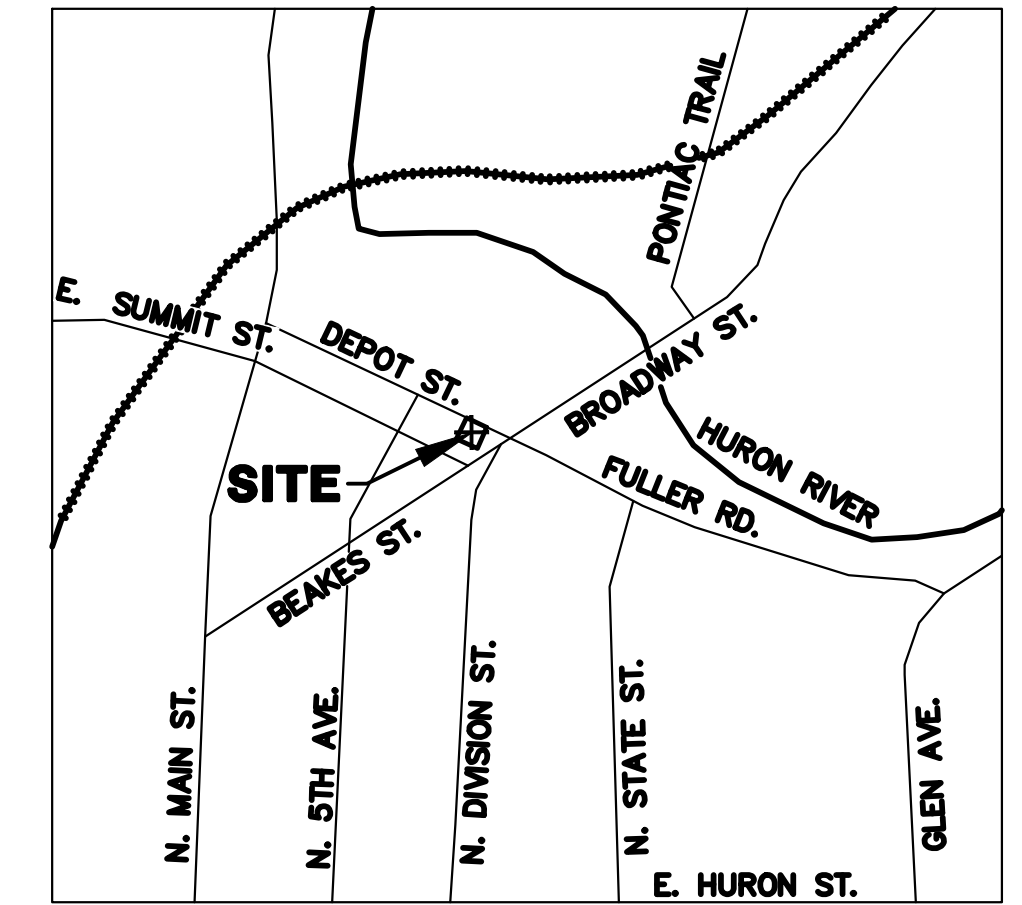


340 DEPOT STREET

CITY OF ANN ARBOR, WASHTENAW, MICHIGAN

PRELIMINARY PLANNED UNIT DEVELOPMENT



SHEET INDEX

#	SHEET TITLE
01	COVER SHEET
02	ALTA
03	EXISTING CONDITIONS
03A	DEMOLITION PLAN
04	DIMENSIONAL SITE PLAN
05	GRADING AND SOIL EROSION CONTROL PLAN
06	SOIL EROSION CONTROL NOTES AND SPECIFICATIONS
07	UTILITY PLAN
08	STORMWATER MANAGEMENT PLAN
09	DETAIL SHEET
10	FIRE PROTECTION AND REFUSE PLAN
11	NATURAL FEATURES AND LANDSCAPING PLAN
12	LANDSCAPE NOTES AND DETAILS



OWNER

MARK PFAFF
340 DEPOT ST.
ANN ARBOR, MICHIGAN 48104

ENGINEER/SURVEY/LANDSCAPE ARCH.

MIDWESTERN CONSULTING, LLC
3815 PLAZA DR.
ANN ARBOR, MI 48108
CONTACT: THOMAS J. COVERT
734-995-0200

ARCHITECT

HOBBS & BLACK ARCHITECTS
100 N. STATE STREET
ANN ARBOR, MI 48104
PH: (734) 663-4189
ATTN: DAVID NIMS

NOTES


- PROJECT NARRATIVE AND REQUIRED STATEMENTS LOCATED WITHIN THE ARCHITECTURAL PLAN SET.
- THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT. THE WORK SHALL BE PERFORMED IN COMPLETE CONFORMANCE WITH THE CURRENT CITY OF ANN ARBOR PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS AND DETAILS.
- SIDEWALKS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY SHALL MEET ALL REQUIREMENTS AND GUIDELINES AS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN. SIDEWALK AND CURB RAMP GRADES WILL BE REVIEWED DURING CONSTRUCTION PLAN SUBMITTALS.
- ALL SIDEWALKS SHALL BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.
- PAVEMENT MARKINGS DISTURBED DUE TO PAVEMENT CUTS OR CONSTRUCTION RELATED ACTIVITIES SHALL BE REPLACED. REPLACEMENT DURING CONSTRUCTION MAY BE CONSIDERED TEMPORARY, WITH FINAL PAVEMENT MARKING RESTORATION TO OCCUR AT THE END OF THE PROJECT.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING PUBLIC ROAD PAVEMENT. DAMAGE TO THE PUBLIC ROAD PAVEMENT DURING CONSTRUCTION MAY NECESSITATE MILLING AND RESURFACING OF THE DAMAGED AREAS.
- SIGN RE-USE OR RELOCATION INCLUDES THE INSTALLATION OF EXISTING SIGN ON A NEW POST.

NATURAL FEATURES SUMMARY

THE SITE IS CURRENTLY DEVELOPED WITH AN EXISTING SINGLE STORY BUILDING AND ASSOCIATED PARKING AND LANDSCAPING. THE MAJORITY OF THE LANDSCAPING IS LAWN WITH SOME SHRUBS AND PERENNIALS.

- WATERCOURSES - THERE ARE NO WATERCOURSES LOCATED ON THE SITE.
- FLOODPLAIN/FLOODWAY - THE SITE IS LOCATED WITHIN THE FLOODPLAIN MANAGEMENT OVERLAY ZONING DISTRICT. THE ALLEN CREEK 1% ANNUAL CHANCE FLOODPLAIN AND THE 0.2% ANNUAL CHANCE FLOODPLAIN EXTEND ONTO THE NORTHERN CORNERS OF THE SITE.
- STEEP SLOPES - NO KNOWN IMPACTS EXIST ON THE SITE. THERE IS AN EXISTING RETAINING WALL ALONG THE DEPOT STREET RIGHT-OF-WAY.
- WOODLAND - NO WOODLANDS EXIST ON THE SITE.
- THREATENED AND ENDANGERED SPECIES - THERE IS NO KNOWN ENDANGERED SPECIES HABITAT ON THE SITE.
- LANDMARK TREES - THERE ARE NO LANDMARK TREES LOCATED ON THE SITE.

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

340 DEPOT STREET		
JOB No. 21131	DATE: 10/21/2021	01
REVISIONS:	SHEET 01 OF 12	
PER MUNICIPAL REVIEW	REV. DATE: 01/14/22 CADD:	
PER MUNICIPAL REVIEW	4/15/22 ENG: RML2 PM: TJC TECH: /21131CV	
 MIDWESTERN CONSULTING 3815 Plaza Drive Ann Arbor, Michigan 48108 (734) 995-0200 • www.midwesternconsulting.com Land Development • Land Survey • Institutional • Municipal Wireless Communications • Transportation • Landfill Services		
RELEASED FOR:	DATE	U:\TPH_PE Seal.JPG U:\Signature.JPG P.E. #
REVISED SITE PLAN	01/14/22	
REVISED SITE PLAN	04/15/22	
REVISED SITE PLAN	05/11/22	

BENCHMARKS

BENCHMARK #1
SPIKE IN THE SOUTH SIDE OF A UTILITY POLE LOCATED ON THE SOUTH SIDE OF DEPOT STREET, ±14 FEET NORTHEAST OF THE NORTHEAST CORNER OF BUILDING 310 DEPOT STREET, AND WEST OF THE DRIVE TO THE ALLEY TO SUMMIT STREET.
ELEVATION = 779.27 (NAVD 88 DATUM)

BENCHMARK #2
BENCH-TIE IN NORTHWEST FACE OF UTILITY POLE AT THE SOUTHWEST CORNER OF BEAKES STREET AND SUMMIT STREET.
ELEVATION = 796.96 (NAVD 88 DATUM)

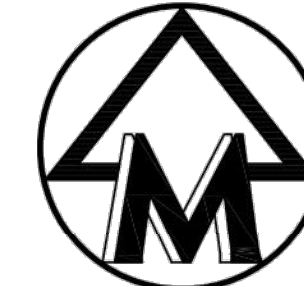
LEGAL DESCRIPTION

(per Absolute Title, Inc., File No.: 90577, Effective Date: March 29, 2021)

Lots 1 and 3, Block No. 8, Ormsby and Page's Addition to the City of Ann Arbor, as recorded in Liber M of Deeds, Page 191, Washtenaw County Records; also free right of way in a strip of land 2 rods wide of Depot Street and running of equal width to Summit Street and adjoining Lots 1 and 2 of said Block 8 on the West of Ormsby and Page's Addition to the City of Ann Arbor, as set forth in Liber 36, Page 666, Washtenaw County Records.

