

ANN ARBOR HISTORIC DISTRICT COMMISSION

Staff Report

ADDRESS: 326 W Liberty Street, Application Number HDC15-103

DISTRICT: Old West Side Historic District

REPORT DATE: July 9, 2015

REPORT PREPARED BY: Jill Thacher, Historic Preservation Coordinator

REVIEW COMMITTEE DATE: Monday, July 6, 2015

	OWNER	APPLICANT
Name:	Turtle Bay Holdings	Robb Burroughs/OX Studio
Address:	326 W Liberty Street Ann Arbor, MI 48104	302 S State St Ann Arbor, MI 48104
Phone:	(734) 786-8346	(734) 929-9000

BACKGROUND: This asymmetrical, two-story brick house with a concave mansard roof, dormers, and bay windows on the south and east sides, is in the Second Empire style, which is extremely rare in Ann Arbor. The house was built in 1870 for the owner of the Western Brewery, Peter Brehm, and was subsequently the Odd Fellows Hall, the Moveable Feast, Daniel's on Liberty, and office and salon space. A two-story barn appears at the back of the lot on early Sanborn maps, but was removed by 1931. The existing rear concrete block addition was constructed between 1984 and 1990. The entire building is currently used as office space.

On August 7, 2006 the HDC approved a two-story addition on top of the concrete block "bakehouse" (now garage) behind the historic structure. A site plan reflecting this was approved by City Council in September, 2008 but the addition was never constructed.

In September, 2013 the HDC issued a Certificate of Appropriateness to the current owners for restoration work and exterior alterations including skylights, egress doors, alteration of a contemporary kitchen addition, and more. This work has been completed.

LOCATION: The site is located on the north side of West Liberty, between First and Third Streets.

APPLICATION: The applicant seeks HDC approval to add a 2,109 square foot second-story addition on top of the rear garage wing.



APPLICABLE REGULATIONS:**From the Secretary of the Interior's Standards for Rehabilitation:**

- (1) A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (5) Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):**Additions**

Recommended: Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.

Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building.

Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Designing new additions in a manner that makes clear what is historic and what is new.

Designing additional stories, when required for the new use, that are set back from the wall plane and are as inconspicuous as possible when viewed from the street.

Not Recommended: Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

Designing a new addition so that its size and scale in relation to the historic building are out of proportion, thus diminishing the historic character.

Building Site

Recommended: Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character.

Retaining the historic relationship between buildings and the landscape.

Not Recommended: Removing or radically changing buildings and their features or site features which are important in defining the overall historic character of the property so that, as a result, the character is diminished.

From the Ann Arbor Historic District Design Guidelines (other guidelines may apply):**Guidelines for All Additions**

Appropriate: Placing a new addition on a non-character-defining or inconspicuous elevation and limiting the size and scale in relationship to the historic property.

Placing new walls in a different plane from the historic structure in a subordinate position to the historic fabric.

Designing a new addition in a manner that makes clear what is historic and what is new.

Limiting the size and scale of the addition in relationship to the historic building so that it does not diminish or visually overpower the building or the district. The addition's footprint should exceed neither half of the original building's footprint nor half of the original building's total floor area.

Not Appropriate: Designing an addition that overpowers or dramatically alters the original building through size or height.

Designing a new addition so that the size and scale in relation to the historic property are out of proportion.

STAFF FINDINGS:

1. The structure is currently 4,969 square feet, per assessor records. This application proposes to add 2,109 additional square feet.
2. Cladding on the addition is cementitious horizontal board and batten, with same installed vertically in the two end gables. The trim would also be cementitious. The end walls of the dormers are cedar shake. Windows are wood, with applied interior and exterior wood muntins and internal spacers to simulate divided lights. Windows are casement or awning. The existing first floor CMU is re-clad with fieldstone veneer. Staff has requested more information from the petitioner on the new exterior doors.
3. The proposed addition is taller than the red brick wing on the rear of the house, but not as tall as the mansard roof on the main house block. The dormers running the length of the addition serve the function of flattening out the roof profile, which makes it more compatible with the mansard roof.

4. The addition is distinct from the house and uses modern materials and dissimilar window sizes. The addition will be visible from the street, but the condos to the east are quite close and the addition is behind the house on the west. The addition is large, but does not feel inappropriate given the large lot size and the scale of the buildings on either side.
5. Staff feels the work is compatible with the rest of the building and the surrounding neighborhood, and finds that it meets the *Secretary of the Interior's Standards and Guidelines for Rehabilitation* as well as the *Ann Arbor Historic District Design Guidelines*.

MOTION

I move that the Commission issue a certificate of appropriateness for the application at 326 W Liberty Street, a contributing property in the Old West Side Historic District, to add a 2,109 square foot second-story addition on top of the rear garage wing, as proposed. The work is compatible in exterior design, arrangement, materials, and relationship to the house and the surrounding area and meets the *City of Ann Arbor Historic District Design Guidelines* for additions, and *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 1, 2, 5, 9, and 10 and the guidelines for additions and building site.

MOTION WORKSHEET

I move that the Commission issue a Certificate of Appropriateness for the work at 326 W Liberty Street in the Old West Side Historic District

_____ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

ATTACHMENTS: application, letter, photos, drawings

326 W Liberty Street (April, 2008 photo)





City of Ann Arbor
PLANNING & DEVELOPMENT SERVICES — PLANNING SERVICES

301 E. Huron Street | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647
p. 734.794.6265 | f. 734.994.8312 | planning@a2gov.org

ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION

Section 1: Property Being Reviewed and Ownership Information

Address of Property: 326 WEST LIBERTY STREET

Historic District: OLD WEST SIDE HISTORIC DISTRICT

Name of Property Owner (If different than the applicant):

TURTLE BAY HOLDINGS

Address of Property Owner: 326 LIBERTY STREET ANN ARBOR, MI 48104

Daytime Phone and E-mail of Property Owner: (734) 786-8346 - joseph.lambert@sqasol.com

Signature of Property Owner: 

Date: June 19 '15

Section 2: Applicant Information

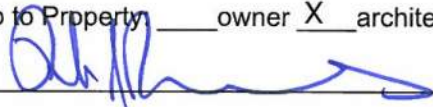
Name of Applicant: ROBB BURROUGHS / OX STUDIO, INC.

