

## ANN ARBOR HISTORIC DISTRICT COMMISSION

### Staff Report

**ADDRESS:** 922 & 926 Catherine Street, Application Number HDC12-038

**DISTRICT:** Old Fourth Ward Historic District

**REPORT DATE:** April 2, 2012

**REPORT PREPARED BY:** Jill Thacher, Historic Preservation Coordinator

**REVIEW COMMITTEE DATE:** Monday, April 9, 2012, for the April 12, 2012 HDC Meeting

<b>OWNER</b>	<b>APPLICANT</b>
<b>Name:</b> Thomas Fitzsimmons Huron Development, LLC	Same
<b>Address:</b> 608 North Main Street Ann Arbor, MI 48104	
<b>Phone:</b> (734)320-9680	

**BACKGROUND:** This site consists of two lots, 922 and 926 Catherine. Houses are shown on both lots on the 1931 Sanborn map, and they are listed in the 1960 Polk directory, but both lots were vacant by 1971.

**LOCATION:** The site is located on the south side of Catherine Street, east of North Ingalls Street and west of Glen Avenue.

**APPLICATION:** The applicant seeks HDC approval to construct on two empty adjoining lots 1) a new 3-story, five-unit multi-family residential building with basement garages, 2) a new driveway, and 3) additional retaining walls.

### APPLICABLE REGULATIONS

#### From the Secretary of the Interior's Standards for Rehabilitation:

(9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

(10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in



the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):**

***Setting***

*Not Recommended:* Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the district or neighborhood.

***Site***

*Not Recommended:* Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color, and texture; which destroys historic relationships on the site; or which damages or destroys important landscape features.

**STAFF FINDINGS**

1. The site is currently vacant with no structures or parking areas. There are a few large trees along the western property line.
2. The proposed building is compatible in size, scale, design and massing to the adjacent properties. The proposed building is appropriate for the district and setting. The size of the building is similar to the condominium townhome building located immediately to the east of the site. To the west and uphill from the site are three 1 ½-story single family homes. To the north, across Catherine Street, are a 4-story parking garage and a 10+ story University of Michigan medical building.
3. The modern materials proposed (Hardie siding, vinyl-clad wood windows, wood trim, wood porches, asphalt shingles, and reinforced concrete) are complementary to the historic materials used on the adjacent single-family residences and other neighborhood buildings. The design and modern materials will differentiate the building from historic buildings in the area.
4. The proposed driveway for garage access is located along the eastern side of the property. It extends from the street to approximately 20 feet north of the southern property line, and from the proposed building to within several feet of the eastern property line. It is separated from the property to the east by an evergreen hedge row.
5. One proposed segmental retaining wall, consisting of masonry units, is located to the rear of the property and serves to separate the driveway from landscaping. Two low, dry-laid stone retaining walls are located between the sidewalk and north (front) elevation. Terraced planting beds are located between the retaining walls. A "green screen" fence will be built along the west property line to separate the property from the single-family residence. This consists of a metal mesh that will be covered with living plants. Several existing trees along the north and west property lines will remain.
6. It is staff's opinion that the proposed building, driveway, and retaining walls are generally

compatible in exterior design, arrangement, texture, material and relationship to the surrounding neighborhood and meet *The Secretary of the Interior's Standards for Rehabilitation*, particularly numbers 9 and 10, and the Guidelines for Setting and Site.

**POSSIBLE MOTIONS:** (Note that the motion supports staff findings and is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 922 and 926 Catherine Street, vacant properties in the Old Fourth Ward Historic District, to allow the construction of a 3 story residence, driveway, and retaining walls as detailed on the submitted drawings. The proposed work is compatible in exterior design, arrangement, texture, material and relationship to the surrounding resources and meets *The Secretary of the Interior's Standards for Rehabilitation* and *Guidelines for Rehabilitating Historic Buildings*, in particular standards 9 and 10, and the Guidelines for Setting and Site.

**MOTION WORKSHEET:**

I move that the Commission issue a Certificate of Appropriateness for the work at 922 and 926 Catherine Street in the Old Fourth Ward Historic District

\_\_\_\_\_ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

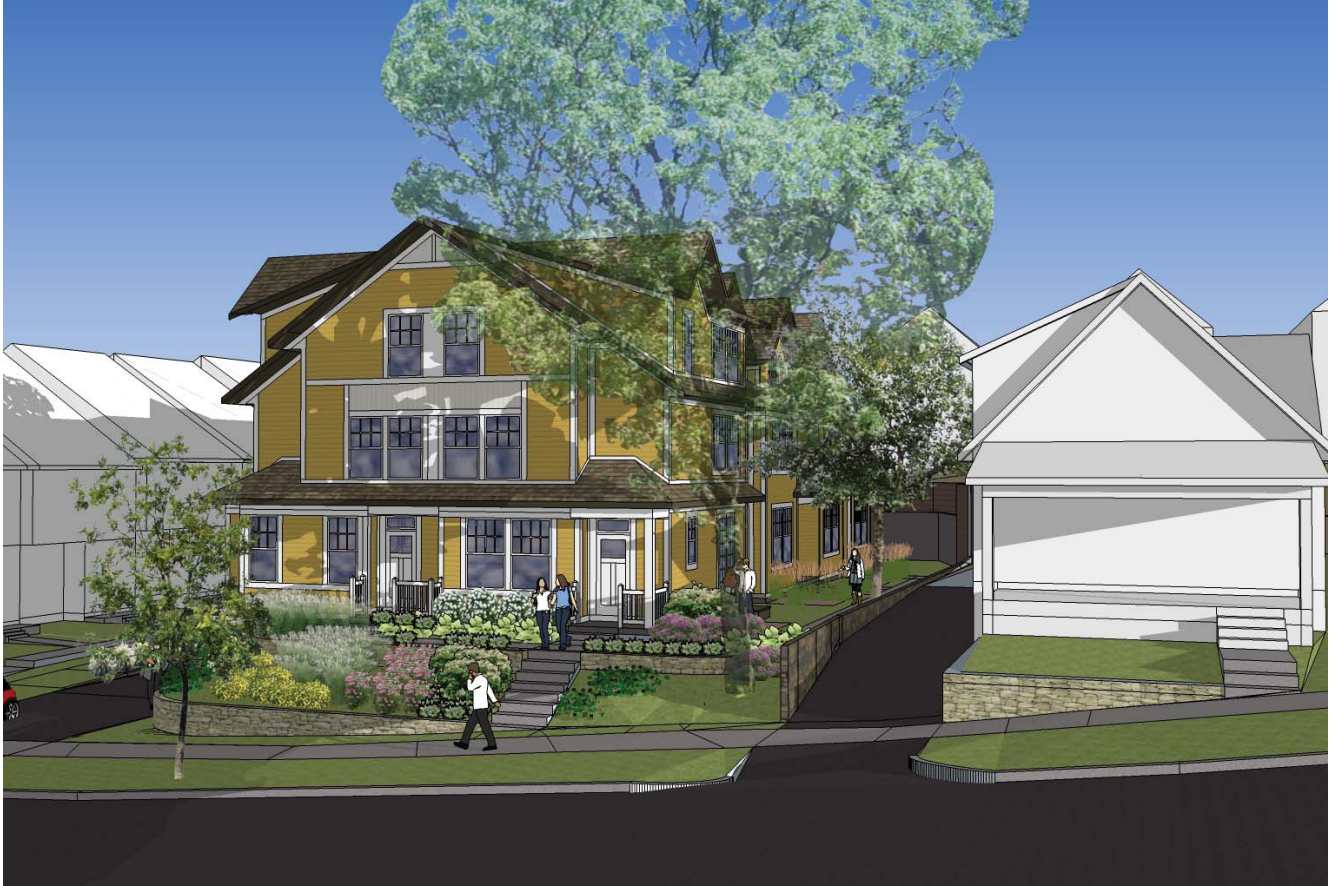
**ATTACHMENTS:** application, drawings, photos.

