

REQUEST FOR PROPOSAL

RFP # 24-11

Design Services for the Election Center Renovation Project

City of Ann Arbor
City Administration Area/Fleet & Facilities Services Unit



Due Date: March 14, 2024 by 3:00 p.m. (local time)

Issued By:

City of Ann Arbor
Procurement Unit
301 E. Huron Street
Ann Arbor, MI 48104

TABLE OF CONTENTS

SECTION I: GENERAL INFORMATION.....	3
SECTION II: SCOPE OF SERVICES	10
SECTION III: MINIMUM INFORMATION REQUIRED	12
SECTION IV: ATTACHMENTS	16
APPENDIX A: SAMPLE PROFESSIONAL SERVICES AGREEMENT	

SECTION I - GENERAL INFORMATION

A. OBJECTIVE

The City of Ann Arbor is seeking a highly qualified consultant to provide professional architectural-engineering (AE) services for the proposed interior renovation of the City's Election Center located at 3021-3023 Miller Road, Ann Arbor, Michigan.

The City of Ann Arbor ("City") seeks proposals for the programming, planning, design, and construction-phase services for interior renovations to the building to house election related operations and the City's Community Television Network (CTN) operations. The 21,173 sf building was recently purchased by the City and is part of an office condominium development known as Forestcove Office Park that was constructed in 2000. As an office condominium, the City's ownership includes only the building and not the surrounding property. The building is currently being used by the City for limited election related operations.

The City seeks a design team with highly qualified personnel with extensive experience and expertise having previously provided programming, planning, design, and construction-phase services for projects similar in purpose to this project. A special emphasis of the design will be sustainable systems and construction consistent with various City decarbonization goals.

The City invites interested and qualified AE firms desiring to be considered as the designer for this project to submit a proposal identifying their qualifications and costs for providing the services required for this project. Firms considering this request for qualifications are encouraged to thoroughly review this document to familiarize themselves with the instructions, information, procedures, and requirements contained herein. Proposals must be prepared and submitted in accordance with the criteria and procedures established in this request for proposal.

B. QUESTIONS AND CLARIFICATIONS / DESIGNATED CITY CONTACTS

All questions regarding this Request for Proposal (RFP) shall be submitted via e-mail. Questions will be accepted and answered in accordance with the terms and conditions of this RFP.

All questions shall be submitted on or before February 29, 2024 at 2:00 p.m.,
and should be addressed as follows:

Scope of Work/Proposal Content questions shall be e-mailed to Matthew Kulhanek, Fleet & Facilities Manager – MJKulhanek@a2gov.org

RFP Process and Compliance questions shall be e-mailed to Colin Spencer, Buyer
- CSpencer@a2gov.org

Should any prospective offeror be in doubt as to the true meaning of any portion of this RFP, or should the prospective offeror find any ambiguity, inconsistency, or omission therein, the prospective offeror shall make a written request for an official interpretation or correction by the due date for questions above.

All interpretations, corrections, or additions to this RFP will be made only as an official addendum that will be posted to a2gov.org and MITN.info and it shall be the prospective offeror's responsibility to ensure they have received all addenda before submitting a proposal. Any addendum issued by the City shall become part of the RFP, and must be incorporated in the proposal where applicable.

C. PRE-PROPOSAL MEETING

No pre-proposal meeting will be held for this RFP. Please contact staff indicated above with general questions regarding the RFP.

D. PROPOSAL FORMAT

To be considered, each firm must submit a response to this RFP using the format provided in Section III. No other distribution of proposals is to be made by the prospective offeror. An official authorized to bind the offeror to its provisions must sign the proposal. Each proposal must remain valid for at least ninety days from the due date of this RFP.

Proposals should be prepared simply and economically providing a straightforward, concise description of the offeror's ability to meet the requirements of the RFP. No erasures are permitted. Mistakes may be crossed out and corrected and must be initialed in ink by the person signing the proposal.

E. SELECTION CRITERIA

Responses to this RFP will be evaluated using a point system as shown in Section III. A selection committee comprised of staff from the City will complete the evaluation.

The fee proposals will not be reviewed at the initial evaluation. After initial evaluation, the City will determine top proposals, and open only those fee proposals. The City will then determine which, if any, firms will be interviewed. During the interviews, the selected firms will be given the opportunity to discuss their proposal, qualifications, past experience, and their fee proposal in more detail. The City further reserves the right to interview the key personnel assigned by the selected offeror to this project. If the City chooses to interview any respondents, the interviews will be tentatively held the **week of April 1, 2024**. Offeror must be available on these dates.

All proposals submitted may be subject to clarifications and further negotiation. All agreements resulting from negotiations that differ from what is represented within the RFP or in the proposal response shall be documented and included as part of the final contract.

F. SEALED PROPOSAL SUBMISSION

All proposals are due and must be delivered to the City on or before, March 14, 2024 at 3:00 p.m. (local time). Proposals submitted late or via oral, telephonic, telegraphic, electronic mail or facsimile **will not** be considered or accepted.

Each respondent must submit in a sealed envelope

- **one (1) original proposal**
- **four (4) additional proposal copies**
- **one (1) digital copy of the proposal preferably on a USB/flash drive as one file in PDF format**

Each respondent should submit in a single separate sealed envelope marked Fee Proposal

- **two (2) copies of the fee proposal**

The fee proposal and all costs should be separate from the rest of the proposal.

Proposals submitted should be clearly marked: **“RFP No. 24-11 – Design Services for the Election Center Renovation Project”** and list the offeror’s name and address.

Proposals must be addressed and delivered to:

City of Ann Arbor
c/o Customer Service
301 East Huron Street
Ann Arbor, MI 48104

All proposals received on or before the due date will be publicly opened and recorded on the due date. No immediate decisions will be rendered.

Hand delivered bids may be dropped off in the Purchasing drop box located in the Ann Street (north) vestibule/entrance of City Hall which is open to the public Monday through Friday from 8am to 5pm (except holidays). The City will not be liable to any prospective offeror for any unforeseen circumstances, delivery, or postal delays. Postmarking on the due date will not substitute for receipt of the proposal. Offerors are responsible for submission of their proposal. Additional time will not be granted to a single prospective offeror. However, additional time may be granted to all prospective offerors at the discretion of the City.

A proposal may be disqualified if the following required forms are not included with the proposal:

- **Attachment C - City of Ann Arbor Non-Discrimination Declaration of Compliance**
- **Attachment D - City of Ann Arbor Living Wage Declaration of Compliance**
- **Attachment E - Vendor Conflict of Interest Disclosure Form of the RFP Document**

Proposals that fail to provide these forms listed above upon proposal opening may be deemed non-responsive and may not be considered for award.

Please provide the forms outlined above (Attachments C, D and E) within your narrative proposal, not within the separately sealed Fee Proposal envelope.

All proposed fees, cost or compensation for the services requested herein should be provided in the separately sealed Fee Proposal envelope only.

G. DISCLOSURES

Under the Freedom of Information Act (Public Act 442), the City is obligated to permit review of its files, if requested by others. All information in a proposal is subject to disclosure under this provision. This act also provides for a complete disclosure of contracts and attachments thereto.

H. TYPE OF CONTRACT

A sample of the Professional Services Agreement is included as Appendix A. Those who wish to submit a proposal to the City are required to review this sample agreement carefully. **The City will not entertain changes to its Professional Services Agreement.**

The City reserves the right to award the total proposal, to reject any or all proposals in whole or in part, and to waive any informality or technical defects if, in the City's sole judgment, the best interests of the City will be so served.

This RFP and the selected offeror's response thereto, shall constitute the basis of the scope of services in the contract by reference.

I. NONDISCRIMINATION

All offerors proposing to do business with the City shall satisfy the contract compliance administrative policy adopted by the City Administrator in accordance with the Section 9:158 of the Ann Arbor City Code. Breach of the obligation not to discriminate as outlined in Attachment C shall be a material breach of the contract. Contractors are

required to post a copy of Ann Arbor's Non-Discrimination Ordinance attached at all work locations where its employees provide services under a contract with the City.

J. WAGE REQUIREMENTS

The Attachments provided herein outline the requirements for payment of prevailing wages or of a "living wage" to employees providing service to the City under this contract. The successful offeror must comply with all applicable requirements and provide documentary proof of compliance when requested.

K. CONFLICT OF INTEREST DISCLOSURE

The City of Ann Arbor Purchasing Policy requires that the consultant complete a Conflict of Interest Disclosure form. A contract may not be awarded to the selected offeror unless and until the Procurement Unit and the City Administrator have reviewed the Disclosure form and determined that no conflict exists under applicable federal, state, or local law or administrative regulation. Not every relationship or situation disclosed on the Disclosure Form may be a disqualifying conflict. Depending on applicable law and regulations, some contracts may awarded on the recommendation of the City Administrator after full disclosure, where such action is allowed by law, if demonstrated competitive pricing exists and/or it is determined the award is in the best interest of the City. A copy of the Conflict of Interest Disclosure Form is attached.

L. COST LIABILITY

The City of Ann Arbor assumes no responsibility or liability for costs incurred by the offeror prior to the execution of a Professional Services Agreement. The liability of the City is limited to the terms and conditions outlined in the Agreement. By submitting a proposal, offeror agrees to bear all costs incurred or related to the preparation, submission, and selection process for the proposal.

M. DEBARMENT

Submission of a proposal in response to this RFP is certification that the Respondent is not currently debarred, suspended, proposed for debarment, and declared ineligible or voluntarily excluded from participation in this transaction by any State or Federal departments or agency. Submission is also agreement that the City will be notified of any changes in this status.

N. PROPOSAL PROTEST

All protests must be in writing and filed with the Purchasing Agent within 5 business days of any notices of intent, including, but not exclusively, divisions on pre-qualification of bidders, shortlisting of bidders, or a notice of intent to award a contract. Only bidders who responded to the solicitation may file a bid protest. The offeror must

clearly state the reasons for the protest. If an offeror contacts a City Service Area/Unit and indicates a desire to protest an award, the Service Area/Unit shall refer the offeror to the Purchasing Manager. The Purchasing Manager will provide the offeror with the appropriate instructions for filing the protest. The protest shall be reviewed by the City Administrator or designee, whose decision shall be final.

Any inquiries or requests regarding this procurement should be only submitted in writing to the Designated City Contacts provided herein. Attempts by the offeror to initiate contact with anyone other than the Designated City Contacts provided herein that the offeror believes can influence the procurement decision, e.g., Elected Officials, City Administrator, Selection Committee Members, Appointed Committee Members, etc., may lead to immediate elimination from further consideration.

O. SCHEDULE

The proposals submitted should define an appropriate schedule in accordance with the requirements of the Proposed Work Plan in Section III.

The following is the schedule for this RFP process.

Activity/Event	Anticipated Date
Written Question Deadline	February 29, 2024, 2:00 p.m.
Addenda Published (if needed)	Week of March 4, 2024
Proposal Due Date	March 14, 2024, 3:00 p.m. (Local Time)
Tentative Interviews (if needed)	Week of April 1, 2024
Selection/Negotiations	April 2024
Expected City Council Authorizations	May 2024

The above schedule is for information purposes only and is subject to change at the City's discretion.

P. IRS FORM W-9

The selected offeror will be required to provide the City of Ann Arbor an IRS form W-9.

Q. RESERVATION OF RIGHTS

1. The City reserves the right in its sole and absolute discretion to accept or reject any or all proposals, or alternative proposals, in whole or in part, with or without cause.
2. The City reserves the right to waive, or not waive, informalities or irregularities in of any proposal if determined by the City to be in its best interest.
3. The City reserves the right to request additional information from any or all offerors.
4. The City reserves the right to reject any proposal that it determines to be unresponsive and deficient in any of the information requested within RFP.

5. The City reserves the right to determine whether the scope of the project will be entirely as described in the RFP, a portion of the scope, or a revised scope be implemented.
6. The City reserves the right to select one or more consultants to perform services.
7. The City reserves the right to retain all proposals submitted and to use any ideas in a proposal regardless of whether that proposal is selected. Submission of a proposal indicates acceptance by the firm of the conditions contained in this RFP, unless clearly and specifically noted in the proposal submitted.
8. The City reserves the right to disqualify proposals that fail to respond to any requirements outlined in the RFP, or failure to enclose copies of the required documents outlined within RFP.

R. ENVIRONMENTAL COMMITMENT

The City of Ann Arbor recognizes its responsibility to minimize negative impacts on human health and the environment while supporting a vibrant community and economy. The City further recognizes that the products and services the City buys have inherent environmental and economic impacts and that the City should make procurement decisions that embody, promote, and encourage the City's commitment to the environment.

The City encourages potential vendors to bring forward emerging and progressive products and services that are best suited to the City's environmental principles.

SECTION II - SCOPE OF SERVICES

A. Background

In October 2023, the City of Ann Arbor purchased an office condominium located at 3021-3023 Miller Road, Ann Arbor, for the purpose of enhancing the City's election operations and providing a city owned facility for the City's Community Television Network (CTN) operations. CTN operations are currently provided from rental space located on South Industrial Highway whose lease will expire in 2026. The new office space is 21,173 sf and the building was constructed in 2000 (see original building drawings provided in Attachment A). As an office condominium, the City's ownership includes only the building and not the surrounding property. The City has already transitioned election operations to the new facility for the 2024 election season. The City intends to vacate the building entirely in 2025 to accommodate renovations. The chosen firm will be able to access the building for whatever purposes it needs during 2024, with supervision in security sensitive areas.

The City's Office of Sustainability and Innovation has retained the firm Inclination Engineering to conduct a complete energy audit on the subject property and the completed report, anticipated in April 2024, will be provided to the successful AE firm.

B. Objective

The City of Ann Arbor is seeking proposals from professional architectural-engineering (AE) firms for the planning, design and construction administration services for the interior renovations of the subject location to house City election operations and operations and facilities needed for the City's Community Television Network (CTN) unit. A special emphasis on renovations that improve building efficiencies and meeting the City's decarbonization goals will be required.

C. Requirements

1. Planning Phase

- a. Include standard professional services for this type of project.
- b. Review drawing and existing conditions.
- c. Meet with representatives from the City Clerk's Office to familiarize design staff with election operations and the needs associated with the subject property.
- d. Meet with representatives from the CTN staff to familiarize design staff with the needs and facility requirements, including studios and related technologies, that will be housed at the subject property.
- e. Meet with representatives from the Office of Sustainability and Innovations to familiarize design staff with the City's goals for sustainability and decarbonization of the subject property.

2. Conceptual Design Phase
 - a. Include standard professional services for this type of project.
 - b. Complete a code analysis to make sure current work is consistent with current codes.
 - c. Produce up to three design concept alternatives for consideration for renovated areas with one round of revisions if necessary.
 - d. Obtain approval of final conceptual drawing from the project team before moving forward on construction drawings.
3. Construction Drawing Phase
 - a. Include standard professional services for this type of project.
 - b. Prepare floor plans, details and elevations with an estimate of probable cost of the proposed changes and approved scope.
 - c. Deliverables for this phase will be a set of Construction Drawings and Specifications for the scope of work ready for bid and permit.
4. Bidding Phase
 - a. Upon completion of the final drawings and specifications, the City will prepare the final bid document and handle advertising and distribution.
 - b. Attend pre-bid meeting.
 - c. Assist in distributing plans and specifications electronically.
 - d. Answer contractor and sub-contractor questions.
 - e. Prepare Addendums if needed.
 - f. Review submitted construction proposals.
5. Construction Administration Phase
 - a. Include standard professional services for this type of contract.
 - b. Review shop drawings and answer contractor requests for information during construction.
 - c. Perform bi-monthly site observations to review construction progress (up to 16 visits).
 - d. Evaluate construction progress and review monthly contractor applications for payment.
 - e. Review and administer punch list to assist the contractor in completing promptly.
 - f. Develop/draft the “as-built” drawings, review and approve the “as-built” plans.
 - g. The “as-built” plans will conform to the City’s Standard Specifications and will be provided to the City on hard drive or other approved media. As-built plans shall be provided within two months of completion of the project.

SECTION III - MINIMUM INFORMATION REQUIRED

PROPOSAL FORMAT

Offerors should organize Proposals into the following Sections:

- A. Professional Qualifications
- B. Past Involvement with Similar Projects
- C. Proposed Work Plan
- D. Fee Proposal (include in a separate sealed envelope clearly marked "Fee Proposal")
- E. Authorized Negotiator
- F. Attachments

The following describes the elements that should be included in each of the proposal sections and the weighted point system that will be used for evaluation of the proposals.

A. Professional Qualifications – 20 points

1. State the full name and address of your organization and, if applicable, the branch office or other subsidiary element that will perform, or assist in performing, the work hereunder. Indicate whether it operates as an individual, partnership, or corporation. If as a corporation, include whether it is licensed to operate in the State of Michigan.
2. Include the name of executive and professional personnel by skill and qualification that will be employed in the work. Show where these personnel will be physically located during the time they are engaged in the work. Indicate which of these individuals you consider key to the successful completion of the project. Identify only individuals who will do the work on this project by name and title. Resumes and qualifications are required for all proposed project personnel, including all subcontractors. Qualifications and capabilities of any subcontractors must also be included.
3. State history of the firm, in terms of length of existence, types of services provided, etc. Identify the technical details that make the firm uniquely qualified for this work.

B. Past involvement with Similar Projects – 30 points

The written proposal must include a list of specific experience in the project area and indicate proven ability in implementing similar projects for the firm **and** the individuals to be involved in the project. A complete list of client references must be provided for similar projects recently completed. The list shall include the firm/agency name, address, telephone number, project title, and contact person.

C. Proposed Work Plan – 30 points

Provide a detailed and comprehensive description of how the offeror intends to provide the services requested in this RFP. This description shall include, but not be limited to how the project(s) will be managed and scheduled, how and when data and materials will be delivered to the City, communication and coordination, the working relationship between the offeror and City staff, and the company's general philosophy in regards to providing the requested services.

Offerors shall be evaluated on the clarity, thoroughness, and content of their responses to the above items.

D. Fee Proposal - 20 points

Fee schedules should be submitted in a separate, sealed, envelope as part of the proposal. Fee quotations are to include the names, title, hourly rates, overhead factors, and any other relevant details. The proposal should highlight key staff and positions that would likely be involved with projects. Offerors shall be capable of justifying the details of the fee proposal relative to personnel costs, overhead, how the overhead rate is derived, material and time.

E. Authorized Negotiator

Include the name, phone number, and e-mail address of persons(s) in your organization authorized to negotiate the agreement with the City.

F. Attachments

Legal Status of Offeror, Conflict of Interest Form, Living Wage Compliance Form, and the Non-Discrimination Form should be returned with the proposal. These elements should be included as attachments to the proposal submission.

PROPOSAL EVALUATION

1. The selection committee will evaluate each proposal by the above-described criteria and point system (A through C) to select a short-list of firms for further consideration. The City reserves the right to reject any proposal that it determines to be unresponsive and deficient in any of the information requested for evaluation. A proposal with all the requested information does not guarantee the proposing firm to be a candidate for an interview. The committee may contact references to verify material submitted by the offerors.
2. The committee then will schedule interviews with the selected firms if necessary. The selected firms will be given the opportunity to discuss in more detail their qualifications, past experience, proposed work plan and fee proposal.

3. The interview must include the project team members expected to complete a majority of the work on the project, but no more than six members total. The interview shall consist of a presentation of up to thirty minutes (or the length provided by the committee) by the offeror, including the person who will be the project manager on this contract, followed by approximately thirty minutes of questions and answers. Audiovisual aids may be used during the oral interviews. The committee may record the oral interviews.
4. The firms interviewed will then be re-evaluated by the above criteria (A through D), and adjustments to scoring will be made as appropriate. After evaluation of the proposals, further negotiation with the selected firm may be pursued leading to the award of a contract by City Council, if suitable proposals are received.

The City reserves the right to waive the interview process and evaluate the offerors based on their proposals and fee schedules alone and open fee schedules before or prior to interviews.

The City will determine whether the final scope of the project to be negotiated will be entirely as described in this RFP, a portion of the scope, or a revised scope.

Work to be done under this contract is generally described through the detailed specifications and must be completed fully in accordance with the contract documents.

Any proposal that does not conform fully to these instructions may be rejected.

PREPARATION OF PROPOSALS

Proposals should have no plastic bindings but will not be rejected as non-responsive for being bound. Staples or binder clips are acceptable. Proposals should be printed double sided on recycled paper. Proposals should not be more than 30 sheets (60 sides), not including required attachments and resumes.

