

PROPRIETOR

ANN ARBOR BEST HOSPITALITY
31100 STEPHENSON HWY.
MADISON HEIGHTS, MI 48071
(248) 281-4168 p
ATTN: CHRIS ABBO

CIVIL ENGINEER :

GIFFELS WEBSTER
1025 E. MAPLE ROAD, SUITE 100
BIRMINGHAM, MI 48009
(586) 781-8950 p
(586) 781-8951 f
ATTN: ANDY WAKELAND, PE

LANDSCAPE ARCHITECT :

GIFFELS WEBSTER
1025 E. MAPLE ROAD, SUITE 100
BIRMINGHAM, MI 48009
(586) 781-8950 p
(586) 781-8951 f
ATTN: MARK HANSEN, BLA, RLA

ARCHITECT :

BOWERS+ASSOCIATES
2400 SOUTH HURON PARKWAY
ANN ARBOR, MI 48104
(734) 975-2400 p
(734) 975-2410 f
ATTN: SCOTT BOWERS, AIA

NATURAL FEATURES STATEMENT OF IMPACT

THERE ARE NO IDENTIFIED NATURAL FEATURES OR LANDMARK TREES BEING IMPACTED ON SITE, THEREFORE THERE IS NO IMPACT TO NATURAL FEATURES

REZONING PETITION

THE LAND IS CURRENTLY ZONED R5. THE OWNER IS PETITIONING FOR THE LAND TO BE REZONED AS C3

STATEMENT OF INTEREST

THERE IS ONE CURRENT OWNER WHOSE INTENT IS TO PROVIDE IMPROVEMENTS TO HIS LAND

DEVELOPMENT PROGRAM

THE PROPOSED USE FOR THE LAND IS HOTELS. THIS PROJECT CONSISTS OF THE CONSTRUCTION OF TWO NEW HOTELS ON A CURRENTLY VACANT LOT (PREVIOUSLY THE MICHIGAN INN), WITH 19,620 SF AND 15,300 SF (34,920 SF TOTAL) OF NEW FLOOR AREA EACH. THIS PROJECT INCLUDES NEW LANDSCAPING, STORM WATER IMPROVEMENTS, WATER MAIN CONSTRUCTION, AND SANITARY MAIN CONSTRUCTION. PARKING AND DENSITY CALCULATIONS ARE PROVIDED ON THE GEOMETRIC PLAN INCLUDED WITH THIS SET. THIS DEVELOPMENT IS SCHEDULED TO BE BUILT AS ONE PHASE. THE ESTIMATED CONSTRUCTION COST IS IN THE RANGE OF TWENTY SEVEN MILLION DOLLARS.

COMMUNITY ANALYSIS

- A) THIS PROJECT WILL PROVIDE A POSITIVE IMPACT ON PUBLIC SCHOOLS, PROVIDING TAXES WHILE NOT IMPACTING THE NUMBER OF STUDENTS ENROLLED.
- B) THE RELATIONSHIP OF THIS PROJECT TO THE NEIGHBORING USE WOULD NOT CHANGE.
- C) THERE SHOULD BE NO IMPACT OF ADJACENT USES ON PROPOSED DEVELOPMENT.
- D) THIS PROJECT WILL NOT CHANGE THE AIR QUALITY. THIS PROJECT WILL IMPROVE THE QUALITY OF THE STORM WATER RUNOFF. THIS PROJECT WILL IMPROVE THE NATURAL FEATURES WITH NEW LANDSCAPING AND IMPROVED STORM WATER MANAGEMENT.
- E) THIS PROJECT IS NOT LOCATED WITHIN A HISTORIC DISTRICT AND WILL NOT IMPACT ANY KNOWN HISTORIC SITES OR STRUCTURES.
- F) THERE ARE NO WOODLANDS, WETLANDS, WATER COURSES, LANDMARK TREES, OR STEEP SLOPES ON THIS SITE AS INDICATED ON THE TOPOGRAPHIC SURVEY. THERE IS NO EVIDENCE OF ENDANGERED SPECIES ON THE SITE.

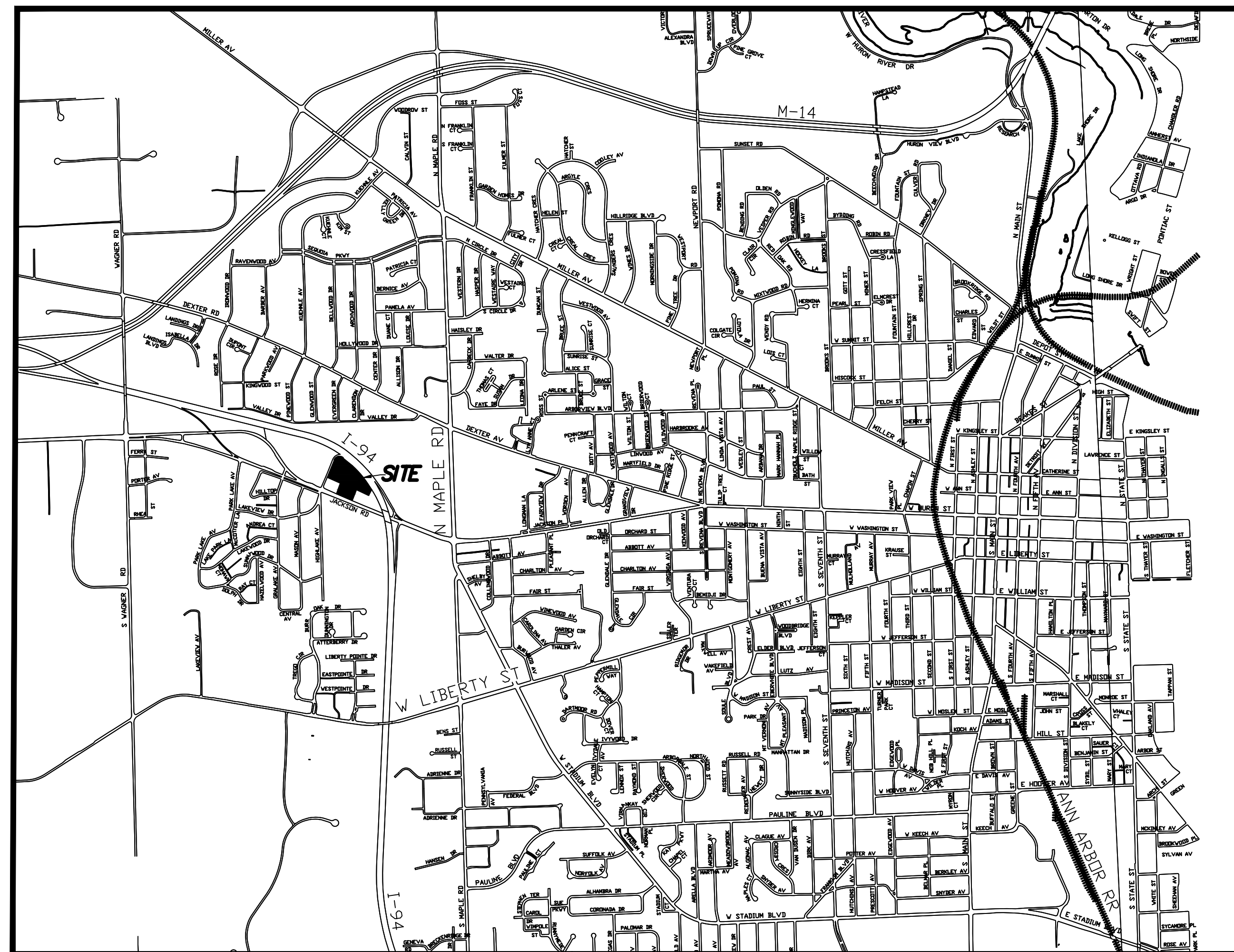
TRAFFIC IMPACT STATEMENT

INSTITUTE OF TRANSPORTATION ENGINEERS.
LODGING - ALL SUITES HOTEL (311)
ALOFT:
IV: ROOMS
NO OF RMS: 128
TRIP TYPE: VEHICLE
46 TOTAL VEHICLE TRIPS PER PEAK HOUR
FITTED CURVE EQN: TRIPS = .046(RMS)-16.22
HOME2:
IV: ROOMS
NO OF RMS: 107
TRIP TYPE: VEHICLE
33 TOTAL VEHICLE TRIPS PER PEAK HOUR
FITTED CURVE EQN: TRIPS = .046(RMS)-16.22
COMBINED TRIPS OF ALOFT AND HOME2:
79 TOTAL VEHICLE TRIPS PER PEAK HOUR

2800 JACKSON AVENUE HOTELS

SITE PLAN & REZONING PLANS

2800 JACKSON AVENUE
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN
SECTION 25, T-2-S, R-5-E



CITY OF ANN ARBOR REFERENCE MAP
(NOT TO SCALE)



LOCATION MAP
(NOT TO SCALE)

SHEET INDEX

- 01 COVER
- 02 TOPOGRAPHIC SURVEY
- 03 TOPOGRAPHIC SURVEY
- 04 DEMOLITION PLAN
- 05 SITE PLAN
- 06 GRADING PLAN
- 07 UTILITY PLAN
- 08 STORM WATER MANAGEMENT PLAN
- 09 SOIL EROSION PLAN
- 10 SOLID WASTE PLAN
- 11 SITE DETAILS
- 12 STORM WATER DETAILS

- L1 LANDSCAPE PLAN
- L2 LANDSCAPE DETAILS

- 1 OF 2 ALTA/NSPS LAND TITLE & TOPOGRAPHIC SURVEY
- 2 OF 2 ALTA/NSPS LAND TITLE & TOPOGRAPHIC SURVEY

- ALOFT HOTEL
- A1.00 FIRST FLOOR PLAN
- A1.01 TYPICAL UPPER FLOOR PLANS
- A5.00 EXTERIOR ELEVATIONS
- A5.01 EXTERIOR ELEVATIONS

- HOME2
- A1.00 FIRST FLOOR PLAN
- A1.01 TYPICAL UPPER FLOOR PLAN
- A5.00 EXTERIOR ELEVATIONS
- A5.01 EXTERIOR ELEVATIONS

- A6.00 SITE SECTION

- PH1.00 PHOTOMETRIC SITE PLAN

BENCHMARKS

(CITY OF ANN ARBOR NAVD88) DATUM

SITE BENCH MARK NO. 1
CHISELED "X" ON TOP OF A NORTH-SIDE LIGHT POLE'S CONCRETE BASE, LOCATED ON THE NORTHWEST CORNER OF THE PARKING LOT FOR BUILDING NO. 2740.
ELEVATION: 946.65'

SITE BENCH MARK NO. 2
ARROW ON HYDRANT (2009), LOCATED ON THE NORTHWEST CORNER OF THE DRIVEWAY APPROACH FOR ADDRESS 2800 JACKSON AVENUE, PLUS OR MINUS 300 FEET EAST OF I-94 ENTRANCE RAMP.
ELEVATION: 955.19'

SITE BENCH MARK NO. 3
MAG. NAIL ON THE SOUTHERLY FACE OF A LIGHT POLE, LOCATED ON THE NORTHWEST CORNER OF JACKSON AVENUE AND THE I-94 EAST ENTRANCE RAMP.
ELEVATION: 957.52'

LEGAL DESCRIPTION

(PER TAX RECORDS)

PART OF THE NORTHEAST 1/4 OF SECTION 25, TOWN 2 SOUTH, RANGE 5 EAST, COMMENCING AT THE NORTHEAST CORNER OF SECTION 25, TOWN 2 SOUTH, RANGE 5 EAST, THENCE SOUTH 88 DEGREES 53 MINUTES WEST, 1897.96 FEET, THENCE SOUTH 04 DEGREES 41 MINUTES WEST 813.49 FEET, THENCE NORTH 22 DEGREES 11 MINUTES EAST 79.53 FEET FOR POINT OF BEGINNING, THENCE CONTINUING NORTH 22 DEGREES 11 MINUTES EAST 370.91 FEET, THENCE ALONG THE SOUTHWESTERLY LINE OF I-94 RIGHT-OF-WAY, 614.6 FEET ON AN ARC OF A CIRCULAR CURVE CONCAVE TO THE SOUTHWEST, RADIUS OF 1713.57 FEET, CHORD SOUTH 45 DEGREES 36 MINUTES 10 SECONDS EAST 611.23 FEET, THENCE SOUTH 22 DEGREES 18 MINUTES WEST 139.38 FEET, THENCE NORTH 67 DEGREES 44 MINUTES WEST 150 FEET, THENCE SOUTH 22 DEGREES 18 MINUTES WEST 150 FEET, THENCE NORTH 67 DEGREES 44 MINUTES WEST 285 FEET, THENCE NORTH 22 DEGREES 11 MINUTES EAST 150.71 FEET, THENCE NORTH 68 DEGREES 18 MINUTES WEST 150 FEET TO THE POINT OF BEGINNING.