Address of Applicant: 302 SOUTH STATE STE.B, ANN ARBOR, MI 48104

Daytime Phone: (734) 929-9000 Fax: (734) 929-9001

E-mail: robb@oxstudioinc.com

Applicant's Relationship to Property: owner architect contractor other

Signature of applicant: 

Date: 06/19/2015

Section 3: Building Use (check all that apply)

Residential Single Family Multiple Family Rental

Commercial Institutional

Section 4: Stille-DeRossett-Hale Single State Construction Code Act

(This item **MUST BE INITIALED** for your application to be **PROCESSED**)

Public Act 169, Michigan's Local Historic Districts Act, was amended April 2004 to include the following language: "...the applicant has certified in the application that the property where the work will be undertaken has, or will have before the proposed completion date, a a fire alarm or smoke alarm complying with the requirements of the Stille-DeRossett-Hale Single State Construction Code Act, 1972 PA 230, MCL 125.1501 to 125.1531."

Please initial here: _____

Section 5: Description of Proposed Changes (attach additional sheets as necessary)

1. Provide a brief summary of proposed changes. See attached

2. Provide a description of existing conditions. See attached

3. What are the reasons for the proposed changes? See attached

4. Attach any additional information that will further explain or clarify the proposal, and indicate these attachments here.

See attached

5. Attach photographs of the existing property, including at least one general photo and detailed photos of proposed work area.

STAFF USE ONLY

Date Submitted: _____ Application to _____ Staff or _____ HDC

Project No.: HDC Fee Paid: _____

Pre-filing Staff Reviewer & Date: _____ Date of Public Hearing: _____

Application Filing Date: _____ Action: _____ HDC COA _____ HDC Denial

Staff signature: _____ _____ HDC NTP _____ Staff COA

Comments:

June 19, 2015

Ms. Jill Thacher
City of Ann Arbor
Historic District Commission
100 North Fifth Street
Ann Arbor, MI 48104



RE: 326 West Liberty Street (Peter Brehm House) – HDC Application Supplemental Information

The information contained below is intended to provide formal narrative response to Section 5 of the HDC Application:

Section 5: Description of Proposed Changes

1. *Provide a brief summary of proposed changes*

The project is intended to expand the existing 'bakehouse' garage building into habitable space. This would entail the construction of a two-story addition to the existing single-story structure and the recladding of the entire structure. The intended use of the new space would be for office space on the upper stories and continuance of garage/storage functions of the first level.

The design is intended to convey the appearance of 2 1/2-story carriage house. Materials will include a base condition of stone veneer similar to the basement walls of the historic structure and upper stories of varying wood siding applications to vary the texture and character. The overall intent is to provide an architectural character that is derivative of a residential theme and scale consistent with the surrounding context.

2. *Provide a description of existing conditions*

The existing 'bakehouse' is a non-contributing structure built in a contemporary CMU construction with low-slope roof trusses as the primary roof form. It was originally used as a bakehouse during the sites period as a restaurant. It has subsequently been used for storage and maintenance. The adjoining historical structure (the physical Brehm house) has already received HDC approval for renovation and restoration which is effectively completed at this date. Elements of work for this property, including the 'barn' doors and connecting side porch have already been approved by the HDC.

3. *What are the reasons for the proposed changes*

Provide additional office space which supports and compliments the current use on the property.

4. *Attach any information that will further explain or clarify the proposal and indicate these attachments here.*

5. *Attach photographs of the existing property, including at least one general photo and detailed photos of proposed work area.*
See the submitted drawing set.

Thanks in advance for your consideration.

Sincerely,

Robb Burroughs
Principal
O|X Studio, Inc

326 Liberty Renovation

Released For: HDC Submittal

Release Date: 06/19/2015
 BASE Project Number: WLH13

Drawing List

General			
G-1.0	Title Sheet	HDC Submittal	06/19/2015
G-1.2	Exterior Perspective Views	HDC Submittal	06/19/2015
G-1.3	Exterior Perspective Views	HDC Submittal	06/19/2015
G-1.5	Vignettes	HDC Submittal	06/19/2015
G-1.6	Existing Conditions	HDC Submittal	06/19/2015

Architectural			
A-1.1	First Floor Plan	HDC Submittal	06/19/2015
A-1.2	Second Floor Plan	HDC Submittal	06/19/2015
A-1.3	Third Floor Plan	HDC Submittal	06/19/2015
A-3.1	Exterior Elevations - New Work	HDC Submittal	06/19/2015
A-3.2	Exterior Elevations - New Work	HDC Submittal	06/19/2015
A-3.3	Exterior Elevations - New Work	HDC Submittal	06/19/2015