Each person signing the proposal certifies that they are a person in the offeror's firm/organization responsible for the decisions regarding the fees being offered in the Proposal and has not and will not participate in any action contrary to the terms of this provision.

ADDENDA

If it becomes necessary to revise any part of the RFP, notice of the addendum will be posted to Michigan Inter-governmental Trade Network (MITN) www.mitn.info and/or the City of Ann Arbor web site www.A2gov.org for all parties to download.

Each offeror must acknowledge in its proposal all addenda it has received. The failure of an offeror to receive or acknowledge receipt of any addenda shall not relieve the offeror

of the responsibility for complying with the terms thereof. The City will not be bound by oral responses to inquiries or written responses other than official written addenda.

SECTION IV - ATTACHMENTS

Attachment A – Original Building Drawings

Attachment B - Legal Status of Offeror

Attachment C – Non-Discrimination Ordinance Declaration of Compliance Form

Attachment D – Living Wage Declaration of Compliance Form

Attachment E – Vendor Conflict of Interest Disclosure Form

Attachment F – Non-Discrimination Ordinance Poster

Attachment G – Living Wage Ordinance Poster

**ATTACHMENT A
ORIGINAL BUILDING DRAWINGS**

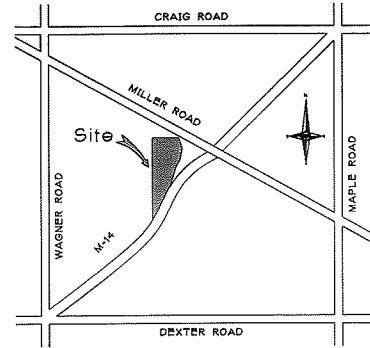
BUILDING A3/B2 - FORESTCOVE OFFICE PARK

ANN ARBOR, MICHIGAN

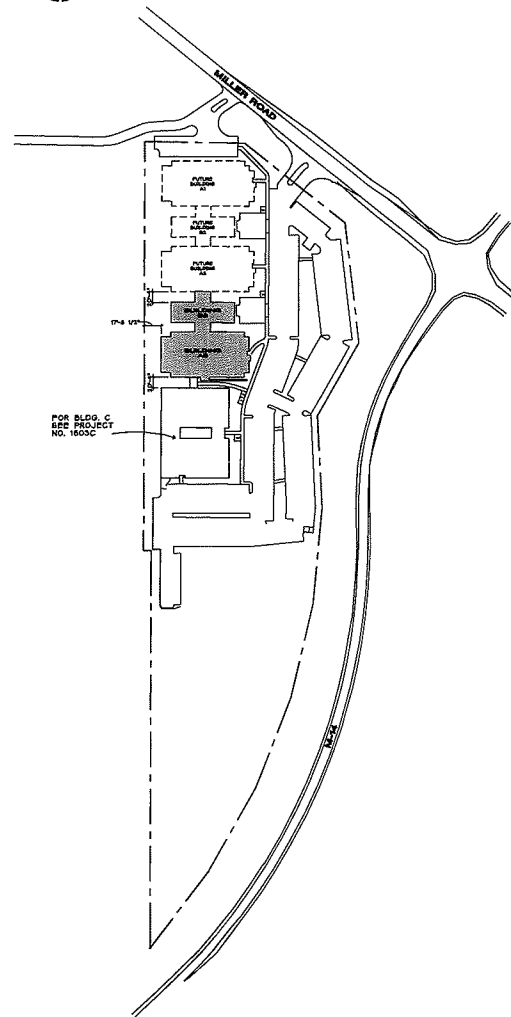


SIEGAL / TUOMALA ASSOCIATES ARCHITECTS & PLANNERS INC.
SUITE 261-31731 NORTHWESTERN HWY. FARMINGTON HILLS, MICHIGAN 48335 248/851-3325

1603
ISSUED DATE
FOUNDATIONS & FRAMING
OWNERS LEASE
GENERAL BIDS
FEB. 11, 98
MAR. 05, 98
MAR. 17, 98



SITE LOCATION MAP
NOT TO SCALE



LOCATION PLAN
NOT TO SCALE

FORESTCOVE BUILDING A/B CODE COMPLIANCE

BUILDING CODE:	BOCA 1985
CONSTRUCTION TYPE:	5B
USE GROUP:	B
NUMBER OF STORIES:	ONE STORY W/2 MEZZANINES
FULLY SPRINKLERED:	YES (INCLUDING TRUSS SPACE)
FLOOR AREA:	FIRST FLOOR 15,611 SF STORAGE MEZZANINE 739 SF OFFICE MEZZANINE 1,823 SF 21,173 SF ACTUAL
BUILDING AREA LIMITATIONS (TABLE 503):	TABULAR AREA 7200 SF SPRINKLER MODIFICATION (SEC. 506) 2 x 7200 SF 14,400 SF 21,600 SF PERMITTED
MEZZANINES (PER SEC. 505):	AREA LIMITATION 739 SF MEZZANINE AREA: 1,823 SF 2,562 SF
MIN. PERMITTED ROOM CONTAINING MEZZANINES	2562 SF x 3 = 7686 SF
FIRST FLOOR CONNECTED- PARTIAL HRT. PARTITION	WALL SEPARATING SPACES-
OFFICE	A114 3604
OPEN AREA	A115 1890
OFFICE	A116 3658
	8152 SF (7686 SF)
EGRESS:	EACH MEZZANINE COMPLIES WITH TABLE 1017.2 ONE EXIT REQUIRED
OPENNESS:	STORAGE MEZZ. - 739 SF @ 300 SF/OCCUP. = 2 OCCUPANTS OFFICE MEZZ. - 821 SF @ 100 SF/OCCUP. = 8 OCCUPANTS MEZZANINE CLOSED TO OCCUPANTS DOES NOT EXCEED 10 PERMITTED

EXTERIOR WALLS (PER SEC. 705):	TABLE 705.2- EXTERIOR WALL FIRE RESISTANCE RATING: B USE GROUP- >10' SEPARATION- 0 HR. RATING
TABLE 705.3- MAXIMUM AREA OF EXTERIOR WALL OPENINGS:	SEPARATION DISTANCE TO ADJACENT BUILDINGS- GREATER THAN 10' TO 15' = 45% OPENING ALLOWABLE (PER SEC. 705.3.1 FOR FULLY SPRINKLERED)
ACTUAL BAY SIZE BETWEEN BUILDINGS:	OPENING: 9'-0" WIDE - 18" POST & 3" MULLION x 8'-0" WIDE OPENING x 4'-0" HIGH OPENING = 32 SF OPNG
TOTAL BAY:	9'-0" WIDE x 9'-4" HIGH MIN (GRADE TO SOFFIT) = 84 SF OPNG 32 SF/84 SF = 38% OPNG 38% OPNG < 45% MAX OPNG ALLOWABLE
OCCUPANCY:	21,173 SF @ 100 SF/OCCUP. = 212 OCCUPANTS MIN.
REQUIRED EXITING:	212 OCCUP. x 15'/OCCUP. = 32' MIN.
PROVIDED EXITS:	A01/A02 36" A20 35" A23 35" B04 35" B10 35" B11 35" B18 35" 245'
REQUIRED PLUMBING FIXTURES:	212 OCCUPANTS- REQUIRED FIXT. WC URINALS LAV. 106 MALES- PROVIDED FIXT. 4 1 3 106 FEMALES- REQUIRED FIXT. 5 2 3 PROVIDED FIXT. 5 5 3

DRAWING LIST

TITLE SHEET

ARCHITECTURAL

- A-1 FLOOR PLAN
- A-2 REFLECTED CEILING PLAN
- A-3 BUILDING ELEVATIONS
- A-4 BUILDING ELEVATIONS & SECTIONS
- A-5 BUILDING SECTIONS & ROOF PLAN
- A-6 ROOM FINISH & DOOR SCHEDULES
- A-7 ENLARGED PLANS & INTERIOR ELEVATIONS
- A-8 WALL SECTIONS & DETAILS
- A-9 WALL SECTIONS & DETAILS
- A-10 WALL SECTIONS & DETAILS
- A-11 S.E.D. & STAIR SECTIONS

STRUCTURAL

- S-1 FOUNDATION PLAN
- S-2 MEZZANINE FRAMING PLAN
- S-3 ROOF FRAMING PLAN
- S-4 SECTION, DETAILS, & NOTES

MECHANICAL

- M-1 ELECTRICAL SITE PLAN
- M-2 FLOOR PLANS- LIGHTING
- M-3 FLOOR PLANS-POWER
- M-4 VOICE/ DATA RACEWAYS & OUTLETS
- M-5 COMMUNICATION SYSTEM CABLING REQUIREMENTS
- M-6 ELECTRICAL RISER DIAGRAM AND SCHEDULES

ELECTRICAL

- SE-1 ELECTRICAL SITE PLAN
- E-1 FLOOR PLANS- LIGHTING
- E-2 FLOOR PLANS-POWER
- E-3 VOICE/ DATA RACEWAYS & OUTLETS
- E-4 COMMUNICATION SYSTEM CABLING REQUIREMENTS (ISSUED FOR OWNERS USE ONLY)
- E-5 ELECTRICAL RISER DIAGRAM AND SCHEDULES

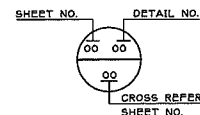
GENERAL NOTES

1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO ANY WORK.
3. ALL WORK SHALL CONFORM TO ALL GOVERNING CODES AND REGULATIONS.
4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE ASSIGNMENT, INTERFACING AND COORDINATION OF THE WORK OF ALL TRADES.
5. PROVIDE ALL FIRE/DRAFTSTOPPING IN STRICT ACCORDANCE WITH B.O.C.A. CODE.

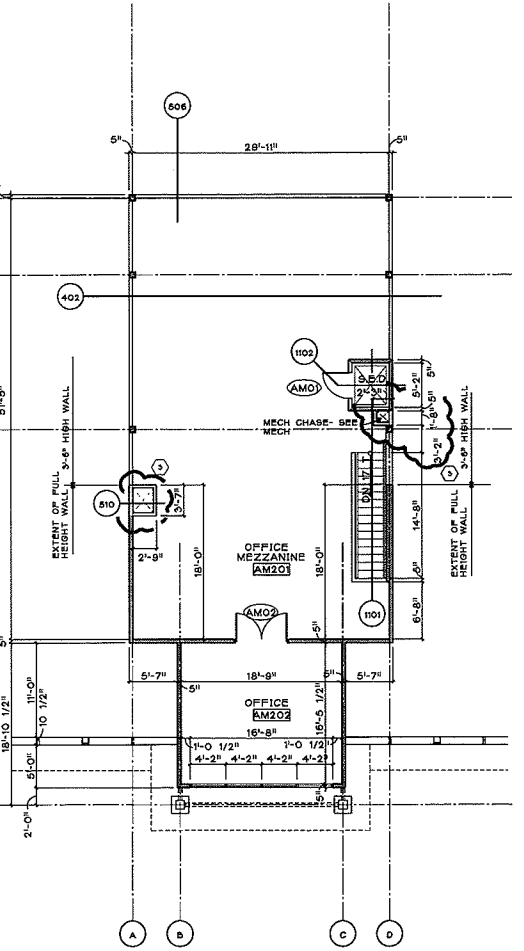
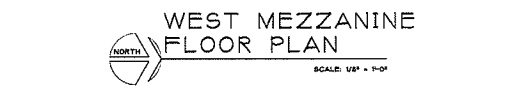
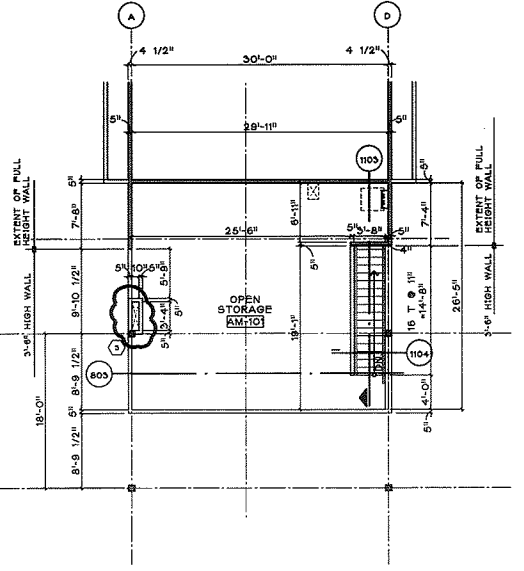
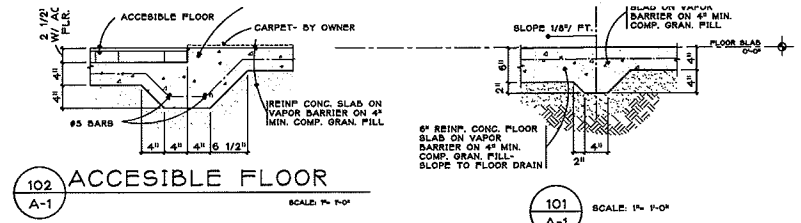
KEY TO DIMENSIONING

DRAWINGS ARE BASED ON A 'NOMINAL' DIMENSIONING SYSTEM. ON SMALL SCALE DRAWINGS ALL DIMENSIONS ARE BASED ON THE NOMINAL SIZE OF CONSTRUCTION MATERIALS AND DO NOT TAKE FURRING OR APPLIED FINISH THICKNESSES INTO ACCOUNT. LARGE SCALE DETAILS ARE DRAWN WITH ALL CONSTRUCTION MATERIALS IN TRUE SCALE.

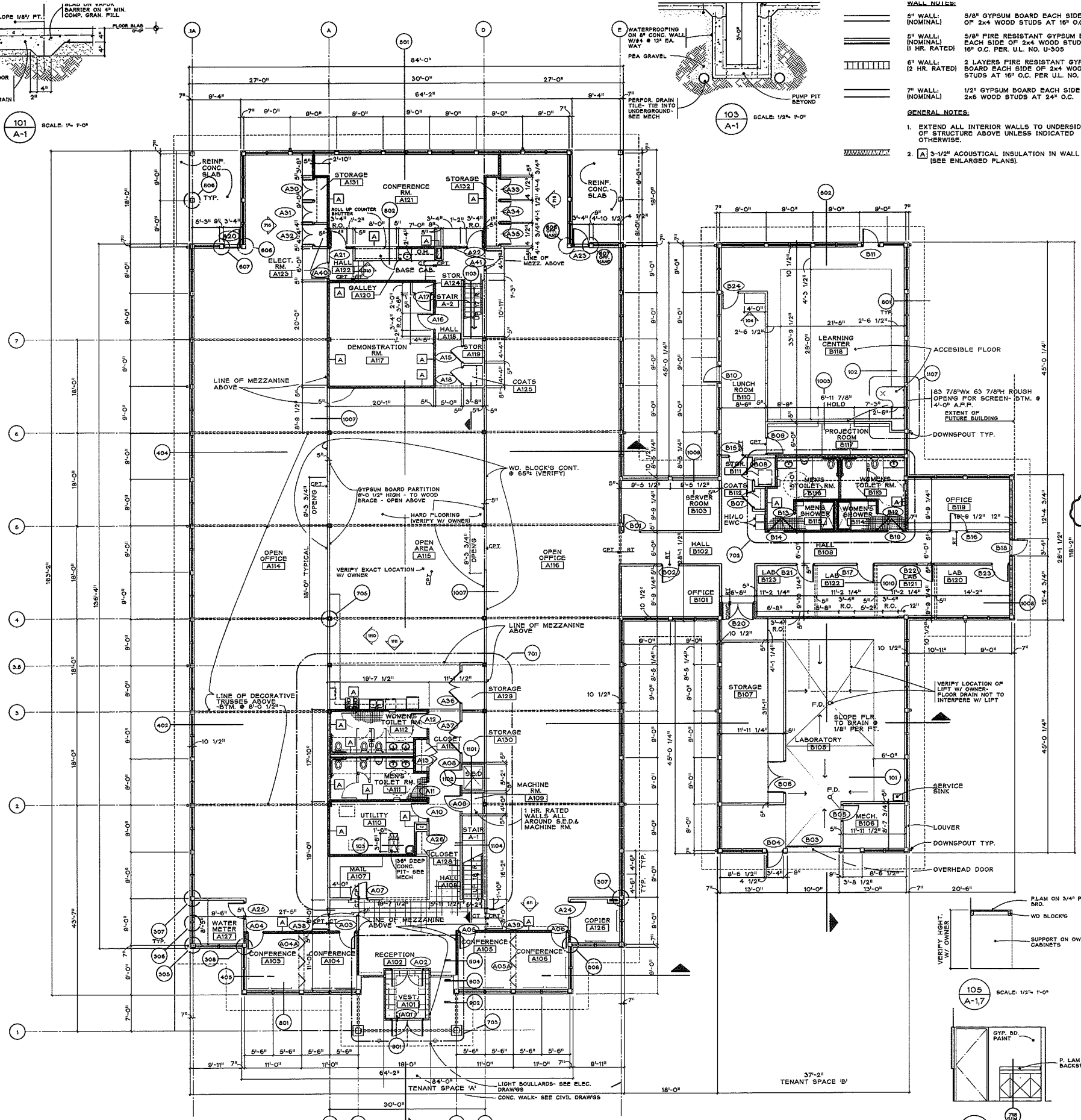
SECTION AND DETAIL KEY



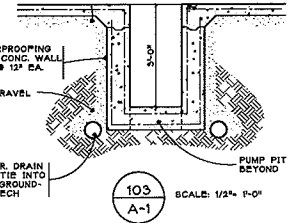
ISSUED DATE
FOUNDATIONS & FRAMING
OWNERS LEASE
GENERAL BIDS



EAST MEZZANINE FLOOR PLAN
SCALE: 1/8" = 1'-0"



FLOOR PLAN
SCALE: 1/8" = 1'-0"



WALL NOTES:

5" WALL (NOMINAL)	5/8" GYPSUM BOARD EACH SIDE OF 2x4 WOOD STUDS AT 16" O.C.	(4 3/4" ACTUAL)
5" WALL (NOMINAL) (2 HR. RATED)	5/8" FIRE RESISTANT GYPSUM BOARD EACH SIDE OF 2x4 WOOD STUDS AT 16" O.C. PER U.L. NO. U-305	(4 3/4" ACTUAL)
6" WALL (NOMINAL) (2 HR. RATED)	2 LAYERS FIRE RESISTANT GYPSUM BOARD EACH SIDE OF 2x4 WOOD STUDS AT 16" O.C. PER U.L. NO. U-301	(6" ACTUAL)
7" WALL (NOMINAL)	1/2" GYPSUM BOARD EACH SIDE OF 2x6 WOOD STUDS AT 24" O.C.	(6 1/2" ACTUAL)

GENERAL NOTES:

- EXTEND ALL INTERIOR WALLS TO UNDERSIDE OF STRUCTURE ABOVE UNLESS INDICATED OTHERWISE.
- 3-1/2" ACOUSTICAL INSULATION IN WALL (SEE ENLARGED PLANS).

GENERAL NOTES:

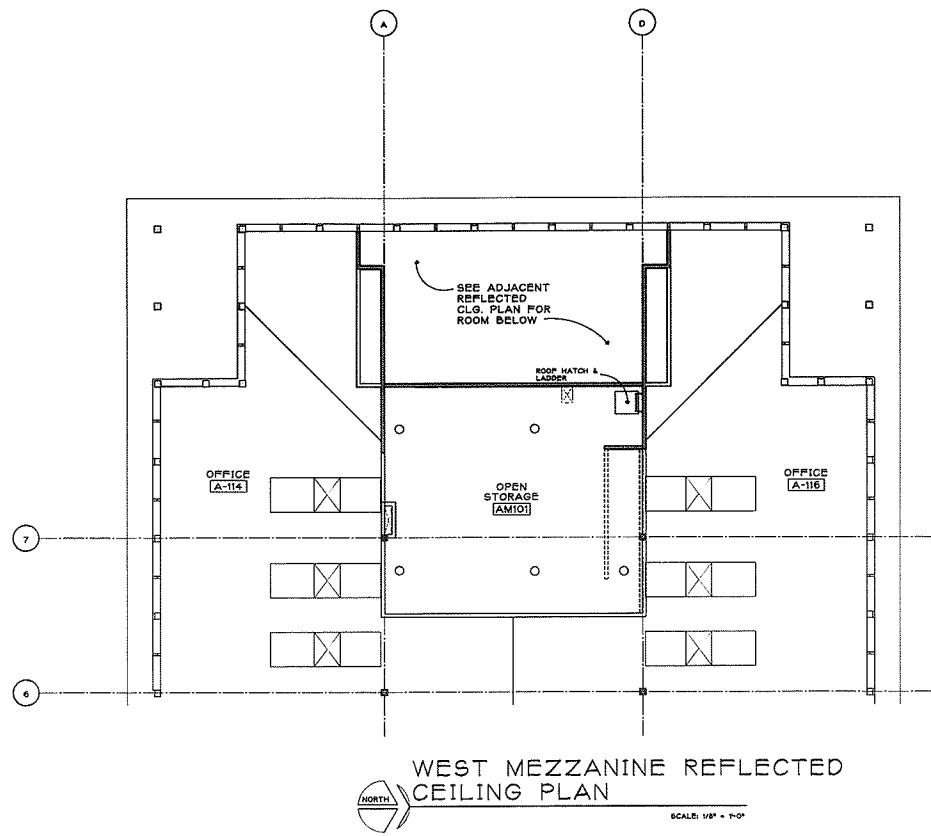
- EXTEND ALL INTERIOR WALLS TO UNDERSIDE OF STRUCTURE ABOVE UNLESS INDICATED OTHERWISE.
- 3-1/2" ACOUSTICAL INSULATION IN WALL (SEE ENLARGED PLANS).