(AS FIELD SURVEYED)

PART OF THE NORTHEAST 1/4 OF SECTION 25, TOWN 2 SOUTH, RANGE 5 EAST, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS: COMMENCING AT SAID NORTHEAST CORNER OF SECTION 25, THENCE SOUTH 88 DEGREES 36 MINUTES 43 SECONDS WEST, 1893.83 FEET; THENCE SOUTH 04 DEGREES 34 MINUTES 39 SECONDS WEST, 814.05 FEET; THENCE NORTH 21 DEGREES 52 MINUTES 43 SECONDS EAST, 79.53 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 21 DEGREES 52 MINUTES 43 SECONDS EAST, 370.61 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT OF WAY LINE OF THE I-94 EXPRESSWAY; THENCE ALONG SAID SOUTHWESTERLY RIGHT OF WAY LINE ALONG A NON-TANGENT CURVE TO THE RIGHT 614.23 FEET, SAID CURVE HAVING A RADIUS OF 1713.57 FEET, A CENTRAL ANGLE OF 20 DEGREES 32 MINUTES 15 SECONDS AND A CHORD BEARING SOUTH 45 DEGREES 54 MINUTES 16 SECONDS EAST, 610.94 FEET; THENCE SOUTH 21 DEGREES 59 MINUTES 43 SECONDS WEST, 139.95 FEET; THENCE NORTH 68 DEGREES 02 MINUTES 17 SECONDS WEST 150.00 FEET; THENCE SOUTH 22 DEGREES 11 MINUTES 29 SECONDS WEST 150.48 FEET; THENCE NORTH 68 DEGREES 02 MINUTES 17 SECONDS WEST 264.40 FEET; THENCE NORTH 21 DEGREES 52 MINUTES 43 SECONDS E. 150.17 FEET; THENCE NORTH 68 DEGREES 30 MINUTES 17 SECONDS WEST 150.00 FEET TO THE POINT OF BEGINNING.

(TOTAL ACERAGE: 4.475 ACRES)

(TOTAL ACERAGE OF PUBLIC/PRIVATE ROADS: 0 ACRES)

NOT TO BE USED AS
CONSTRUCTION DRAWINGS

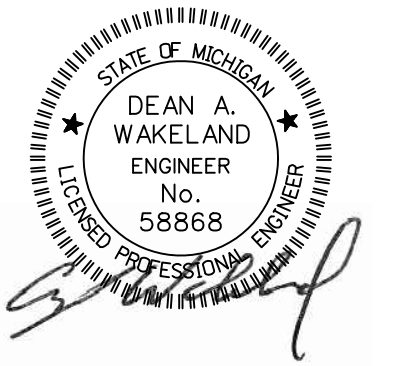


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	T-2-S R-5-E

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COVER

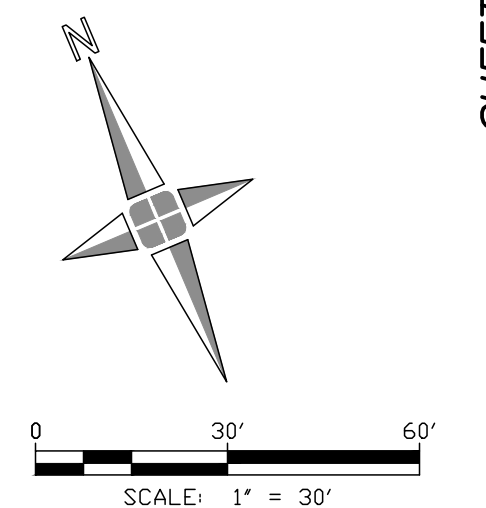
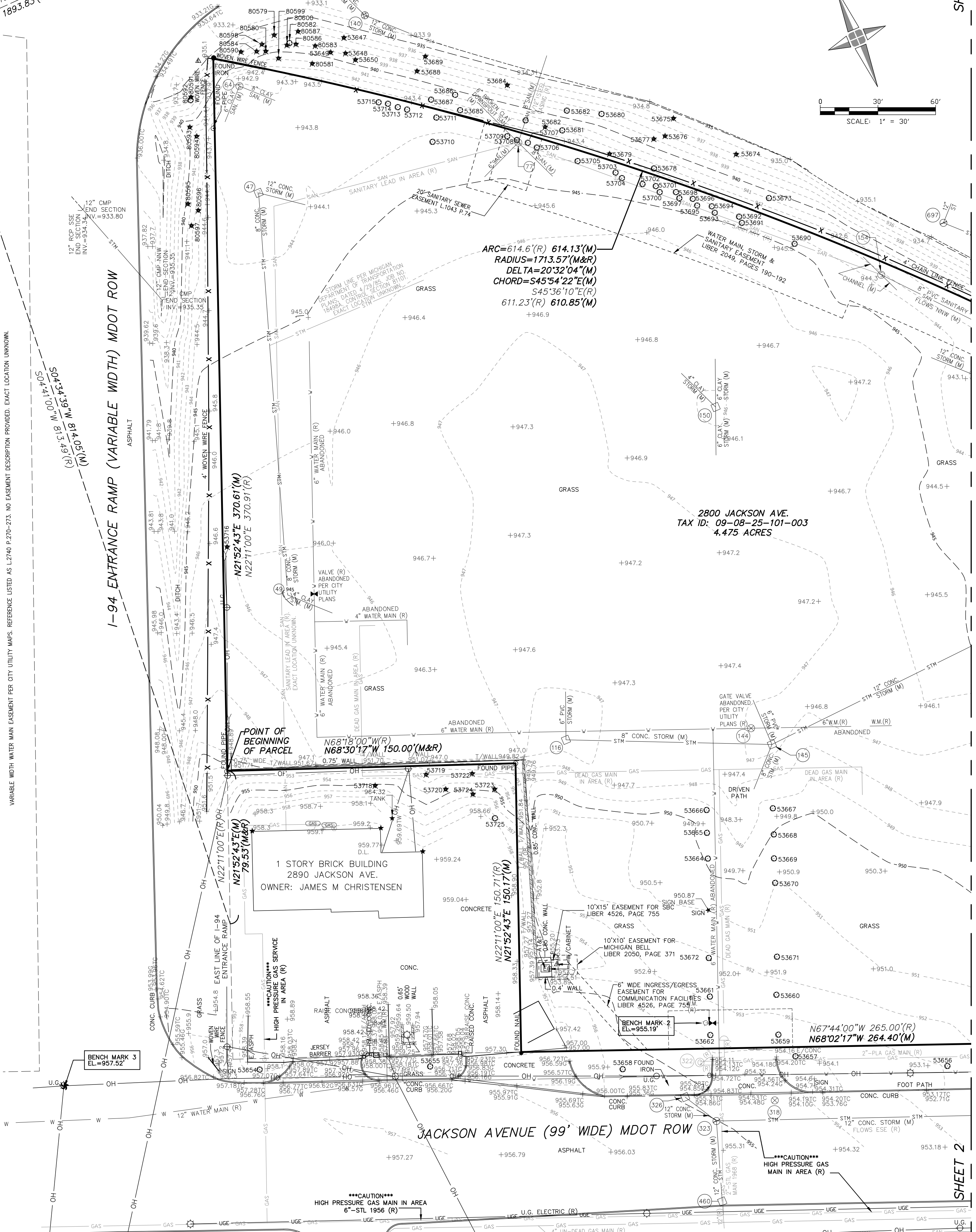
2800 JACKSON AVENUE
HOTELS

CITY OF ANN ARBOR
WASHTENAW COUNTY
MICHIGAN

Date:	08.29.2018
Scale:	
Sheet:	01
Project:	19452.00

H:\19194001\19452 2800 Jackson Avenue Hotels\Drawing Files\Site plan\02.03 Topo.dwg

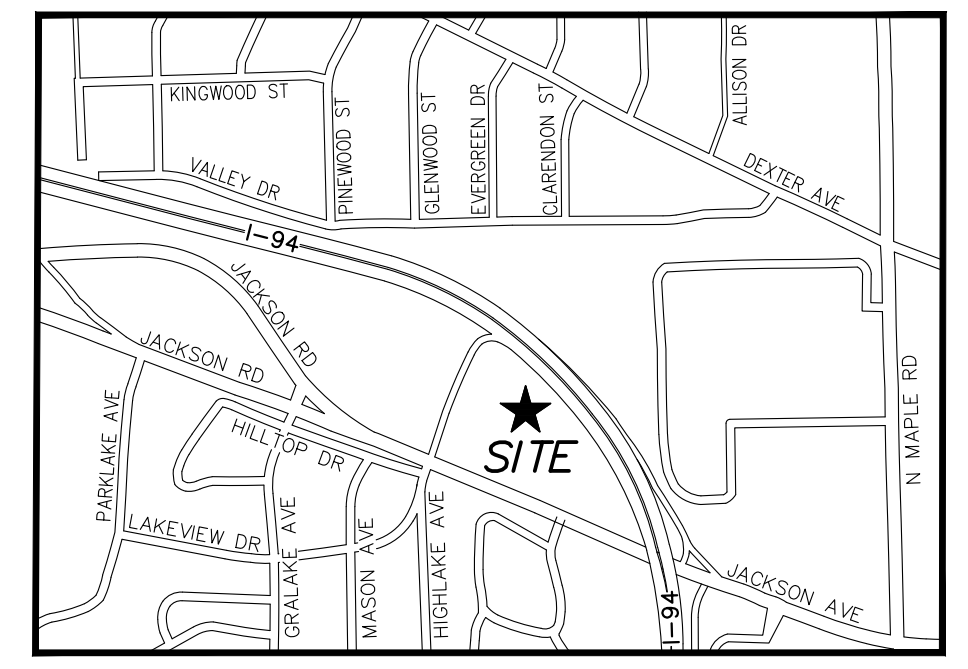
NORTHEAST CORNER OF SECTION 25,
T-02-S, R-05-E,
CITY OF ANN ARBOR, WASHTENAW CO., MI
S88°53'00"W 1897.96'(R)
588°36'43"W 1893.83'(M)



LEGEND - EXISTING

- SECTION LINE
- E/ PAVEMENT
- CURB
- E/ GRAVEL
- CL. ROAD
- E/ WALK
- E/ BRICK
- MISC. LINE
- GUARD RAIL
- WALL
- BLDG. LINE
- OVERHEAD WRES
- RAILING
- OVERHANG LINE
- T/ BANK
- B/ BANK
- CL. DITCH/STREAM
- SHRUB LINE
- TREE LINE
- WETLAND LINE
- STM
- STORM LINE
- SAN. LINE
- WATER LINE
- GAS LINE
- UG. ELEC. LINE
- PAINT STRIPE

- SAN. MH
- C.O. SAN. CLEAN OUT
- △ SAN. RISER
- SAN. PUMP STATION
- COMB. MH
- GATE VALVE
- WATER VALVE
- WATER METER
- POST INDICATOR VALVE
- WELL HEAD
- FDC CONNECTION
- IRRIGATION CONTROL BOX
- STORM MH
- CATCH BASIN
- BEEHIVE CB
- CULVERT E.S.
- ROOF/DOWN SPOUT
- OVERFLOW/OUTLET STRUCTURE
- C.O. STORM CLEAN OUT
- ROUND CB
- LIGHT POLE
- UTILITY POLE
- ELEC. TRANS.
- AIR CONDITIONER
- ELEC. MH
- ELEC. METER
- ELEC. RISER
- TRAFFIC CONTROL BOX
- STEAM MH
- PUBLIC LIGHTING MH
- GAS METER
- GAS RISER
- GAS VALVE
- GAS MH
- TELE. RISER
- TELE. MH
- TELE. CROSS BOX
- CABLE RISER
- MANHOLE
- SIGN
- PROT. POST/GUARD POST
- GUY
- DECIDUOUS TREE
- CONIFEROUS TREE
- DEAD TREE
- UTILITY FLAG
- ★ BLDG. CORNER (FIELD LOCATED)
- WETLAND FLAG
- BUSH/SHRUB
- PARKING METER
- RESIDENTIAL MAILBOX
- U.S. MAILBOX
- EXISTING ELEVATION
- SOIL BORING
- MONITORING WELL
- MISC. TOPO. SHOT
- SURVEY CONTROL POINT
- FOUND IRON
- FOUND NAIL
- SECTION COR.
- FENCE POST
- BENCHMARK
- FOUND PIPE
- FOUND MON.
- ASPH. ASPHALT
- CONC. CONCRETE
- A.C. AIR CONDITIONER
- C.L.F. CHAIN-LINK FENCE
- D.L. DOOR LEDGE
- F.F. FINISHED FLOOR
- O.H. OVERHANG
- S.I. FOUND IRON
- S.I. SET IRON
- F.I.P. FOUND IRON PIPE
- M. MEASURED
- R. RECORD
- F.M. FOUND MONUMENT
- S.N. SET NAIL
- CMP CORRUGATED METAL PIPE
- RCP REINFORCED CONCRETE PIPE



LOCATION MAP
(NOT TO SCALE)

PROPERTY DESCRIPTION

(PER TAX RECORDS)

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(AS FIELD SURVEYED)

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UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

(R) = UTILITY SHOWN FROM RECORDS OR PLANS, & FIELD LOCATED WHERE POSSIBLE.