922 & 926 Catherine (April 2012 photo)



**ANN ARBOR HISTORIC DISTRICT COMMISSION  
APPLICATION  
FOR:  
922/926 CATHERINE STREET  
OLD FOURTH WARD**

**NEW RESIDENTIAL CONSTRUCTION**



**OWNER:**

**MR. TOM FITZSIMMONS  
HURON DEVELOPMENT, LLC  
608 NORTH MAIN STREET  
ANN ARBOR, MI. 48104**

**DATE: MARCH 23, 2012**

**ARCHITECT:**

**LINCOLN A. POLEY, ARCHITECT, AIA  
234 NICKELS ARCADE  
ANN ARBOR, MICHIGAN 48104**

**PHONE: 734.665.0211 FAX: 734.665.5722**



**City of Ann Arbor**  
**PLANNING & DEVELOPMENT SERVICES — PLANNING SERVICES**  
100 North Fifth Avenue | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647  
p 734.794.6265 | f. 734.994.8312 | planning@a2gov.org

**ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION**

**Section 1: Property Being Reviewed and Ownership Information**

Address of Property: 922 + 926 CATHERINE STREET  
Historic District: OLD FOURTH WARD  
Name of Property Owner (If different than the applicant):  
\_\_\_\_\_  
Address of Property Owner: \_\_\_\_\_  
Daytime Phone and E-mail of Property Owner: \_\_\_\_\_  
Signature of Property Owner: \_\_\_\_\_ Date: \_\_\_\_\_

**Section 2: Applicant Information**

Name of Applicant: MR. THOMAS FITZSIMMONS, HURON DEVELOPMENT, LLC  
Address of Applicant: 608 NORTH MAIN STREET. ANN ARBOR 48104  
Daytime Phone: (734) 320-9680 Fax: (734) 995-2856  
E-mail: THOMASRFITZSIMMONS@COMCAST.NET  
Applicant's Relationship to Property:  owner  architect  contractor  other  
Signature of applicant: \_\_\_\_\_ Date: \_\_\_\_\_

**Section 3: Building Use (check all that apply)**

Residential  Single Family  Multiple Family  Rental  
 Commercial  Institutional

**Section 4: Stille-DeRossett-Hale Single State Construction Code Act**  
(This item **MUST BE INITIALED** for your application to be **PROCESSED**)

Public Act 169, Michigan's Local Historic Districts Act, was amended April 2004 to include the following language: "...the applicant has certified in the application that the property where the work will be undertaken has, or will have before the proposed completion date, a a fire alarm or smoke alarm complying with the requirements of the Stille-DeRossett-Hale Single State Construction Code Act, 1972 PA 230, MCL 125.1501 to 125.1531."

Please initial here: \_\_\_\_\_

**Section 5: Description of Proposed Changes (attach additional sheets as necessary)**

1. Provide a brief summary of proposed changes. SEE ATTACHMENT #1

2. Provide a description of existing conditions. SEE ATTACHMENT #1

3. What are the reasons for the proposed changes? SEE ATTACHMENT #1

4. Attach any additional information that will further explain or clarify the proposal, and indicate these attachments here. SEE ATTACHMENT #1

5. Attach photographs of the existing property, including at least one general photo and detailed photos of proposed work area. SEE ATTACHED PHOTOS

**STAFF USE ONLY**

Date Submitted: \_\_\_\_\_ Application to \_\_\_\_\_ Staff or \_\_\_\_\_ HDC

Project No.: HDC Fee Paid: \_\_\_\_\_

Pre-filing Staff Reviewer & Date: \_\_\_\_\_ Date of Public Hearing: \_\_\_\_\_

Application Filing Date: \_\_\_\_\_ Action: HDC COA HDC Denial

Staff signature: \_\_\_\_\_ HDC NTP Staff COA

Comments: \_\_\_\_\_

## **Section 5: Description of Proposed Changes**

### **1. Provide a brief summary of proposed changes.**

The proposed changes at 922 and 926 Catherine Street include the construction of a new 5-unit multi-family residential building, a new driveway, additional retaining walls where necessary, and new landscaping. The massing and appearance of the proposed building blends with the existing neighborhood by acting as a transition between the existing single family homes to the west of the site and the existing larger multi-family buildings to the east of the site.

### **2. Provide a description of existing conditions.**

922 and 926 Catherine Street are existing empty neighboring lots that will be combined for this project. To the west of the site are three single family 1-1/2 story residential buildings. Two of these buildings are rental units and the home immediately adjacent to the vacant lot is owner occupied. At the end of the block to the west is a 3 story fraternity building (at the corner of North Ingalls and Catherine). Immediately to the east of the site is a 3-story, plus basement garage, 5-unit condominium townhome building called Catherine Commons. The last building on the block to the east of the lot is a 5-story multi-use office/residential building. Across the street from 922 and 926 Catherine is a 5 deck 4-story parking garage and a 10+ story, University of Michigan medical campus building.

The topography can be described as gently sloping on the site itself, from the southwest corner to the northeast corner, at Catherine Street. There is a very steep slope down from the property line at the south, for a distance of approximately twenty feet. There is a fairly steep slope down along Catherine Street, from North Ingalls to the subject property. The slope then becomes more subtle from the subject property to the next corner, at Glen Avenue. The attached site plan and photo images assist in describing the topography.

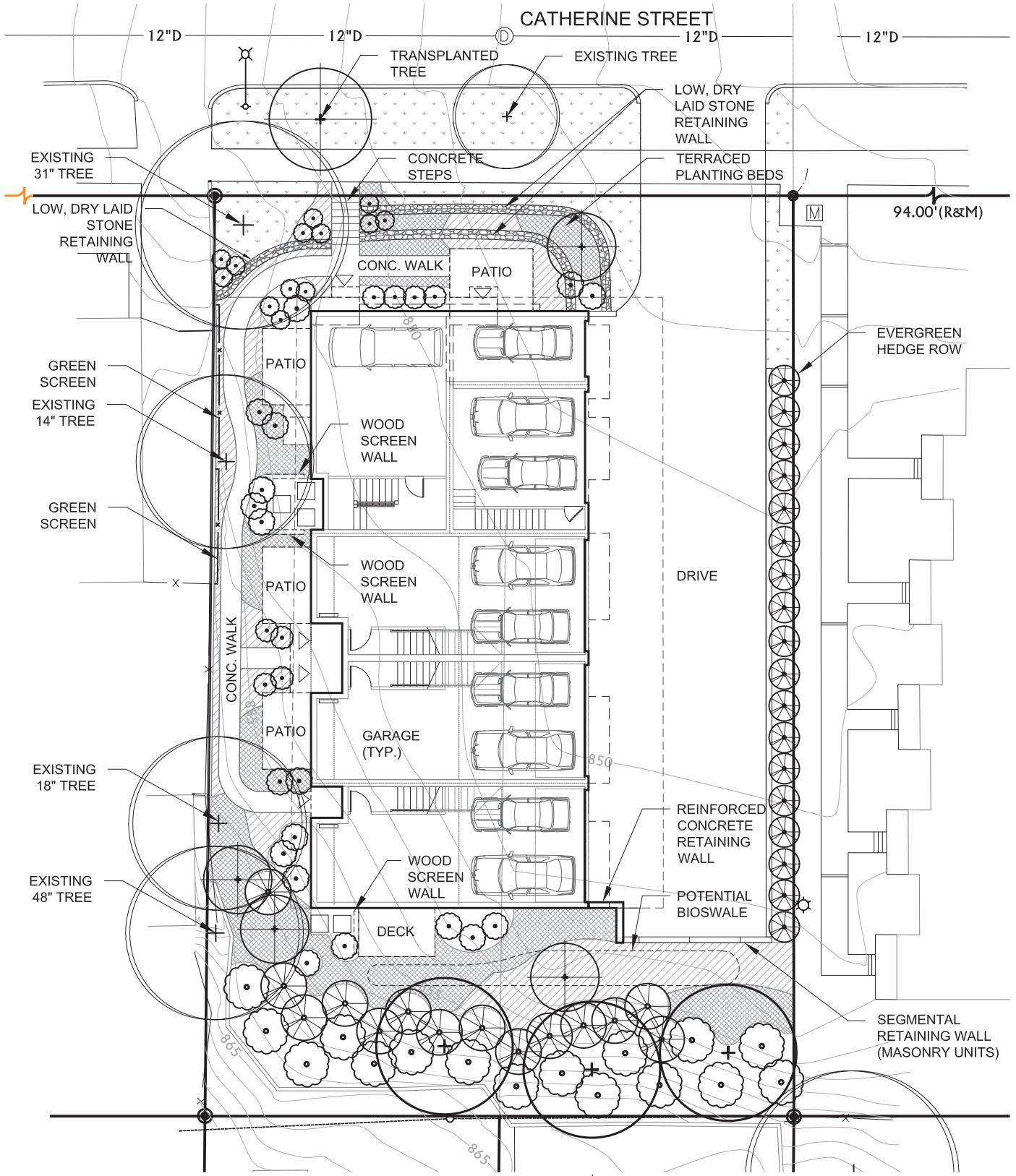
### **3. What are the reasons for the proposed changes?**