FLOOR PLAN
SCALE: 1/8" = 1'-0"

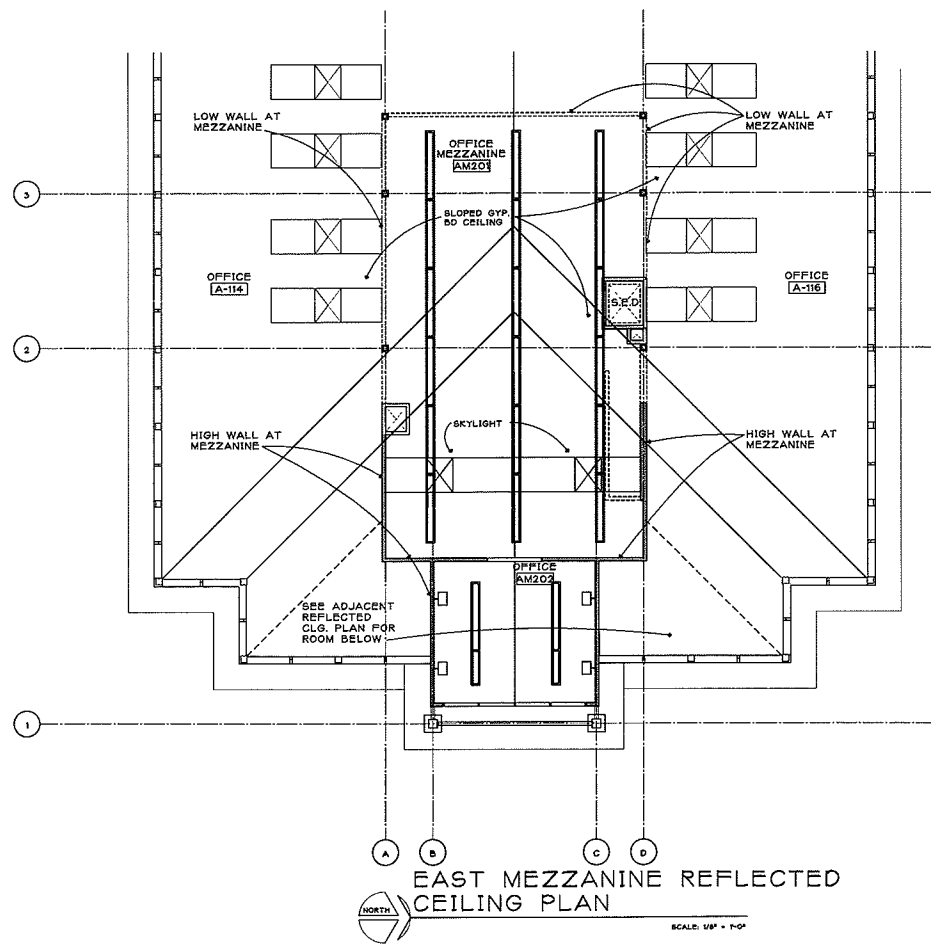
PROJECT NAME: FORESTCOVE OFFICE PARK
PROJECT LOCATION: ANN ARBOR MICHIGAN

PROJECT NO. 1603
SHEET NO. A-1
COPYRIGHT © 1978

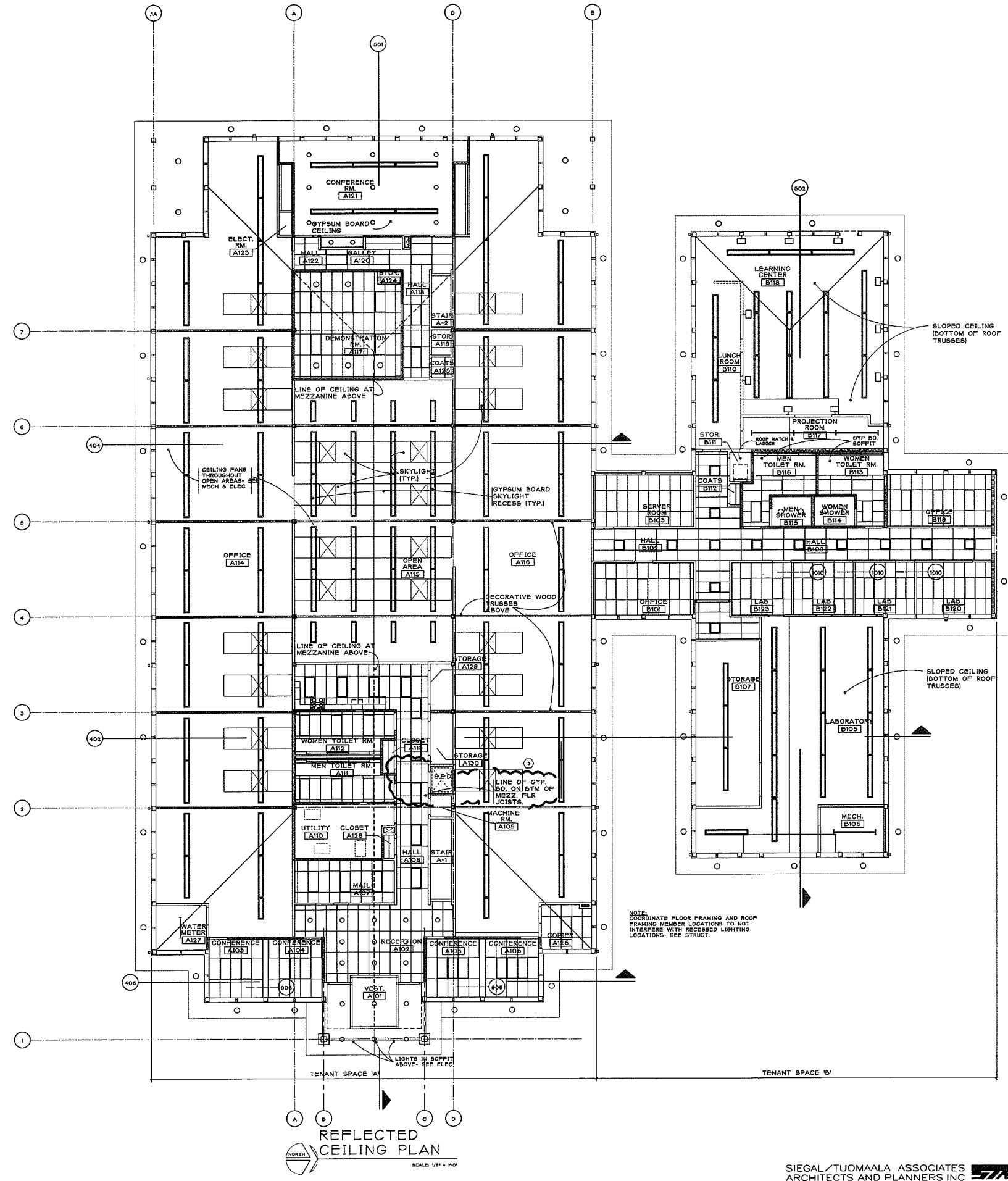
SIEGAL/TUOMALA ASSOCIATES ARCHITECTS AND PLANNERS INC.
SUITE 261 - 31731 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248/851-3325



WEST MEZZANINE REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



EAST MEZZANINE REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"



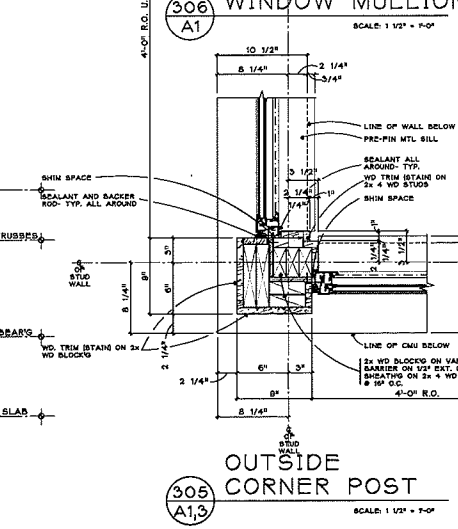
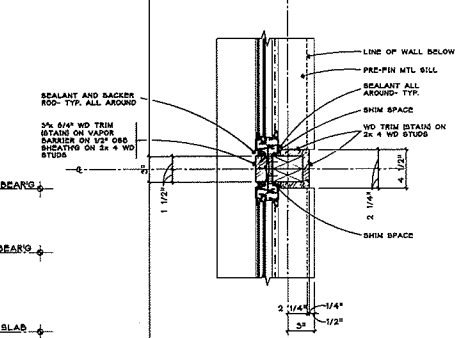
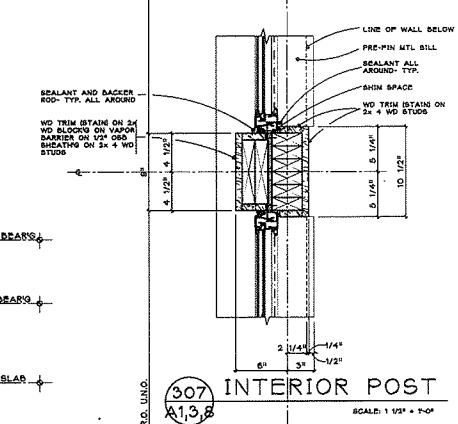
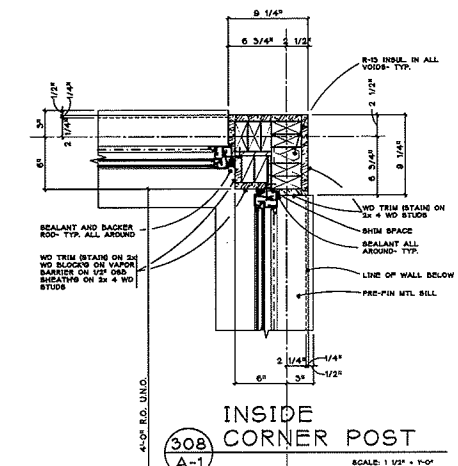
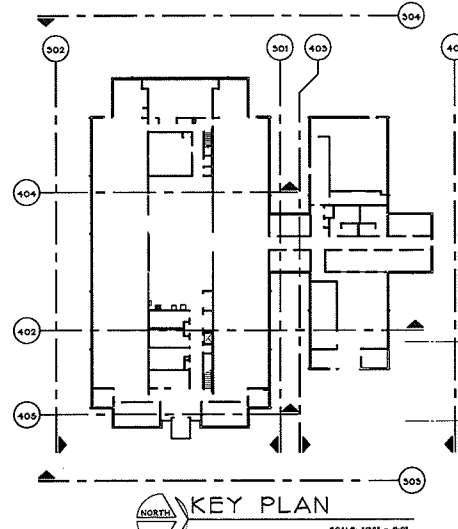
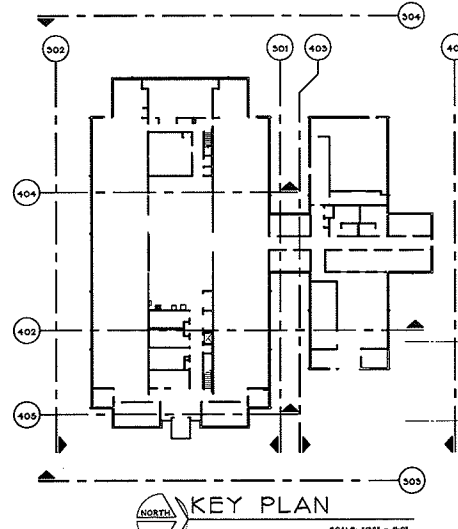
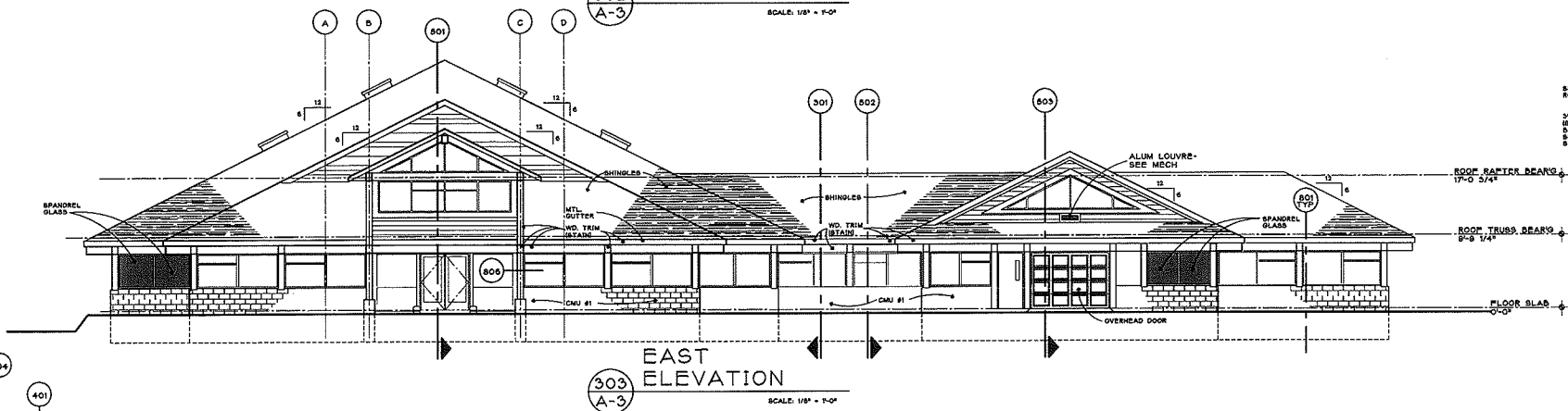
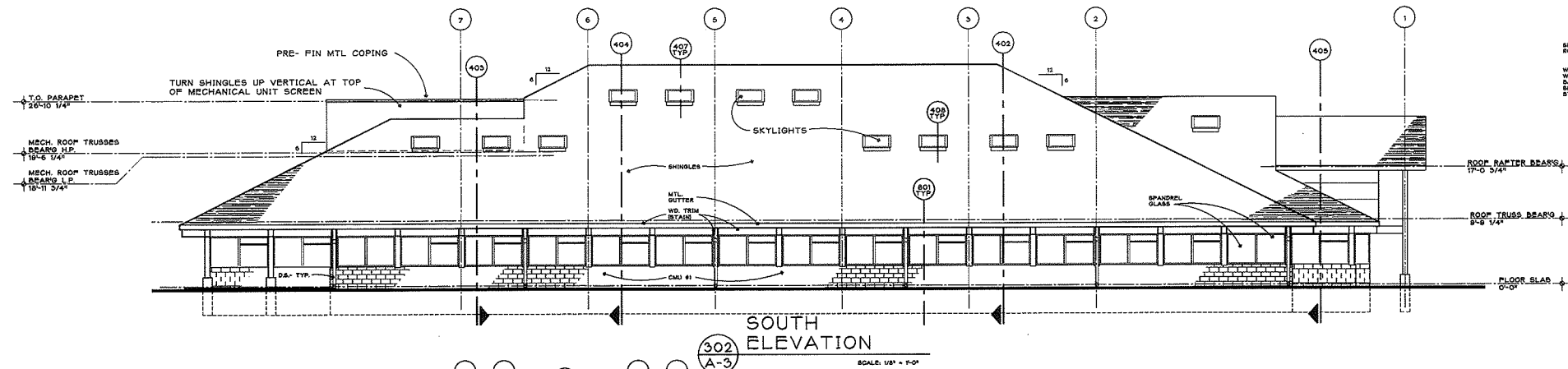
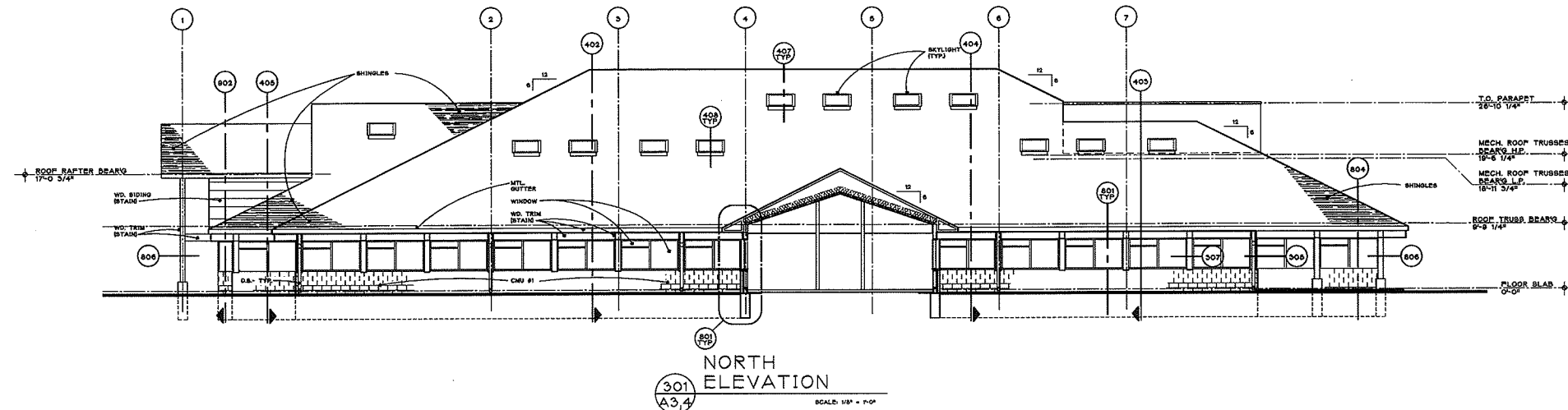
REFLECTED CEILING PLAN
SCALE: 1/8" = 1'-0"

REFLECTED CEILING PLANS

PROJECT NAME:
FORESTCOVE
OFFICE PARK
PROJECT LOCATION:
ANN ARBOR
MICHIGAN

PROJECT NO.
1603
SHEET NO.
A-2
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SUITE 541 • 31731 NORTHWESTERN HWY. • FARMINGTON HILLS, MI 48334 • 248/651-3325