PRIOR TO THE PLANNED BUILDING IMPROVEMENTS, AND/OR CONSTRUCTION, THE RESPECTIVE UTILITY COMPANIES MUST BE NOTIFIED TO STAKE THE PRECISE LOCATION OF THEIR UTILITIES.

NOTES:

- TELEPHONE, CABLE TV, STEAM, PUBLIC LIGHTING, AND UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.
- TREE SIZES AND SPECIES ARE THE BEST ESTIMATION OF THE FIELD SURVEYOR. SPECIFIC QUESTIONS REGARDING INDIVIDUAL TREES SHOULD BE DIRECTED TO A QUALIFIED FORESTER.
- THE BASIS OF BEARING FOR THE PROPERTY DESCRIPTION OVERALL PARCEL AS FIELD SURVEYED IS BASED ON STATE PLANE COORDINATE SYSTEM NAD83 MICHIGAN SOUTH ZONE.
- NO TITLE COMMITMENT POLICY WAS PROVIDED, THEREFORE EASEMENTS MAY EXIST THAT ARE NOT SHOWN.
- NO CERTIFICATION CAN BE MADE AS TO LIMITS OF OWNERSHIP.
- SEE SHEET 2 FOR STRUCTURE LIST.



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TOPOGRAPHIC SURVEY

2800 JACKSON AVENUE HOTELS

CITY OF ANN ARBOR
WASHTENAW COUNTY
MICHIGAN

Date:	08.29.2018
Scale:	1"=30'
Sheet:	02
Project:	19452.00

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TOPOGRAPHIC SURVEY

2800 JACKSON AVENUE
HOTELS

CITY OF ANN ARBOR
WASHTENAW COUNTY
MICHIGAN

Date:	08.29.2018
Scale:	1"=30'
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STRUCTURE	TYPE	SIZE OF PIPE	RIM	DROP	INVERT	DIRECTION	COMMENTS
47	CATCH BASIN	12" CONC	942.97	-2.80	940.17	SOUTHEAST	
		8" CONC	942.97	-3.00	939.97	SOUTH-SOUTHWEST	
49	CATCH BASIN	8" CONC	944.89	-3.37	941.52	NORTH-NORTHEAST	
		4" CLAY	944.89	-2.28	942.63	SOUTHEAST	
64	SANITARY MANHOLE	8" CLAY	942.74	-4.00	938.74	SOUTHEAST	INVERT PLUS OR MINUS
		6" CLAY	942.74	-3.90	938.84	SOUTHWEST	
77	SANITARY MANHOLE	6" BROKEN CLAY DOWNSPOUT	944.14	-12.80	931.34	NORTH-NORTHWEST	INVERT PLUS OR MINUS
		8"	944.14	-24.20	919.94	NORTH-NORTHEAST	
		6"	944.14	-11.22	932.92	WEST-SOUTHWEST	
116	CATCH BASIN	6" PVC	946.19	-2.60	943.59	NORTH-NORTHEAST	
		8" CONC	946.19	-4.10	942.09	EAST-SOUTHEAST TO 145	INVERT PLUS OR MINUS
140	BEEHIVE CATCH BASIN	12" CONC	932.51	-3.60	928.91	NORTH-NORTHWEST	INVERT PLUS OR MINUS. FULL OF DEBRIS.
		8" CONC	932.51	-3.60	928.91	SOUTHEAST	INVERT PLUS OR MINUS. FULL OF DEBRIS.
144	GATE VALVE	T/VALVE	947.04	-3.19	943.85	NO PIPES VISIBLE	FULL OF DEBRIS
		6" CONC	946.63	-5.88	940.75	NORTHWEST	
145	CATCH BASIN	6" PVC	946.63	-2.70	943.93	NORTH	
		12" CONC	946.63	-6.77	939.86	EAST	
		8" CONC	946.63	-5.88	940.75	SOUTHWEST	
		4" PVC	945.80	-0.90	944.90	NORTH-NORTHWEST	
150	CATCH BASIN	6" CLAY	945.80	-5.88	939.92	NORTH-NORTHEAST	
		8" CONC	945.80	-5.88	939.92	SOUTH-SOUTHWEST	
154	SANITARY MANHOLE	8" PVC	942.81	-7.30	935.51	SOUTHEAST	
		CL/CHANNEL	942.81	-21.85	920.96	SOUTH-SOUTHEAST	FLOWS NORTH-NORTHWEST
		12" CONC	942.80	-5.90	936.90	NORTHWEST	
		8" CONC	942.80	-6.52	936.28	NORTHEAST	
166	CATCH BASIN	12" CONC	942.80	-5.78	937.02	SOUTH-SOUTHEAST	
		12" CONC	942.80	-6.45	936.35	SOUTH-SOUTHWEST	
262	CATCH BASIN	12" CONC	944.75	-7.05	937.70	NORTH-NORTHEAST	
		8" CONC	944.75	-6.40	938.35	WEST-SOUTHWEST	
318	GATE VALVE	T/DEBRIS	954.30	-8.80	945.50	NO VALVE VISIBLE	INVERT PLUS OR MINUS. FULL OF WATER. FULL OF DEBRIS.
322	GAS MANHOLE (MI CONSOLIDATED GAS)	BOTTOM	954.44	-10.82	943.62		
			955.01	-3.70	951.31	NORTH-NORTHWEST TO 326	
323	STORM MANHOLE	12" CONC	955.01	-3.70	951.31	EAST-SOUTHEAST	
			955.01	-3.85	951.16	SOUTH-SOUTHWEST	
326	CATCH BASIN	12" CONC	954.92	-3.35	951.57	SOUTH-SOUTHEAST TO 323	
		BOTTOM	954.92	-5.60	949.32	NO OTHER PIPES VISIBLE	FULL OF WATER
460	CATCH BASIN	12" CONC	954.97	-3.75	951.22	NORTH-NORTHEAST	
		BOTTOM	954.97	-5.75	949.22	NO OTHER PIPES VISIBLE	
484	CATCH BASIN	T/DEBRIS	950.55	-4.80	945.75	NO PIPES VISIBLE	FULL OF WATER. FULL OF DEBRIS.
			950.75	-3.65	947.10	NORTH-NORTHEAST TO 484	
485	STORM MANHOLE	12" CONC	950.75	-4.30	946.45	EAST-SOUTHEAST	
			950.75	-4.50	946.25	SOUTH-SOUTHWEST TO 486	
			950.88	-4.15	946.73	NORTH-NORTHEAST TO 485	
486	STORM MANHOLE	12" CONC	950.88	-4.20	946.68	SOUTH-SOUTHWEST	
			950.88	-4.25	946.63	WEST-NORTHWEST	
			950.93	-3.43	947.50	NORTH-NORTHEAST TO 486	
			950.93	-3.70	947.23	SOUTH-SOUTHWEST	
524	CATCH BASIN	12" CONC	950.93	-5.85	945.08	NO OTHER PIPES VISIBLE	
		12" CLAY	935.07	-7.08	927.99	NORTHEAST	
697	STORM MANHOLE	12"	935.07	-8.46	926.61	SOUTH-SOUTHEAST	

BENCH MARK DATA

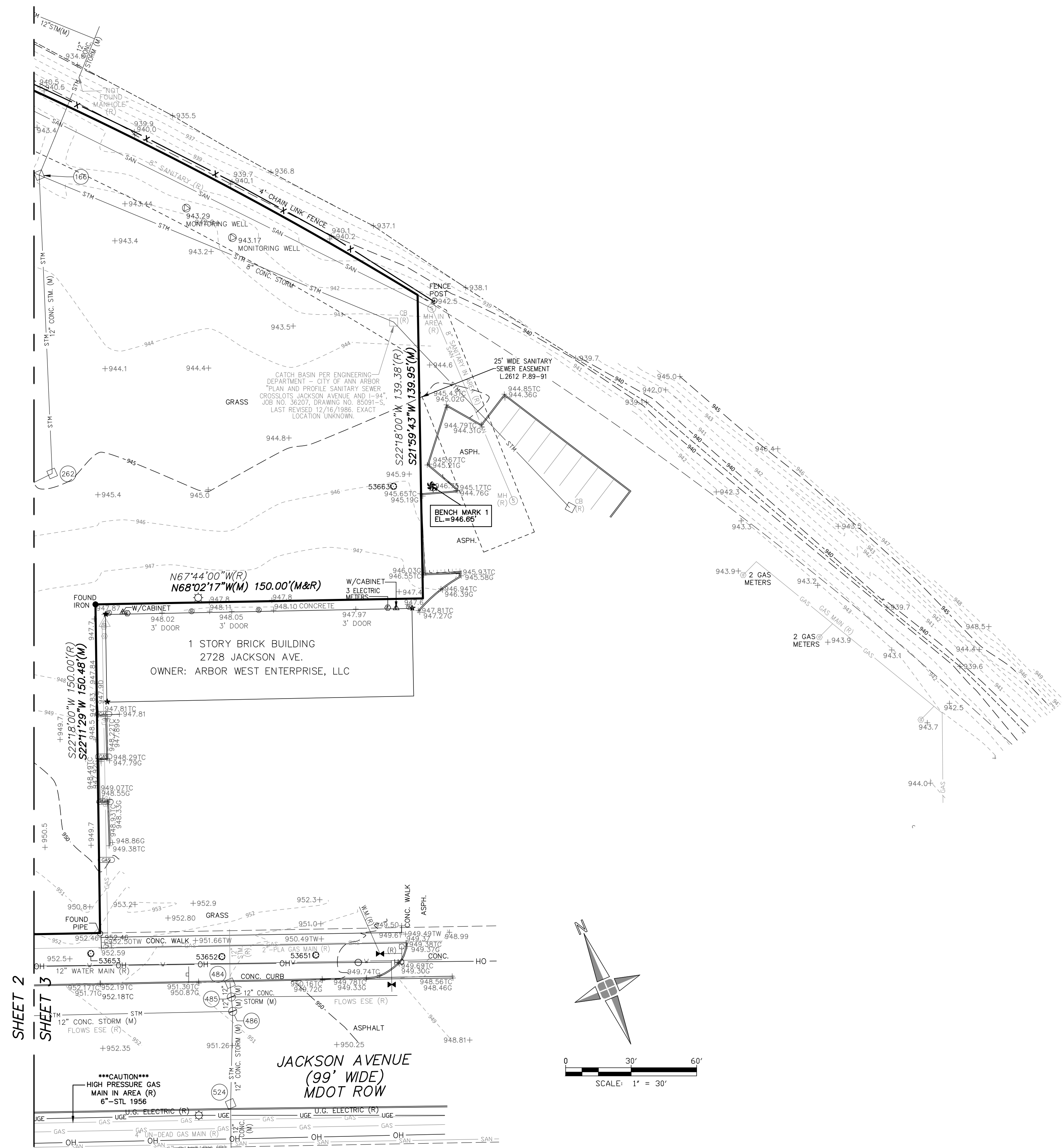
(CITY OF ANN ARBOR NAVD88) DATUM

SITE BENCH MARK NO. 1
CHISELED "X" ON TOP OF A NORTH-SIDE LIGHT POLE'S CONCRETE BASE, LOCATED ON THE NORTHWEST CORNER OF THE PARKING LOT FOR BUILDING NO. 2740.
ELEVATION: 946.65'
(SHOWN GRAPHICALLY)