The reason for the proposed change is to provide additional housing units in the Old Fourth Ward neighborhood of Ann Arbor.






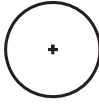

### **4. Attach any additional information that will further explain or clarify the proposal, and indicate these attachments here.**

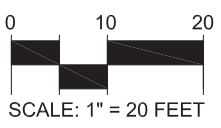
Attached are plans and elevations showing the proposed building and site. A site plan, landscape plans, floor plans, and exterior elevations are included. There are also images of a 3-D computer model showing the proposed building in its site context. Photographs showing the existing neighborhood and the existing site, as well as images of some of the proposed materials to be used at this site, are also attached.





**LEGEND:**

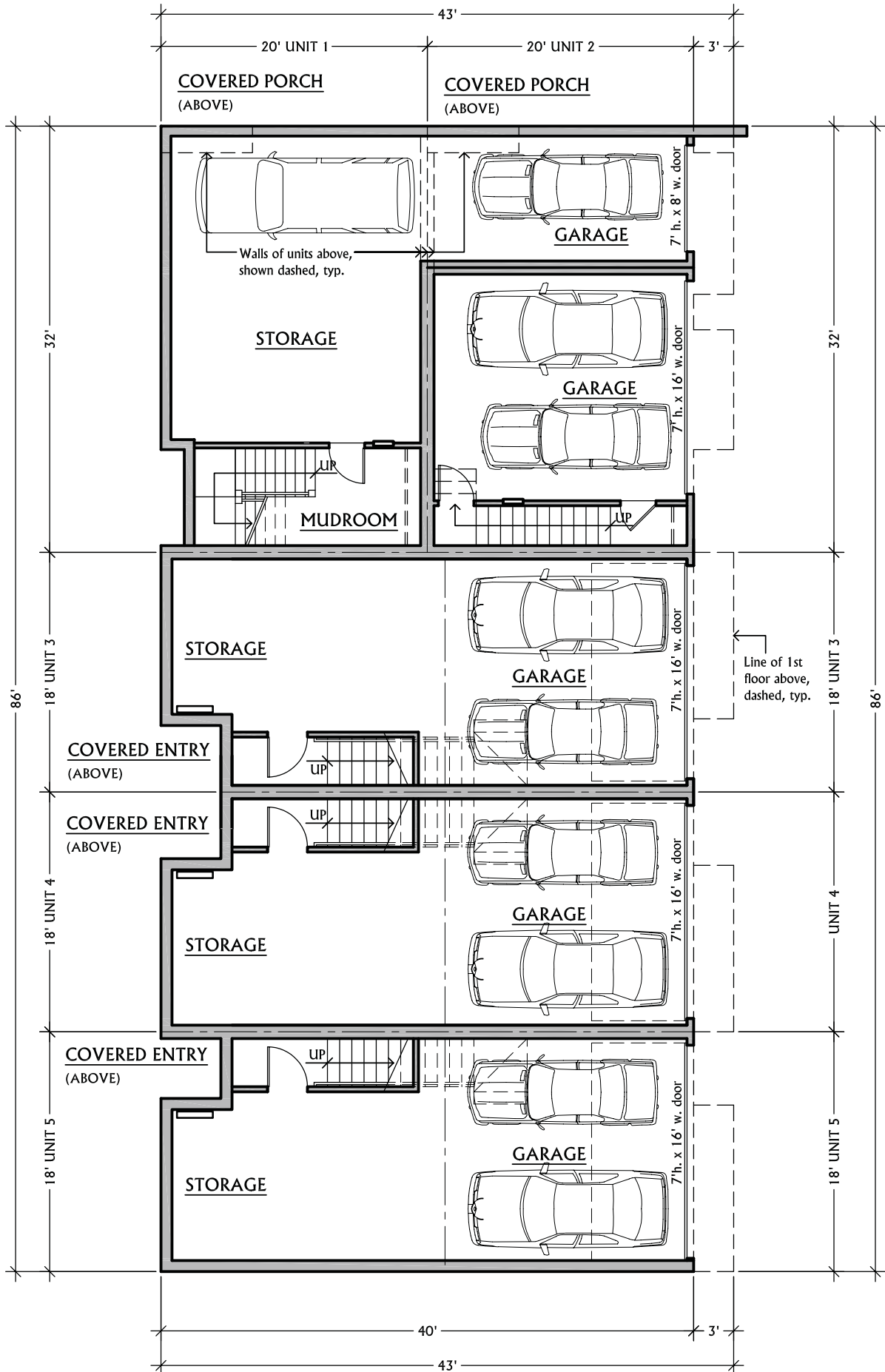
-  TURF GRASS
-  ORNAMENTAL GRASSES
-  PERENNIAL BED
-  DECIDUOUS SHRUB
-  EVERGREEN SHRUB
-  CANOPY TREE
-  ORNAMENTAL TREE