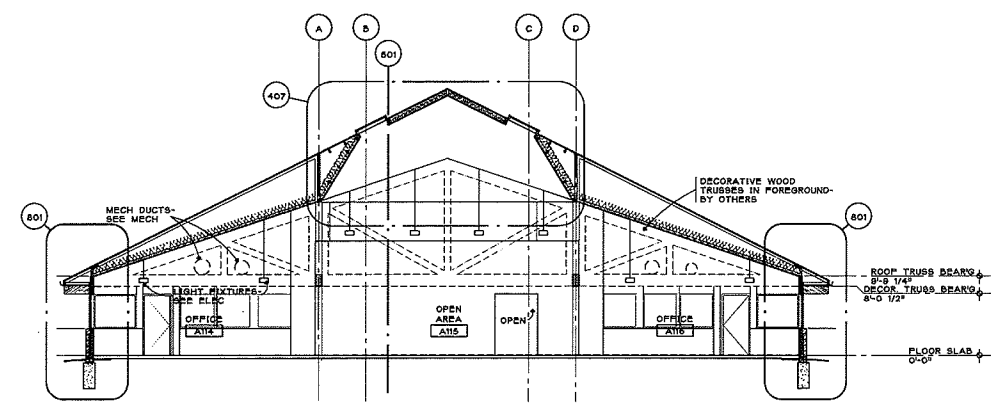
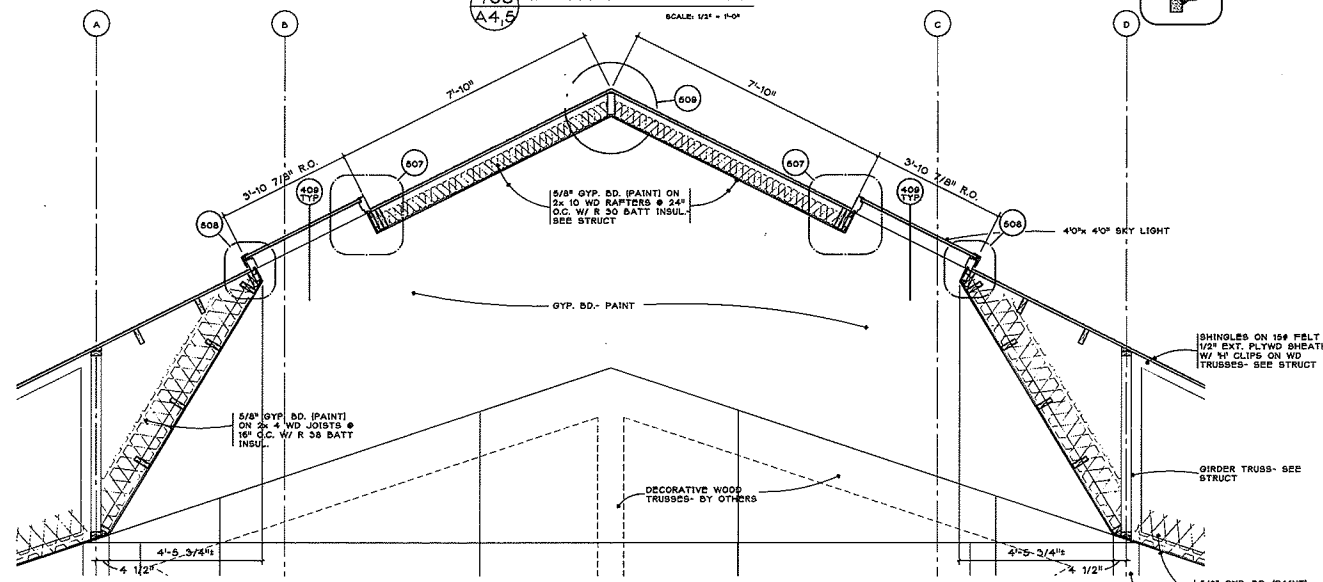
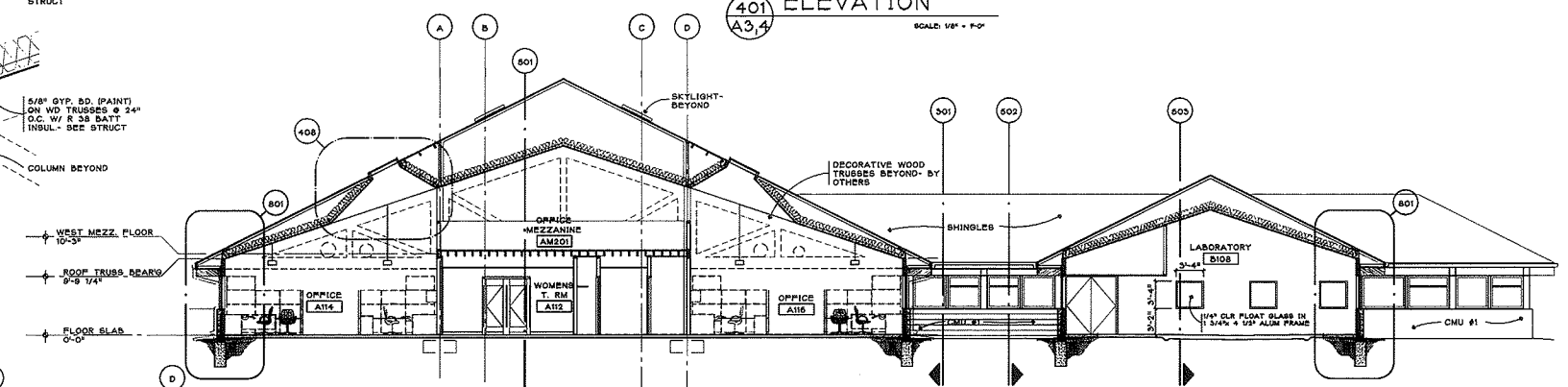
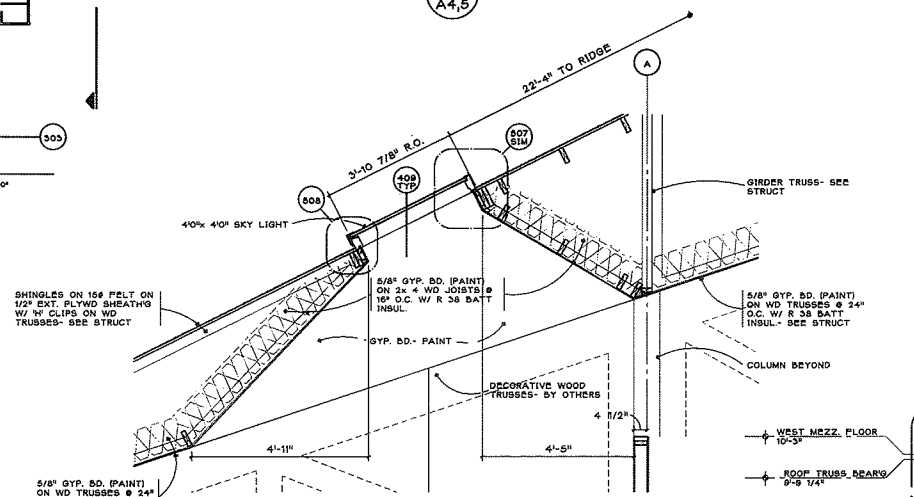
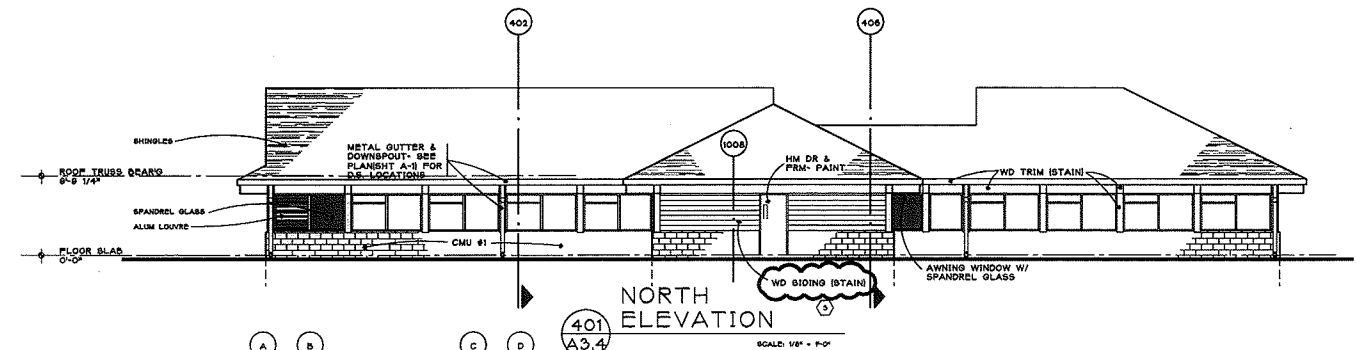
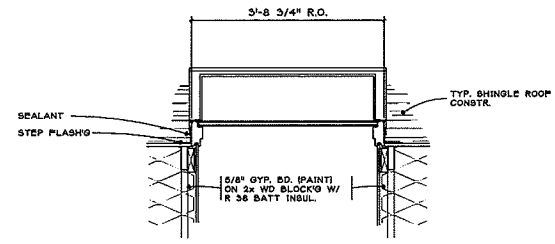
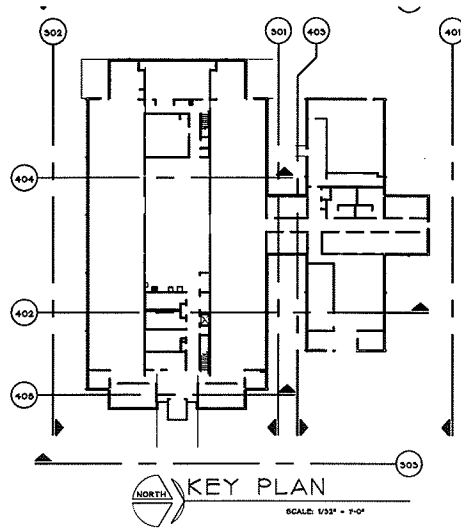
BUILDING ELEVATIONS

PROJECT NAME: FORESTCOVE OFFICE PARK
PROJECT LOCATION: ANN ARBOR MICHIGAN

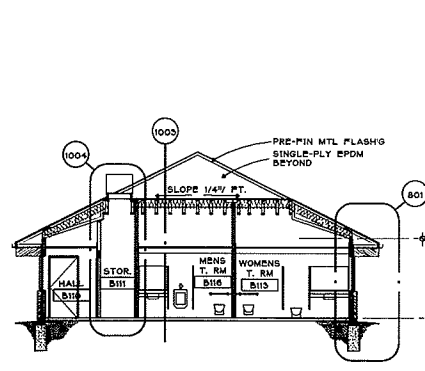
DESIGNER: SIEGAL/TUOMAALA ASSOCIATES ARCHITECTS AND PLANNERS INC.
CONTRACT NO.: 1603
SHEET NO.: A-3

FORESTCOVE OFFICE PARK
ANN ARBOR MICHIGAN

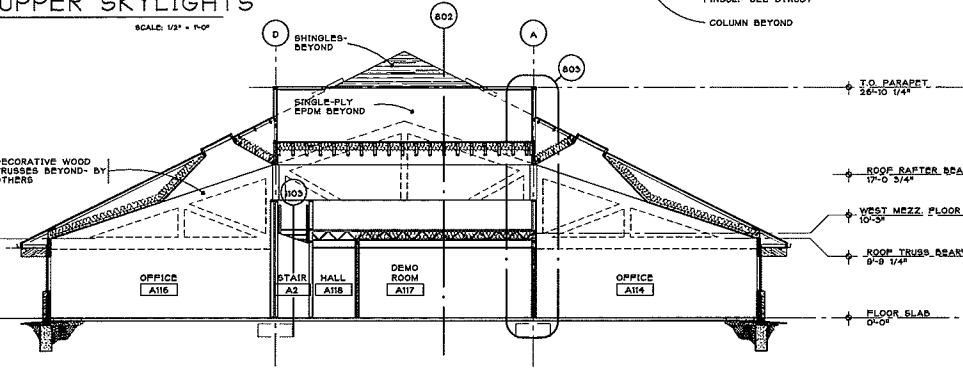
PROJECT NO. 1603
SHEET NO. A-3
COPYRIGHT © 1978



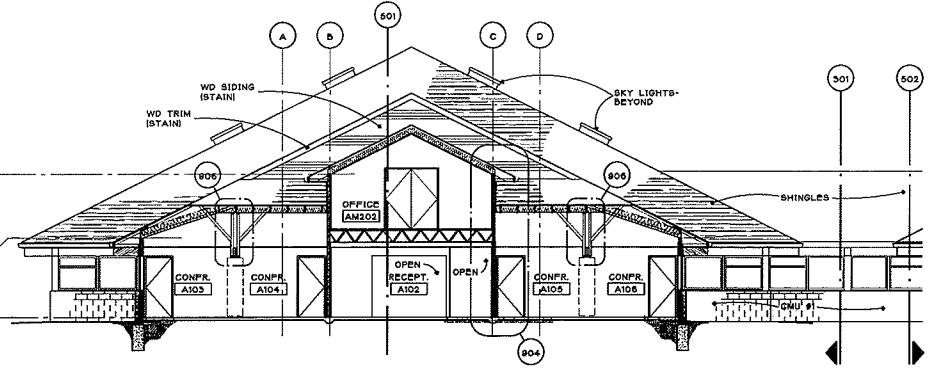
404 BLDG. SECTION
SCALE: 1/8" = 1'-0"



406 BLDG. SECTION
SCALE: 1/8" = 1'-0"



403 BLDG. SECTION
SCALE: 1/8" = 1'-0"



405 BLDG. SECTION
SCALE: 1/8" = 1'-0"

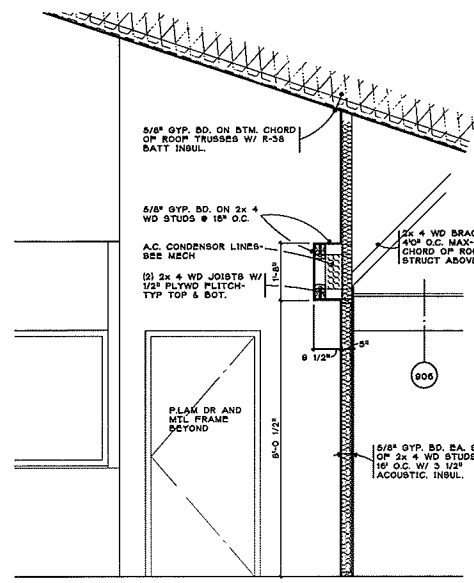
BUILDING ELEVATIONS & SECTIONS

PROJECT NO. 1603
SHEET NO. A-4
DATE: 10/15/10

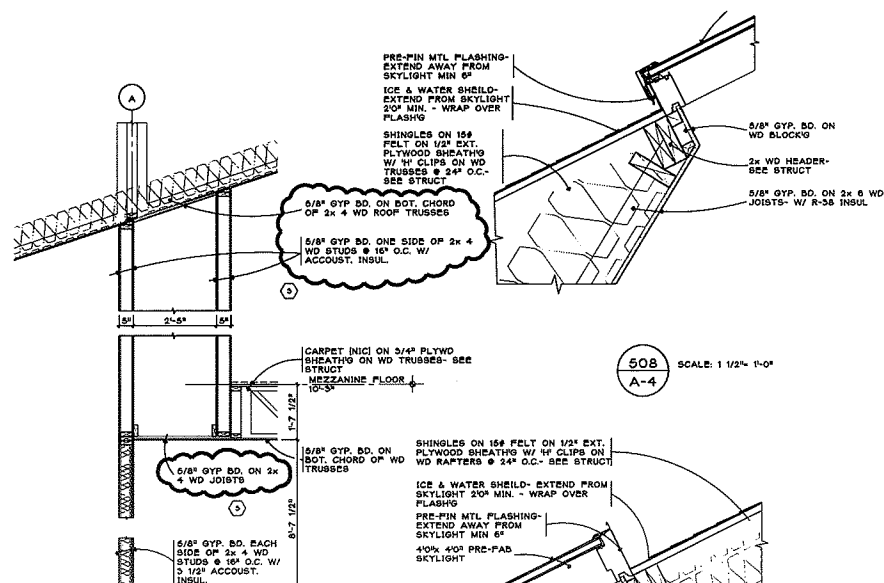
FORESTCOVE OFFICE PARK
ANN ARBOR MICHIGAN

PROJECT NO. 1603
SHEET NO. A-4
DATE: 10/15/10

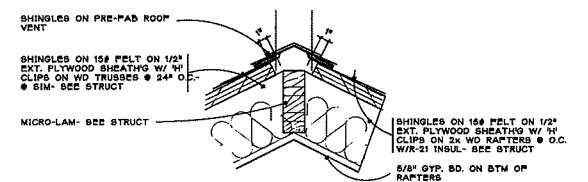
SIEGAL/TUOMAALA ASSOCIATES ARCHITECTS AND PLANNERS INC.
SUITE 281 • 31731 NORTHWESTERN HWY. • FARMINGTON HILLS, MI 48334 • 248/851-3325