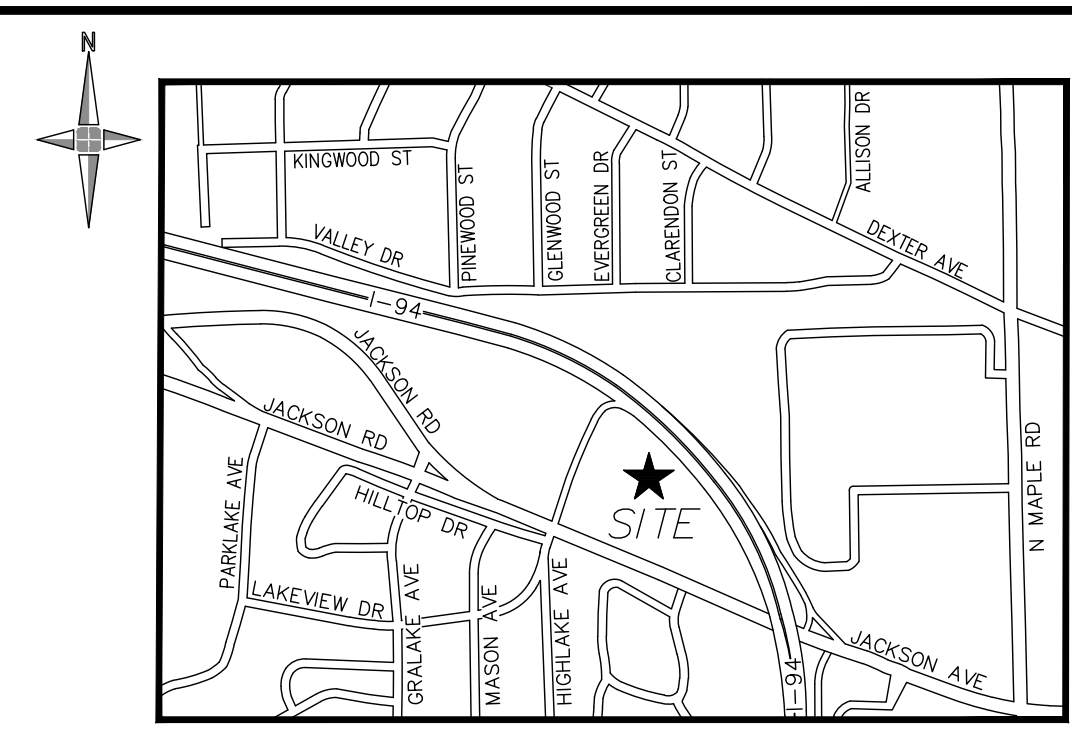
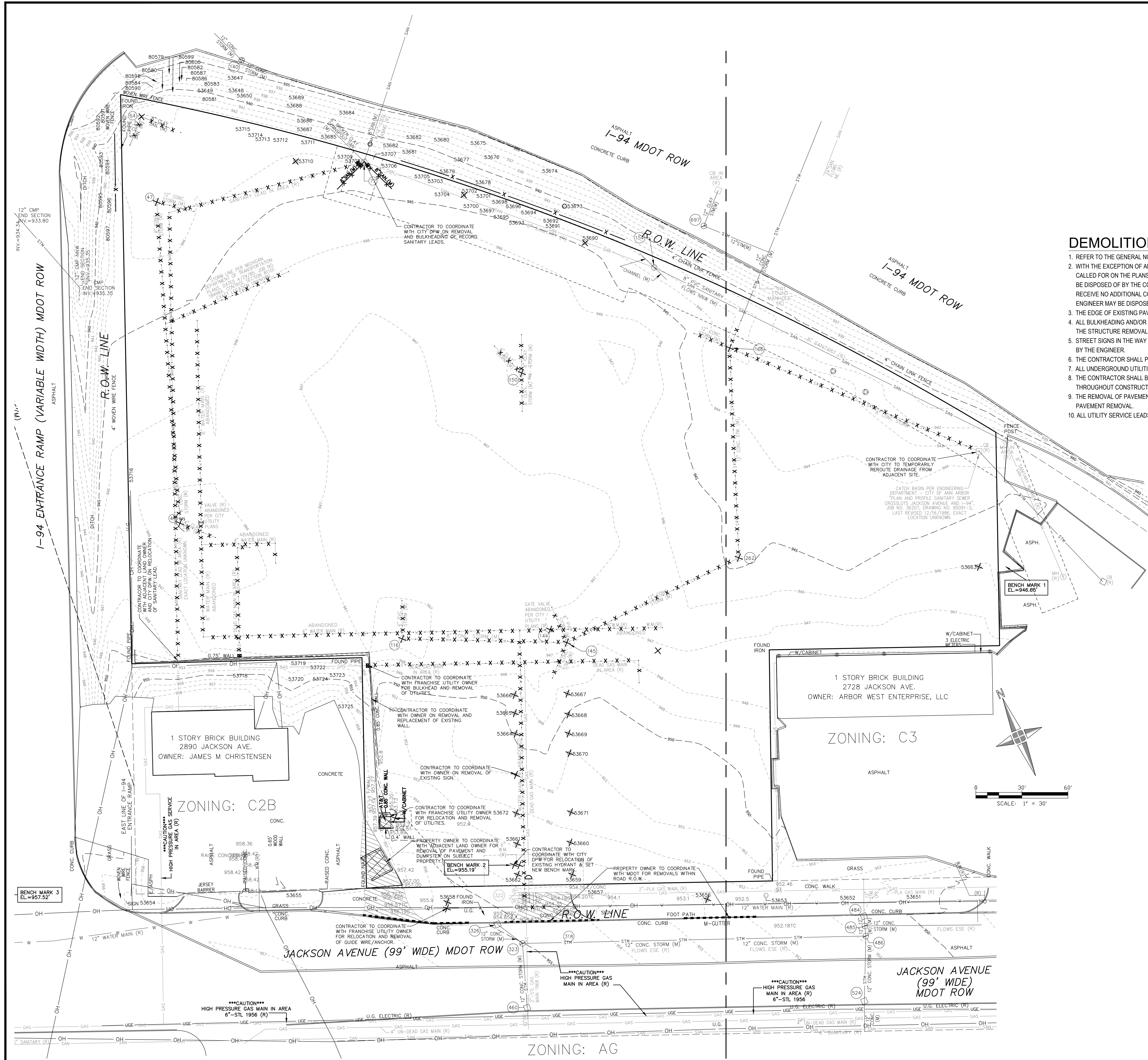
SITE BENCH MARK NO. 2
ARROW ON HYDRANT (2009), LOCATED ON THE NORTHWEST CORNER OF THE DRIVEWAY APPROACH FOR ADDRESS 2800 JACKSON AVENUE, PLUS OR MINUS 300 FEET EAST OF I-94 ENTRANCE RAMP.
ELEVATION: 955.19'
(SHOWN GRAPHICALLY)

SITE BENCH MARK NO. 3
MAG NAIL ON THE SOUTHERLY FACE OF A LIGHT POLE, LOCATED ON THE NORTHWEST CORNER OF JACKSON AVENUE AND THE I-94 EAST ENTRANCE RAMP.
ELEVATION: 957.52'
(SHOWN GRAPHICALLY)

SHEET 2
SHEET 3



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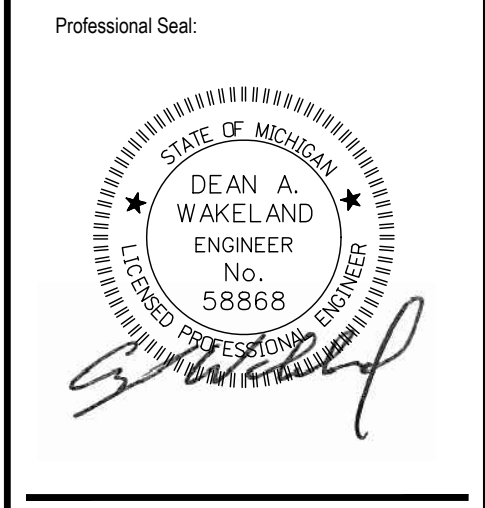


LOCATION MAP
(NOT TO SCALE)

DEMOLITION NOTES

- REFER TO THE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS AND RESPONSIBILITIES.
- WITH THE EXCEPTION OF AN AMOUNT OF EXCAVATED MATERIALS SUFFICIENT FOR BACKFILLING AND CONSTRUCTION OF FILLS AS CALLED FOR ON THE PLANS AND AS INDICATED BELOW, ALL BROKEN CONCRETE, STONE AND EXCESS EXCAVATED MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR WILL BE REQUIRED TO OBTAIN THEIR OWN DISPOSAL GROUND, AND WILL RECEIVE NO ADDITIONAL COMPENSATION FOR DISPOSING OF ANY OF THE EXCESS MATERIALS. MATERIALS ACCEPTABLE TO THE ENGINEER MAY BE DISPOSED OF ON-SITE AT THE CONTRACTORS EXPENSE IN A MANNER APPROVED IN ADVANCE BY THE ENGINEER.
- THE EDGE OF EXISTING PAVEMENT SHALL BE CLEANED OF EARTH AND OTHER FOREIGN MATERIAL BEFORE ADJACENT POURS ARE PLACED.
- ALL BULKHEADING AND/OR SEWER PIPE REMOVAL NECESSITATED BY THE REMOVAL OF DRAINAGE STRUCTURES SHALL BE INCLUDED IN THE STRUCTURE REMOVAL.
- STREET SIGNS IN THE WAY OF CONSTRUCTION WILL BE REMOVED AND RESET IMMEDIATELY IN A TEMPORARY LOCATION, AS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING SIGNS AND POSTS SCHEDULED TO REMAIN, AS DIRECTED BY THE ENGINEER.
- ALL UNDERGROUND UTILITIES NOT INDICATED FOR REMOVAL SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PRIVATE PROPERTY (INCLUDING BUILDINGS AND FOUNDATIONS) THROUGHOUT CONSTRUCTION AND SHALL MAINTAIN SAFE PEDESTRIAN ACCESS AT ALL TIMES.
- THE REMOVAL OF PAVEMENT, CURBS AND WALKS SHALL INCLUDE ALL REQUIRED SAWCUTTING. CURB REMOVAL IS INCIDENTAL TO PAVEMENT REMOVAL.
- ALL UTILITY SERVICE LEADS NOT PROPOSED FOR REUSE SHALL BE PERMANENTLY KILLED AT ITS RESPECTIVE MAIN.

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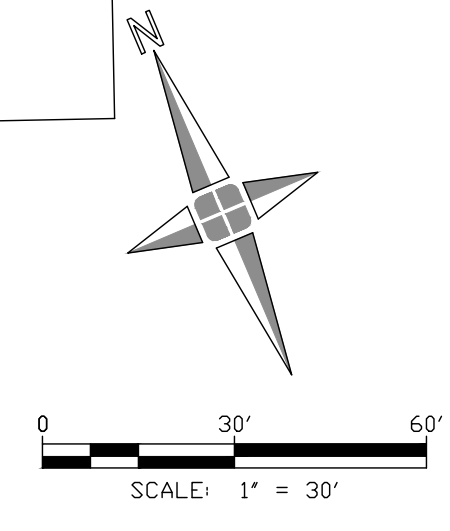
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DEMOLITION LEGEND:

- REMOVE OBJECT
- REMOVE UTILITY PIPE
- ABANDON UTILITY PIPE
- CUT AND BULKHEAD UTILITY PIPE
- REMOVE EXISTING CURB
- REMOVE STRUCTURE
- REMOVE ASPHALT PAVEMENT
- REMOVE CONCRETE SURFACE



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PUBLIC SIDEWALK MAINTENANCE STATEMENT

PUBLIC SIDEWALK WILL BE INSTALLED ALONG THE JACKSON ROAD FRONTAGE AND WILL BE MAINTAINED IN ACCORDANCE WITH THE CITY STANDARDS.