**CONCEPTUAL LANDSCAPE PLAN**  
 922 & 926 CATHERINE STREET  
 MARCH 21, 2012

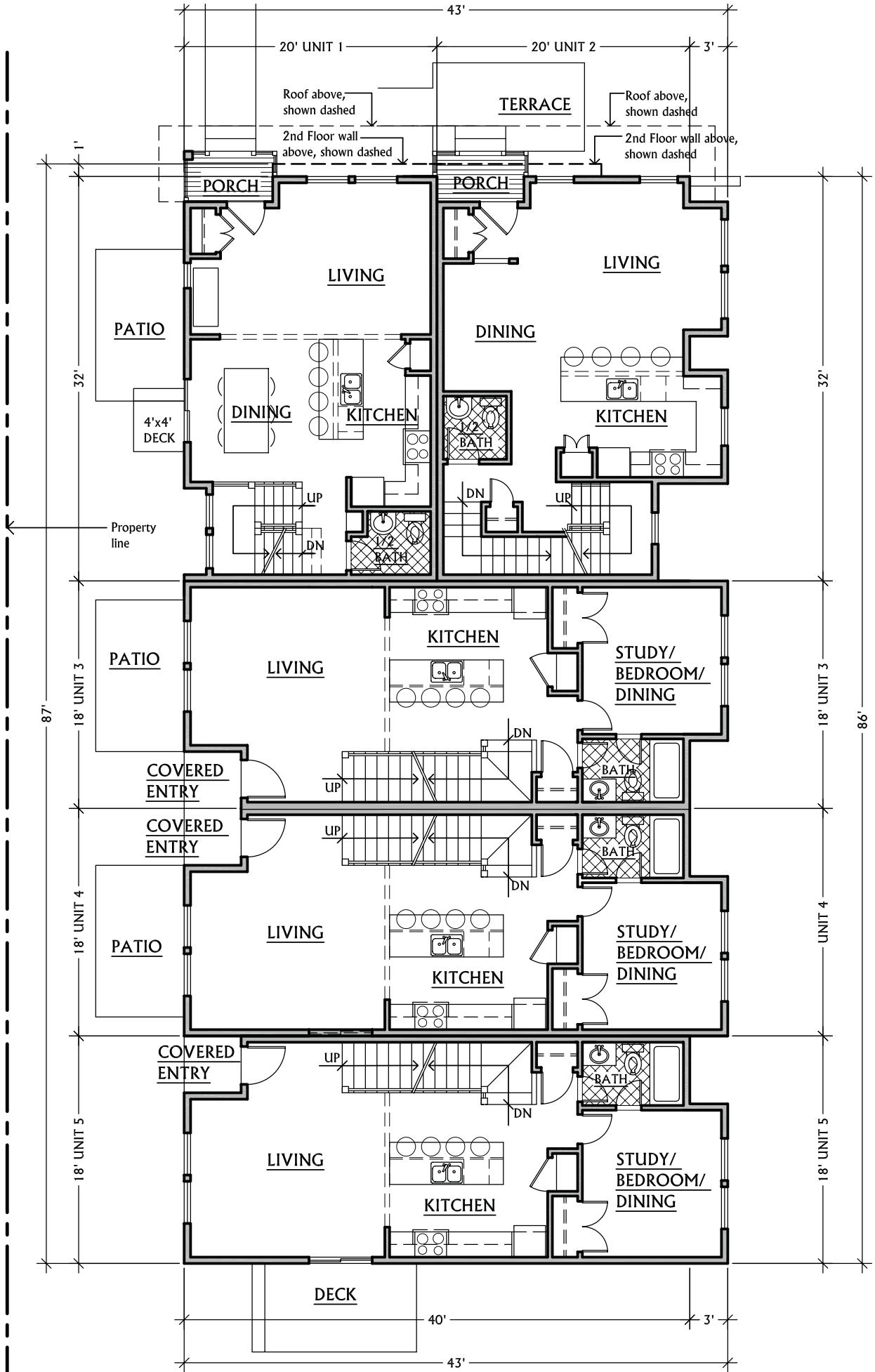


**The Johnson Hill Land Ethics Studio**  
 516 East Washington Street Ann Arbor, Michigan 48104  
 t: 734.668.7416 e: 734.668.2525 www.jhle-studio.com



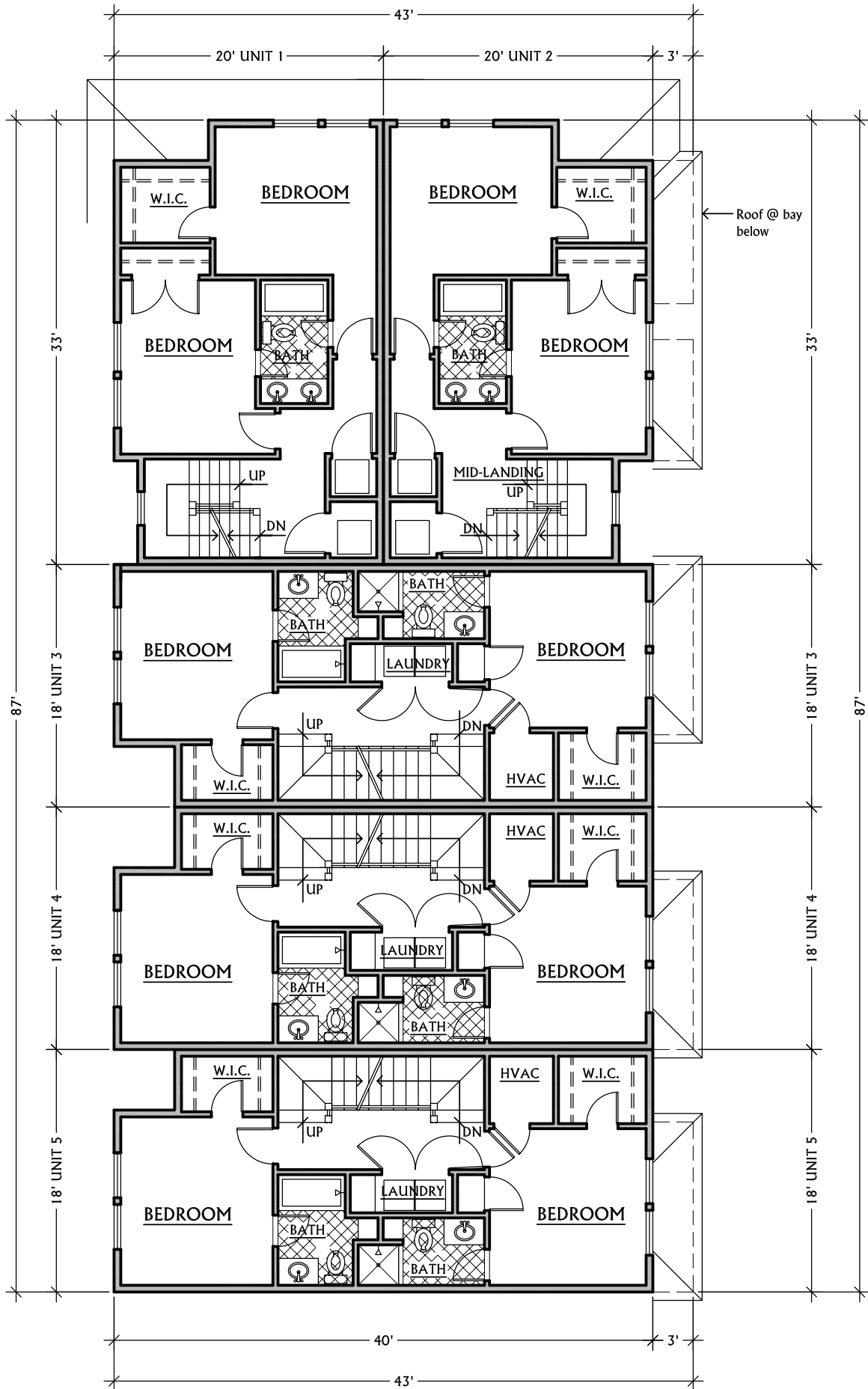
**BASEMENT/GARAGE FLOOR PLAN:**

scale: 3/32" = 1'-0"