EXCEPTIONS

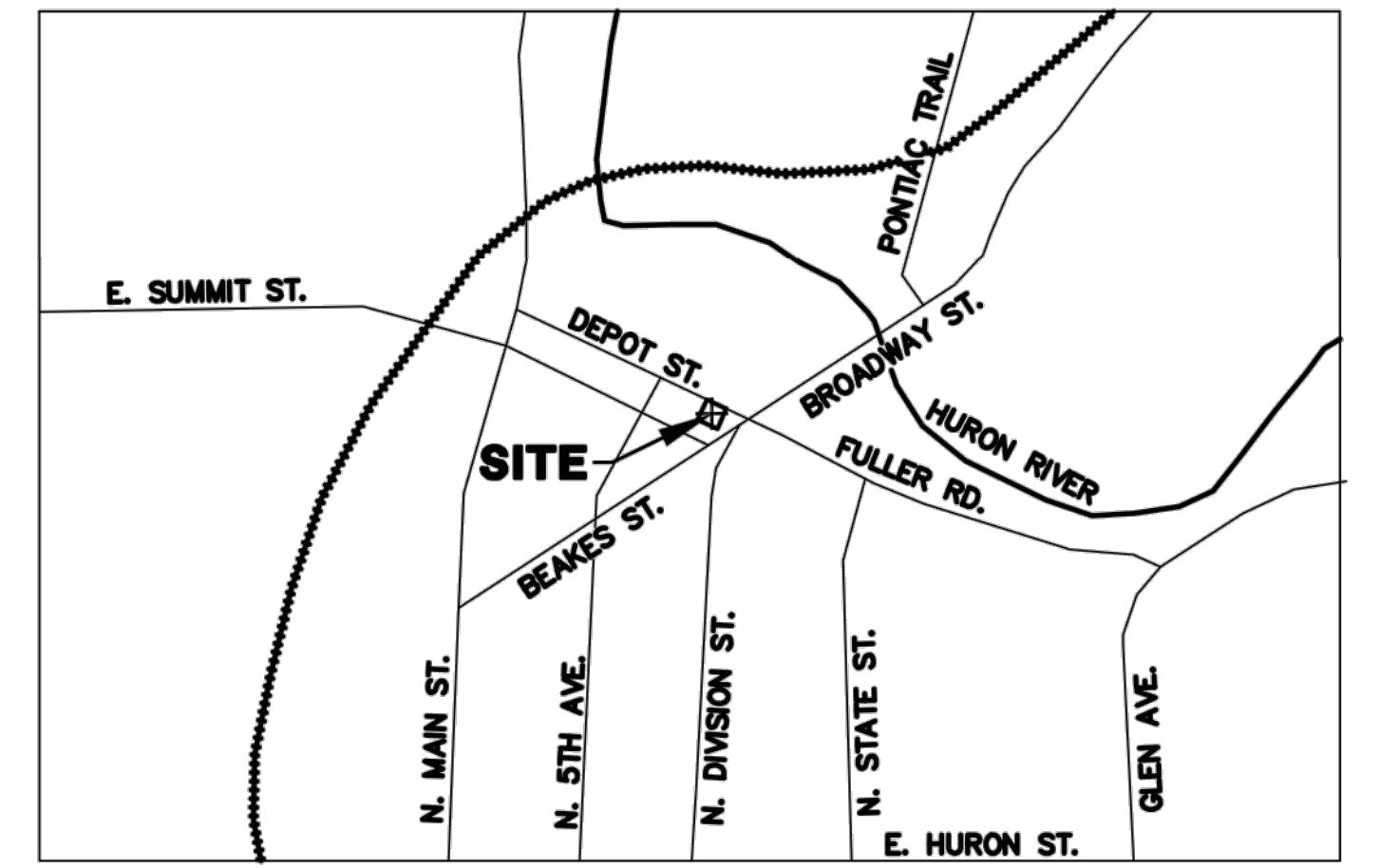
- Easement in favor of City of Ann Arbor, as recorded in Liber 3978, Page 810, Washtenaw County Records. (PLOTTED)
- Memorandum of Environmental Site Access Agreement, as recorded in Liber 4006, Page 177, Washtenaw County Records. (NOT PLOTTED, BLANKET IN NATURE)
- Easement in favor of the Detroit Edison Company and Michigan Bell Telephone Company, as recorded in Liber 1694, Page 8, Washtenaw County Records. (PLOTTED)



SCALE: 1" = 20'
0 20 40 60



Know what's below.
Call before you dig.



VICINITY MAP

NOT TO SCALE

LEGEND

- 8.38 EXIST. CONTOUR
- x836.2 EXIST. SPOT ELEVATION
- o- U.P. EXIST. UTILITY POLE
- ⊠ GUY WIRE
- OH ELEC. TRANSFORMER
- OH EXIST. OVERHEAD UTILITY LINE
- * EXIST. LIGHT POLE
- t EXIST. TELEPHONE LINE
- e EXIST. ELECTRIC LINE
- g EXIST. GAS LINE
- g EXIST. GAS VALVE
- f.o. EXIST. FIBER OPTIC LINE
- w EXIST. WATER MAIN
- EXIST. HYDRANT
- EXIST. GATE VALVE IN BOX
- EXIST. GATE VALVE IN WELL
- r EXIST. STORM SEWER
- EXIST. CATCH BASIN OR INLET
- s EXIST. SANITARY SEWER
- st TELEPHONE RISER
- scatv CABLE TELEVISION RISER
- em ELECTRIC METER
- gsm GAS METER
- fiber GAS LINE MARKER
- ped FIBER OPTIC MARKER
- ped PEDESTRIAN CROSSING SIGNAL
- tscb TRAFFIC SIGNAL CONTROL BOX
- POST
- MW-1 MONITORING WELL
- FENCE
- GUARDRAIL
- SINGLE TREE
- OUTLINE EVERGREEN SHRUB
- MONUMENT BOX
- O F FOUND IRON PIPE
- oFIR FOUND IRON ROD
- SPK SET P.K.
- OS SET IRON ROD

TREE LEGEND

- BO BOX ELDER
- L LOCUST
- M MAPLE
- MU MULBERRY
- PE PEAR
- S SPRUCE

TREE LIST

TAG#	DBH	COMMON NAME	GENUS/SPECIES	STEMS	SCORE	LM	INV
1377	14"	Norway Spruce	Picea abies				
1378	15"	Norway Spruce	Picea abies				
1379	12"	Sugar Maple	Acer saccharum				
1380	8"	Tree-of-heaven	Ailanthus altissima	triple			X
1381	7"	Norway Maple	Acer platanoides				X
1382	10"	White Mulberry	Morus alba				X
1383	12"	White Mulberry	Morus alba				X
1384	9"	White Mulberry	Morus alba	twin			X
1385	14"	White Mulberry	Morus alba				X
1386	12"	White Mulberry	Morus alba				X
1387	6"	Common Pear	Pyrus communis				
1388	11"	White Mulberry	Morus alba				X
1389	7"	White Mulberry	Morus alba				X

NOTES

- This survey was prepared using Absolute Title, Inc. Title Search No. 90577, with an Effective Date of March 29, 2021
- Bearings are based upon the Southerly right-of-way line of Depot Street, per recorded plat, Ormsby and Page's Addition to the City of Ann Arbor, Liber M of Deeds, Page 191, Washtenaw County Records.
- The parcel herein described is located within a 100-year flood zone per Federal Emergency Management Agency (FEMA) flood insurance rate map # 26161C0261E, effective date; April 3, 2012 for community panel No. 260535, 260213 and 261154.

SURVEYORS CERTIFICATE

To: Absolute Title, Inc.; Earmark Consulting, Ltd., an Ohio limited liability company.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 8, 11, 13, and 18 of Table A thereof. The fieldwork was completed on 06/01/2021.