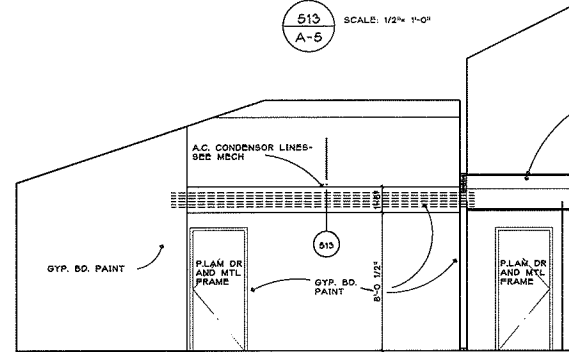
513 SCALE: 1/2" = 1'-0"
A-5



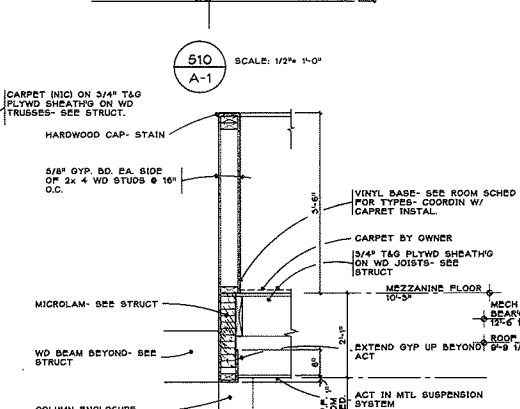
508 SCALE: 1 1/2" = 1'-0"
A-4



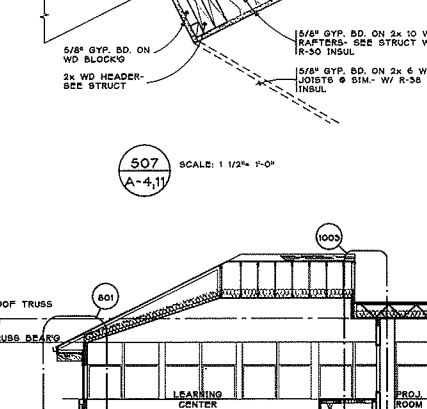
509 SCALE: 1 1/2" = 1'-0"
A-5,10



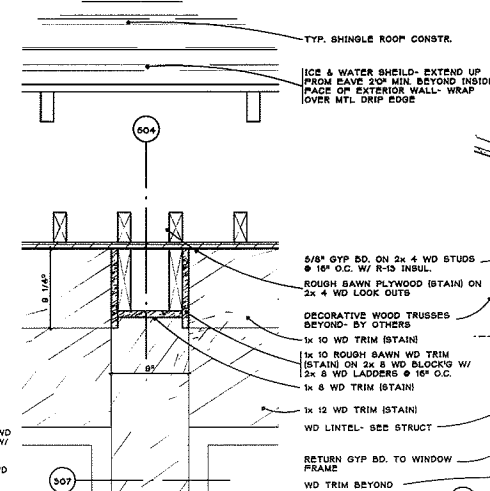
511 SCALE: 1/4" = 1'-0"
A-1



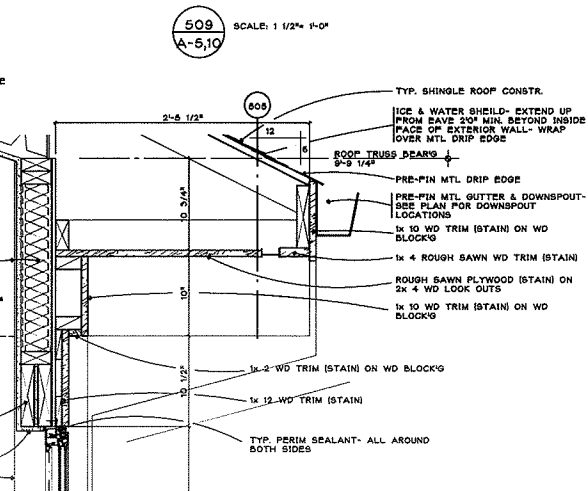
510 SCALE: 1/2" = 1'-0"
A-1



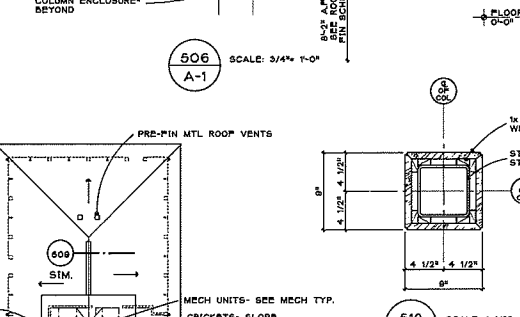
507 SCALE: 1 1/2" = 1'-0"
A-4,11



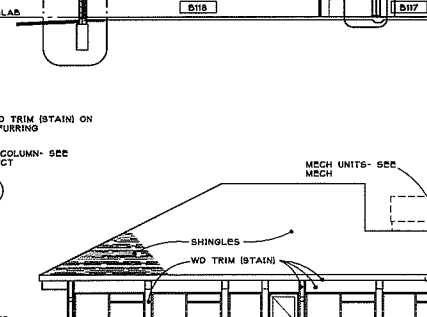
505 SCALE: 1 1/2" = 1'-0"
A-5,8,10



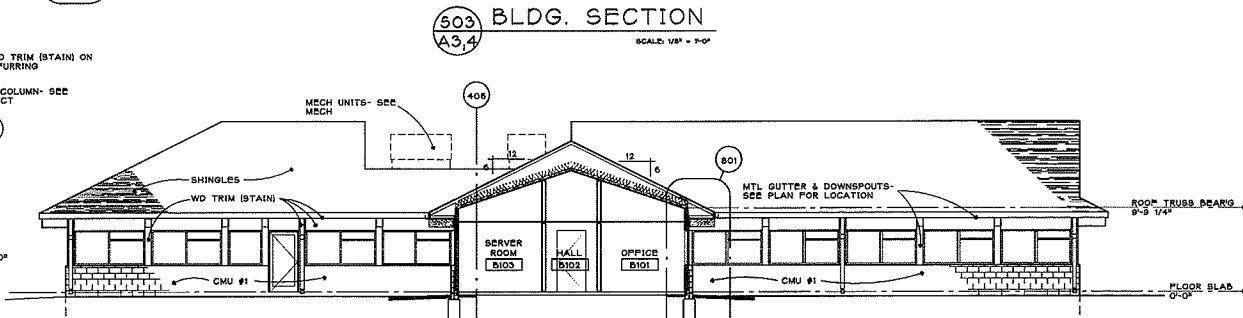
504 SCALE: 1 1/2" = 1'-0"
A-5



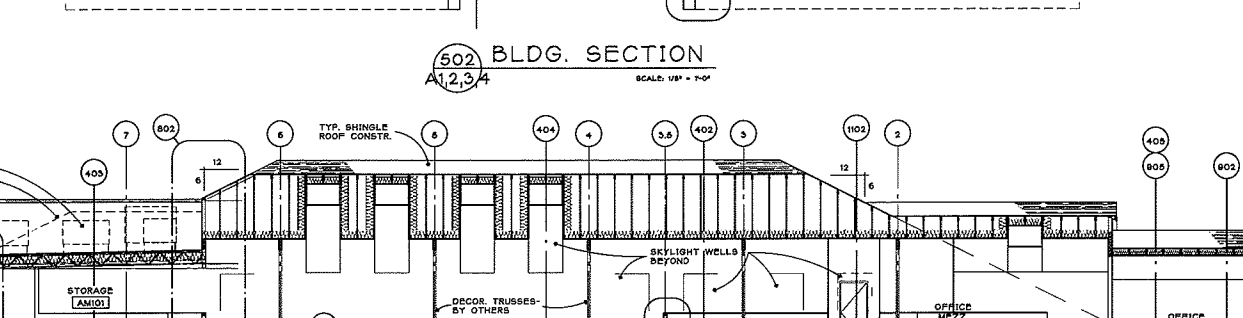
506 SCALE: 3/4" = 1'-0"
A-1



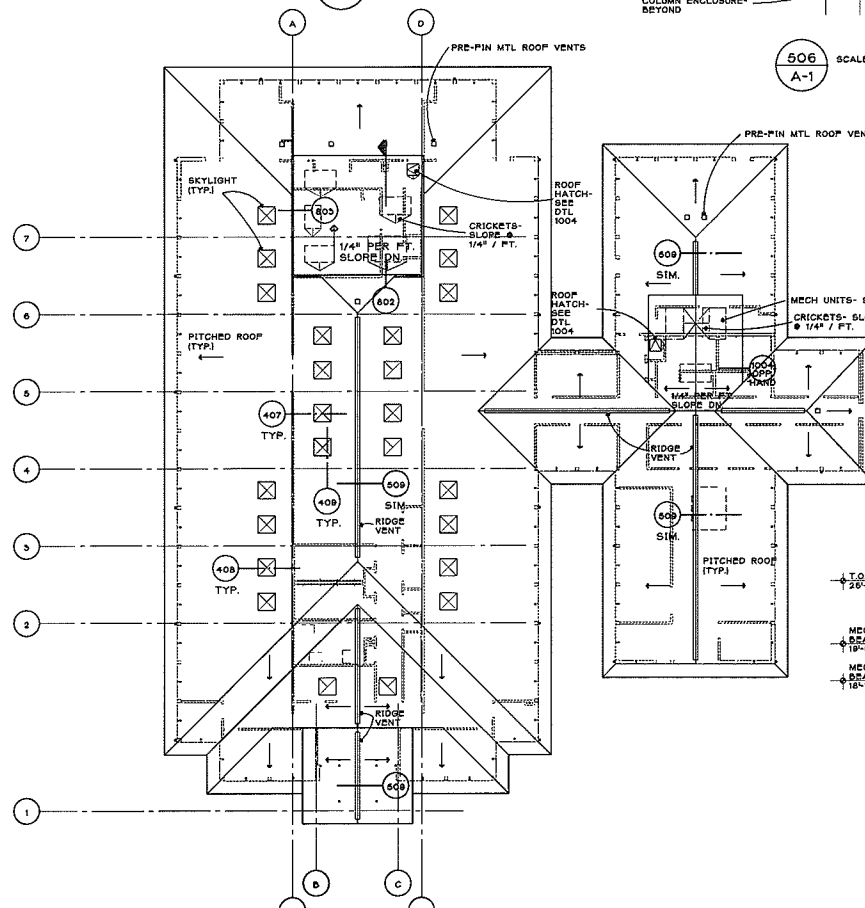
512 SCALE: 1 1/2" = 1'-0"
A-12



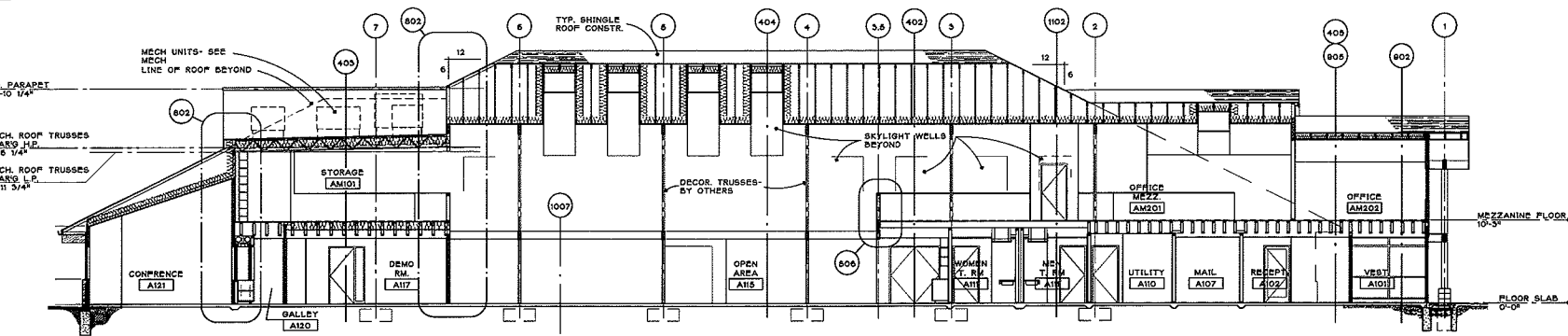
503 BLDG. SECTION
SCALE: 1/8" = 1'-0"



502 BLDG. SECTION
SCALE: 1/8" = 1'-0"



ROOF PLAN
SCALE: 1/8" = 1'-0"



501 BLDG. SECTION
SCALE: 1/8" = 1'-0"

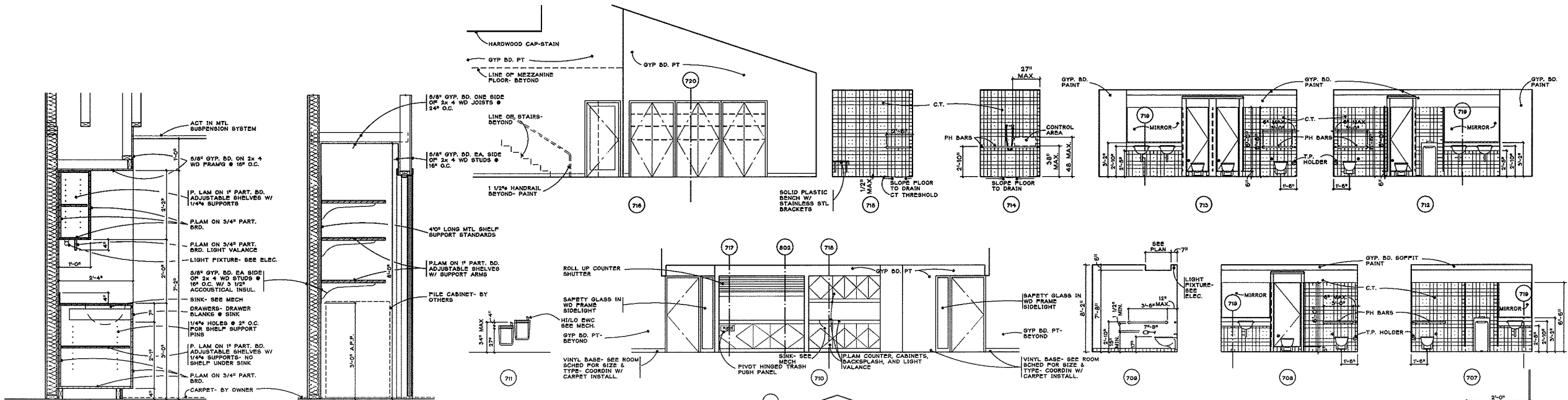
BUILDING SECTIONS & ROOF PLAN

PROJECT NAME: FORESTCOVE OFFICE PARK
PROJECT LOCATION: ANN ARBOR MICHIGAN

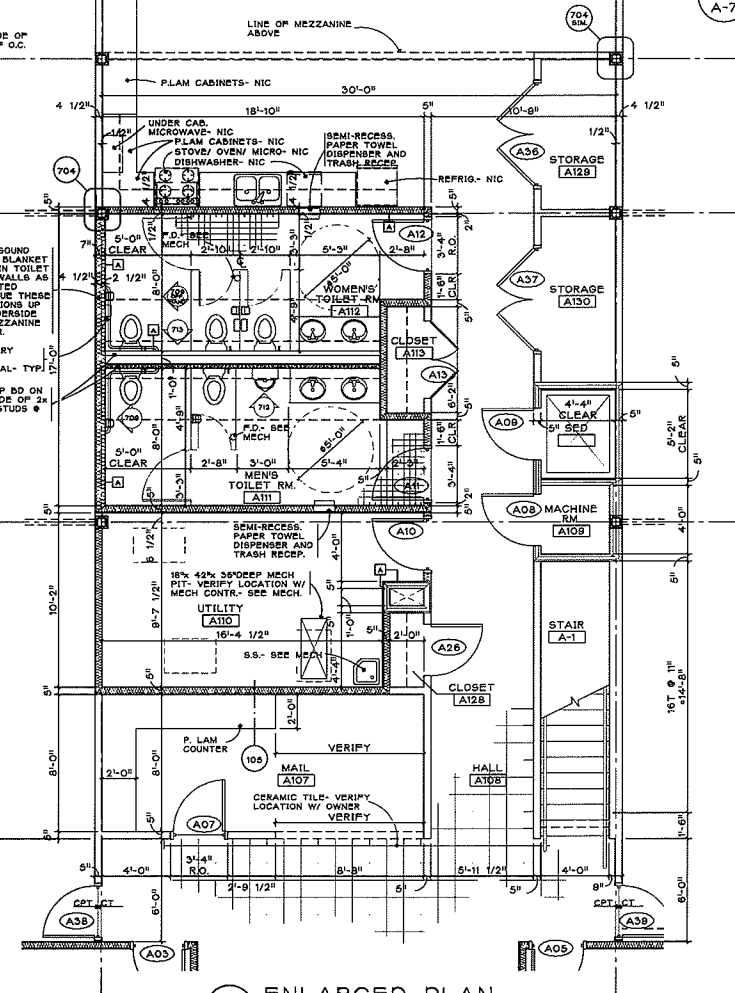
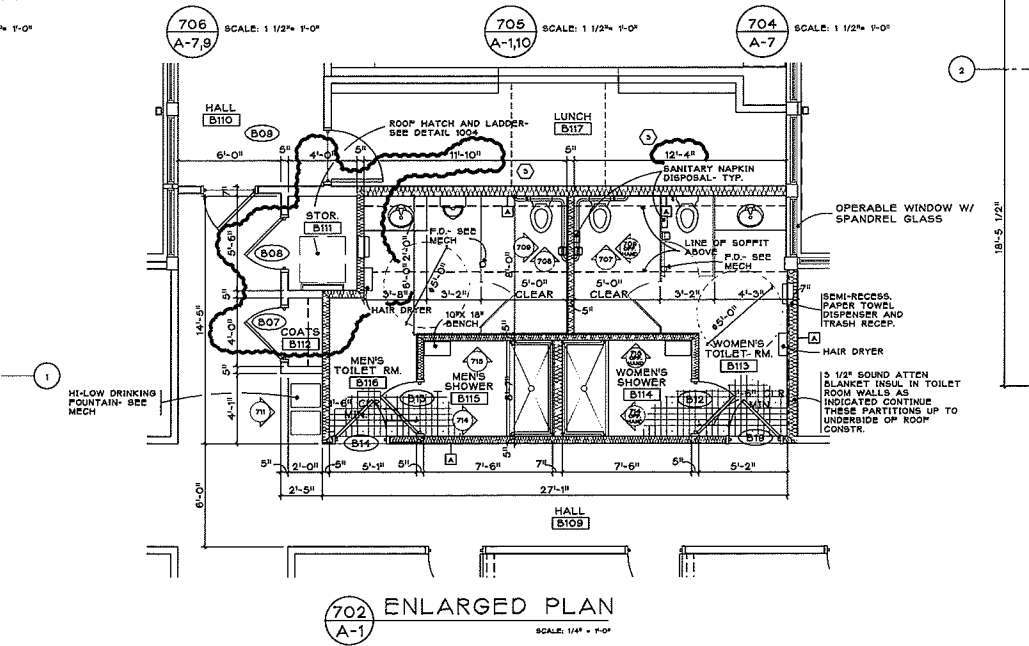
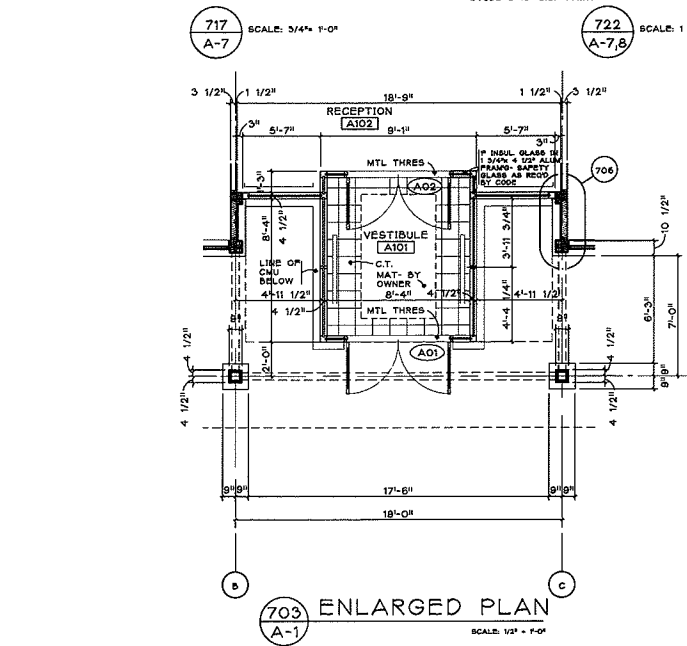
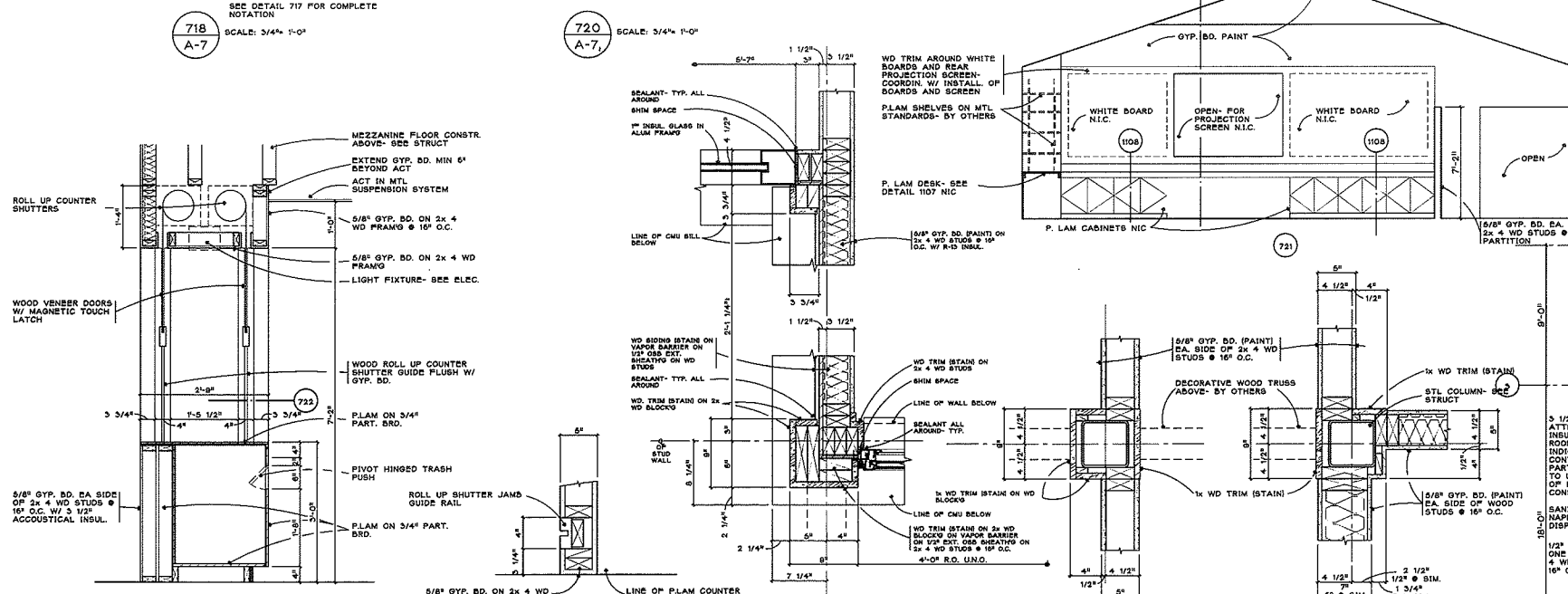
PROJECT NO. 1603
SHEET NO. A-5

DATE: 1978

SIEGAL/TUOMAALA ASSOCIATES
ARCHITECTS AND PLANNERS INC.
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INTERIOR ELEVATIONS



ENLARGED PLANS & INTER. ELEVATIONS

PROJECT NO. 1603
SHEET NO. A-7

DATE: 10/1/03

PROJECT LOCATION: FORESTCOVE OFFICE PARK, ANN ARBOR, MICHIGAN

OWNER: FORESTCOVE OFFICE PARK, ANN ARBOR, MICHIGAN

DESIGNER: SIGEAL/TUOMALA ASSOCIATES ARCHITECTS AND PLANNERS INC.