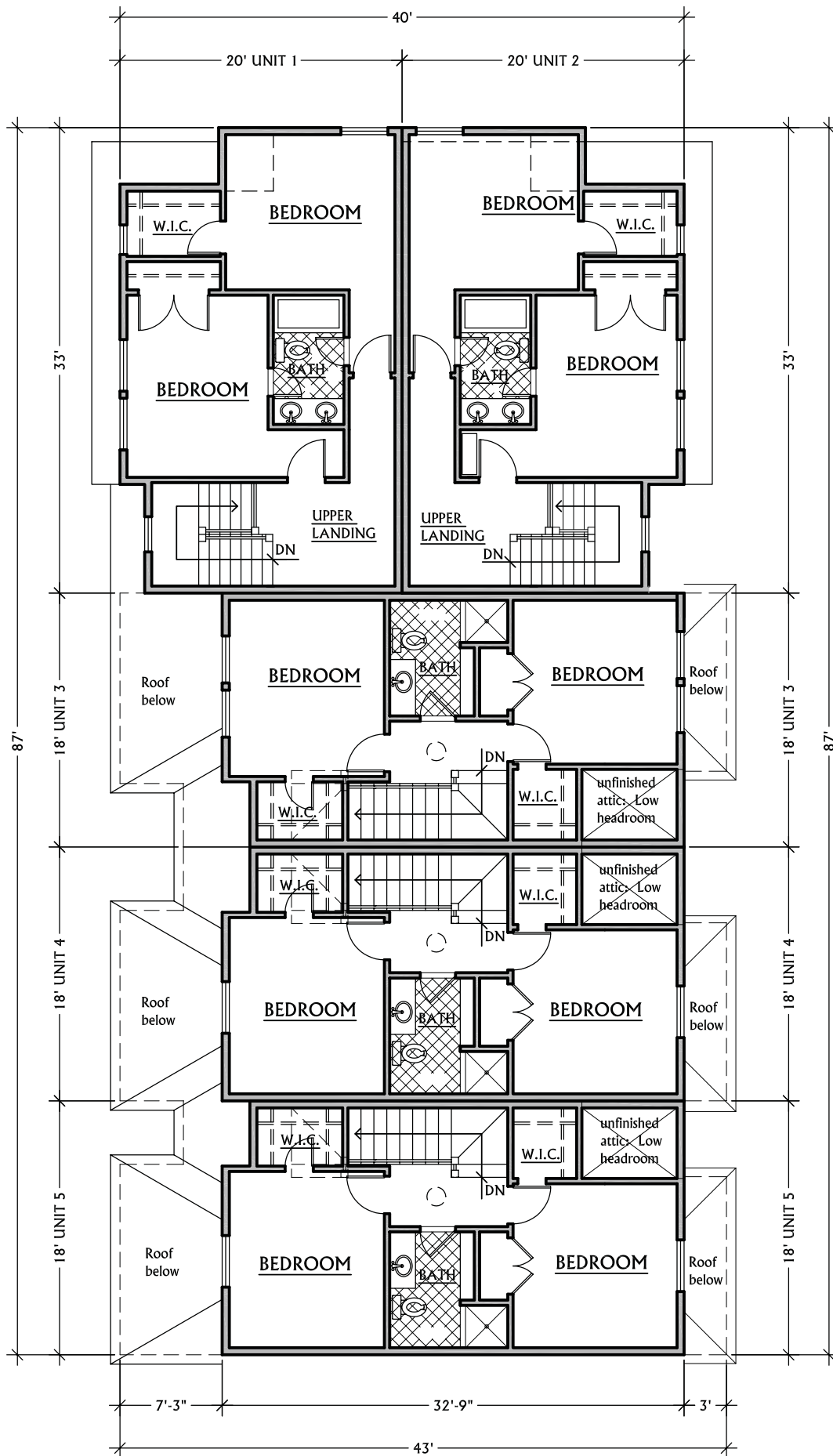
**FIRST FLOOR PLAN:**

scale: 3/32" = 1'-0"



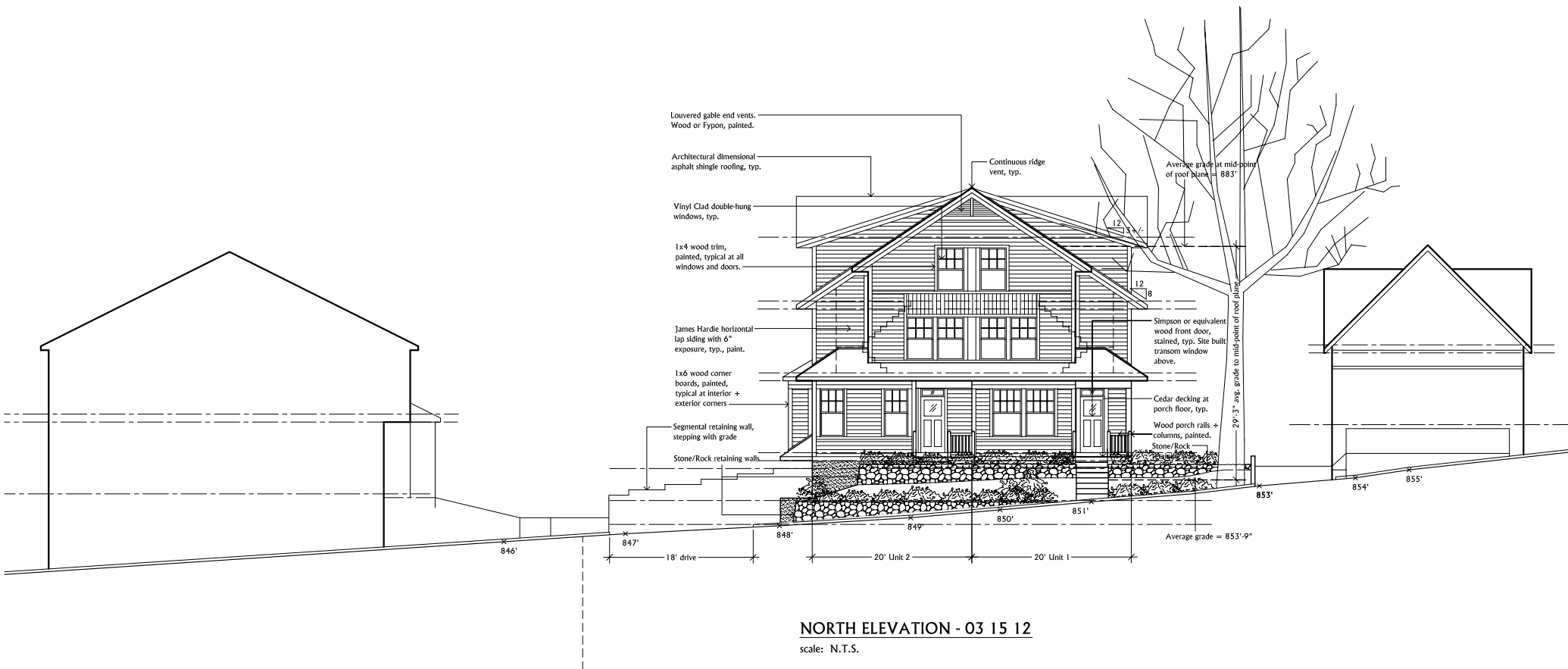
**SECOND FLOOR PLAN:**

scale: 3/32" = 1'-0"