MIDWESTERN CONSULTING, LLC

By: *Mark Vander Veen*
Mark Vander Veen, P.S. No. 56788

Date: October 21, 2021



M:\Civ\138_Pro\131131\Survey\21131_v2.dwg, 1/13/2022, 9:46 AM, Mark Vander Veen, D1-SS, MCLLC PDF.pc3
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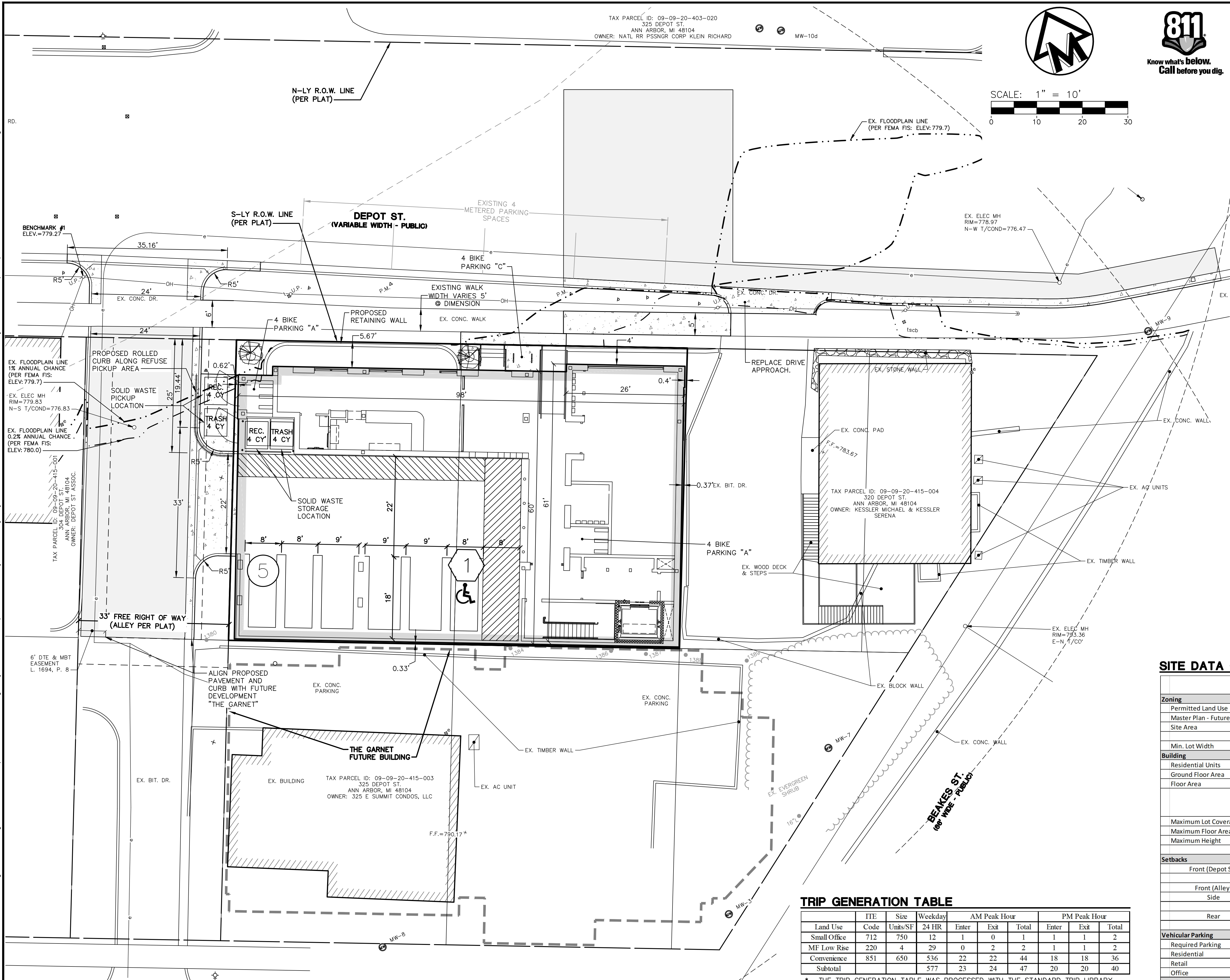
CLIENT
HOBBS + BLACK ARCHITECTS
100 N. STATE STREET
ANN ARBOR, MI 48104
ATTN: WAYNE CHUBB
724-663-4189

340 DEPOT ST.
ALTA/NSPS LAND TITLE SURVEY OF A PARCEL OF LAND
LOCATED IN THE SE 1/4 OF SECTION 20, T2S, R6E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

02

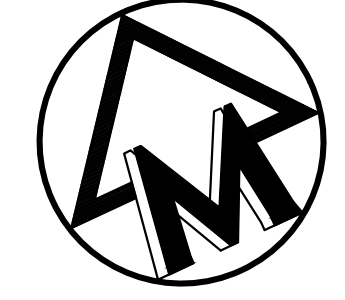
DATE: 06/14/21
SHEET 1 OF 1
REV. DATE
CADD:
ENG:
P.M.: TJC
TECH: HLE
JOB NO. 21131
REVISIONS:
21131

M:\CIVIL\2022\21131\Site Plan\21131\Site Plan.dwg, 5/11/2022 12:13 PM, R:\Richard M. Lewandowski, 04 DIMENSIONAL SITE PLAN, MCLC PDF -P3
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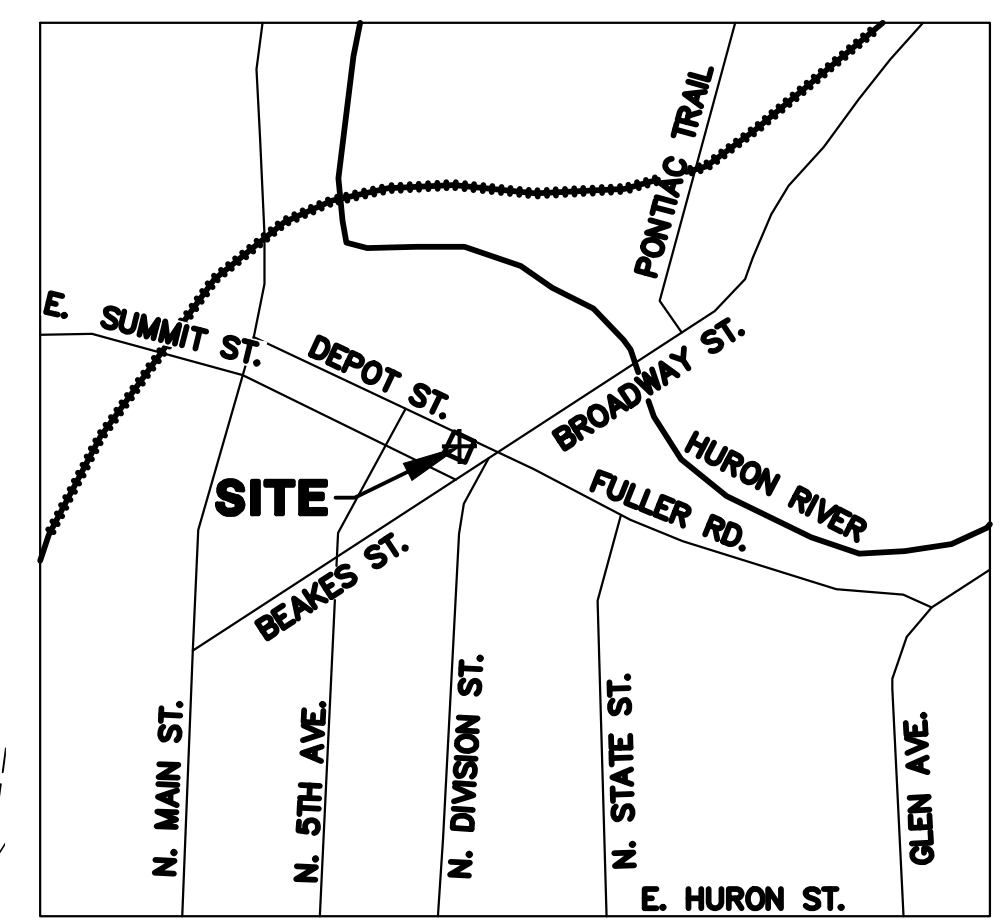


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TAX PARCEL ID: 09-09-20-403-020
 325 DEPOT ST.
 ANN ARBOR, MI 48104
 OWNER: NATL RR PSMGR CORP KLEIN RICHARD



SCALE: 1" = 10'
 0 10 20 30



VICINITY MAP
 SCALE: NTS

- NOTES**
- ALL RADII SHOWN ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 - SEE EASEMENT PLAN FOR ALL PROPOSED EASEMENTS.
 - NO PART OF THE PROPOSED STAIRS OR RETAINING WALLS WILL BE LOCATED IN THE DEPOT STREET RIGHT-OF-WAY.

- LEGEND**
- U.P. EXIST. UTILITY POLE
 - ⊙ NUMBER OF STANDARD PARKING SPACES IN ROW
 - ⊠ NUMBER OF COMPACT CAR PARKING SPACES IN ROW
 - ⊕ NUMBER OF BARRIER FREE PARKING SPACES IN ROW
 - BF BARRIER FREE PARKING SIGN
 - BFV VAN ACCESSIBLE BARRIER FREE PARKING SIGN
 - R BARRIER FREE SIDEWALK RAMP
 - PROP. CURB & GUTTER
 - ▨ PROP. BITUMINOUS PAVEMENT
 - ▩ PROP. HEAVY DUTY BITUMINOUS PAVEMENT
 - ▧ PROP. CONCRETE PAVEMENT
 - ⬠ SIGN
 - ⬠ P.M. EXIST. PARKING METER
 - PROP. SINGLE LIGHT
 - PROP. DOUBLE LIGHT