Job Name: 326 Liberty Renovation

Owner (Client): Turtle Bay Holdings

Job Address: 326 Liberty Street, Ann Arbor MI

Job #: WLH13

Sheet Title: Title Sheet

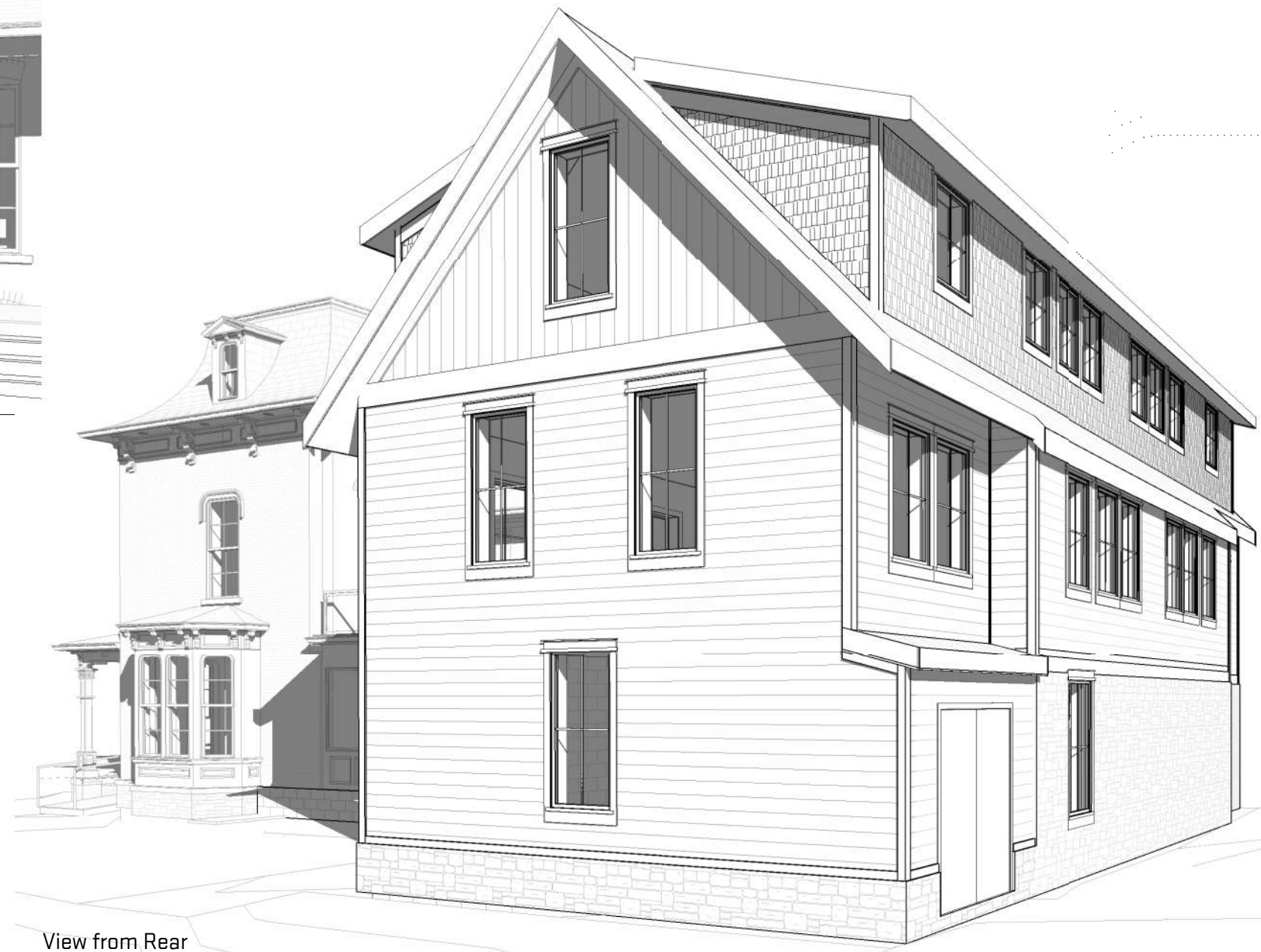
Released For: HDC Submittal

Latest Revision: 06/19/2015
 Original Issue: 06/19/2015
 Drawing Number: G-1.0

Plot Date/Time: 6/19/2015 11:58:45 AM File Path: C:\Revit Local Files\W\W15_shannonq.rvt



View from Driveway



View from Rear



architecture | construction | objects
P: (734) 929-9000 | F: (734) 929-9001 | www.oxstudioinc.com

Job Name: 326 Liberty Renovation

Owner (Client): Turtle Bay Holdings

Job Address: 326 Liberty Street, Ann Arbor MI

Job #: WLH13

Sheet Title: Exterior Perspective Views

Released For: HDC Submittal

Latest Revision: 06/19/2015
Original Issue: 05/21/2015

Drawing Number:

G-1.2

Plot Date/Time: 6/19/2015 11:58:50 AM File Path: C:\Revit Local Files\W\15-shannon.rvt



View from Rear of Driveway



View from Carwash



Job Name: 326 Liberty Renovation

Owner (Client): Turtle Bay Holdings

Job Address: 326 Liberty Street, Ann Arbor MI

o/x Job #: WLH13

Sheet Title: Exterior Perspective Views

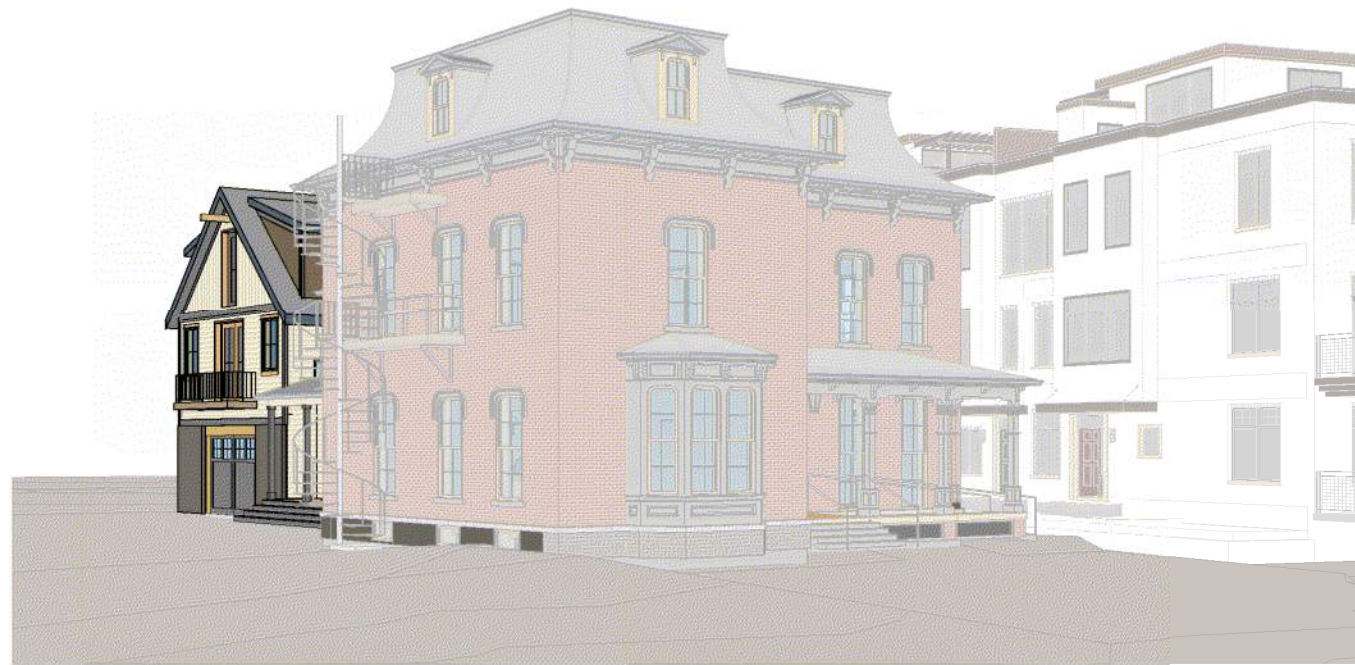
Released For: HDC Submittal

Latest Revision: 06/19/2015
Original Issue: 05/21/2015

Drawing Number: G-1.3



View from NW corner



View looking east across W. Liberty St.