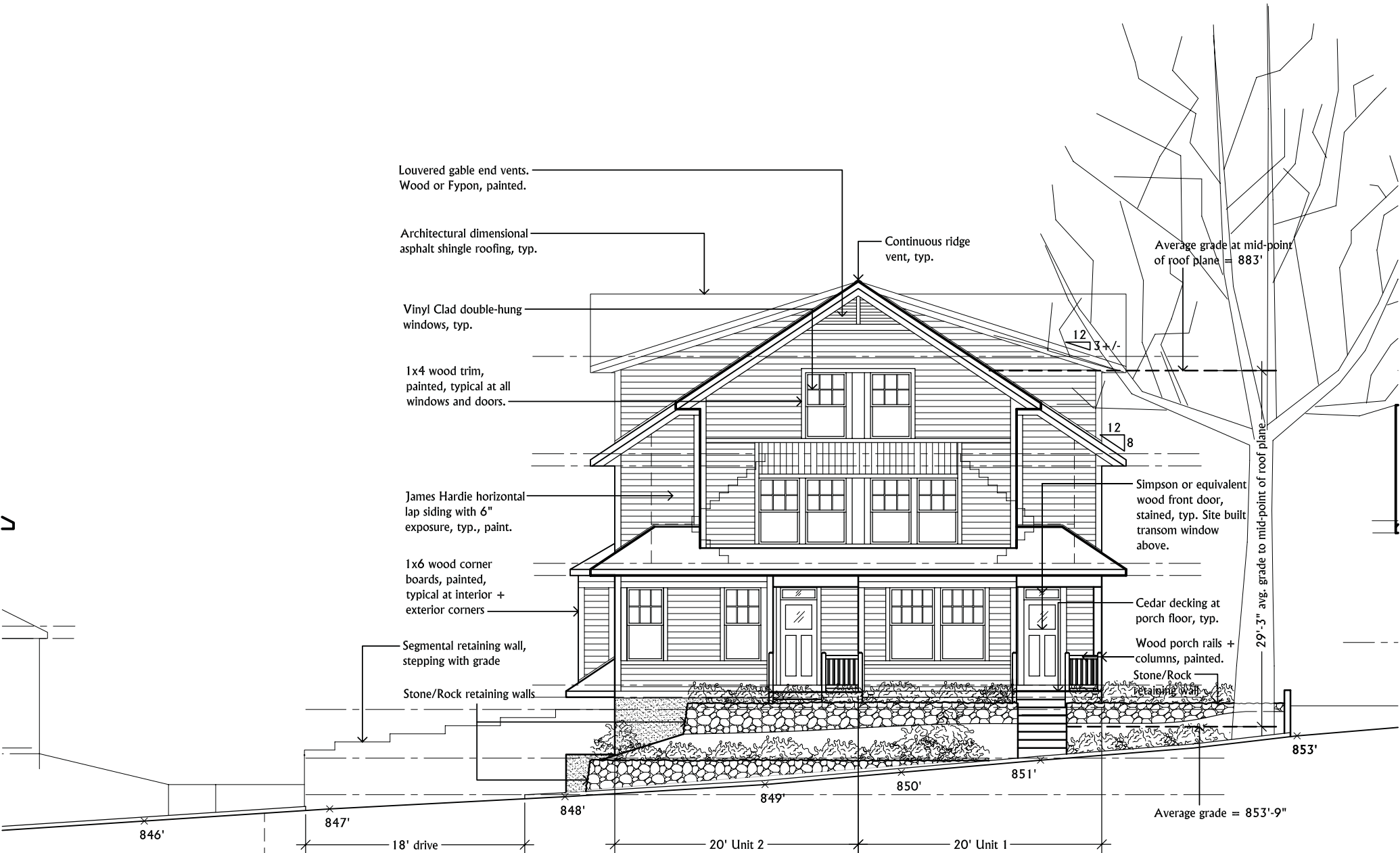
**THIRD FLOOR PLAN:**

scale: 3/32" = 1'-0"



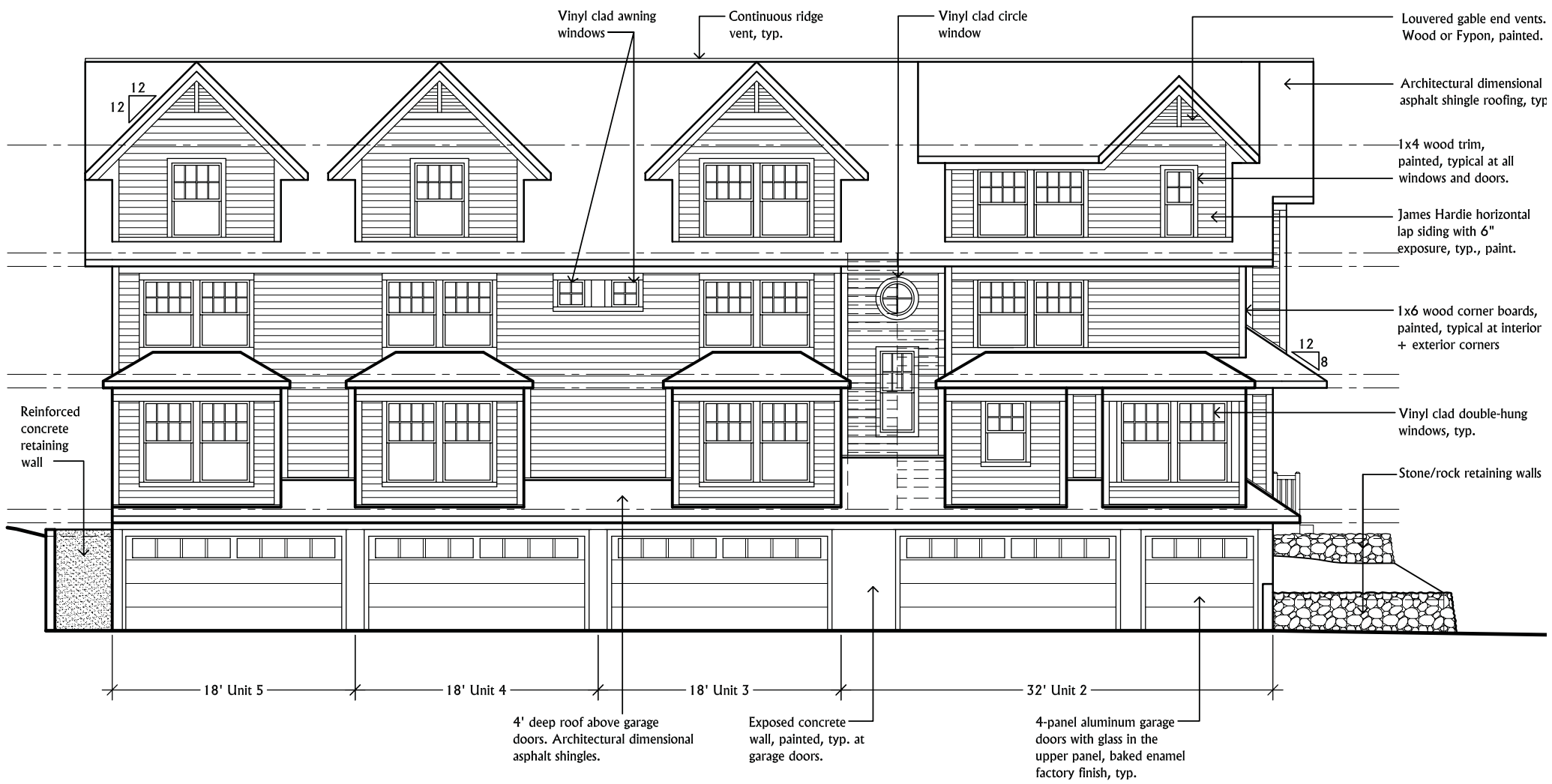
**NORTH ELEVATION - 03 15 12**

scale: N.T.S.



**NORTH ELEVATION - 03 15 12**

scale: 3/32" = 1'-0"



**EAST ELEVATION - 03 15 12**

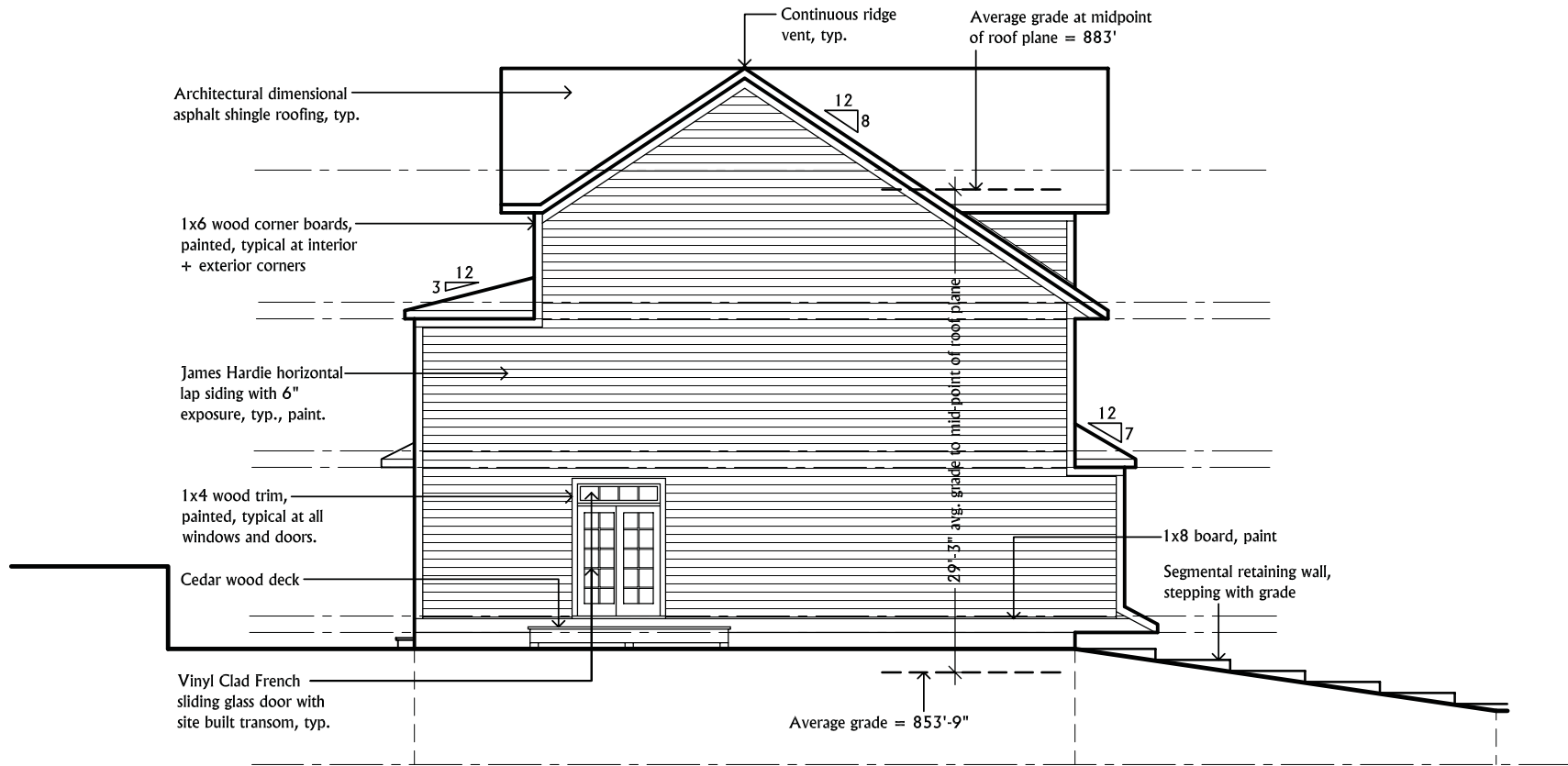
scale: 3/32" = 1'-0"