PARKING DATA

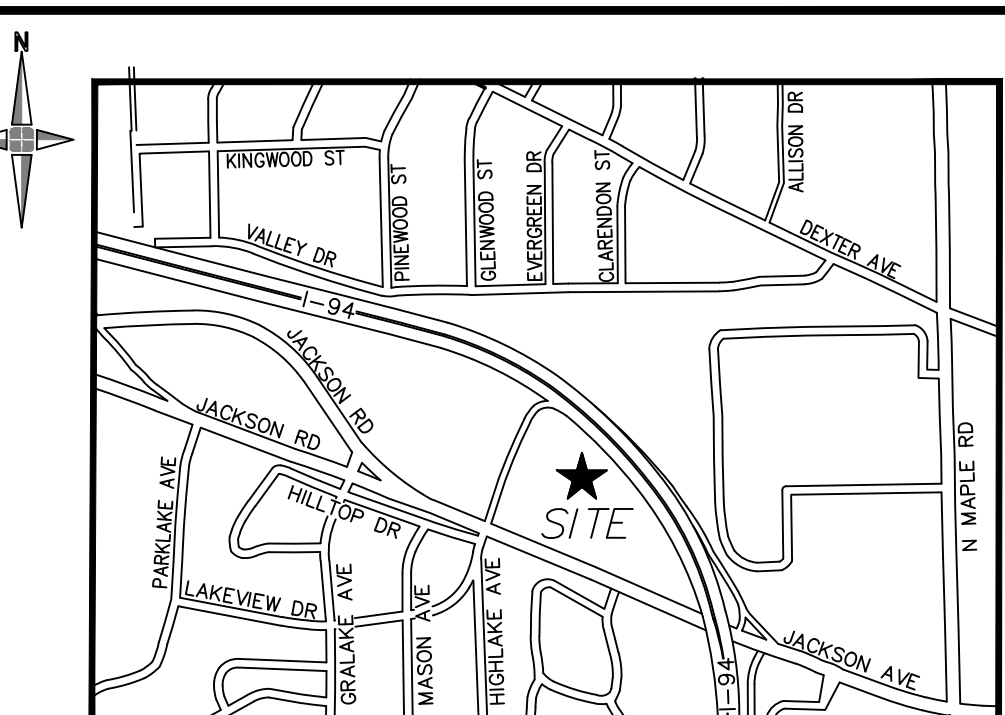
PARKING REQUIRED ROOMS PROPOSED 1 PARKING SPACE PER ROOM
235 ROOMS
235 PARKING SPACES
TOTAL PARKING SPACES PROVIDED 237 PARKING SPACES

BICYCLE PARKING DATA

BICYCLE PARKING REQUIREMENT 1 BICYCLE SPACE PER 30 ROOMS
BICYCLE SPACES REQUIRED 235 ROOMS / 30 ROOMS = 7.8
TOTAL BICYCLE SPACES PROVIDED 8 BICYCLE SPACES
*CLASS A BICYCLE SPACES PROVIDED VIA BICYCLE PARKING ENCLOSURE
ADDITIONAL 2-CLASS C BICYCLE PARKING SPACES PROVIDED AT EACH HOTEL AS NOTED BELOW.

LEGEND

- PR ASPHALT / VEHICULAR USE AREA
- PR SIDEWALK
- PR THICKENED CONCRETE
- PR 25' WIDE FIRE APPARATUS ACCESS ROUTE
- PR SANITARY MANHOLE
- PR CLEANOUT
- PR STORM CATCH BASIN
- PR STORM MANHOLE
- PR FIRE HYDRANT
- PR LIGHTPOLE
- REVERSE CURB
- STANDARD CURB
- PROPERTY BOUNDARY
- RAILING
- RIP RAP
- "HANDICAP PARKING" SIGN
- "NO PARKING - FIRE LANE" SIGN
- ELECTRIC VEHICLE CHARGING STATION



LOCATION MAP
(NOT TO SCALE)

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STANDARDS, SPECIFICATIONS AND GENERAL CONDITIONS OF THE CITY OF ANN ARBOR, AND ANY OTHER AGENCIES HAVING JURISDICTION.
- UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FROM UTILITY OWNERS AND THEREFORE MAY NOT BE ACCURATE OR COMPLETE. THE CONTRACTOR SHALL VERIFY AND OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES WHICH MIGHT HAVE AN IMPACT ON THIS PROJECT, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES WHETHER THEY ARE SHOWN OR NOT ON THE PLANS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AT PROPOSED CONNECTIONS AND/OR CROSSINGS, AND TO NOTIFY THE ENGINEER OF ANY DISCREPANCIES TO THESE PLANS.
- 72 HOURS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG AT (800) 482-7171 FOR THE LOCATION OF UNDERGROUND GAS AND CABLE FACILITIES, AND SHALL ALSO NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK.
- ALL PERMITS REQUIRED SHALL BE OBTAINED BY THE CONTRACTOR. ALL PERMIT FEES, BONDS, AND INSURANCE REQUIRED BY THE ISSUING AGENCIES SHALL BE PROVIDED BY THE CONTRACTOR, AND MUST BE KEPT CURRENT. THE CONTRACTOR IS RESPONSIBLE FOR ALL OTHER FEES, INSPECTION COSTS, ETC., AND SHALL ADHERE TO ALL REQUIREMENTS SET FORTH IN SAID PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL WORK AREAS TO ENSURE THE SAFETY OF ALL OCCUPANTS, VISITORS, PEDESTRIANS, WORKERS, ETC. THE CONTRACTOR SHALL REPAIR AND MAINTAIN ALL CONSTRUCTION FENCING AS NECESSARY.
- THE CONTRACTOR SHALL PROVIDE FOR CONTROLLED ACCESS TO THE SITE FOR USE BY THE VARIOUS WORK FORCES, EMERGENCY VEHICLES, OCCUPANTS, VISITORS, ETC. THROUGHOUT CONSTRUCTION. THIS ACCESS MUST PROVIDE FOR THE REMOVAL OF MUD FROM VEHICLES TIRES. ROADWAYS AND DRIVEWAYS SHALL BE MAINTAINED OPEN FOR EMERGENCY VEHICLES AT ALL TIMES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENTS AND BUSINESSES WHOSE DRIVEWAYS ARE AFFECTED BY HIS SCHEDULE 24 HOURS IN ADVANCE. CONTRACTOR SHALL SCHEDULE CONSTRUCTION AT NON-PEAK USE HOURS AND SHALL MINIMIZE DRIVEWAY CLOSURE BY EXPEDITING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE NECESSARY SIGNS, BARRICADES, AND LIGHTS TO PROTECT THE TRAFFIC AND THE WORK AS DIRECTED BY THE PLANS OR BY THE AGENCY WITH JURISDICTION. ALL TRAFFIC CONTROLS SHALL BE IN ACCORDANCE WITH THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MMUTCD).
- THE CONTRACTOR IS REQUIRED TO CONFINED CONSTRUCTION ACTIVITIES TO THE LIMITS OF THE SITE AS SHOWN ON THE CONSTRUCTION PLANS. ANY DAMAGE OR DISRUPTION TO ADJACENT SITES IS THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT IMMEDIATELY. NO OFF-SITE WORK SHALL BE PERFORMED OUTSIDE OF PUBLIC RIGHTS-OF-WAY OR DEDICATED EASEMENTS WITHOUT PRIOR WRITTEN APPROVAL OF THE PROPERTY OWNER.
- GREAT CARE SHALL BE TAKEN TO AVOID DAMAGE TO VEGETATION OUTSIDE THE CLEARING AND GRUBBING LIMITS. NO DRIVING OR PARKING OF VEHICLES AND/OR STORAGE OF MATERIALS AND SUPPLIES SHALL BE PERMITTED OUTSIDE THE LIMITS OF CONSTRUCTION.
- ALL ELEVATIONS ON THESE PLANS ARE ON THE NAVD83 DATUM.
- THE PROTECTION OF EXISTING TREES, AS REQUIRED, SHALL BE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- ALL CONSTRUCTION SHALL HAVE INSPECTION PROVIDED BY THE CITY OF ANN ARBOR. THE CONTRACTOR SHALL CONTACT THE CITY OF ANN ARBOR 48 HOURS BEFORE THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL, AND SHALL PROVIDE ALL NECESSARY MATERIAL AND EQUIPMENT TO KEEP DUST IN CHECK AT ALL TIMES. THE CONTRACTOR SHALL RESPOND IMMEDIATELY TO ANY AND ALL COMPLAINTS. DUST CONTROL SHALL BE INCIDENTAL TO THE PROJECT.
- DURING CONSTRUCTION, THE CONTRACTOR MAY ENCOUNTER SPRINKLER HEADS, PIPING, LIGHTING AND BURIED ELECTRICAL CABLE, MAILBOXES, FENCES, SIGNS, ETC., THAT MAY OR MAY NOT BE INDICATED ON THESE PLANS. THE CONTRACTOR SHALL REPLACE AND/OR RESTORE ALL COMPONENTS OF SUCH SYSTEMS. ALL DISTURBED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION, MINIMUM STANDARD REQUIREMENTS, OR AS SPECIFIED HEREIN; WHICHEVER IS MORE STRINGENT.
- ROADWAY, DRIVEWAY, AND PARKING AREA FINAL RESTORATION SHALL BE PERFORMED WITH SURFACE AND BASE MATERIALS MATCHING EITHER THE EXISTING MATERIALS IN QUALITY AND THICKNESS, PER MINIMUM REQUIREMENTS.
- ALL LOT MARKERS AND MONUMENT POINTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.
- FINAL CLEANUP AND RESTORATION SHALL CONSIST OF FINE GRADING OF CONSTRUCTION AREAS, REMOVAL OF CONSTRUCTION SIGNS, ETC. TOPSOIL SHALL BE SPREAD OVER ALL DISTURBED AREAS, FOLLOWED BY SEED, FERTILIZER AND EROSION MAT OR STRAW MULCH, OR AS FURTHER REQUIRED BY THE LANDSCAPING PLANS AND SPECIFICATIONS. ALL REQUIRED RESTORATION ITEMS NOT SPECIFICALLY IDENTIFIED AS A PAY ITEM SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT.
- THE UTILITY POLES SHOWN ON THESE DRAWINGS ARE INTENDED TO SHOW ONLY THE LOCATION OF EXISTING POLES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE QUANTITY AND DIRECTION OF OVERHEAD LINES. THE COST FOR SUPPORTING AND RELOCATING POLES SHALL BE INCIDENTAL TO THE PROJECT.
- THE MEANS AND METHODS OF CONTROLLING GROUNDWATER AND DEWATERING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ALL COST ASSOCIATED WITH DEWATERING SHALL BE INCIDENTAL TO THE CONTRACT.
- ALL SIDEWALKS ARE TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.
- FLAG POLES PROPOSED TO BE 25' HEIGHT FOR STATE AND HOTEL POLES WITH A 30' POLE IN THE CENTER FOR THE US. FLAG.