SITE DATA COMPARISON CHART

	Underlying Existing - C1B Community Convenience Center		Proposed Planned Unit Development	
Zoning	Residential/Commercial/Office	Commercial-Office - Central	Office/Retail/Residential	
Permitted Land Use	Residential/Commercial/Office	Commercial-Office - Central	Office/Retail/Residential	
Master Plan - Future Land Use	Commercial-Office - Central	Commercial-Office - Central	Office/Retail/Residential	
Site Area	3000 sf	6534 sf	6534 sf	
	0.07 Acres	0.15 Acres	0.15 Acres	
Min. Lot Width	20 ft	99 ft	99 ft	
Building				
Residential Units	NA	4	4	units
Ground Floor Area	NA	5891	7830	sf
Floor Area	9801	sf maximum	7830	sf total
		2,530	4,700	sf 1st floor
			600	sf 2nd floor
				sf 3rd floor
Maximum Lot Coverage	NA	%	90%	
Maximum Floor Area Ratio	150	%	120%	
Maximum Height	50	ft	43'	ft
	4	stories	3	stories
Setbacks				
Front (Depot St.)	10	ft	4	ft min.
	25	ft max	8	ft max.
Front (Alley)			<1	ft min.
Side	none		0	ft min.
	unless abutting residential zoning		NA	
Rear	none		0	ft min.
	unless abutting residential zoning		NA	
Vehicular Parking				
Required Parking	10 total spaces required	6	Total Provided	
Residential	1 per unit = 4 spaces required			
Retail	1 per 310sf = 3 spaces required			
Office	1 per 333sf = 3 spaces required			
Bicycle Parking				
	3 total spaces required	12	total provided	
Residential	1 per 5 du; 4 units = 1 req. (50% A/C)	4	Type A	
Retail	1 per 3,000sf = 1 required (50% B/C)	4	Type C	
Office	1 per 3,000sf = 1 required	4	Type A	

TRIP GENERATION TABLE

Land Use	ITE Code	Size Units/SF	Weekday 24 HR	AM Peak Hour			PM Peak Hour		
				Enter	Exit	Total	Enter	Exit	Total
Small Office	712	750	12	1	0	1	1	1	2
MF Low Rise	220	4	29	0	2	2	1	1	2
Convenience	851	650	536	22	22	44	18	18	36
Subtotal			577	23	24	47	20	20	40

* THE TRIP GENERATION TABLE WAS PROCESSED WITH THE STANDARD TRIP LIBRARY, WHICH CONSIDERS THE STANDARD AVAILABLE PARKING REQUIREMENTS ARE AVAILABLE. THE PROPOSED DEVELOPMENT HAS LIMITED PUBLIC PARKING AVAILABLE, WHICH WOULD INHERENTLY DIMINISH TYPICAL TRIPS COUNTS. IT IS ANTICIPATED THE TRIPS TO THE CONVENIENCE WILL BE PEDESTRIAN ORIENTED.

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 340 DEPOT STREET
 ANN ARBOR, MICHIGAN 48104

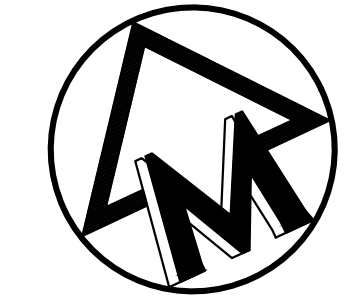
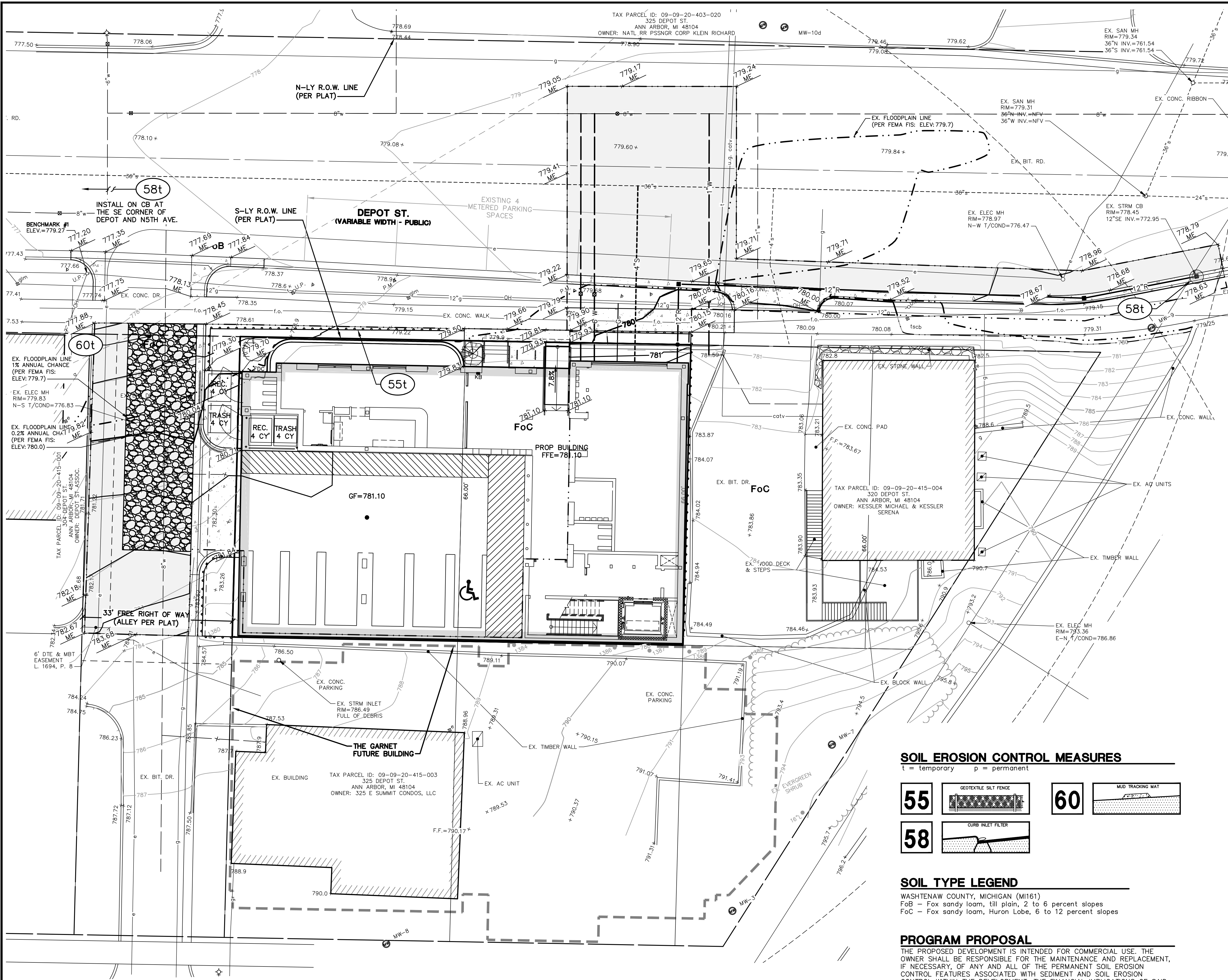
21131
 JOB No.

DATE: 10/21/2021
 SHEET 04 OF 12
 REV. DATE: 01/14/22
 CADD: 04/15/22
 ENG. RML2
 PM: TJC
 TECH: /Z131SP1

340 DEPOT STREET
 PRELIMINARY PLANNED UNIT DEVELOPMENT
 DIMENSIONAL SITE PLAN

04

M:\Civ\132_P\1321310P1_Site Plan\1321310P1.dwg, 5/11/2022 12:14 PM, R:\ehard M. Leventowski, 05 GRADING AND SOIL EROSION CONTROL PLAN, MCLC PDF, p.3
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SCALE: 1" = 10'



NOTES

1. PROPOSED CURB & GUTTER, PAVEMENT AND SIDEWALK TO MATCH EXISTING PAVEMENT/SIDEWALK GRADE AT REMOVAL LIMITS.
2. SIDEWALKS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY SHALL MEET ALL REQUIREMENTS AND GUIDELINES AS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
3. STORM WATER MANAGEMENT DURING CONSTRUCTION
4. UTILIZE A TEMPORARY PIT FOR STORING RUNOFF WHILE SITE IS MASS GRADED AND DURING FOUNDATION CONSTRUCTION. WATER TO BE PUMPED OUT THROUGH A FILTER BAG. ONCE VERTICAL CONSTRUCTION COMMENCES RELY ON SILT FENCE AND INLET FILTERS TO PROVIDE TREATMENT FOR WATER QUALITY. TEMPORARY PIT LOCATION SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR AN INSPECTOR TO NOT INTERFERE WITH CONSTRUCTION ACTIVITY.