**WEST ELEVATION - 03 15 12**

scale: 3/32" = 1'-0"



**SOUTH ELEVATION - 03 15 12**

scale: 3/32" = 1'-0"

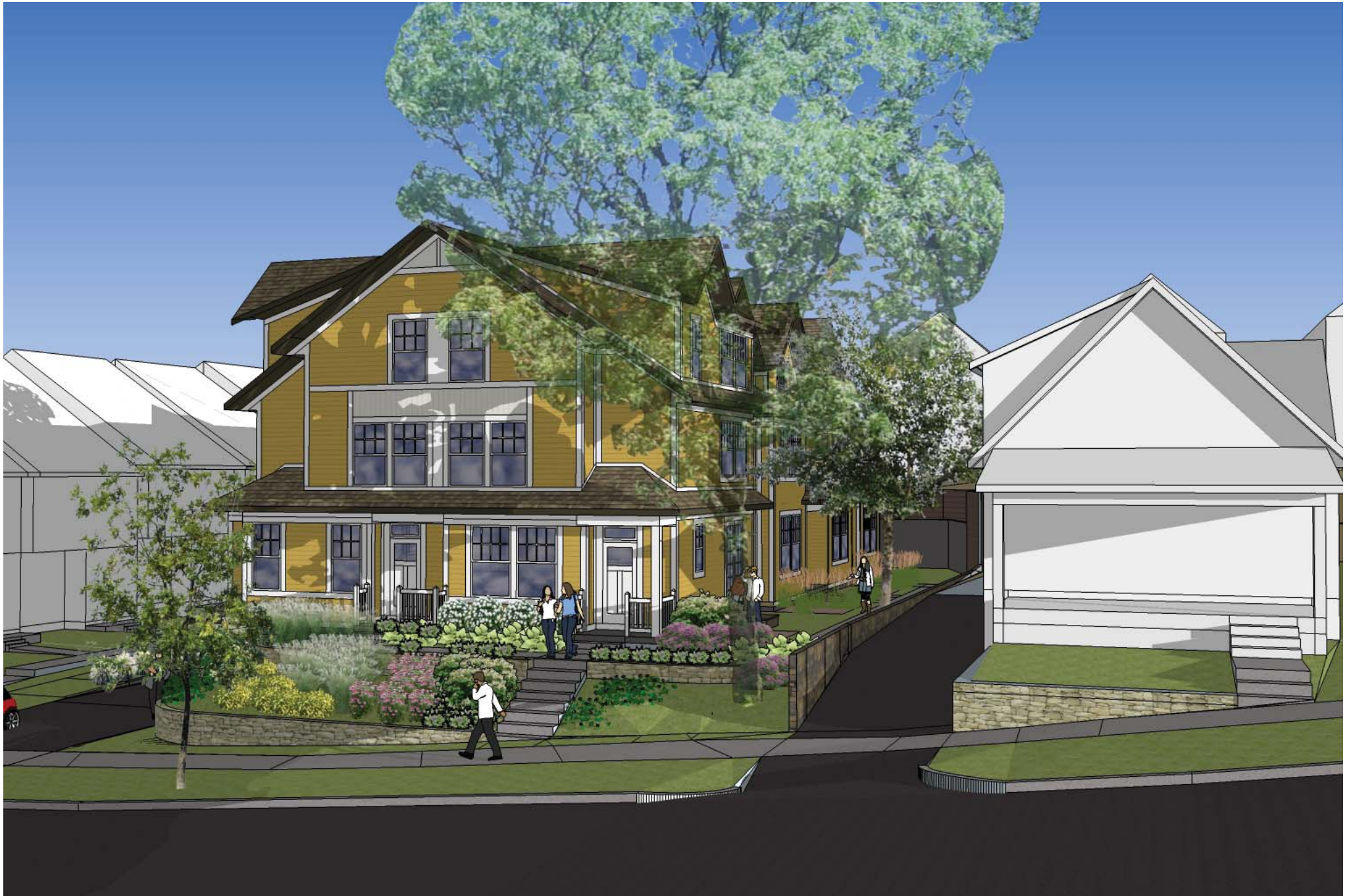




































**EXTERIOR BUILDING MATERIALS**

03.21.12

**BUILDING MATERIALS LIST**

**DATE:** March 13, 2012  
**PROJECT:** NEW MULTI-FAMILY DWELLINGS  
**LOCATION:** 922 + 926 CATHERINE STREET, ANN ARBOR, MICHIGAN 48104  
**FOR:** TOM FITZSIMMONS

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**GENERAL:**

The following materials have been selected for the exterior of this new residential development. These materials have been selected to provide compatibility with the existing residences to the west of 922-926 Catherine, without duplicating the exact material palette, and should offer a maintenance free exterior for the residents.

1. **SIDING:** The exterior siding shall be: James Hardie, horizontal lap siding with a 6" exposure, painted.
2. **TRIM MATERIALS:** The exterior trim shall be: Wood, painted.
3. **WINDOWS:** The windows shall be: wood with vinyl exterior cladding. Most windows are double-hung, 6 over 1, with a few exceptions. See elevations for one clad, circle window, and a few square awning units.
4. **GABLE-END VENTS:** The high gable-end vents shall be of louvered appearance and will be either Fypon or wood, painted. The vents will be trimmed with the trim materials noted in item #2 above.
5. **FRONT DOORS:** The unit front doors are to be Simpson or equivalent wood, flat-panel with clear, tempered, insulating glass in the upper section. The front entry doors shall have clear glass transom windows. (See photos for examples). The wood doors shall be stained.
6. **PORCH GUARD RAIL SYSTEMS:** At front porches along Catherine Street the guard rail systems shall be: Wood, painted.
7. **PORCHES, DECKS, AND STEPS:** At front porches, exterior landings, and steps the material shall be Cedar wood decking.
8. **GARAGE DOORS:** The garage doors shall be overhead, aluminum panel, with multi-pane glass upper panel. The doors shall be finished with a baked enamel, factory finish.
9. **ROOFING:** The roofing shall be: Architectural dimensional asphalt shingles.
10. **RETAINING WALLS:** There are four types of retaining walls to be utilized for the project, as follows:
  - A. **Stone/Rock retaining walls**, per the attached photos. This type shall be used along Catherine Street, in the front yard of the residences. This type shall also be located at the south end of the driveway.