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p (248) 852-3100
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SITE PLAN

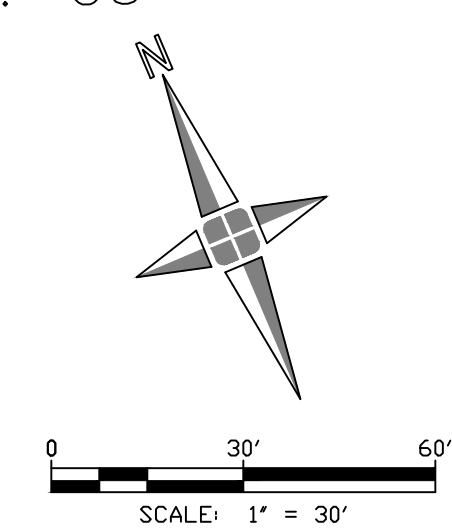
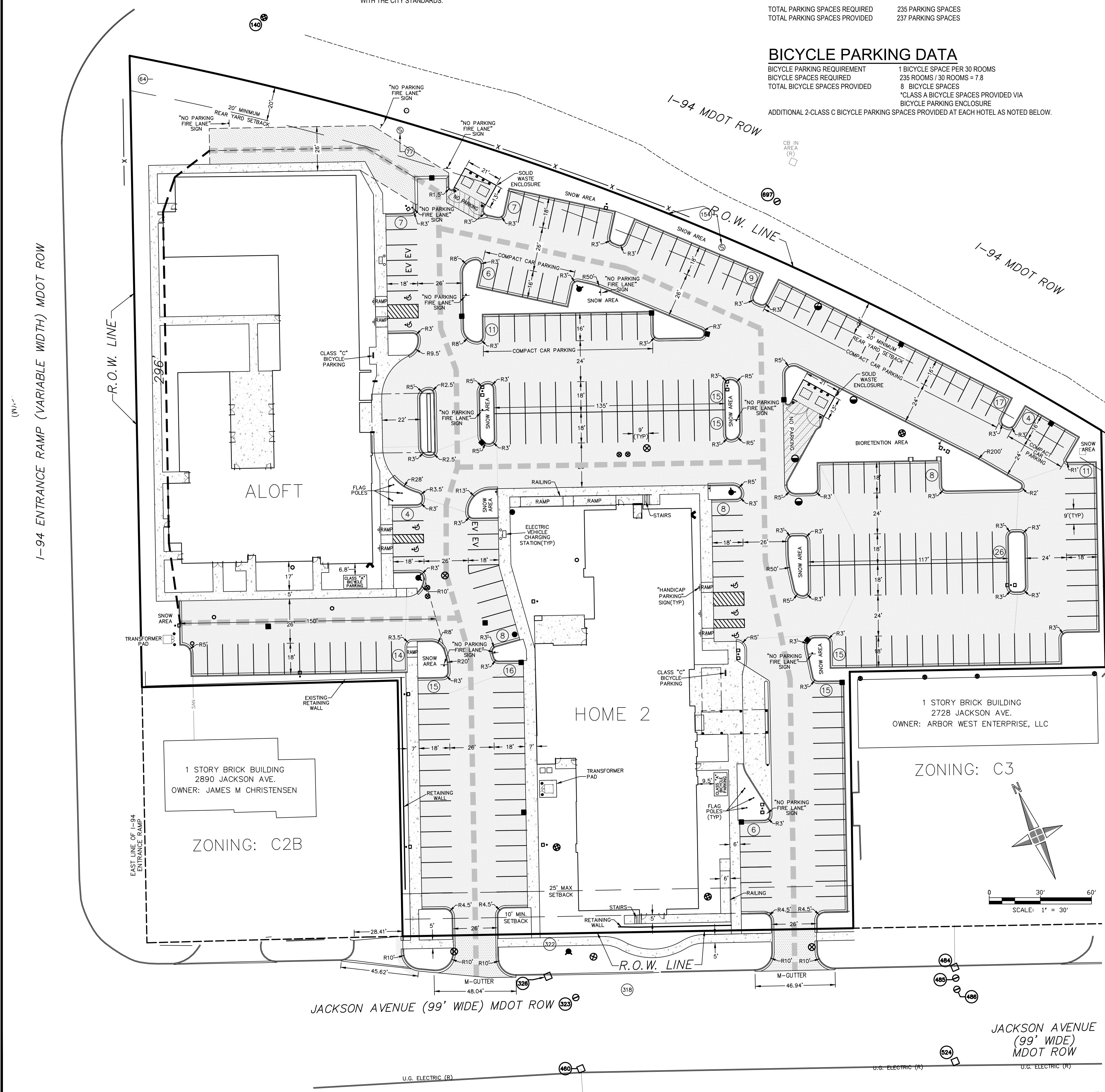
2800 JACKSON AVENUE
HOTELS

CITY OF ANN ARBOR
WASHTENAW COUNTY
MICHIGAN

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I-94 ENTRANCE RAMP (VARIABLE WIDTH) MDOT ROW



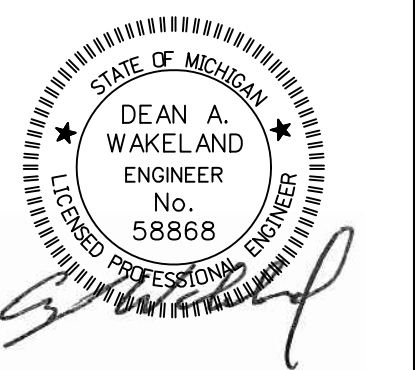
DEVELOPMENT PROGRAM

ZONING CLASSIFICATION	EXISTING	PROPOSED	REQUIRED / PERMITTED
ZONING CLASSIFICATION	R5	C3	
GROSS LOT AREA	4.475 ACRES / 194,931 SF	4.475 ACRES / 194,931 SF	
MIN. USABLE OPEN SPACE IN % LOT AREA	--	--	N/A
REQUIRED SETBACKS			
FRONT (JACKSON AVE.)	N/A	10'	10' MIN. / 25' MAX
REAR (I-94)	N/A	35'	20' MIN.
SIDE	N/A	15' WEST - 45' EAST	0' MIN.
HOTEL ROOMS PER BLDG	0	ALOFT-128 ROOMS / HOME 2-107 ROOMS	N/A
HOTEL ROOMS TOTAL	0	235 ROOMS	N/A
STORIES	0	4 STORIES	4 STORIES MAX
HEIGHT PER BLDG	0	ALOFT-55' / HOME 2-54'4"	55' MAX
OFF STREET PARKING	0	237 SPACES (7 ACCESSIBLE)	235 SPACES (7 ACCESSIBLE)
BICYCLE PARKING CLASS A	0	8 SPACES	8 SPACES
BICYCLE PARKING CLASS C	0	4 SPACES / 2 PER HOTEL	0
FLOOR AREA PER BLDG. - ALOFT	N/A	FLR 1 - 19,440 SF / FLR 2-4 16,664 SF - TOTAL ALOFT - 69,442 SF	
FLOOR AREA PER BLDG. - HOME 2	N/A	FLR 1 - 17,281 SF / FLR 2-4 15,338 SF - TOTAL HOME 2 - 63,295 SF	
MAX FLOOR AREA	N/A	132,737 SF	389,862 SF
FAR PER BLDG	N/A	ALOFT 69,442 SF / 4.475 AC = 35 FAR HOME 2 63,295 SF / 4.475 AC = 32 FAR	
FAR COMBINED	N/A	132,737 SF / 4.475 AC = 68%	200%

ZONING: AG

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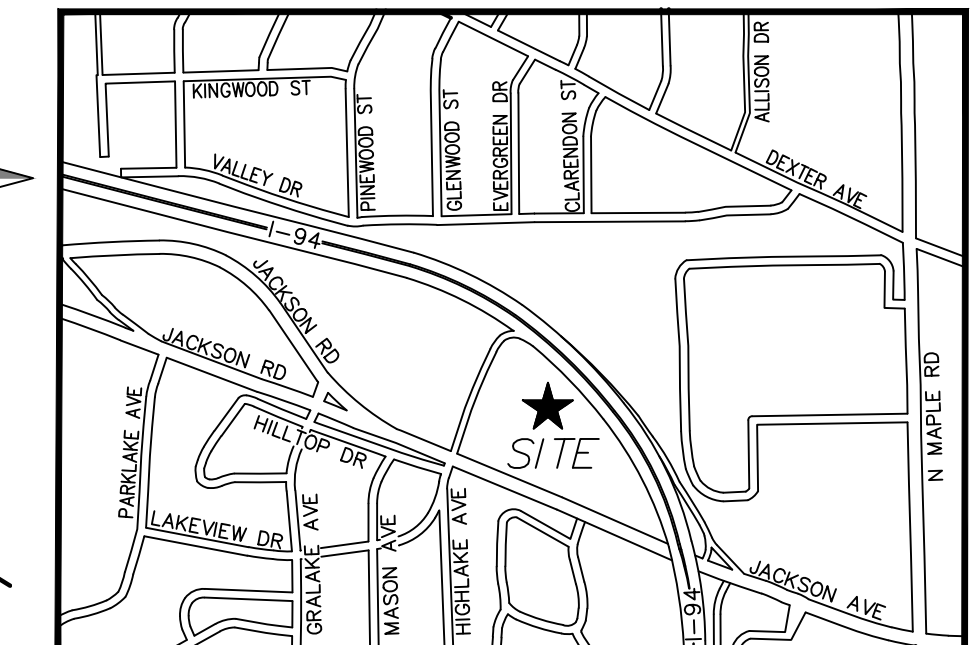
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GRADING PLAN

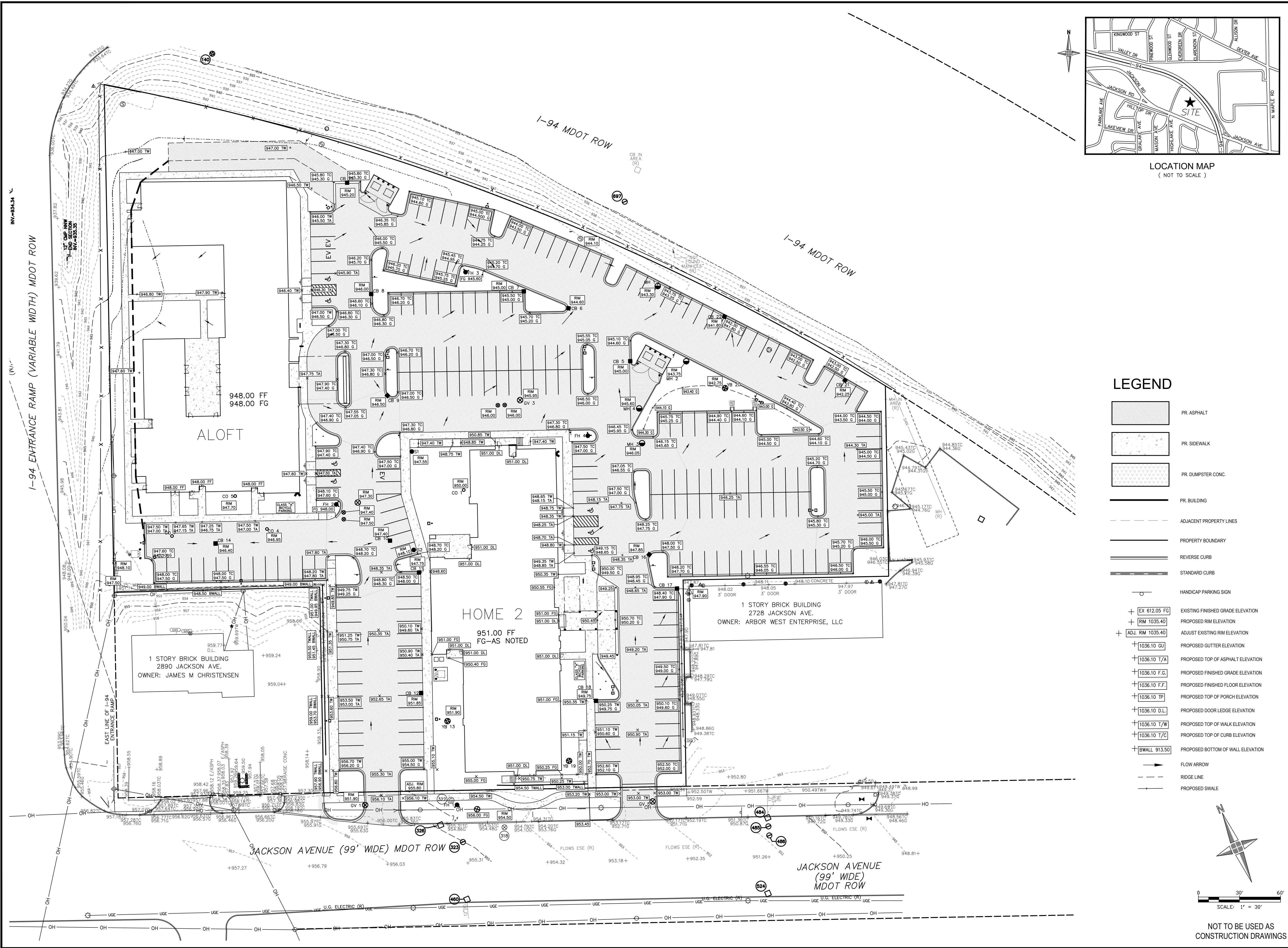
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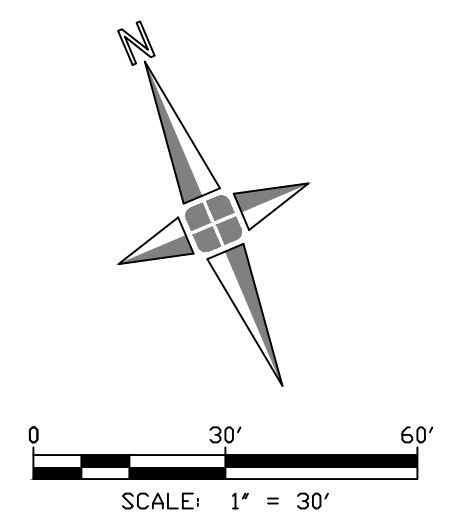