SCALE: 1/4" = 1'-0"

PROJECT NO. 1603
SHEET NO. A-7

DATE: 10/1/03

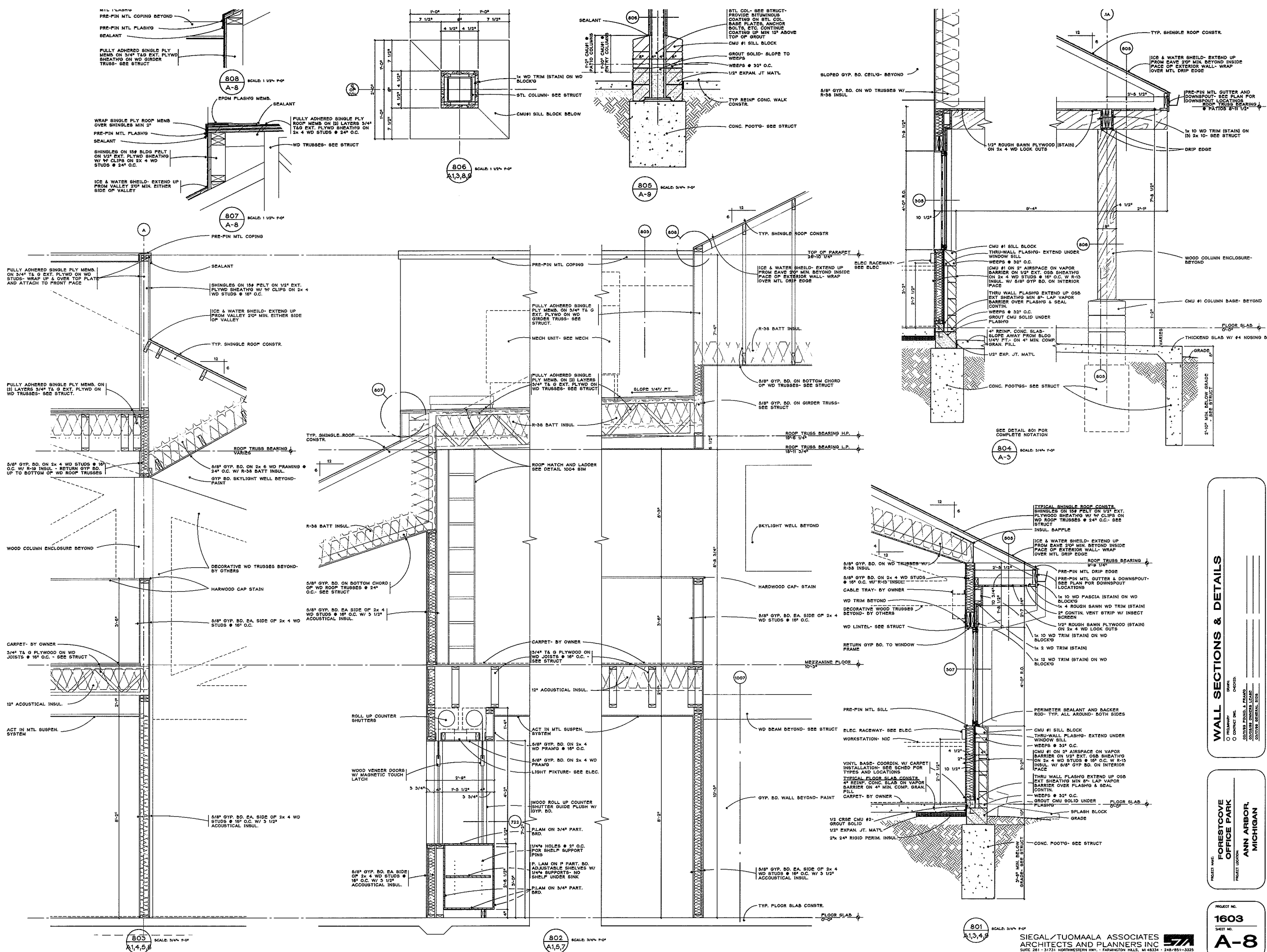
PROJECT LOCATION: FORESTCOVE OFFICE PARK, ANN ARBOR, MICHIGAN

OWNER: FORESTCOVE OFFICE PARK, ANN ARBOR, MICHIGAN

DESIGNER: SIGEAL/TUOMALA ASSOCIATES ARCHITECTS AND PLANNERS INC.

SCALE: 1/4" = 1'-0"

SIGEAL/TUOMALA ASSOCIATES ARCHITECTS AND PLANNERS INC.
SUITE 261 - 31731 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248/851-3325

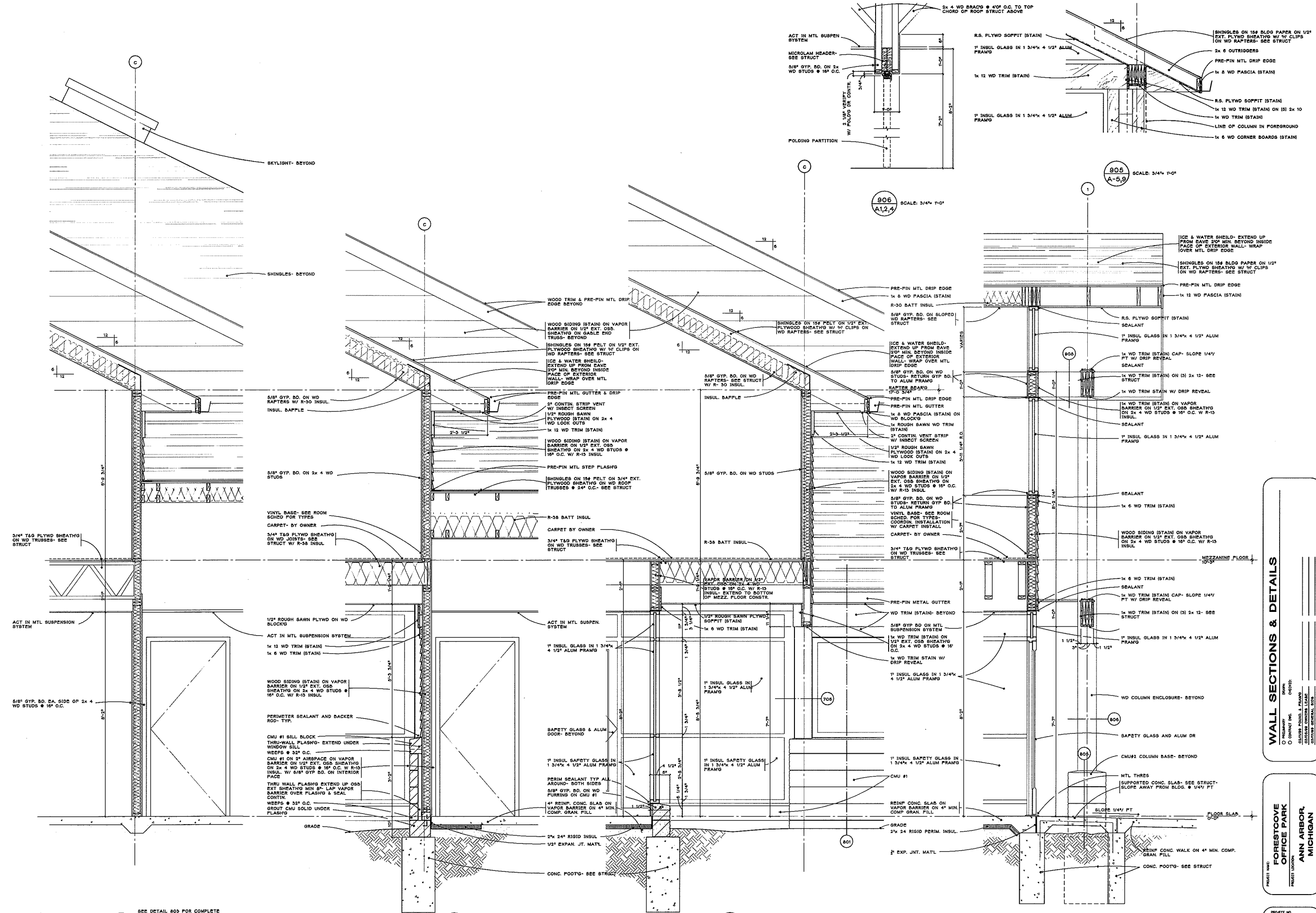


WALL SECTIONS & DETAILS

PROJECT NO. 1603
 SHEET NO. A-8
 ARCHITECTS AND PLANNERS INC.
 ANN ARBOR, MICHIGAN

FORESTCOVE OFFICE PARK
 ANN ARBOR, MICHIGAN

PROJECT NO. 1603
 SHEET NO. A-8
 SIEGAL/TUOMAALA ASSOCIATES ARCHITECTS AND PLANNERS INC.
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904
A-1,4
SCALE: 3/4" = 1'-0"

903
A-1
SCALE: 3/4" = 1'-0"

902
A-1,5
SCALE: 3/4" = 1'-0"

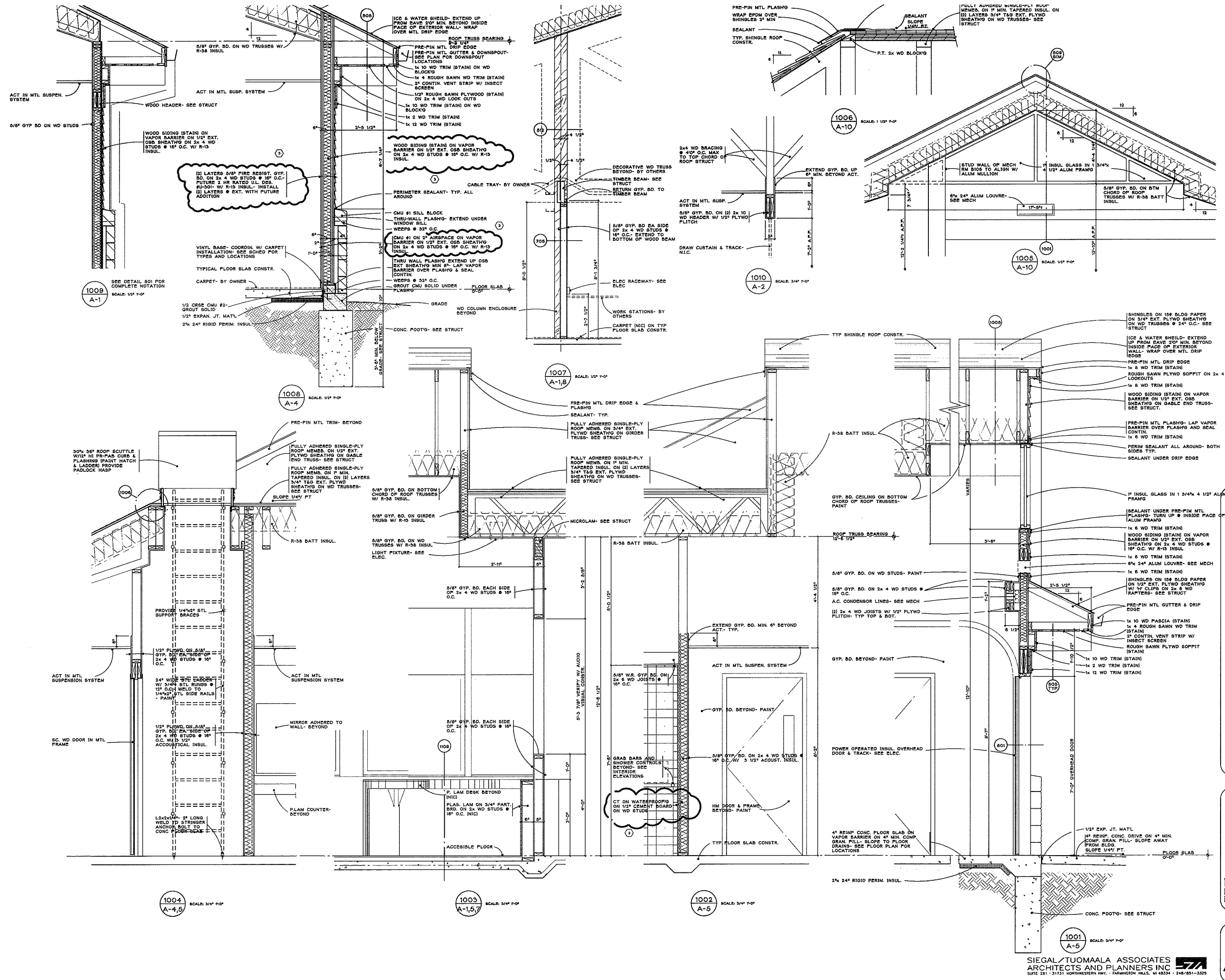
901
A-1
SCALE: 3/4" = 1'-0"

SIEGAL/TUOMAALA ASSOCIATES
ARCHITECTS AND PLANNERS INC
SUITE 251 - 31731 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248/851-3325

WALL SECTIONS & DETAILS
DRAWN: [Name]
CHECKED: [Name]
DESIGNED: [Name]
PROJECT LOCATION: [Name]

FORESTCOVE OFFICE PARK
ANN ARBOR, MICHIGAN

PROJECT NO. 1603
SHEET NO. A-9
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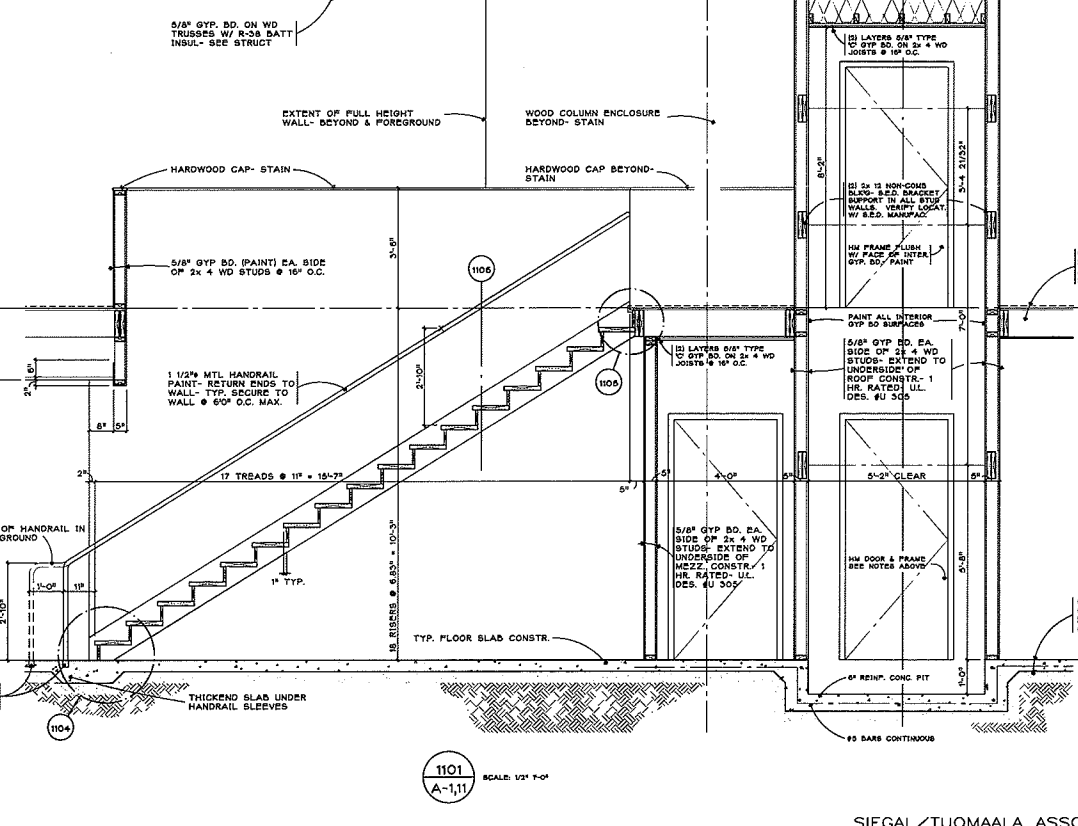
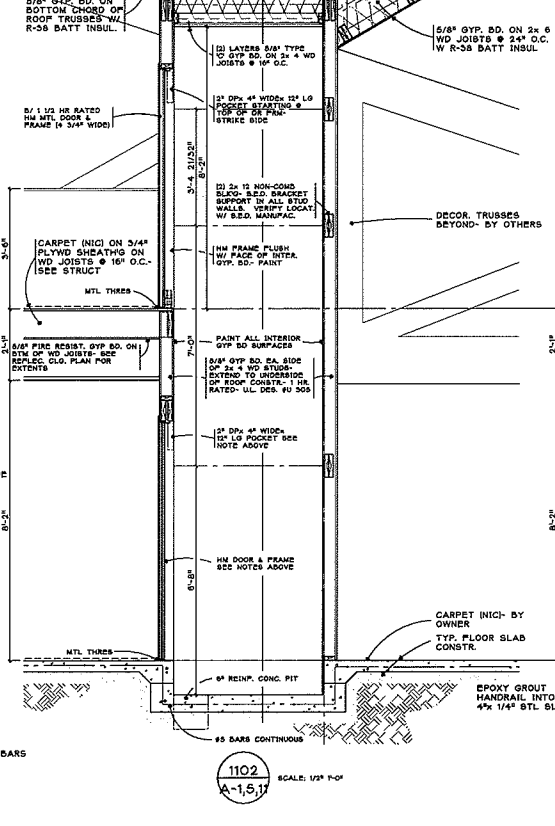
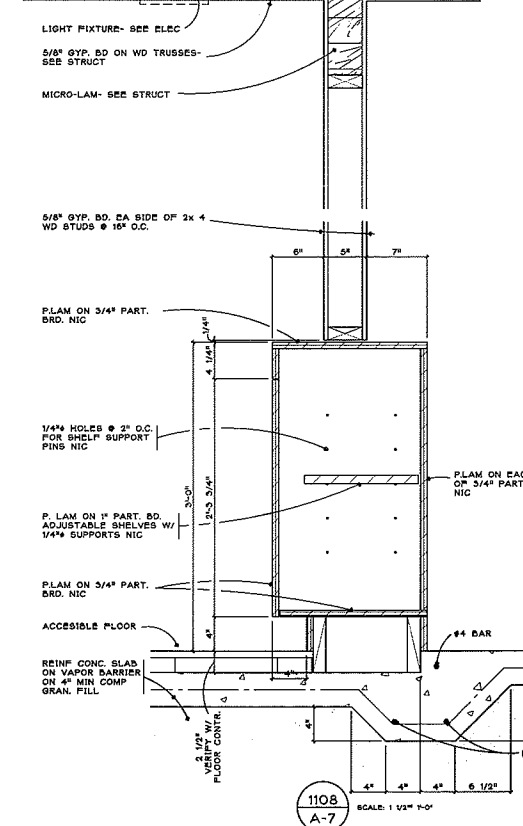
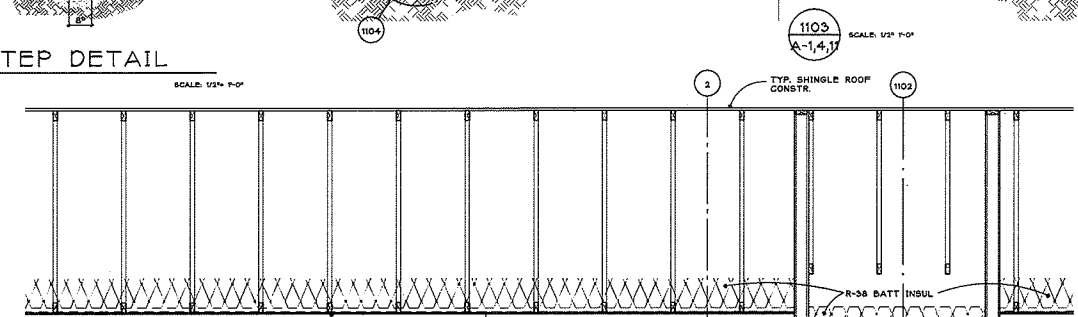
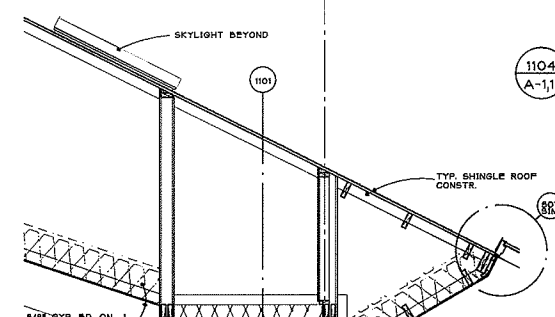
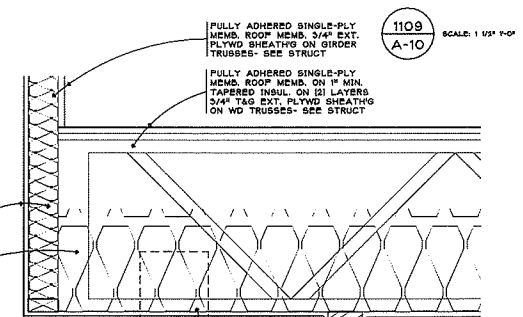
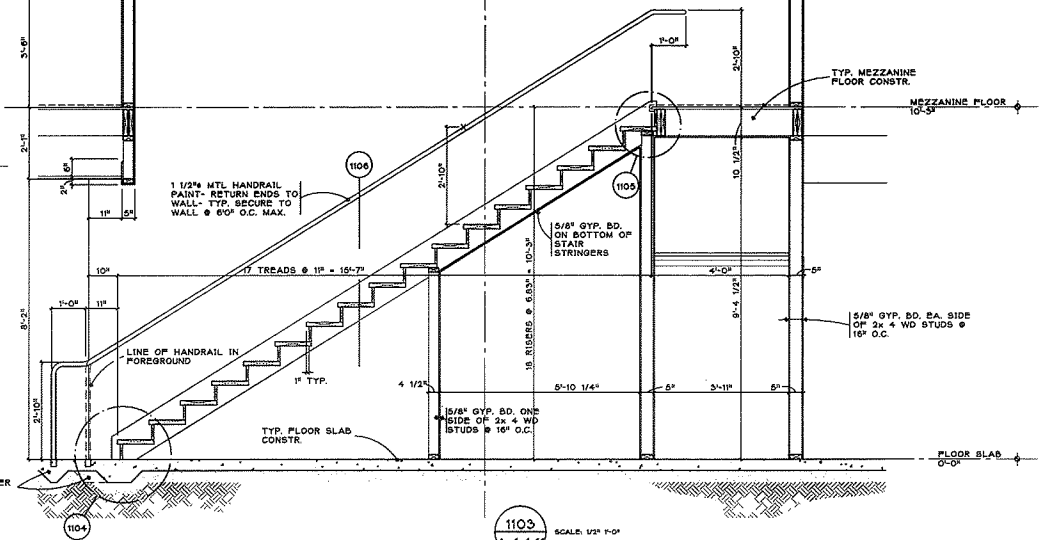
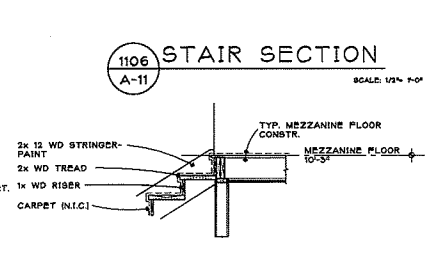
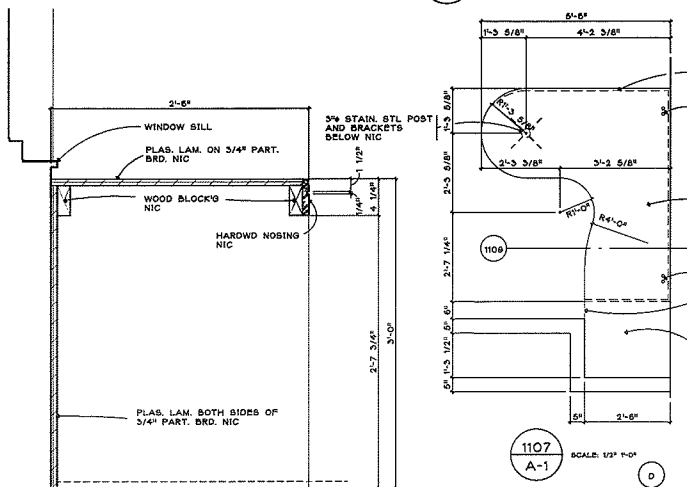
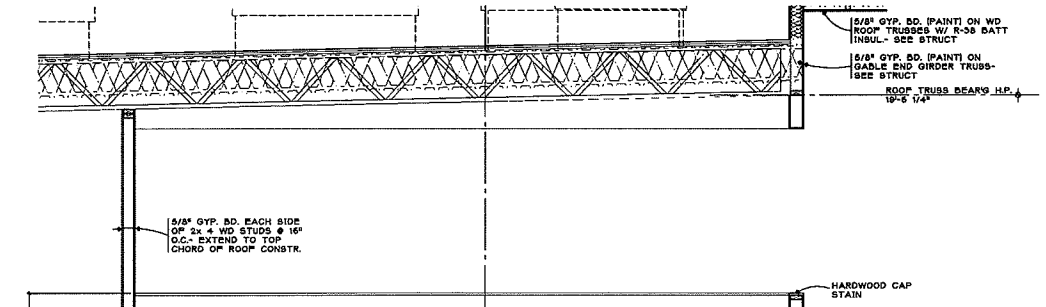
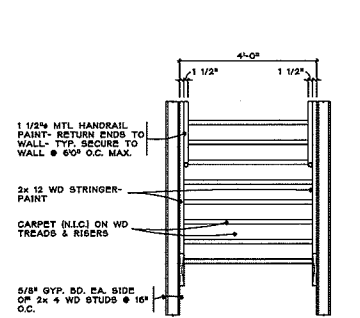
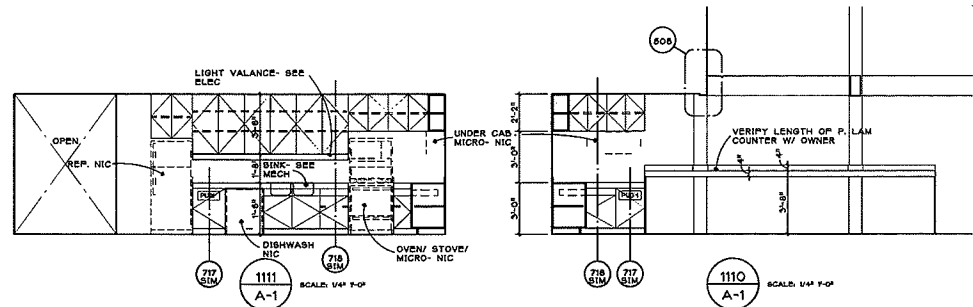
WALL SECTIONS & DETAILS