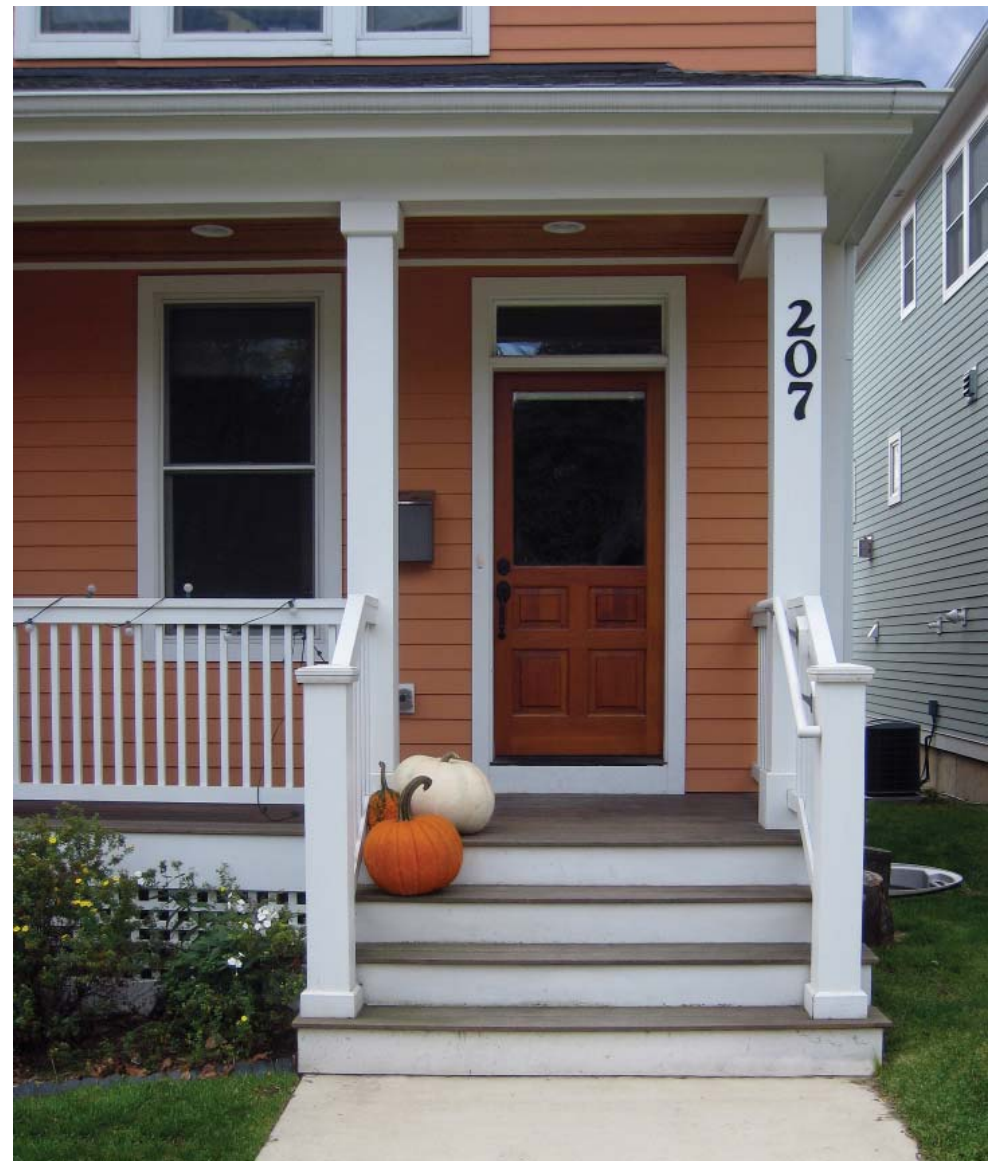
**B. Segmental Retaining walls**, per the attached photos. This type shall be used along east side of the driveway, near the Catherine Commons property line.

**C. Existing Treated Timber Retaining walls**. This type shall be maintained (and repaired where necessary), at the south end of the property, at the steeper slope.

**D. Reinforced Concrete Retaining walls**, to be utilized at the northeast and southeast corners of the proposed building, to reinforce the corners of the foundations and to act as transition points from building to natural grade.

**11. FOUNDATIONS:** Where the foundations are exposed, they shall be reinforced concrete, finished with a smooth exterior appearance.

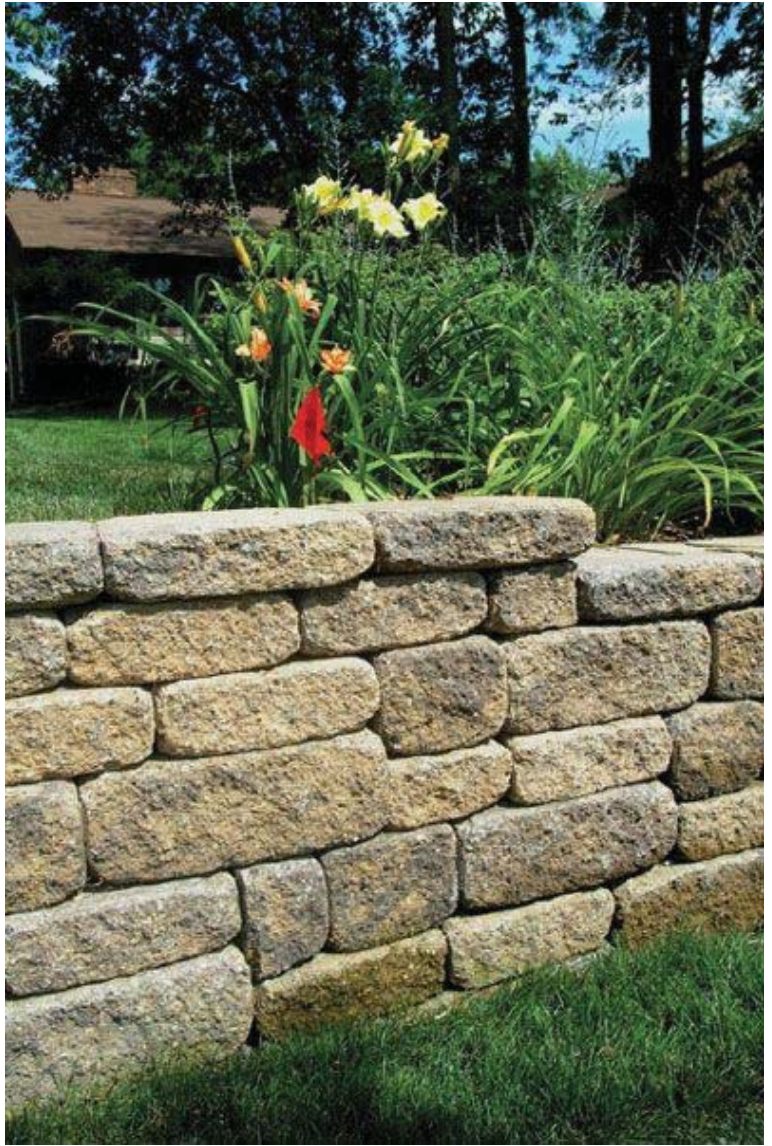
The above descriptions and the accompanying photos should help to explain the exterior appearance of the proposed building.



Images of front entries at West Summit (above): Front entry doors + transoms, columns, decks, and railings will be of the same or similar materials as those at West Summit Duplexes.



Dry laid stone/rock retaining wall: Low stone retaining walls at street will be similar to the one pictured above.



Segmental retaining walls: Segmental retaining walls along the drive will be similar to those pictured below and at right.





Green Screen: The green screen between the proposed building and the single family home to the west of the site will be similar to the one pictured above. Image to the right shows the screen before plant material has grown on the structure.