at this time.

14. Are there any provisions for Uber or Lyft loading and unloading?

There is currently no loading or unloading areas designed along the frontages of the project on our site, or within the public rights-of-way as we have to meet the requirements of the DDA streetscape plans for these areas. However, we noted that there are several loading areas on both Church St. and on E. University. We will work with our operator to inform tenants of these loading areas when they are using Uber, Lyft or similar services.

15. Will the sidewalk be closed?

We will be working with the City regarding the overall logistical plan for the project. It is our anticipation that the sidewalk will be closed for a majority of the project. Per City of Ann Arbor Requirements, pedestrians will be directed to cross at E. University and Church St. to use the S. University sidewalk on the North Side of the street in lieu of using the sidewalk in front of this project. We will not have the sidewalk on South University closed at the same time on both the north and south sides of the Street.

16. Will there be uplighting?

We have not yet planned the exterior lighting of the building. We are aware of the Dark Sky Ordinance that is currently being evaluated by the City. Should such an ordinance be enacted, we will make sure we consider it in our building lighting design.

17. How will noise from the Mechanical Equipment be handled?

We have placed the major pieces of mechanical equipment on the roof and will screen these areas to further minimize noise transmission. The generator, located on the ground floor, is designed to be enclosed and necessary acoustic measures will be taken to ensure that we adhere to the City of Ann Arbor noise ordinance.

18. Will you be pursuing LEED certification?

We will not be pursuing formal LEED Certification through the USGBC. However, many of the items outlined in the LEED Program are being applied. These include onsite storm water management, energy efficient lighting, and energy efficient HVAC systems.

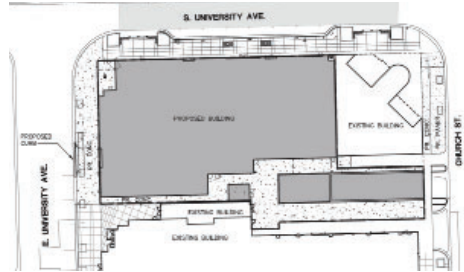
RESIDENT PARTICIPATION MEETING!

A PUBLIC MEETING IS BEING HELD BY South University-South, LLC
FOR A PROJECT AT 1100, 1104-1106, 1108, 1112, 1114 S. University,
609 E. University, and 610 Church St.

The proposed development includes a 13-story mixed-use high-rise building with underground parking. The first story is primarily commercial space. Student-focused housing and affordable housing units are on the second through thirteenth floors.



Conceptual Site Plans:



MEETING INFORMATION

Date: Monday, May 6, 2019

Time: 6:00 PM - 8:00PM

Place: Pizza House Restaurant, 2nd Floor

618 Church Street, Ann Arbor, MI 48104

Accommodations for individuals with disabilities can be arranged by contacting: Tom Covert at tjc@midwesternconsulting.com or phone at 734-995-0200 at least 24 hours in advance of the meeting.

In accordance with the City of Ann Arbor's Citizen Participation Ordinance, the Developer for the above project is notifying residents and property owners within 1,000 feet of the above address. If this project is placed on an agenda for the City Planning Commission, the City of Ann Arbor will notice residents and property owners within 300 ft. of the above address. If you would like to be notified if this project is placed on a City Planning Commission agenda, please contact City of Ann Arbor Planning Services at 734-794-6265 or planning@a2gov.org.

~~South~~ Village South Citizenry mtg - 1116 S. University

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