LEGEND

	EXIST. CONTOUR
	PROP. CONTOUR
	EXIST. SPOT ELEVATION
	PROP. SPOT ELEVATION
	EXIST. UTILITY POLE
	EXIST. UTILITY POLE W/ TRANS.
	GUY WIRE
	ELEC. TRANSFORMER
	EXIST. AC UNIT
	EXIST. GENERATOR
	EXIST. OVERHEAD UTILITY LINE
	EXIST. LIGHT POLE
	PROP. LIGHT POLE
	EXIST. TELEPHONE LINE
	EXIST. ELECTRIC LINE
	EXIST. GAS LINE
	EXIST. GAS VALVE
	EXIST. FIBER OPTIC LINE
	EXIST. WATER MAIN
	PROP. WATER MAIN
	EXIST. HYDRANT
	PROP. HYDRANT
	EXIST. GATE VALVE IN BOX
	PROP. GATE VALVE IN BOX
	EXIST. GATE VALVE IN WELL
	PROP. GATE VALVE IN WELL
	EXIST. CURB STOP & BOX
	PROP. CURB STOP & BOX
	REDUCER
	EXIST. BLOW-OFF
	PROP. BLOW-OFF
	POST INDICATOR VALVE
	THRUST BLOCK
	PROP. KNOXBOX
	EXIST. FIRE DEPARTMENT CONNECTION
	PROP. FIRE DEPARTMENT CONNECTION
	EXIST. STORM SEWER
	PROP. STORM SEWER
	EXIST. CATCH BASIN OR INLET
	PROP. CATCH BASIN OR INLET
	EXIST. BEEHIVE INLET
	PROP. BEEHIVE INLET
	PROP. ROOF DRAIN
	END SECTION
	HEAD WALL
	CULVERT
	EXIST. DOWNSPOUT
	PROP. DOWNSPOUT
	EXIST. SANITARY SEWER
	PROP. SANITARY SEWER
	EXIST. CLEANOUT
	PROP. CLEANOUT
	C/L OF DITCH
	DRAINAGE DIRECTION
	SIGN
	SINGLE TREE
	TREE OR BRUSH LIMIT
	FENCE
	SILTFENCE
	LIMITS OF DISTURBANCE
	CONSTRUCTION FENCE
	FINISH FLOOR ELEVATION
	GARAGE FLOOR ELEVATION
	BASEMENT FINISH FLOOR ELEVATION

SOIL EROSION CONTROL MEASURES

t = temporary p = permanent

	GEOTEXTILE SILT FENCE		MUD TRACKING MAT
	CURB INLET FILTER		

SOIL TYPE LEGEND

WASHTENAW COUNTY, MICHIGAN (MI61)
 FoB - Fox sandy loam, till plain, 2 to 6 percent slopes
 FoC - Fox sandy loam, Huron Lobe, 6 to 12 percent slopes

PROGRAM PROPOSAL

THE PROPOSED DEVELOPMENT IS INTENDED FOR COMMERCIAL USE. THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPLACEMENT, IF NECESSARY, OF ANY AND ALL OF THE PERMANENT SOIL EROSION CONTROL FEATURES ASSOCIATED WITH SEDIMENT AND SOIL EROSION CONTROL WITHIN THE DEVELOPMENT. THE FINANCIAL IMPLICATIONS OF SAID MAINTENANCE WILL BE ADMINISTERED IN THE SAME MANNER AS OTHER MAINTENANCE NEEDS AS DETERMINED BY THE CITY OF ANN ARBOR.

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340 DEPOT STREET
 PRELIMINARY PLANNED UNIT DEVELOPMENT
 GRADING AND SOIL EROSION CONTROL PLAN

05

DATE: 10/21/2021	REV. DATE: 01/14/22
SHEET 05 OF 12	CADD: 04/15/22
PER MUNICIPAL REVIEW	ENG. RML2
PER MUNICIPAL REVIEW	PM: TJC
PER MUNICIPAL REVIEW	TECH: /Z1310P1

JOB No. 21131

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MAINTENANCE TASK AND SCHEDULE

MAINTENANCE TASK AND SCHEDULE DURING CONSTRUCTION (by Contractor)	Green Roof	Curb/Basin/Inlet Structures	Curb/Basin/Inlet Structures	Curb/Basin/Inlet Structures	COMMENTS:	SCHEDULE:		ESTIMATED COST:
						Frequency	Event	\$
Inspect for sediment accumulation	X	X	X	X		Weekly and after every 1" storm event		800
Removal of sediment accumulation	X	X	X	X		As needed and prior to turnover		2,000
Inspect for floatable and debris	X	X	X	X		Quarterly and after every 1" storm event		300
Cleaning of floatable and debris	X	X	X	X		Quarterly, as needed, and at turnover		1,200
Make adjustments or replacements as determined by pre-turnover inspection	X	X	X	X		As needed		2,000
Total Construction Phase Cost Estimate								\$ 6,300

* "As Needed" means when sediment has accumulated to one foot depth.

MAINTENANCE TASK AND SCHEDULE AFTER CONSTRUCTION (by Owner)	Green Roof	Curb/Basin/Inlet Structures	Curb/Basin/Inlet Structures	Curb/Basin/Inlet Structures	COMMENTS:	SCHEDULE:		ESTIMATED COST:
						Frequency	Event	\$
Inspect for sediment accumulation	X	X				Yearly and after every 1" storm event		150
Removal of sediment accumulation	X	X				As needed		800
Inspect for floatable and debris	X	X				Yearly and after every 1" storm event		100
Cleaning of floatable and debris	X	X				As needed		200
Soil Test, Weed, Fertilize, Displaced Soil, Drain Inspecting, Pest Control, Irrigation	X					Yearly and monthly		2,500
Total Annual Cost Estimate								\$ 3,750

SOIL EROSION CONSTRUCTION NOTES

- ALL SOIL EROSION CONTROL MEASURES SHALL COMPLY WITH THE CURRENT CITY OF ANN ARBOR ORDINANCES, WASHTENAW COUNTY STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND STATE OF MICHIGAN "SOIL EROSION AND SEDIMENTATION CONTROL ACT" (ACT #347).
- PRIOR TO COMMENCING EARTHMOVING OPERATIONS, THE GRADING CONTRACTOR SHALL INSTALL THE MUD TRACKING MAT, THE SILT FENCE AND TEMPORARY GRAVEL FILTER(S) SHOWN ON THE PLANS.
- ANY LAWN AREA WHICH WILL HAVE A SLOPE STEEPER THAN 6:1 (6 FT. MEASURED HORIZONTALLY AND 1 FT. MEASURED VERTICALLY) SHALL BE SODDED AND PEGGED OR SEEDED AND MULCHED USING A SOIL EROSION CONTROL FABRIC OR BLANKET. HYDROSEEDING MAY BE USED IN LIEU OF SEED AND MULCH OR SOD WHERE SLOPES ARE FLATTER THAN 6:1.
- THE ACTUAL LOCATION OF THE MUD TRACKING MATS AND THE GRAVEL FILTERS MAY BE ADJUSTED BY THE CONTRACTOR TO MATCH CONTRACTOR'S OPERATIONS AND FIELD CONDITIONS BUT ONLY IF APPROVED BY THE ENGINEER.
- ALL DISTURBED AREAS, EVEN WHERE FUTURE PAVEMENT AND BUILDINGS ARE PROPOSED, ARE TO BE REVEGETATED PER COUNTY STANDARDS FOR TEMPORARY SEEDING.
- ESTIMATED EARTHWORK FOR THIS PROJECT IS 500 CY CUT AND 200 CY FILL. THIS IS AN ESTIMATE ONLY AND IS NOT TO BE USED FOR CONSTRUCTION OR ESTIMATING PURPOSES.
- THE ESTIMATED COST OF PROTECTING ALL EXPOSED SURFACES FROM EROSION SHOULD CONSTRUCTION CEASE IS \$1,500. (RESPREAD 3" TOPSOIL AND SEEDING)

SOIL EROSION MAINTENANCE REQUIREMENTS

- ALL STRAW BALE AND/OR SILT FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. IF AT ANY TIME THE DEPTH OF SILT AND SEDIMENT COMES TO WITHIN 6" OF THE TOP OF ANY STRAW BALE OR WITHIN 12" OF THE TOP OF ANY SILT FENCE, ALL SILT AND SEDIMENT SHALL BE REMOVED TO ORIGINAL GRADE.
- ALL TEMPORARY GRAVEL FILTERS SHOULD BE ADJUSTED AS TO LOCATION PER ACTUAL FIELD CONDITIONS. THE REMOVAL OF TRAPPED SEDIMENT AND THE CLEANOUT OR REPLACEMENT OF CLOGGED STONE MAY BE NECESSARY AFTER EACH STORM EVENT DURING THE PROJECT.
- ONLY UPON STABILIZATION OF ALL DISTURBED AREAS MAY THE SILT FENCE, AND TEMPORARY GRAVEL FILTERS BE REMOVED. ALSO, ALL STORM SEWERS MUST BE CLEANED OF ALL SEDIMENT.

CONSTRUCTION SEQUENCE (FALL 2022 - SPRING 2023)