View from across W. Liberty St.



View from W. Liberty St. & 1st St.



View from W. Liberty St. & 1st St.



South West Panoramic View

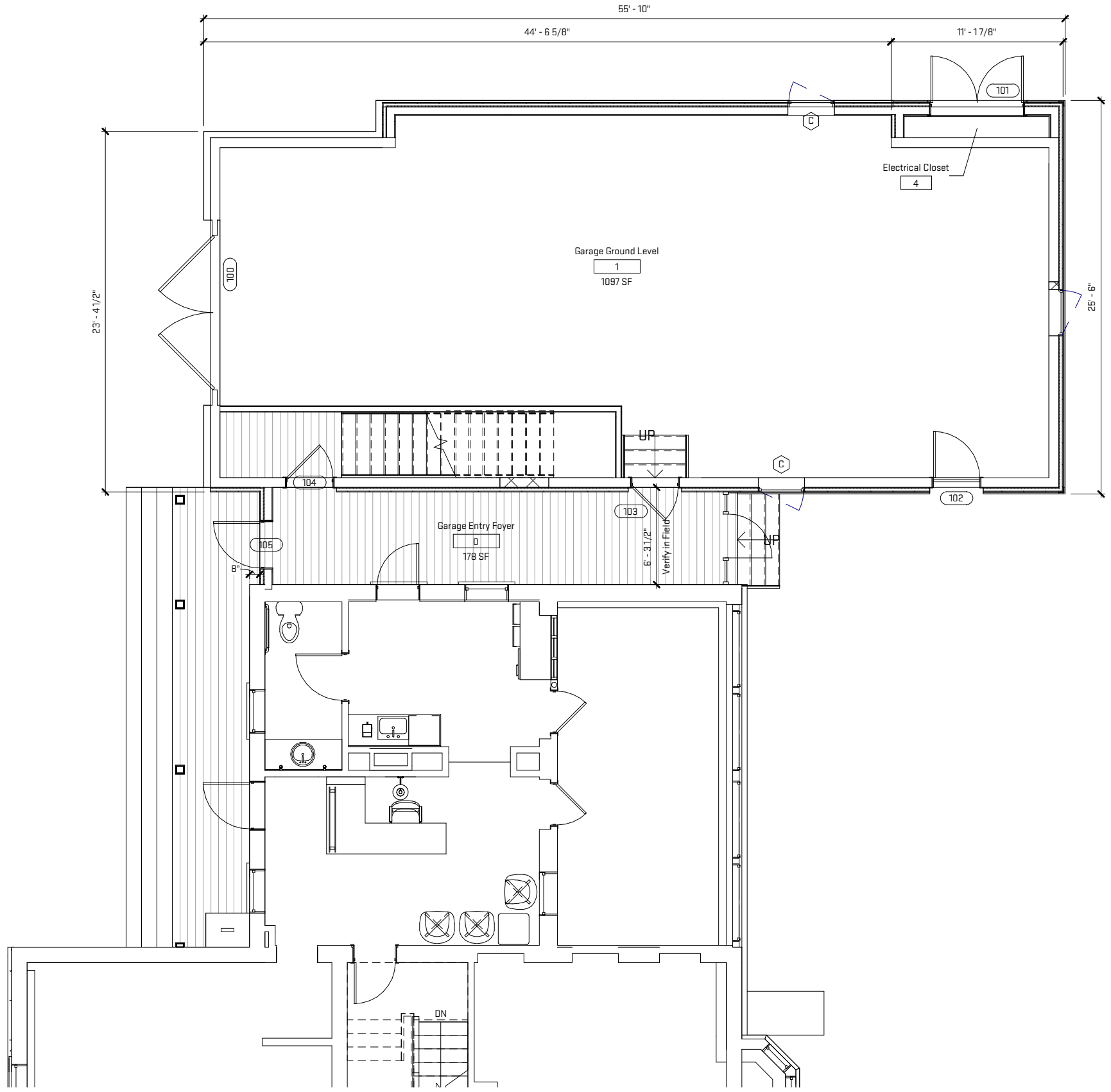


View from West Side



North West Panoramic View

Plot Date/Time: 6/19/2015 11:58:26 AM File Path: C:\Revit Local Files\WLUH15_shannonq.rvt



General Sheet Notes:

- A. These Design Drawings are intended to show general design intent and scope of work for electrical design/build purposes.
- B. The Electrical Design/Build Contractor shall field verify all conditions and document existing conditions.
- C. The Electrical Design/Build Contractor shall design the system to accommodate all equipment loads, code requirements and other design criteria indicated in these drawings.
- D. As-Built Drawings: Electrical Contractor shall record on as-built drawings the sizes, material, elevations and locations of all electrical equipment. Include items that deviate from the Design Drawings.
- E. Where these Design Drawing requirements are in conflict with other requirements such as codes, ordinances or standards, the more stringent requirement shall apply.
- F. Electrical contractor shall be responsible for all permits and inspections relating to their work. And shall obtain all field approvals on electrical work from regulating agencies where required. Obtain all field approvals on electrical work from regulating agencies where required.

Sheet Key Notes:

1 Garage Level 1 - New Work
A-1.1 Scale: 1/8" = 1'-0"

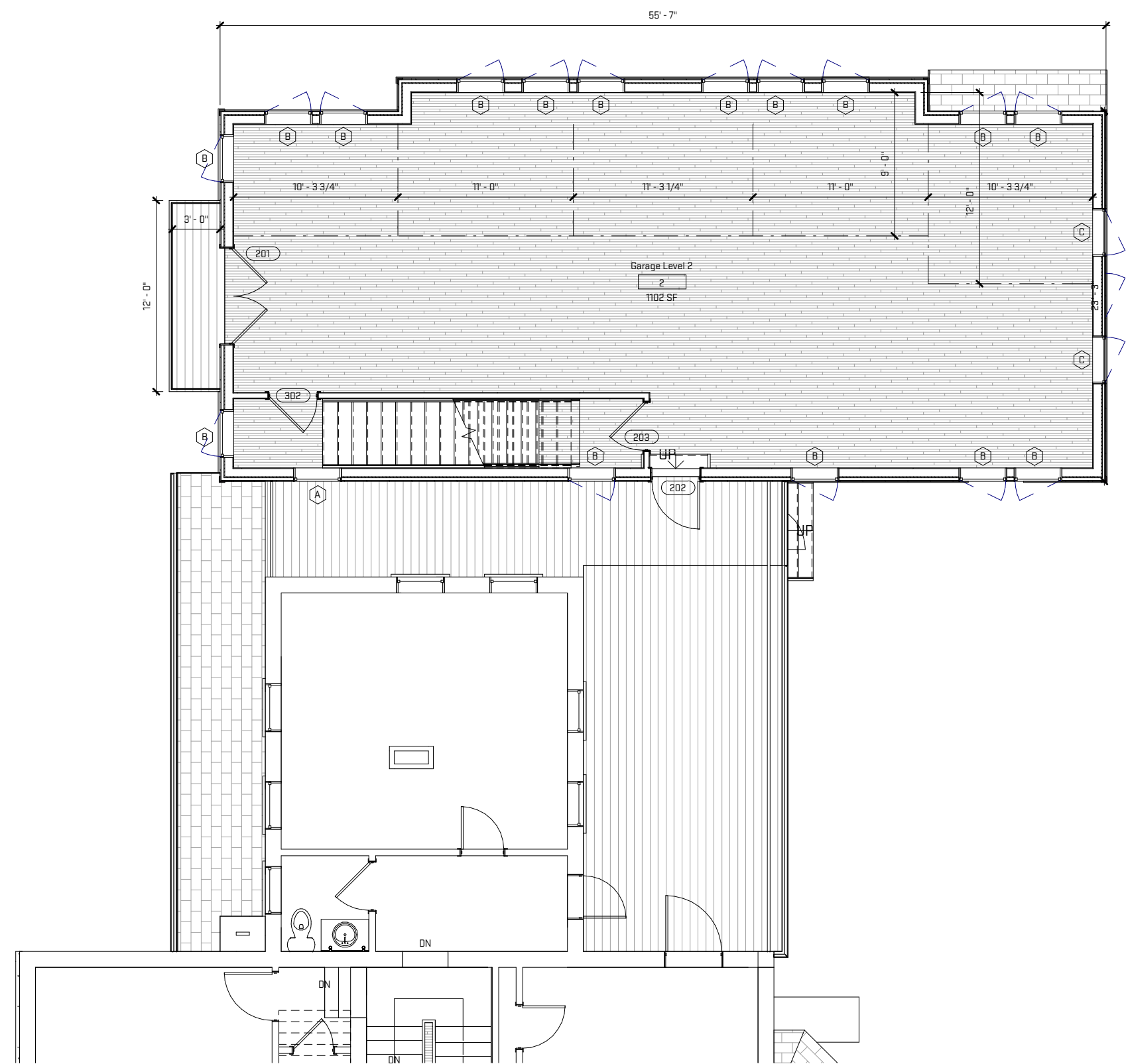
Job Name: **326 Liberty Renovation**
Owner (Client): **Turtle Bay Holdings**
Job Address: 326 Liberty Street, Ann Arbor MI

Sheet Title: **First Floor Plan**
Released For: **HDC Submittal**

Latest Revision: **06/19/2015**
Original Issue: **05/21/2015**
Drawing Number: **A-1.1**

oix Job #:
WLUH13

Plot Date/Time: 6/19/2015 11:56:27 AM File Path: C:\Revit Local Files\WLFH15_shannonq.rvt



1 Garage Level 2 - New Work
A-1.2 Scale: 1/8" = 1'-0"

General Sheet Notes:

- A. These Design Drawings are intended to show general design intent and scope of work for electrical design/build purposes.
- B. The Electrical Design/Build Contractor shall field verify all conditions and document existing conditions.
- C. The Electrical Design/Build Contractor shall design the system to accommodate all equipment loads, code requirements and other design criteria indicated in these drawings.
- D. As-Built Drawings: Electrical Contractor shall record on as-built drawings the sizes, material, elevations and locations of all electrical equipment. Include items that deviate from the Design Drawings.
- E. Where these Design Drawing requirements are in conflict with other requirements such as codes, ordinances or standards, the more stringent requirement shall apply.
- F. Electrical contractor shall be responsible for all permits and inspections relating to their work. And shall obtain all field approvals on electrical work from regulating agencies where required. Obtain all field approvals on electrical work from regulating agencies where required.

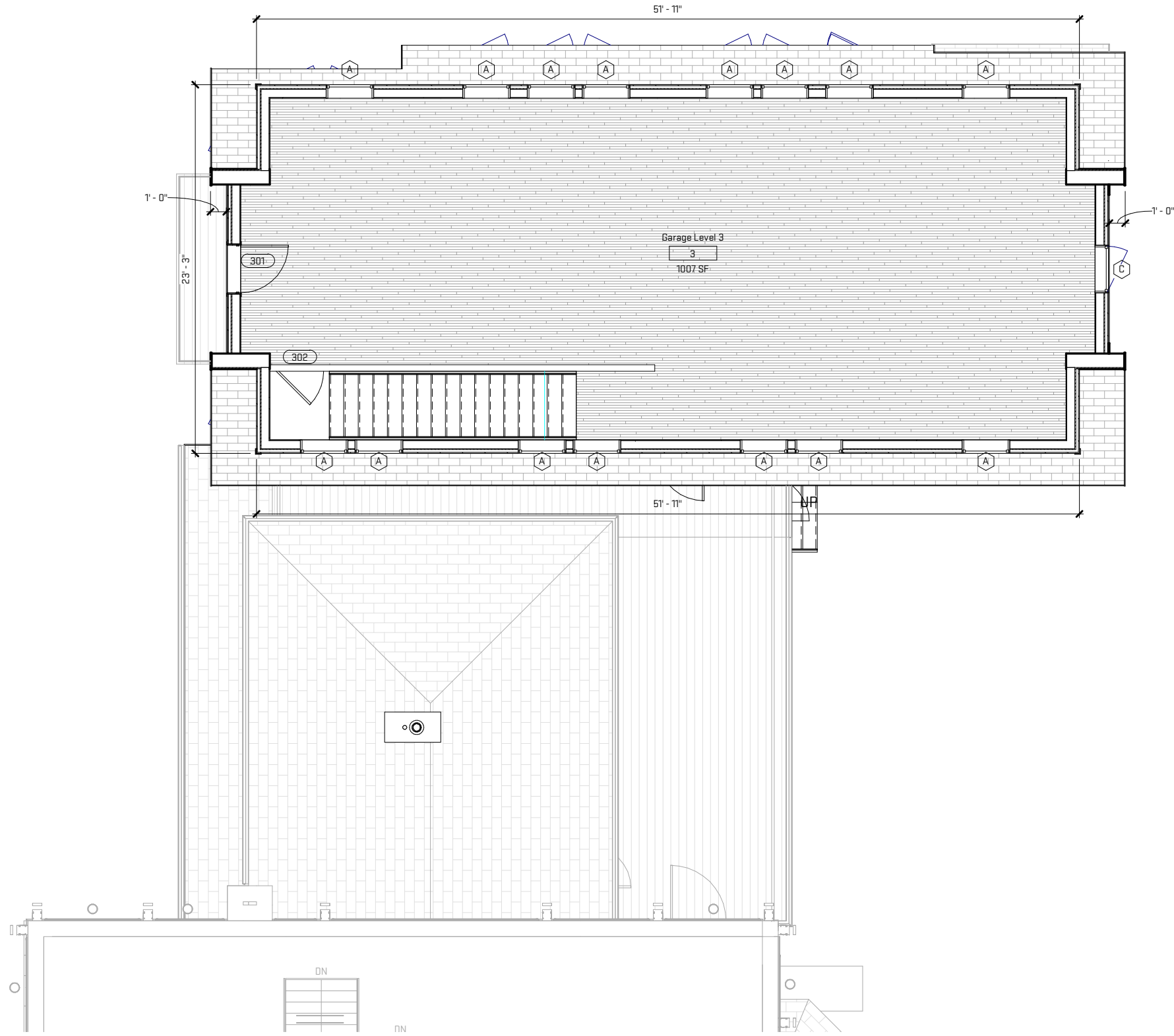
Sheet Key Notes:

Job Name: **326 Liberty Renovation**
Owner (Client): **Turtle Bay Holdings**
Job Address: 326 Liberty Street, Ann Arbor MI

Sheet Title: **Second Floor Plan**
Released For: HDC Submittal

Latest Revision: **06/19/2015**
Original Issue: **05/21/2015**
Drawing Number: **A-1.2**

oix Job #: WLFH3



1 Garage Level 3 - New Work
 A-1.3 Scale: 1/8" = 1'-0"

General Sheet Notes:

None

Sheet Key Notes:

Job Name: 326 Liberty Renovation

Owner (Client): Turtle Bay Holdings

Job Address: 326 Liberty Street, Ann Arbor MI

oix Job #:

WLH13

Sheet Title: Third Floor Plan

Released For: HDC Submittal

Latest Revision: 06/19/2015
 Original Issue: 05/21/2015

Drawing Number:

A-1.3

Plot Date/Time: 6/19/2015 11:58:31 AM File Path: C:\Revit Local Files\WLUH15_shannonq.rvt



2 East Elevation New Work
A-3.1 Scale: 3/32" = 1'-0"



1 North Elevation New Work
A-3.1 Scale: 3/32" = 1'-0"

General Sheet Notes:

None

Sheet Key Notes:

Exterior Material Schedule		
ID	Description	Location
AS-1	Asphalt shingles	Roof
CPH-1	Horizontal board & batten Hardie board	Siding
CPV-1	Vertical board & batten Hardie board	Gable siding
CS-1	Cedar shake	Dormers
GL-1	Glass	Window glazing
SA-1	Wood	Window sash
ST-1	Fieldstone veneer to match existing	Stone base
TB-1	HardieTrim 4/4 NT3 Smooth	Siding corner termination & water table base
WT-1	HardiePanel	Door & window trim



Job Name: **326 Liberty Renovation**
Owner (Client): **Turtle Bay Holdings**
Job Address: 326 Liberty Street, Ann Arbor MI

Sheet Title: **Exterior Elevations - New Work**
Released For: HDC Submittal

Latest Revision: **06/19/2015**
Original Issue: **05/21/2015**
Drawing Number: **A-3.1**



2 South Elevation Existing Conditions
A-3.2 Scale: 3/32" = 1'-0"



1 South Elevation New Work
A-3.2 Scale: 3/32" = 1'-0"

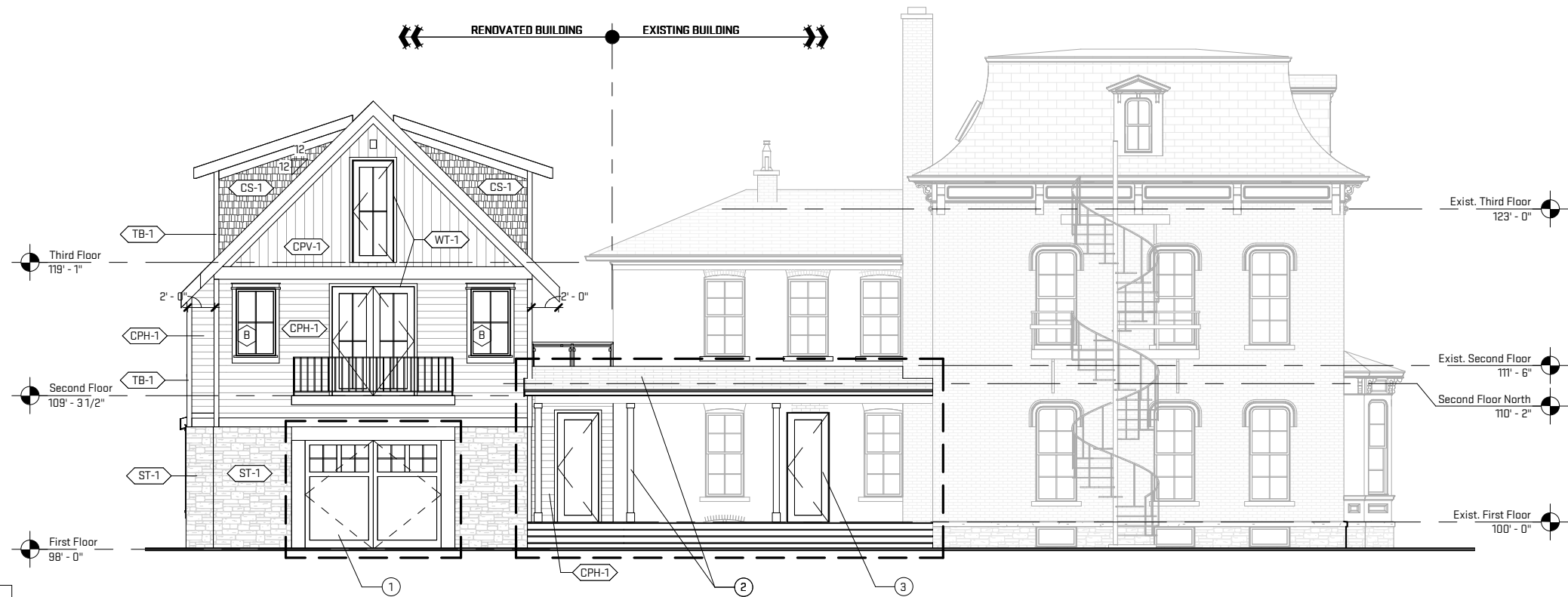
General Sheet Notes:

None

Sheet Key Notes:

Exterior Material Schedule		
ID	Description	Location
AS-1	Asphalt shingles	Roof
CPH-1	Horizontal board & batton Hardie board	Siding
CPV-1	Vertical board & batten Hardie board	Gable siding
CS-1	Cedar shake	Dormers
GL-1	Glass	Window glazing
SA-1	Wood	Window sash
ST-1	Fieldstone veneer to match existing	Stone base
TB-1	HardieTrim 4/4 NT3 Smooth	Siding corner termination & water table base
WT-1	HardiePanel	Door & window trim

Plot Date/Time: 6/19/2015 11:56:36 AM File Path: C:\Revit Local Files\WLFH15_shannonq.rvt



1 West Elevation New Work
A-3.3 Scale: 3/32" = 1'-0"

General Sheet Notes:

Sheet Key Notes:

Exterior Material Schedule		
ID	Description	Location
AS-1	Asphalt shingles	Roof
CPH-1	Horizontal board & batten Hardie board	Siding
CPV-1	Vertical board & batten Hardie board	Gable siding
CS-1	Cedar shake	Dormers
GL-1	Glass	Window glazing
SA-1	Wood	Window sash
ST-1	Fieldstone veneer to match existing	Stone base
TB-1	HardieTrim 4/4 NT3 Smooth	Siding corner termination & water table base
WT-1	HardiePanel	Door & window trim

Previously approved elements:

- ① New carriage doors per staff approval
- ② New porch and piers
- ③ New door in existing opening - veneer brick to floor level



Job Name: 326 Liberty Renovation
Owner (Client): Turtle Bay Holdings
Job Address: 326 Liberty Street, Ann Arbor MI
Job #: WLFH3

Sheet Title: Exterior Elevations - New Work
Released For: HDC Submittal

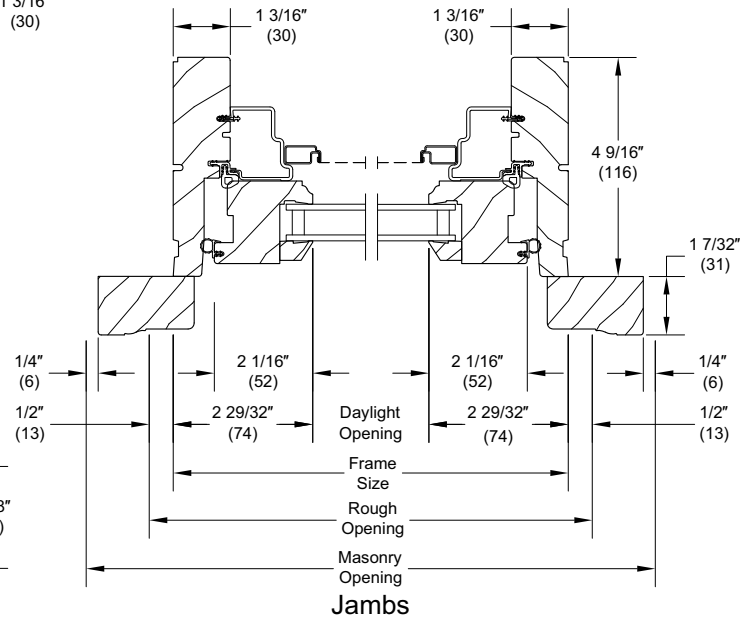
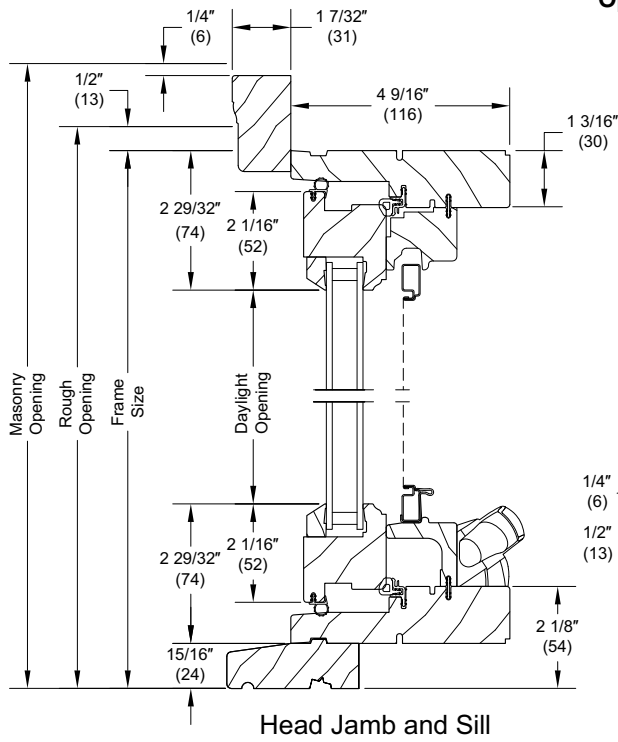
Latest Revision: 06/19/2015
Original Issue: 06/19/2015
Drawing Number: A-3.3