PROJECT NO. 1603
 SHEET NO. A-10
 FORESTCOVE OFFICE PARK
 ANN ARBOR, MICHIGAN

PROJECT NO. 1603
 SHEET NO. A-10

SIEGAL/TUOMALA ASSOCIATES
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 SUITE 201 - 3701 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248-851-3326

V:\PROJECTS\1603\1603_ARCH\1603_ARCH.dwg, 2/27/15 11:51 AM

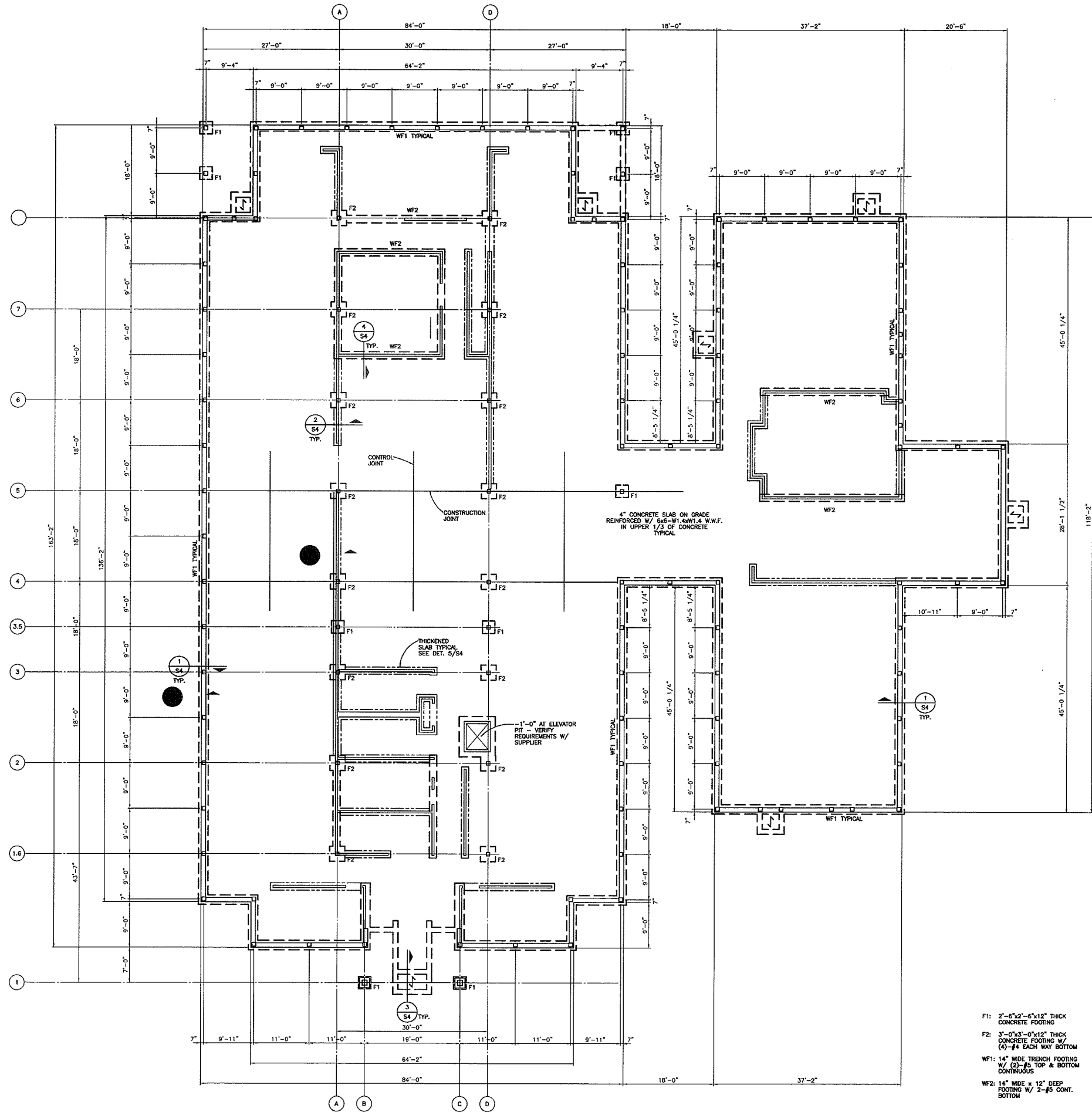


S.E.D. AND STAIR SECTIONS
 DRAWN: []
 CHECKED: []
 PROJECT NO.: []
 PROJECT LOCATION: []
 CLIENT: []
 DATE: []

FORESTCOVE OFFICE PARK
 ANN ARBOR, MICHIGAN

PROJECT NO. **1603**
 SHEET NO. **A-11**
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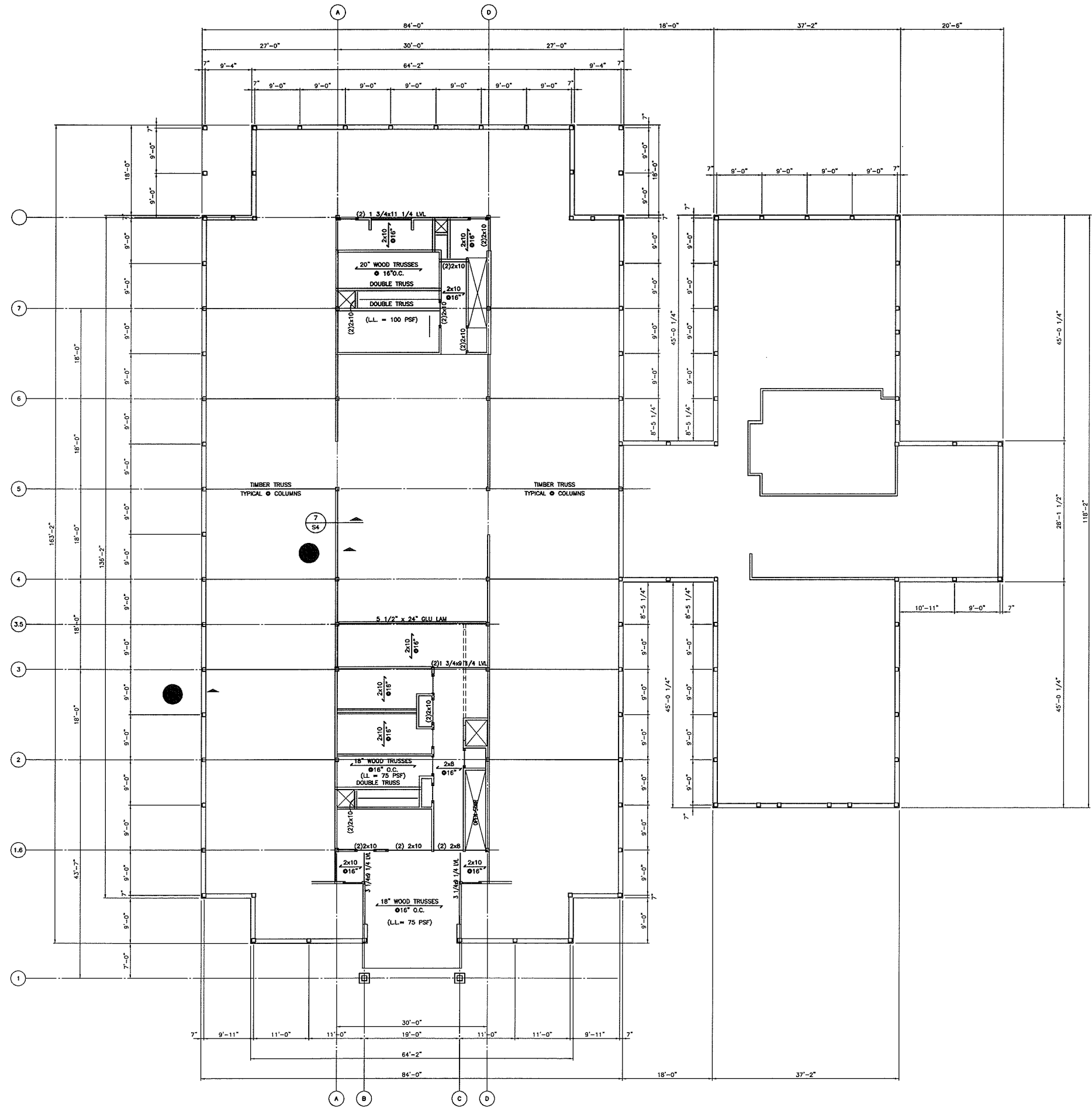


- F1: 2'-0" x 2'-0" x 12" THICK CONCRETE FOOTING
- F2: 3'-0" x 3'-0" x 12" THICK CONCRETE FOOTING W/ (4)-#4 EACH WAY BOTTOM
- WF1: 14" WIDE TRENCH FOOTING W/ (2)-#5 TOP & BOTTOM CONTINUOUS
- WF2: 14" WIDE x 12" DEEP FOOTING W/ 2-#5 CONT. BOTTOM

FOUNDATION PLAN

FORETCOIVE
 OFFICE PARK
 ANN ARBOR
 MICHIGAN

PROJECT NO.
1603
 SHEET NO.
S-1
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MEZZANINE FRAMING PLAN
 SCALE: 1/8" = 1'-0"

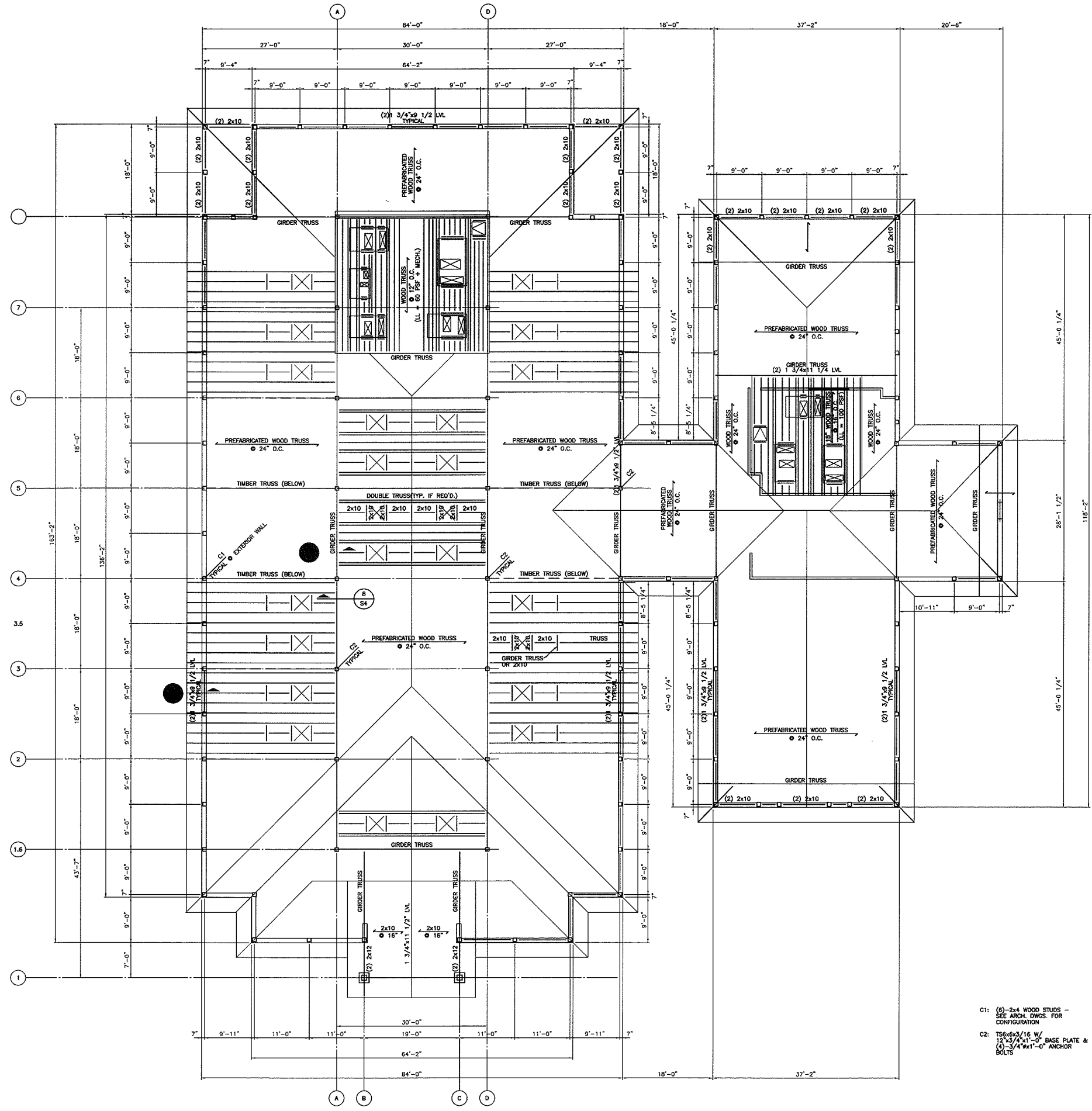
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 ARCHITECTS AND PLANNERS INC
 SUITE 261 • 31751 NORTHWESTERN HWY. • FARMINGTON HILLS, MI 48334 • 248/261-3325

MEZZANINE FRAMING PLAN

DRAWN: _____
 CHECKED: _____
 PROJECT NO.: _____
 SHEET NO.: _____
 DATE: _____
 CLIENT: FORESTCOVE OFFICE PARK
 ADDRESS: ANN ARBOR, MICHIGAN

PROJECT NO.: _____
 SHEET NO.: _____
 DATE: _____
 CLIENT: FORESTCOVE OFFICE PARK
 ADDRESS: ANN ARBOR, MICHIGAN

PROJECT NO.: **1603**
 SHEET NO.: **S-2**
 DATE: _____
 CLIENT: FORESTCOVE OFFICE PARK
 ADDRESS: ANN ARBOR, MICHIGAN
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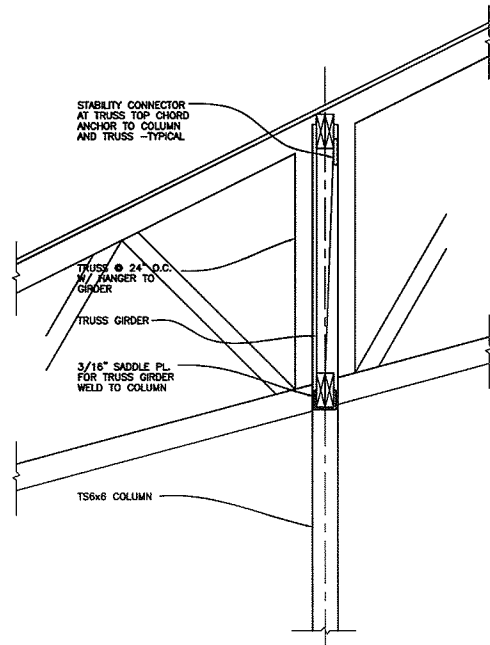