- SESC PRE-GRADING MEETING
 - IDENTIFY CONSTRUCTION LIMITS.
 - INVENTORY SITE:
 - IDENTIFY CONSTRUCTION LIMITS.
 - INSTALL SILT FENCING.
 - INSTALL INLET FILTERS ON EXISTING INLET STRUCTURES.
 - DEFINE THE SITE ACCESS AND INSTALL MUD TRACKING MATS AS NEEDED.
 - DEFINE THE CONSTRUCTION STORAGE AREAS WITHIN THE GRADING LIMITS AS DEFINED ON THE PLANS.
 - CLEAR AND GRUB SITE, DEMOLITION AND REMOVALS:
 - MAINTAIN EXISTING CONTROLS.
 - REMOVE BUILDING AND CLEAR THE SITE.
 - TREE AND STUMP REMOVAL.
 - STRUCTURE AND UTILITY REMOVALS.
 - CONNECT 320 DEPOT STREET WATER SERVICE LEAD
 - MASS GRADING AND UTILITY CONSTRUCTION:
 - MAINTAIN EXISTING CONTROLS.
 - MASS GRADE THE SITE.
 - UTILIZE A TEMPORARY PIT FOR STORING RUNOFF WHILE SITE IS MASS GRADED. WATER TO BE PUMPED OUT THROUGH A FILTER BAG. ONCE VERTICAL CONSTRUCTION COMMENCES RELY ON SILT FENCE AND INLET FILTERS TO PROVIDE TREATMENT FOR WATER QUALITY.
 - CONNECT WATER AND SANITARY SERVICE LEADS.
 - TEMPORARY SEED AND MULCH DISTURBED AREAS IF PRACTICAL.
 - CONSTRUCT AND/OR MAINTAIN FIRE DEPARTMENT ACCESS TO FLAMMABLE MATERIALS. EXISTING SUPPORTING HYDRANTS SHALL BE OPERATIONAL PRIOR TO ISSUANCE OF INDIVIDUAL BUILDING PERMITS.
 - PAVE ALLEY AND DEPOT STREET:
 - MAINTAIN EXISTING CONTROLS.
 - REPLACE ASPHALT PAVEMENT IN DISTURBED AREAS OF DEPOT STREET AND PUBLIC ALLEY.
 - BUILDING FOUNDATION CONSTRUCTION:
 - MAINTAIN EXISTING CONTROLS.
 - INSTALL EARTH RETENTION SYSTEMS (IF NECESSARY).
 - EXCAVATE FOR BUILDING FOUNDATIONS.
 - UTILIZE A TEMPORARY PIT FOR STORING RUNOFF WHILE FOUNDATION IS CONSTRUCTED. WATER TO BE PUMPED OUT THROUGH A FILTER BAG. ONCE VERTICAL CONSTRUCTION COMMENCES RELY ON SILT FENCE AND INLET FILTERS TO PROVIDE TREATMENT FOR WATER QUALITY.
 - CONSTRUCT BUILDING FOUNDATIONS.
 - PAVE DRIVEWAY AND PARKING LOT:
 - MAINTAIN EXISTING CONTROLS.
 - CONSTRUCT CONCRETE PAVEMENT FOR ON-SITE DRIVEWAY AND PARKING LOT.
 - FINE GRADE AND BUILDING CONSTRUCTION:
 - MAINTAIN EXISTING CONTROLS.
 - CONSTRUCT BUILDING.
 - INSTALL GREEN ROOF
 - FINE GRADE THE SITE AND CONSTRUCT ALL NEW HARDSCAPE.
 - SEED AND MULCH (SEED AND MAT SLOPES GREATER THAN 3:1) DISTURBED AREAS BEHIND CURB WITHIN 5 DAYS OF ESTABLISHING FINAL GRADES.
 - PLANT TREES, SHRUBS AND LANDSCAPE ITEMS PRIOR TO ISSUANCE OF THE CERTIFICATES OF OCCUPANCY.
 - CLEAN-UP SITE:
 - SEED AND MULCH OR SOD AREAS THAT HAVE NOT TAKEN.
 - MAINTAIN EXISTING CONTROLS.
 - FOLLOW-UP AFTER THE SITE IS STABILIZED:
 - REMOVE SILT FENCE
 - REMOVE CATCH BASIN FILTERS OR SILT SACKS.
 - REMOVE SILT FROM THE STORM SEWER SYSTEM.
 - FINALIZE BUILDING CONSTRUCTION:
 - MAINTAIN PERMANENT SOIL EROSION CONTROL MEASURES.
- NOTE: THE CONSTRUCTION SEQUENCE AND SCHEDULE IS PRELIMINARY AND SUBJECT TO ADJUSTMENT IN RESPONSE TO FORCES BEYOND OUR CONTROL. THESE MAY INCLUDE WEATHER, MATERIAL AVAILABILITY, LABOR UNREST, POLITICAL AND REGULATORY DELAYS, OR OTHER UNFORESEEN CIRCUMSTANCES.



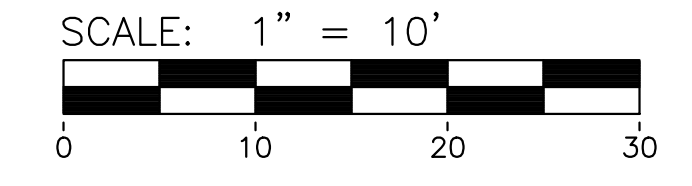
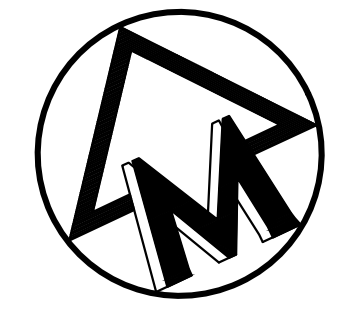
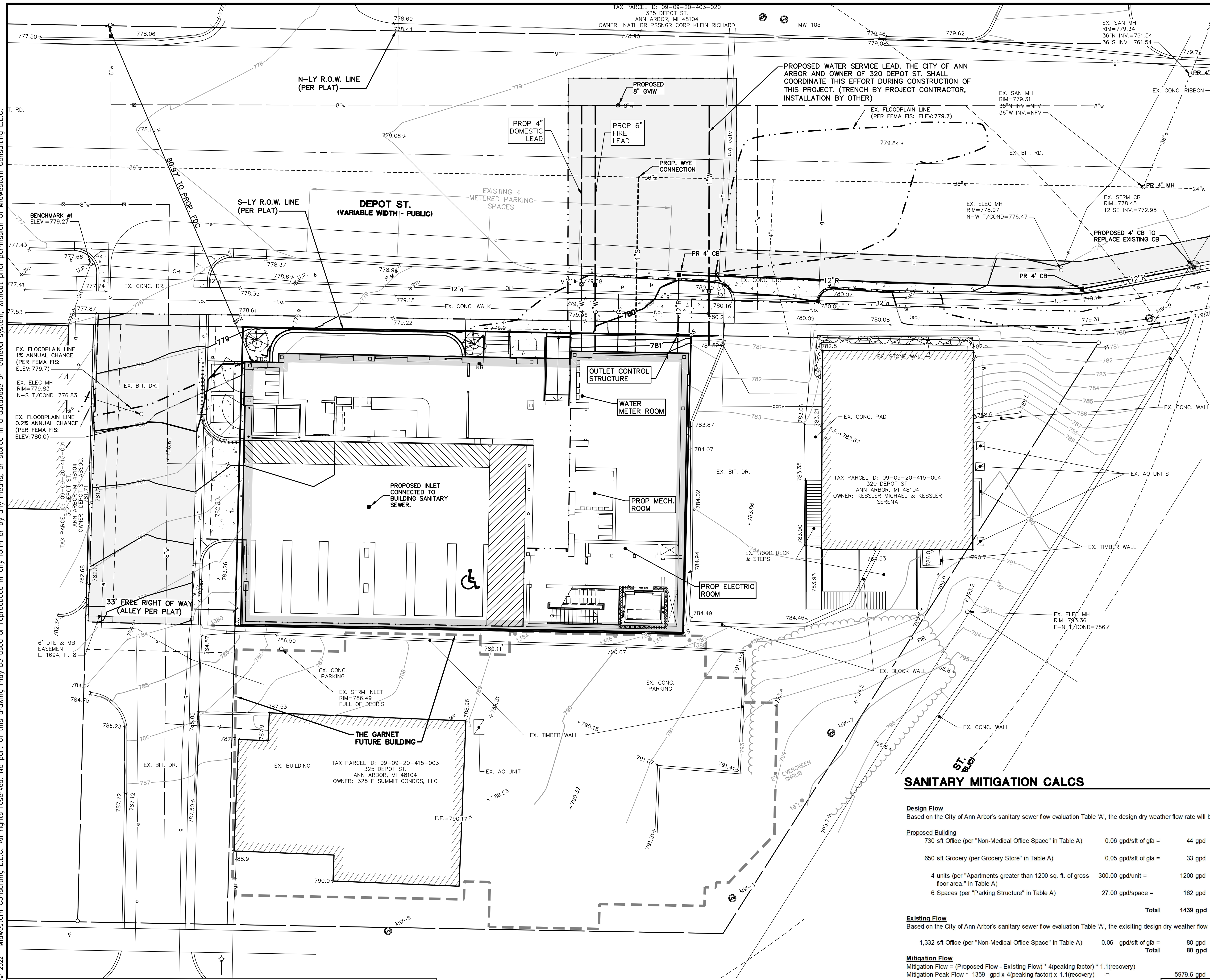
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340 DEPOT STREET
 PRELIMINARY PLANNED UNIT DEVELOPMENT
 SOIL EROSION CONTROL NOTES AND SPECIFICATIONS

06

JOB No.	21131
DATE	10/21/2021
SHEET	06 OF 12
REV. DATE	01/14/22
PER MUNICIPAL REVIEW	04/15/22
PER MUNICIPAL REVIEW	05/11/22
PER MUNICIPAL REVIEW	/Z131061

\\FS1\DATA\Civil\136\Proj\131\131\Site Plan\21131\UP1.dwg, 5/11/2022 12:14 PM, Richard M. Lewandowski, 07 UTILITY PLAN, MLLC PDF ps3
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- ### NOTES
- PROPOSED CURB & GUTTER, PAVEMENT AND SIDEWALK TO MATCH EXISTING PAVEMENT/SIDEWALK GRADE AT REMOVAL LIMITS.
 - SIDEWALKS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY SHALL MEET ALL REQUIREMENTS AND GUIDELINES AS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN.
 - 1 RECYCLING AND 1 SOLID WASTE CONTAINERS SIZE SHALL BE 4 YARDS EACH.
 - BUILDING BOOSTER PUMP WILL BE DETERMINED DURING DETAIL ENGINEERING PROCESS AND SHALL FOLLOW THE CITY'S REGULATIONS.
 - A SUMP PUMP WILL NOT BE PROPOSED FOR STORM WATER MANAGEMENT.
 - THE PROPOSED ELEVATOR PIT WILL HAVE A SUMP PUMP FOR EMERGENCY DISCHARGE OF WATER INTRUSION INTO THE PIT.
 - THERE ARE NO FIREWALLS IN THE PROPOSED BUILDING.