Wood Ultimate Casement, Awning and Picture

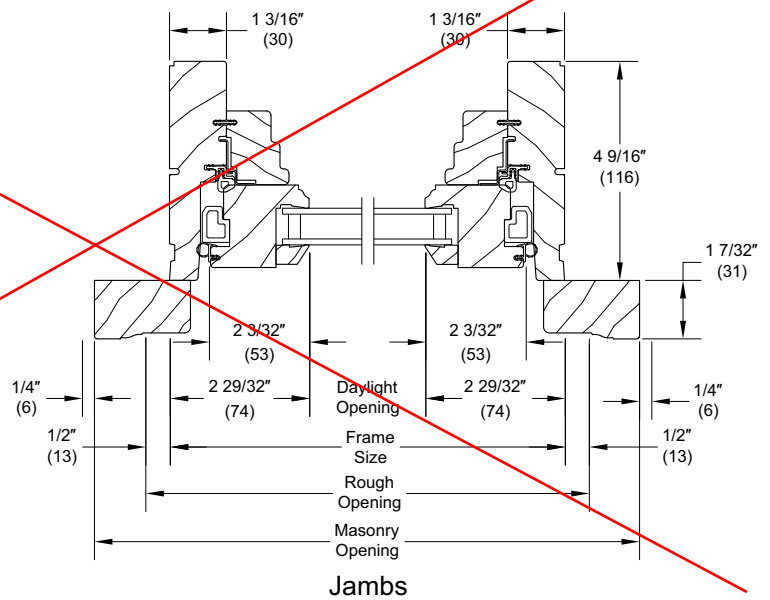
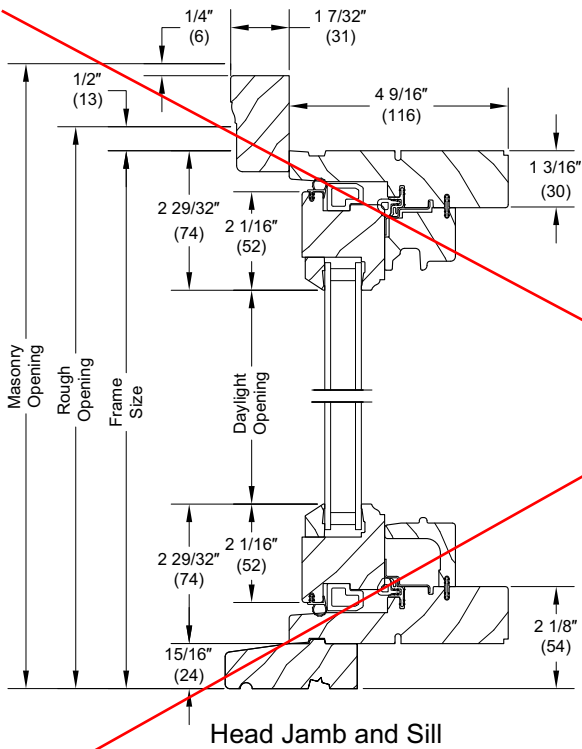
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Operating

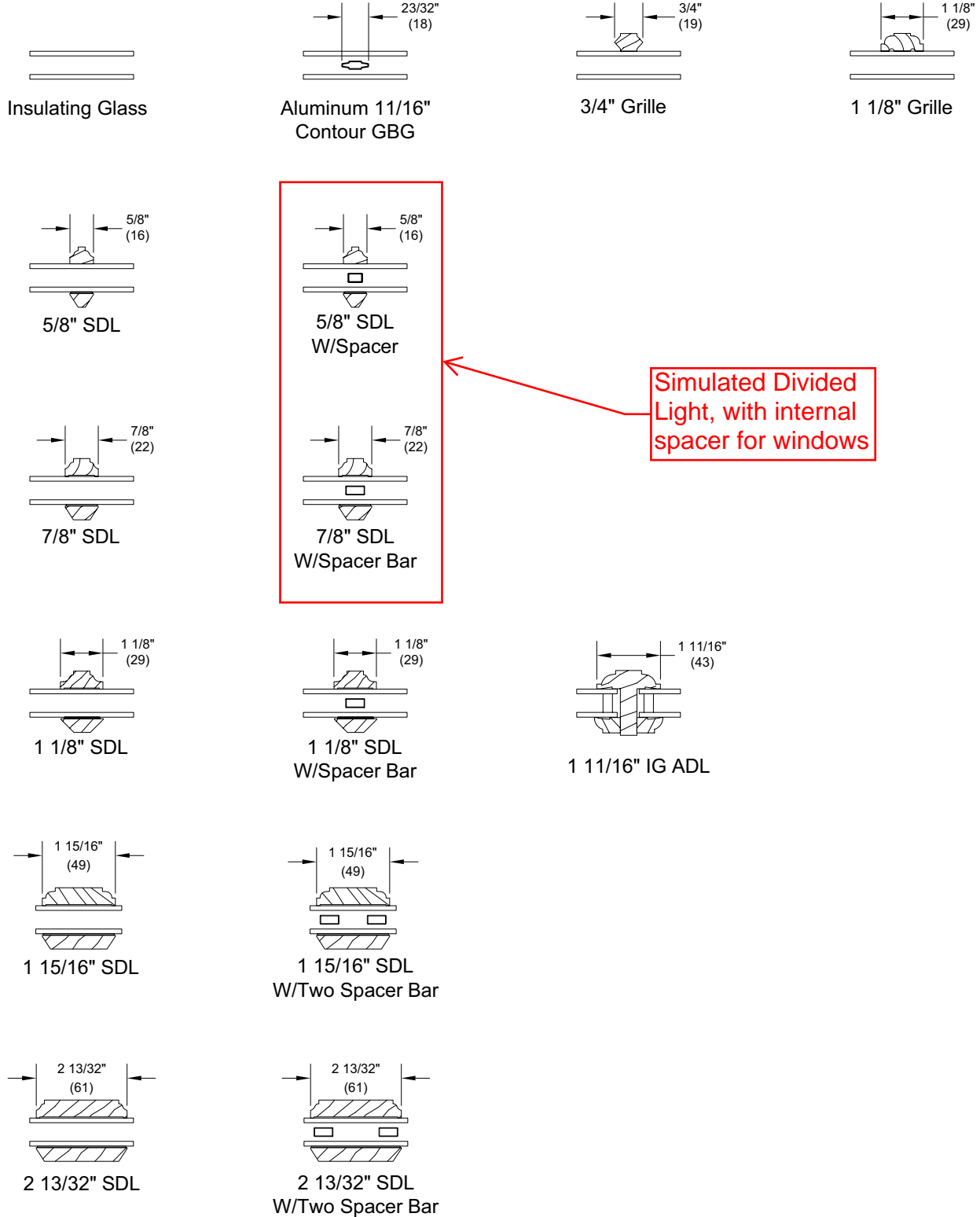


Stationary



Wood Ultimate Casement Collection

Insulating Glass Lite Options



NOTE: ADL is not available with CE mark