LOCATION MAP
(NOT TO SCALE)



LEGEND

- PR ASPHALT
- PR SIDEWALK
- PR DUMPSTER CONC.
- PR BUILDING
- ADJACENT PROPERTY LINES
- PROPERTY BOUNDARY
- REVERSE CURB
- STANDARD CURB
- HANDICAP PARKING SIGN
- EXISTING FINISHED GRADE ELEVATION
- PROPOSED RIM ELEVATION
- ADJUST EXISTING RIM ELEVATION
- PROPOSED GUTTER ELEVATION
- PROPOSED TOP OF ASPHALT ELEVATION
- PROPOSED FINISHED GRADE ELEVATION
- PROPOSED FINISHED FLOOR ELEVATION
- PROPOSED TOP OF PORCH ELEVATION
- PROPOSED DOOR LEDGE ELEVATION
- PROPOSED TOP OF WALK ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED BOTTOM OF WALL ELEVATION
- FLOW ARROW
- RIDGE LINE
- PROPOSED SWALE



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03.20.2020	ADDITIONAL NOTE

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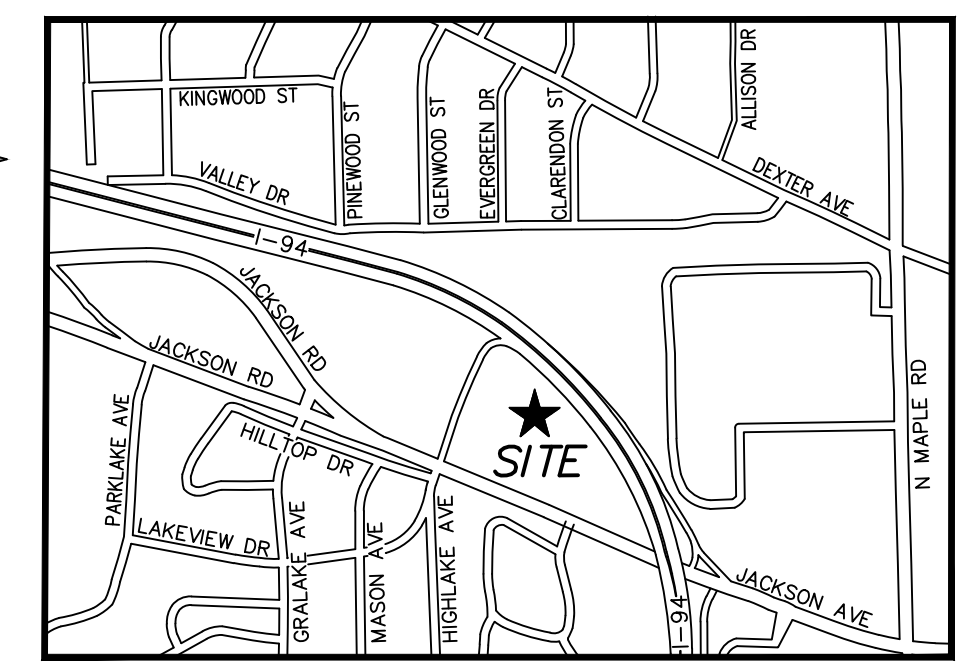
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UTILITY PLAN

2800 JACKSON AVENUE
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CITY OF ANN ARBOR
WASHTENAW COUNTY
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LOCATION MAP
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SANITARY SEWER MITIGATION CALCULATIONS

PREVIOUS MICHIGAN INN HOTEL & RESTAURANT	
Previous Michigan Inn	
Rooms:	129
No. rooms under 400 sf:	129
Design Dry Weather flow = 75 gpd/unit	
Flow From Rooms =	9675 gpd
Restaurant:	
Seating Capacity =	50 seats
Design Dry Weather flow = 30 gpd/seat (foot)	
Flow From Restaurant =	1500 gpd
Laundry:	
No. of washing machines (estimated)	2 Machines
Design Dry Weather flow = 425 gpd/machine	
Flow From Laundry =	850 gpd
Pool:	
Max. Occupancy = 1,026 SF (per record)	20 Max. occ.
50 sf / person	
Wading Pool:	
Max. Occupancy = 176 SF (per record)	3 Max. occ.
50 sf / person	
Design Dry Weather flow = 20 gpd/capita	
Flow From Pool & Wading Pool =	460 gpd
Total Previous Flow =	12485 gpd of flow or 8.67 gpm of flow
PROPOSED HOTELS	
Proposed Aloft & Home2 Suites	
No. rooms under 400 sf:	218
Design Dry Weather flow = 75 gpd/unit	
No. rooms over 400 sf:	17
Design Dry Weather flow = 150 gpd/unit	
Flow From Rooms =	18900 gpd
Laundry:	
No. of washing machines (Aloft - 2 Commercial / Home2 - 2 Commercial & 2 Residential)	6 Machines
Design Dry Weather flow = 425 gpd/machine	
Flow From Laundry =	2550 gpd
Food Prep:	
SF (Aloft - 403 SF / Home2 - 186 SF)	589 SF
Design Dry Weather flow = 15 gpd/sf of gross floor area	
Flow From Food Prep =	88 gpd
Pool: Aloft	
Max. Occupancy = 420 SF	8 Max. occ.
50 sf / person	
Pool: Home2	
Max. Occupancy = 405 SF	8 Max. occ.
50 sf / person	
Design Dry Weather flow = 20 gpd/capita	
Flow From Pools =	320 gpd
Total Proposed Flow =	21858 gpd of flow or 15.18 gpm of flow
NET CHANGE IN FLOW	
Footings Drain Mitigation Calculations	
Proposed Aloft & Home2 Suites	15.18 gpm of flow
Previous Michigan Inn	8.67 gpm of flow
Proposed - Previous	6.51 gpm of flow
Peak Factor =	4
System Recovery Factor =	1.1
Total Peak Flow =	28.64 gpm

NOTE: PER CALCULATIONS ABOVE 29 GPM IS REQUIRED TO BE REMOVED FROM THE SANITARY SEWER SYSTEM.

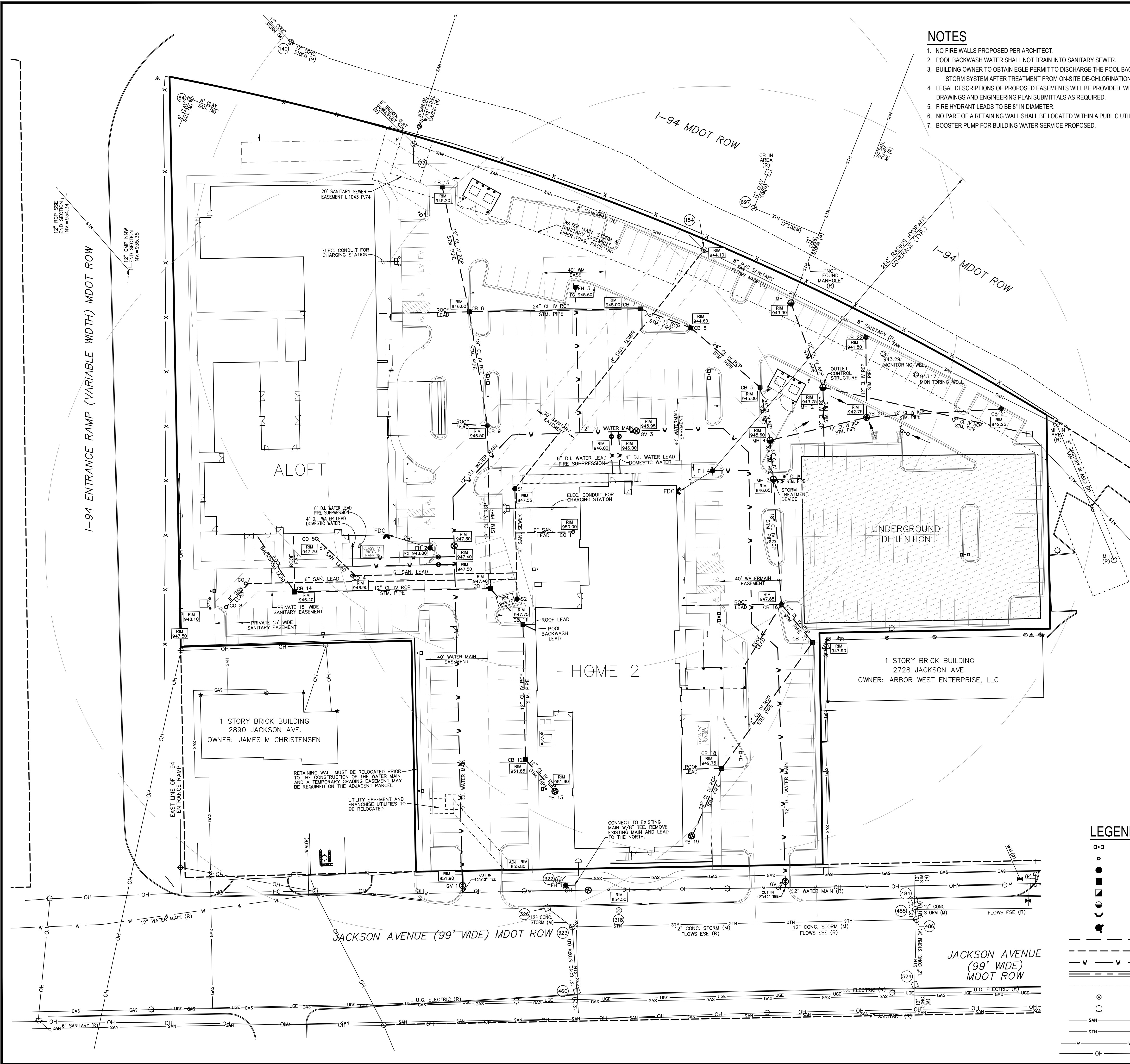
NOTES

- NO FIRE WALLS PROPOSED PER ARCHITECT.
- POOL BACKWASH WATER SHALL NOT DRAIN INTO SANITARY SEWER.
- BUILDING OWNER TO OBTAIN EGLE PERMIT TO DISCHARGE THE POOL BACKWASH INTO THE STORM SYSTEM AFTER TREATMENT FROM ON-SITE DE-CHLORINATION SYSTEM.
- LEGAL DESCRIPTIONS OF PROPOSED EASEMENTS WILL BE PROVIDED WITH THE CONSTRUCTION DRAWINGS AND ENGINEERING PLAN SUBMITTALS AS REQUIRED.
- FIRE HYDRANT LEADS TO BE 8" IN DIAMETER.
- NO PART OF A RETAINING WALL SHALL BE LOCATED WITHIN A PUBLIC UTILITY EASEMENT.
- BOOSTER PUMP FOR BUILDING WATER SERVICE PROPOSED.