LEGEND

838	EXIST. CONTOUR
838	PROP. CONTOUR
x836.2	EXIST. SPOT ELEVATION
36.60	PROP. SPOT ELEVATION
U.P.	EXIST. UTILITY POLE
U.P.	EXIST. UTILITY POLE W/ TRANS.
GUY WIRE	GUY WIRE
TRANSFORMER	ELEC. TRANSFORMER
AC UNIT	EXIST. AC UNIT
GENERATOR	EXIST. GENERATOR
OH	EXIST. OVERHEAD UTILITY LINE
L.P.	EXIST. LIGHT POLE
T.P.	PROP. LIGHT POLE
T	EXIST. TELEPHONE LINE
E	EXIST. ELECTRIC LINE
G	EXIST. GAS LINE
F.O.	EXIST. FIBER OPTIC LINE
W	EXIST. WATER MAIN
W	PROP. WATER MAIN
H	EXIST. HYDRANT
H	PROP. HYDRANT
G.V.B.	EXIST. GATE VALVE IN BOX
G.V.B.	PROP. GATE VALVE IN BOX
G.V.W.	EXIST. GATE VALVE IN WELL
G.V.W.	PROP. GATE VALVE IN WELL
C.S.B.	EXIST. CURB STOP & BOX
C.S.B.	PROP. CURB STOP & BOX
R	REDUCER
B.O.	EXIST. BLOW-OFF
B.O.	PROP. BLOW-OFF
P.I.V.	POST INDICATOR VALVE
P.I.V.	POST INDICATOR VALVE
T.B.	THRUST BLOCK
K.B.	PROP. KNOXBOX
F.D.C.	EXIST. FIRE DEPARTMENT CONNECTION
F.D.C.	PROP. FIRE DEPARTMENT CONNECTION
R.S.	EXIST. STORM SEWER
R.S.	PROP. STORM SEWER
C.B.	EXIST. CATCH BASIN OR INLET
C.B.	PROP. CATCH BASIN OR INLET
B.I.	EXIST. BEEHIVE INLET
B.I.	PROP. BEEHIVE INLET
R.D.	PROP. ROOF DRAIN
END SECTION	END SECTION
H.W.	HEAD WALL
C	CULVERT
D.S.	EXIST. DOWNSPOUT
D.S.	PROP. DOWNSPOUT
S.S.	EXIST. SANITARY SEWER
S.S.	PROP. SANITARY SEWER
C	EXIST. CLEANOUT
C	PROP. CLEANOUT
C/L	C/L OF DITCH
D	DRAINAGE DIRECTION
S	SIGN
S	SINGLE TREE
T	TREE OR BRUSH LIMIT
F	FENCE
S	SILT FENCE
L	LIMITS OF DISTURBANCE
C	CONSTRUCTION FENCE
FF	FINISH FLOOR ELEVATION
GF	GARAGE FLOOR ELEVATION
BFF	BASEMENT FINISH FLOOR ELEVATION

SANITARY MITIGATION CALCS

Design Flow
Based on the City of Ann Arbor's sanitary sewer flow evaluation Table 'A', the design dry weather flow rate will be:

Proposed Building	Flow Rate	Total
730 sft Office (per "Non-Medical Office Space" in Table A)	0.06 gpd/sft of gfa = 44 gpd	
650 sft Grocery (per Grocery Store" in Table A)	0.05 gpd/sft of gfa = 33 gpd	
4 units (per "Apartments greater than 1200 sq. ft. of gross floor area." in Table A)	300.00 gpd/unit = 1200 gpd	
6 Spaces (per "Parking Structure" in Table A)	27.00 gpd/space = 162 gpd	
	Total	1439 gpd

Existing Flow
Based on the City of Ann Arbor's sanitary sewer flow evaluation Table 'A', the existing design dry weather flow

1,332 sft Office (per "Non-Medical Office Space" in Table A)	0.06 gpd/sft of gfa = 80 gpd
Total	80 gpd

Mitigation Flow
Mitigation Flow = (Proposed Flow - Existing Flow) * 4(peaking factor) * 1.1(recovery)
Mitigation Peak Flow = 1359 gpd x 4(peaking factor) x 1.1(recovery) = **5979.6 gpd**
4.0 gpm

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

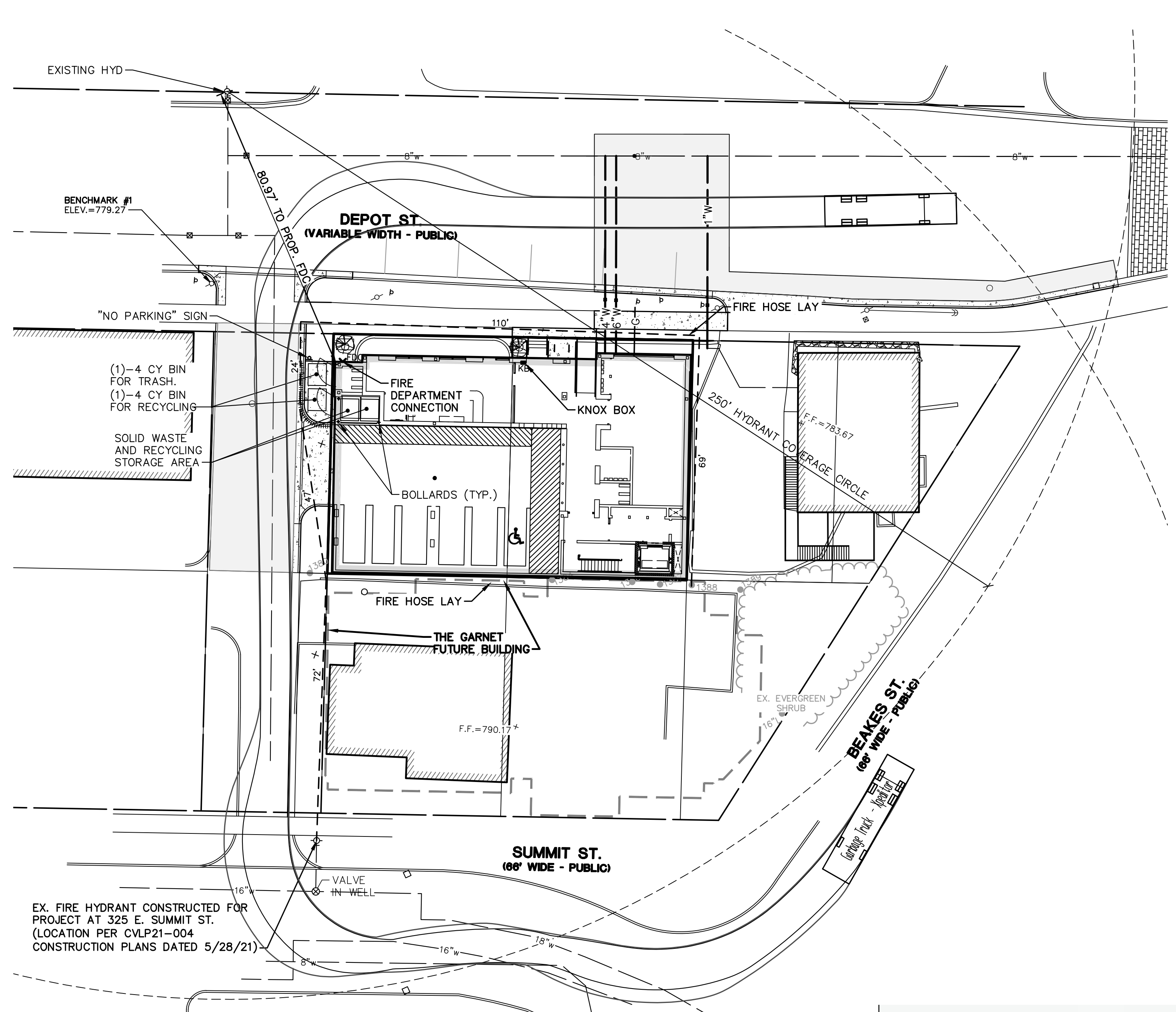
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PRELIMINARY PLANNED UNIT DEVELOPMENT
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21131
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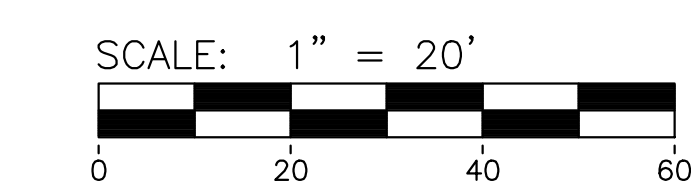
M:\Civ\130_Proj\13013131\Site Plan\2113131\FPI.dwg, 5/17/2022 12:16 PM, Richard M. Lewandowski, 10 FIRE PROTECTION AND REFUSE PLAN, MLLC PDF-p03
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EX. FIRE HYDRANT CONSTRUCTED FOR PROJECT AT 325 E. SUMMIT ST. (LOCATION PER CVLP21-004 CONSTRUCTION PLANS DATED 5/28/21)