LEGEND

	PROPOSED LIGHT POLE		EXISTING CATCH BASIN
	PROPOSED SAN. CLEAN OUT		EXISTING UTILITY POLE/STREET LIGHT
	PROPOSED SAN. MANHOLE		EXISTING BEEHIVE CATCH BASIN
	PROPOSED CATCH BASIN		EXISTING GATE VALVE
	PROPOSED INLET		EXISTING SAN. MANHOLE
	PROPOSED STORM MANHOLE		EXISTING STORM MANHOLE
	PROPOSED FDC		UTILITY CROSSING
	PROPOSED HYDRANT		RIP RAP
	PROPOSED STORM SEWER		PR. UNDERGROUND DETENTION
	PROPOSED SANITARY MAIN		
	PROPOSED WATER MAIN		
	PROPOSED STEEL ENCASED WATER MAIN		
	PROPOSED UTILITY EASEMENT		
	PROPOSED 2' STOP BOX		
	EXISTING HYDRANT		
	EXISTING SANITARY SEWER		
	EXISTING STORM SEWER		
	EXISTING WATER MAIN		
	EXISTING OVERHEAD UTILITY		

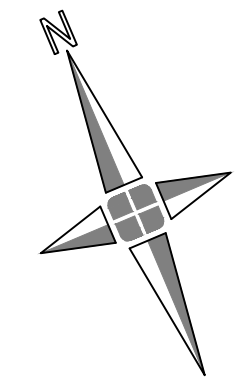
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CONSTRUCTION DRAWINGS



I-94 ENTRANCE RAMP (VARIABLE WIDTH) MDOT ROW

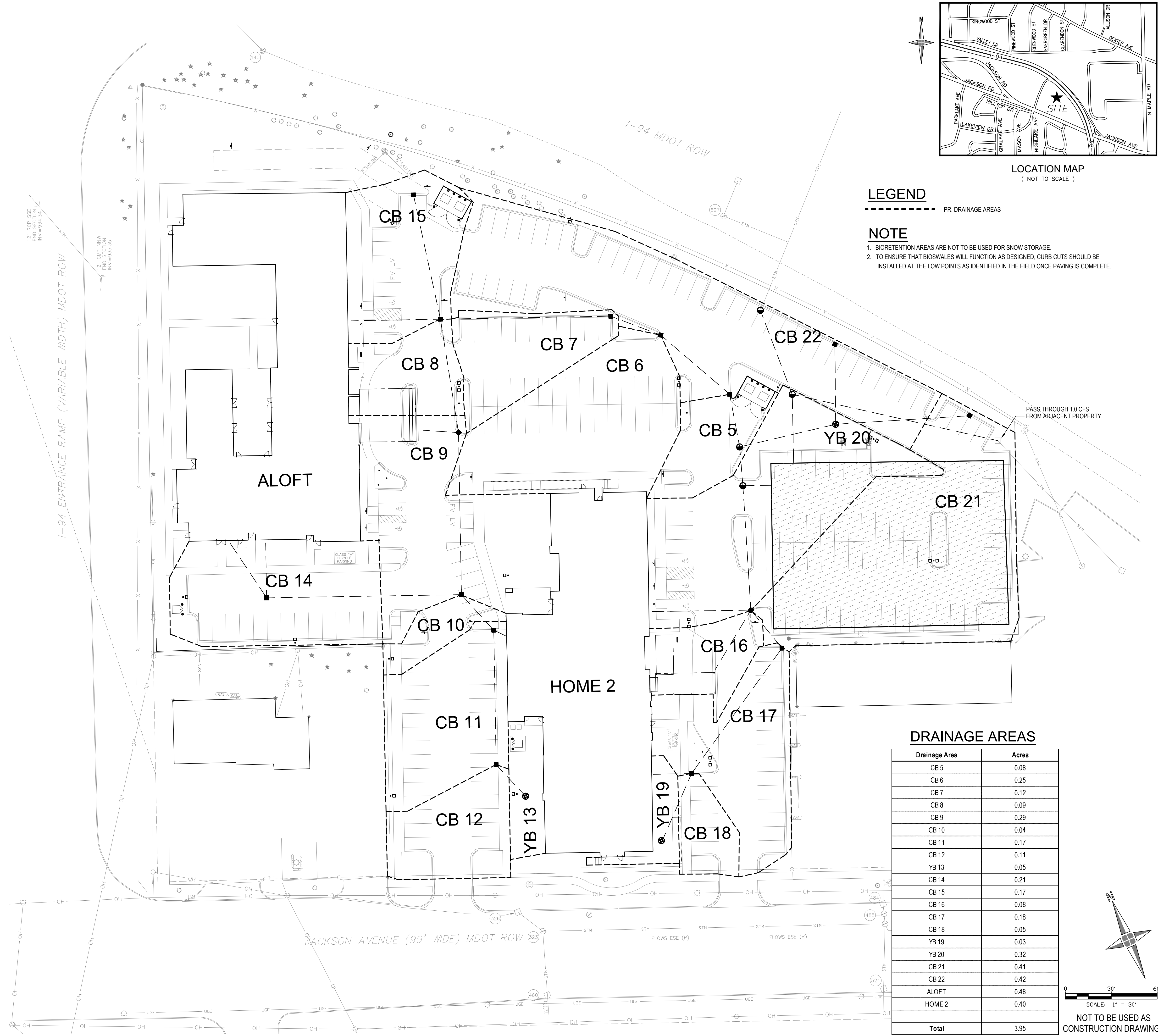
JACKSON AVENUE (99' WIDE) MDOT ROW

JACKSON AVENUE (99' WIDE) MDOT ROW



DETENTION CALCULATIONS

TOTAL TRIBUTARY ACREAGE	A =	4.48 ACRES	
	A _(sf)	194,931 SF	
C-FACTOR (WEIGHTED)	C-FACTOR	AREA (AC)	
Pavement/Bldg	0.95	3.32	
Grass / Type B Soils	0.30	0.24	
Grass / Type D Soils	0.35	0.92	
	C _(avg)	0.79	
Pervious CN Number	AREA PER (SF)	AREA (AC)	CN
Urban Poor	50530	1.16	79
Impervious CN Number	AREA IMP (SF)	AREA (AC)	CN
Pavement/Bldg	144619	3.32	99
FIRST FLUSH FLOOD VOLUME REQUIRED			
A =	4.48 ACRES		
C =	0.79		
V _(ff) = (1") x (1/12") x (43,560 ft ² /1 ac) x A x C	V _(ff)	12,879 CF	
BANKFULL FLOOD VOLUME			
V _(b-ppre)		1,622 CF	
p =	2.35 in		
CN =	58		
S = (1000/cn)-10	7.24 in		
Q = (P-0.2S) ² / (P+0.8S)	0.10		
A _(sf)	194,931		
V _(b-ppre) = Q(1/12)A _(sf)	V _(b-ppre)	1,622 CF	
BANKFULL FLOOD VOLUME			
V _(b-ppost)		3,110 CF	
p =	2.35 in		
CN =	79		
S = (1000/cn)-10	2.66 in		
Q = (P-0.2S) ² / (P+0.8S)	0.74		
Area Per (sf)	50,530		
V _(b-ppost) = Q(1/12)A _(sf)	V _(b-ppost)	3,110 CF	
BANKFULL FLOOD VOLUME			
V _(b-imp-post)		25,570 CF	
p =	2.35 in		
CN =	98		
S = (1000/cn)-10	0.20 in		
Q = (P-0.2S) ² / (P+0.8S)	2.12		
Area Imp (sf)	144,619		
V _(b-imp-post) = Q(1/12)A _(sf)	V _(b-imp-post)	25,570 CF	
100 YEAR STORM VOLUME			
V _(100-per-post)		12,197 CF	
p =	5.11 in		
CN =	79		
S = (1000/cn)-10	2.66 in		
Q _{100-per} = (P-0.2S) ² / (P+0.8S)	2.90		
Area Per (sf)	50,530		
V _(100-per-post) = Q(1/12)A _(sf)	V _(100-per-post)	12,197 CF	
100 YEAR STORM VOLUME			
V _(100-imp-post)		58,727 CF	
p =	5.11 in		
CN =	98		
S = (1000/cn)-10	0.20 in		
Q _{100-imp} = (P-0.2S) ² / (P+0.8S)	4.87		
Area Imp (sf)	144,619		
V _(100-imp-post) = Q(1/12)A _(sf)	V _(100-imp-post)	58,727 CF	
Time of Concentration			
T _c (Tc-hrs)		0.44	
K =	0.48		
Change in Elevation =	9.1 ft		
Length (L) =	175.00 ft		
Slope% (S) =	5.2%		
S ^{0.5} =	0.228		
V = K * S ^{0.5}	0.109		
T _c = L / (V * 3600)	T _c (Tc-hrs)	0.44	
SUMMARY TOTAL			
V _(ff)	12,879 CF		
V _(b-ppre)	1,622 CF		
V _(b-ppost)	3,110 CF		
V _(b-imp-post)	25,570 CF		
TOTAL BF Volume V _(b-post)	43,181 CF		
V _(100-per-post)	12,197 CF		
V _(100-imp-post)	58,727 CF		
TOTAL BF Volume V ₍₁₀₀₎	70,924 CF		
ONSITE INFILTRATION			
V _(b-post)	43,181 CF		
V _(b-ppre)	1,622 CF		
Bankfull Volume Difference	41,559 CF		
Therefore On-Site Infiltration = V _{inf}	41,559 CF		
DETENTION REQUIREMENTS			
V _{det}		69,037 CF	
Q _p = 238.6 * T _c ^{-0.82}	Q _p =	464.2 cfs/in-mi ²	
A =	4.48 Acres		
Q ₁₀₀ = Q _{100-per} + Q _{100-imp}	Q ₁₀₀ =	7.77 in	
PF = (Q _p * Q ₁₀₀ * A) / 640	PF =	25.22 cfs	
Delta = PF - 0.15 * A	Delta =	24.55 cfs	
V _{det} = (Delta) / PF / V ₁₀₀	V _{det}	69,037 CF	
STORMWATER MANAGEMENT SUMMARY			
V _{inf}	41,559 CF		
Infiltration Provided	0 CF		
% Infiltration Provided	0%		
V _{det}	69,037 CF		
Net Req. Detention	69,037 CF		
DETENTION VOLUME INCREASE			
% Required Infiltration NOT Provided	100%		
Net % Penalty	20%		
Total Required Detention	TOTAL V_{det}	82,844 CF	



DRAINAGE AREAS

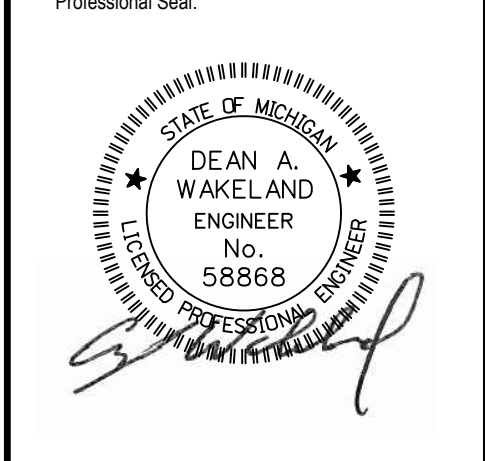
Drainage Area	Acres
CB 5	0.08
CB 6	0.25
CB 7	0.12
CB 8	0.09
CB 9	0.29
CB 10	0.04
CB 11	0.17
CB 12	0.11
YB 13	0.05
CB 14	0.21
CB 15	0.17
CB 16	0.08
CB 17	0.18
CB 18	0.05
YB 19	0.03
YB 20	0.32
CB 21	0.41
CB 22	0.42
ALOFT	0.48
HOME 2	0.40
Total	3.95

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08.22.2019	SUBMITTAL
12.06.2019	SUBMITTAL
01.27.2020	SUBMITTAL
02.28.2020	SUBMITTAL

Developed For:
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STORM WATER MANAGEMENT PLAN
2800 JACKSON AVENUE HOTELS
CITY OF ANN ARBOR
WASHTENAW COUNTY
MICHIGAN

Date: 08.29.2018
Scale: 1"=30'
Sheet: 08
Project: 19452.00

NOT TO BE USED AS CONSTRUCTION DRAWINGS