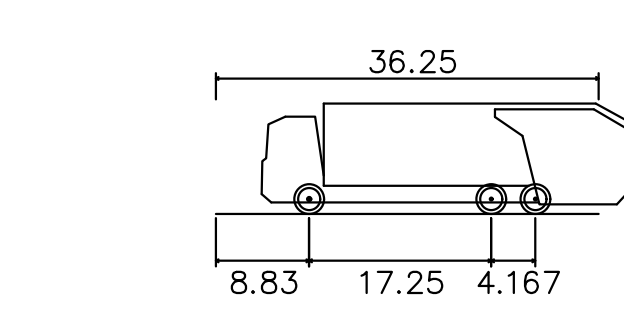


811
Know what's below.
Call before you dig.



LEGEND

- ⊙ NUMBER OF STANDARD PARKING SPACES IN ROW
- ⊠ NUMBER OF COMPACT CAR PARKING SPACES IN ROW
- ⊕ NUMBER OF BARRIER FREE PARKING SPACES IN ROW
- Ⓜ BARRIER FREE PARKING SIGN
- Ⓜ BFV VAN ACCESSIBLE BARRIER FREE PARKING SIGN
- Ⓜ R BARRIER FREE SIDEWALK RAMP
- ▬▬▬ PROP. CURB & GUTTER
- ▬▬▬ PROP. ROLLED CURB & GUTTER
- ▬▬▬ PROP. BITUMINOUS PAVEMENT
- ▬▬▬ PROP. CONCRETE PAVEMENT
- ▬▬▬ PROP. HEAVY DUTY CONCRETE
- Ⓜ SIGN
- Ⓜ-S PROP. SINGLE LIGHT
- Ⓜ-S-S PROP. DOUBLE LIGHT



Garbage Truck - Xpeditor
 Overall Length 36.25ft
 Overall Width 8.42ft
 Overall Body Height 10.48ft
 Min Body Ground Clearance 0.934ft
 Track Width 8.0ft
 Lock-to-lock time 6.00s
 Max Steering Angle (Virtual) 31.80°

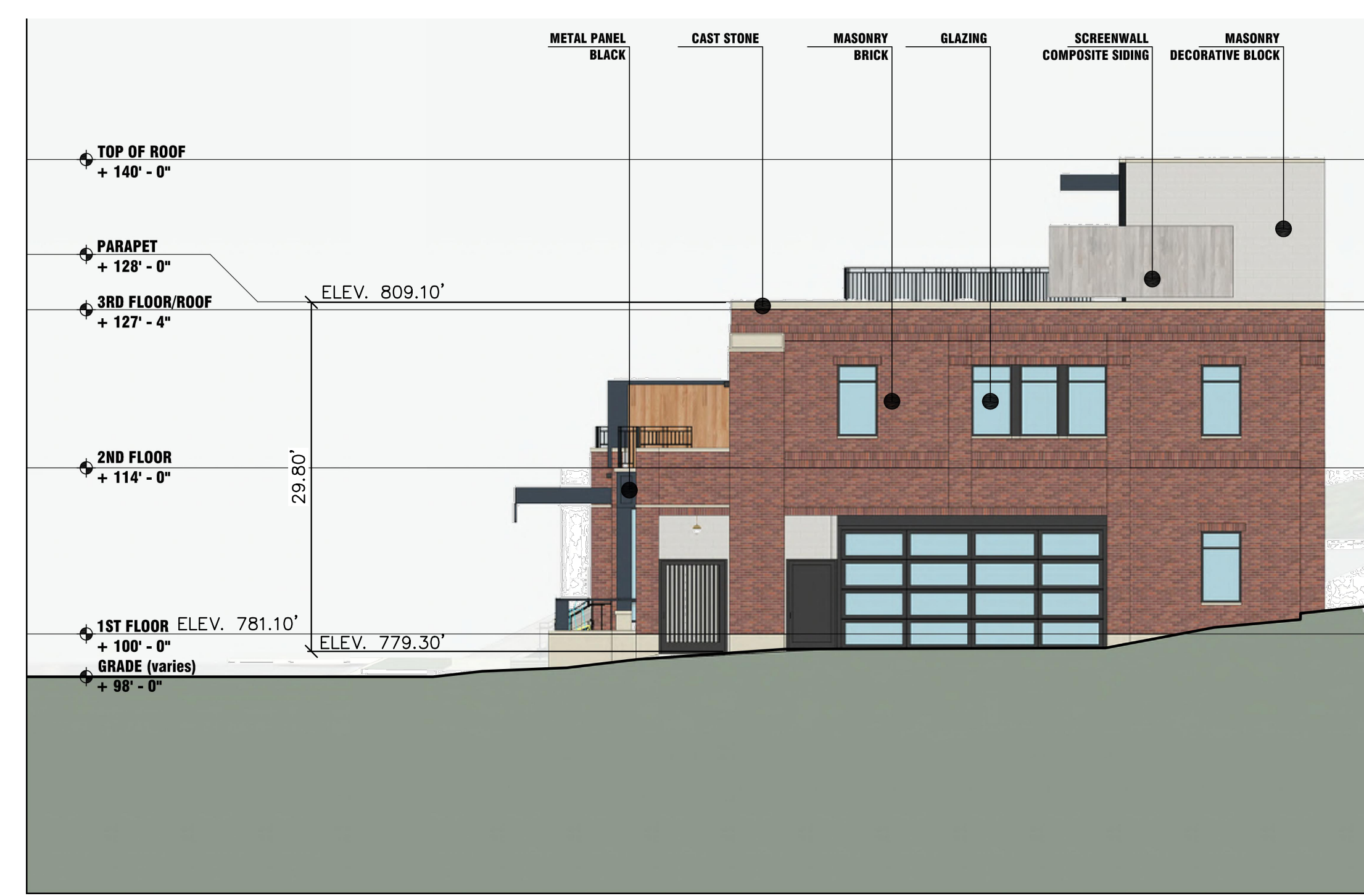
TRUCK TURNING TEMPLATE

SOLID WASTE NOTES

- SOLID WASTE GENERATED BY THE PROPOSED BUILDING IS TO BE SERVED BY (1) 4 CY BIN FOR TRASH AND (1) 4 CY BIN FOR RECYCLING. BINS SHALL BE STORED WITHIN THE BUILDING AT THE DESIGNATED STORAGE AREA. BINS WILL THEN BE ROLLED OUT TO THE COLLECTION AREA, THEN CAN BE ROLLED DOWN OVER THE ROLLED CURB TO PREPARE FOR PICKUP.
- REFUSE CONTAINER GATE PINS MUST BE PROVIDED IN OPEN AND CLOSED POSITION.
- SOLID WASTE IS ANTICIPATED TO BE PICKED UP 1 TIME PER WEEK.
- BASED ON PAST EXPERIENCE IT IS ESTIMATED THAT (1) -4 CY DUMPSTER CAN SERVE ROUGHLY 20 BEDROOMS IF PICKED UP ONCE PER WEEK IN A MULTI-FAMILY DEVELOPMENT, WITH THE 5 PROPOSED BEDROOMS AND LIMITED SOLID WASTE GENERATION OF THE OFFICE AND RETAIL USES. (1) -4 CY BIN FOR TRASH AND (1) -4 CY BIN FOR RECYCLING WILL BE ADEQUATE FOR THE DEVELOPMENT IF PICKED UP ONCE PER WEEK.

FIRE PROTECTION NOTES

- WATER SERVICE TO HAVE SEPARATE DOMESTIC & FIRE SUPPRESSION LINES.
- THERE ARE NO FIREWALLS IN THE PROPOSED BUILDING.
- IF EMERGENCY RESPONDER RADIO COVERAGE IS NEEDED IT SHALL MEET REQUIREMENTS AS SPECIFIED IN THE 2015 IFC SECTION 510.
- EXISTING HYDRANTS ALONG DEPOT STREET AND E. SUMMIT STREET TO REMAIN IN SERVICE THROUGHOUT DEMOLITION AND CONSTRUCTION PHASES.
- STORAGE AREAS FOR CONSTRUCTION MATERIALS MUST BE SO AS NOT TO INTERFERE WITH FIRE/EMERGENCY SITE ACCESS.
- STORAGE OF COMBUSTIBLE MATERIALS ON SITE SHALL NOT BE PLACED WITHOUT REVIEW AND APPROVAL FROM FIRE MARSHAL.
- DURING DETAILED ENGINEERING, THE SITE ADDRESS LOCATION WILL BE COORDINATED WITH THE FIRE DEPARTMENT TO ENSURE IT IS CLEARLY LABELED AND VISIBLE WHEN APPROACHING THE BUILDING.



AERIAL ACCESS REVIEW DETAIL
SCALE: 1" = 10'

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340 DEPOT STREET
 PRELIMINARY PLANNED UNIT DEVELOPMENT
 FIRE PROTECTION AND REFUSE PLAN

10

DATE: 10/21/2021	SHEET 10 OF 12
REV. DATE	REV. DATE
01/14/22	04/15/22
05/11/22	05/11/22
07/13/22	07/13/22
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12/11/22	12/11/22

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