C1: (5)-2x4 WOOD STUDS - SEE ARCH. DWGS. FOR CONFIGURATION
 C2: 156x63/16 W/ 12 3/4"x11" O" BASE PLATE & (4)-3/4"x1" O" ANCHOR BOLTS

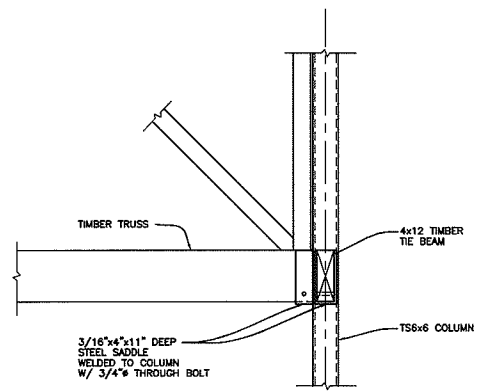
ROOF FRAMING PLAN

DATE: _____
 DRAWN: _____
 CHECKED: _____
 PROJECT NO.: _____
 CLIENT: FORESTCOVE OFFICE PARK
 PROJECT LOCATION: ANN ARBOR MICHIGAN
 CUSTOMER: FORESTCOVE OFFICE PARK
 CUSTOMER ADDRESS: _____

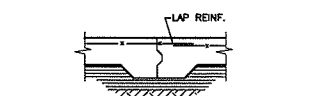
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 SHEET NO. S-3
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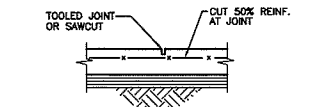
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S4 SCALE: 3/4" = 1'-0"



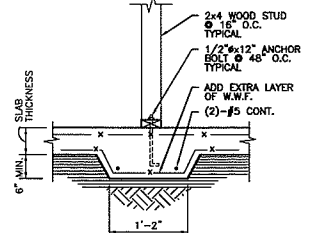
7 -
S4 SCALE: 3/4" = 1'-0"



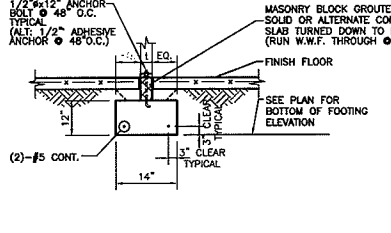
5B TYP. CONSTRUCTION JOINT
S4 NO SCALE



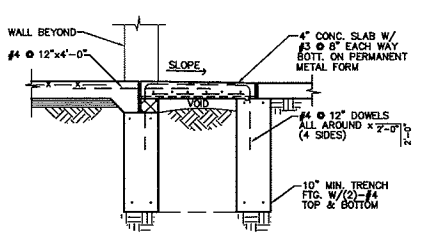
5A TYP. CONTROL JOINT
S4 NO SCALE



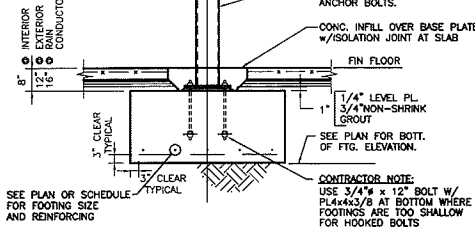
5 TYPICAL THICKENED SLAB
S4 NO SCALE



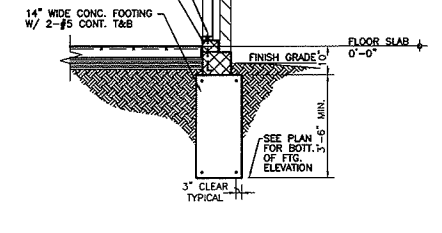
4 TYPICAL INTERIOR WALL FOOTING
S4 SCALE: 1/2" = 1'-0"



3 TYPICAL ENTRANCE SLAB
S4 SCALE: 1/2" = 1'-0"



2 TYPICAL INTERIOR COLUMN FOOTING
S4 SCALE: 1/2" = 1'-0"



1 TYPICAL EXTERIOR WALL FOOTING DETAIL
S4 SCALE: 1/2" = 1'-0"

GENERAL NOTES

- GENERAL CONDITIONS
- IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL GOVERN.
 - THE STRUCTURAL DRAWINGS ARE FOR THE PLACEMENT AND SIZE OF STRUCTURAL COMPONENTS ONLY. O.S.H.A., D.A.R. AND SAFETY CODE REQUIREMENTS ARE DETERMINED AND PROVIDED BY THE CONTRACTOR.
 - THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES PROVIDING TEMPORARY BRACING, SHORING, GUYS OR TIE-DOWNS. THESE TEMPORARY SUPPORTS WILL REMAIN IN PLACE UNTIL ALL STRUCTURAL COMPONENTS ARE IN PLACE AND COMPLETED.
 - USE OF ENGINEERING DRAWINGS AS ERECTION DRAWINGS BY THE CONTRACTOR IS STRICTLY PROHIBITED.

- FOUNDATIONS
- FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL WITH A SAFE BEARING CAPACITY OF 3000 P.S.F. IN ACCORDANCE WITH PSI REPORT NO. 407-85014 DATED 9/21/88. IF SOIL OF THIS CAPACITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTINGS SHALL BE ENLARGED OR LOWERED AT THE DIRECTION OF THE ARCHITECT. VERIFY FOUNDATION SOIL BEARING PRESSURE IN FIELD BY SOILS ENGINEER.
 - WHERE NEW FOOTINGS ABUT EXISTING FOUNDATIONS, CAREFULLY HAND EXCAVATE AND PLACE BOTTOM OF NEW FOOTING AT THE SAME ELEVATION AS THE EXISTING.
 - PROVIDE NECESSARY SHEETING SHORING BRACING, ETC. AS REQUIRED DURING EXCAVATIONS TO PROTECT SIDES OF EXCAVATIONS.

- CONCRETE
- MINIMUM CONCRETE STRENGTH TO BE 3000 P.S.I. @ 28 DAYS, U.O.N.; SLABS SHALL BE 3500 P.S.I. MIN. U.O.N. EXPOSED CONCRETE SHALL BE 4000 PSI WITH 6% + 1% ENTRAINED U.O.N.
 - ALL CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST RECOMMENDATIONS OF A.C.I.
 - ALL REINFORCING BARS, DOWELS AND TIES SHALL CONFORM TO A.S.T.M. A615 GRADE 60. REINFORCING STEEL SHALL BE CONTINUOUS AND SHALL HAVE MINIMUM 3/8 BAR DIAMETER LAP AND BE FABRICATED AND PLACED IN ACCORDANCE WITH A.C.I. - 315 LATEST EDITION.
 - REINFORCED CONCRETE WALLS AND TRENCH FOOTINGS SHALL HAVE CORNER BARS AT ALL INTERSECTIONS OF THE SAME SIZE AND SPACING AS THE MAIN HORIZONTAL REINFORCING. PROVIDE 2-#5 BARS EACH SIDE OF ALL OPENINGS AND 2-#5 X 4'-0" DIAGONAL BARS AT CORNERS OF OPENINGS.
 - ALL SLABS ON GROUND SHALL BE 4" THICK AND HAVE 6" X 6" W1.4 X W1.4 WIRE MESH IN THE TOP 1/3 OF THE SLAB, UNLESS OTHERWISE NOTED.

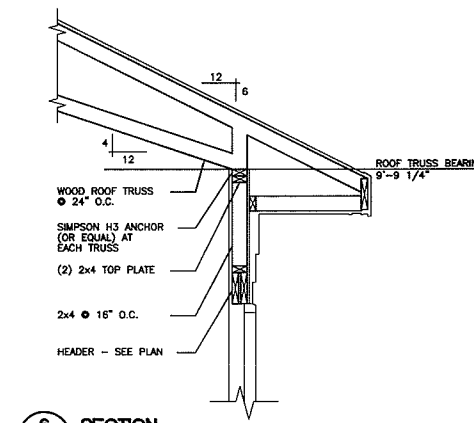
- MASONRY
- ALL MASONRY WORK IS TO BE IN ACCORDANCE WITH THE LATEST BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530/ASCE) AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6) AND I.C.C.A. SPECIFICATIONS.
 - ALL BLOCK SHALL CONFORM TO ASTM C90 AND C145, TYPE I, GRADE N.
 - MORTAR SHALL BE TYPE "S" (1800 PSI) CONFORMING TO ASTM C-270.
 - MASONRY COMPRESSIVE STRENGTH $f_m = 1500$ PSI MINIMUM.
 - PROVIDE HORIZONTAL WIRE TYPE REINFORCING WITH 9 GAUGE SIZE AND CROSS MEMBERS IN EVERY SECOND COURSE (16" O.C.), IN ALL MASONRY WALLS. WALLS WITH VERTICAL REINFORCING SHALL ONLY HAVE "LADDER" TYPE REINFORCING.
 - ALL REINFORCING BARS, DOWELS AND TIES SHALL CONFORM TO A.S.T.M. A615 GRADE 60. REINFORCING STEEL SHALL BE CONTINUOUS AND SHALL HAVE MINIMUM 3/8 BAR DIAMETER LAP AND BE FABRICATED AND PLACED IN ACCORDANCE WITH A.C.I. - 315 LATEST EDITION.
 - ALL MASONRY BELOW GRADE SHALL BE GROUTED SOLID.
 - MASONRY GROUT SHALL CONFORM TO ASTM C 475, WITH PEA GRAVEL AGGREGATE AND A MINIMUM STRENGTH OF 2000 PSI, BUT NOT LESS THAN SPECIFIED f_m .

- STRUCTURAL STEEL
- STEEL DESIGN, FABRICATION AND ERECTION TO BE IN ACCORDANCE WITH THE LATEST A.I.S.C. SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS.
 - ALL STRUCTURAL STEEL SHALL CONFORM TO THE LATEST A.S.T.M. SERIAL DESIGNATION A36 OR ASTM A572, GRADE 50; STEEL TUBING TO BE ASTM A500, GRADE B; STEEL PIPE A.S.T.M. A-53, GRADE B.
 - ALL WELDED CONNECTIONS SHALL BE IN ACCORDANCE WITH THE LATEST AWS CODE, E70XX ELECTRODES, WITH WELDING PERFORMED BY QUALIFIED WELDERS.
 - BOLTED CONNECTIONS SHALL BE MADE WITH A-325 OR A-490 BOLTS. ALL BOLTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS FOR STRUCTURAL JOINTS USING A.S.T.M. A-325 OR A-490 BOLTS.
 - THE STRUCTURAL STEEL CONTRACTOR SHALL INCLUDE (2) TONS OF ADDITIONAL STEEL, INCLUDING FABRICATION AND ERECTION, TO BE USED AT THE DISCRETION OF THE STRUCTURAL ENGINEER.
 - THE DESIGN, CONFIGURATION & ERECTION SAFETY OF ALL STRUCTURAL STEEL CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE STRUCTURAL STEEL FABRICATOR. REVIEW AND ACCEPTANCE OF THE SHOP DRAWINGS BY THE ENGINEER SHALL CONSTITUTE APPROVAL OF THE LOAD CARRYING ADEQUACY ONLY.
 - REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL ANGLES, PLATES, BARS, CLIPS, ETC.
 - UNLESS OTHERWISE NOTED, ALL FLOOR AND ROOF OPENINGS SHALL BE FRAMED WITH L 5 X 3-1/2 X 5/16 L.L.V. VERIFY EXACT SIZE AND LOCATION OF ALL FLOOR AND ROOF OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS AND WITH CONTRACTOR INVOLVED.
 - THIS STEEL FRAME IS NON SELF-SUPPORTING PER A.I.S.C. CODE OF STANDARD PRACTICE, SECTIONS 7.9.3. AND 7.9.5. ERECTION, BRACING, SHORING, ETC. SHALL CONFORM TO THESE SECTIONS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE.

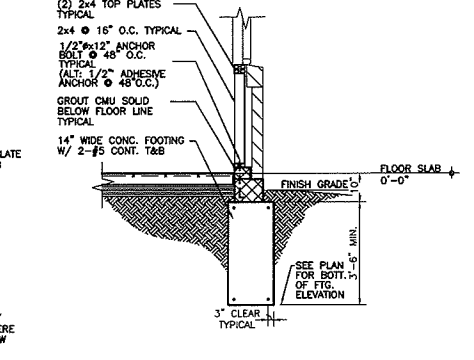
DESIGN LIVE LOADS

ROOF	25 PSF LIVE LOAD (SNOW) + DRIFT WHERE APPLICABLE PER CODE + UPSET ON TRUSS MEMBERS PER APPLICABLE BUILDING CODE.
OFFICES	50 PSF + 20 PSF (PARTITIONS)
CORRIDORS	100 P.S.F.
STAIRS	100 P.S.F.
MECHANICAL AREAS	150 P.S.F.
STORAGE AREAS	125 P.S.F.
WIND	80 M.P.H. EXPOSURE B 25 PSF MINIMUM FOR ALL MEMBERS DEFINED AS "COMPONENTS AND CLADDING" EXPOSURE C
SEISMIC	$A_v = 0.05$ $A_o = 0.05$

- WOOD
- WOOD CONSTRUCTION SHALL BE PER AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) STANDARDS AND SPECIFICATIONS, AND NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AS PUBLISHED BY NATIONAL FOREST PRODUCTS ASSOCIATION.
 - ALL LUMBER FRAMING MEMBERS ARE TO HAVE THE FOLLOWING MINIMUM BASE DESIGN VALUES IN ACCORDANCE WITH THE LATEST ISSUE OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA):
 $F_b = 850$ P.S.I.
 $F_v = 75$ P.S.I.
 $E = 1,200,000$
NO. 2 OR BETTER
 - PROVIDE MINIMUM OF DOUBLE STUD AT EACH END OF WOOD HEADERS, TYPICAL, UNLESS NOTED OTHERWISE.
 - ALL STRUCTURAL GLUED LAMINATED TIMBER TO HAVE THE FOLLOWING MINIMUM DESIGN PROPERTIES BASED ON AITC GRADING STANDARDS:
 $F_b = 2200$ PSI
 $F_v = 165$ PSI
 $E = 1,600,000$
 - ALL LAMINATED VENEER LUMBER (LVL) TO HAVE THE FOLLOWING MINIMUM DESIGN PROPERTIES:
 $F_b = 2800$ PSI
 $F_v = 285$ PSI
 $E = 1,800,000$
- TIMBER SUPPLIER SHALL BE A MEMBER OF AITC. TIMBER CONNECTIONS TO BE DESIGNED AND DETAILED BY TIMBER SUPPLIER, WITH FABRICATION BY STEEL FABRICATOR.
- TRUSS MANUFACTURER SHALL PROVIDE SHOP DRAWINGS SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN. TRUSS MANUFACTURER SHALL VERIFY WITH ARCHITECT AND MECHANICAL CONTRACTOR SIZE, LOCATION & SUPPORT OF MECHANICAL UNITS. TRUSS FRAMING AND TRUSS TO TRUSS CONNECTIONS ARE TO BE DESIGNED BY TRUSS MANUFACTURER AND COORDINATED W/ STRUCTURAL STEEL CONTRACTOR.
 - TRUSS TOP CHORD MUST BE BRACED WITH ROOF SHEATHING OR CONTINUOUS LATERAL BRACING AT 3'-0" O.C. BOTTOM CHORD MUST BE BRACED WITH A RIGID CEILING OR CONTINUOUS BRACING AT 10'-0" O.C. PLYWOOD SHEATHING SHALL BE NAILED OR SCREWED TO TRUSS MEMBERS AT 6" O.C. MAXIMUM SPACING.
 - DESIGN OF THE LUMBER AND CONNECTOR PLATES FOR TRUSSES SHALL BE IN ACCORDANCE WITH LATEST TRUSS PLATE INSTITUTE (TPI) REQUIREMENTS.
 - UNLESS OTHERWISE NOTED, PROVIDE 2-2x8 HEADER FOR OPENINGS IN STUD WALLS FOR SPANS UP TO 3'-0" MAXIMUM.



6 SECTION
S4 SCALE: 3/4" = 1'-0"

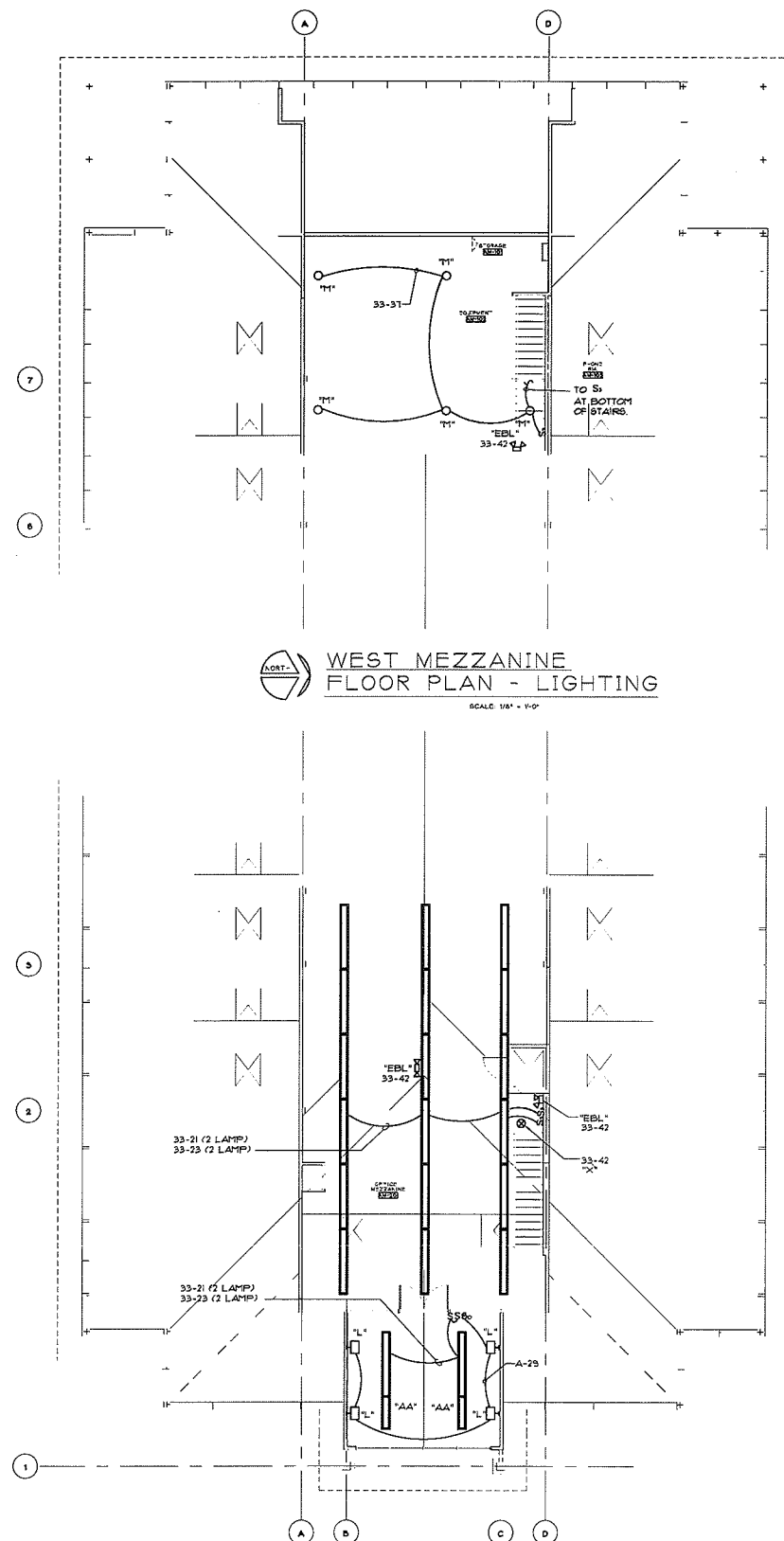


1 TYPICAL EXTERIOR WALL FOOTING DETAIL
S4 SCALE: 1/2" = 1'-0"

SECTIONS, DETAILS, & NOTES

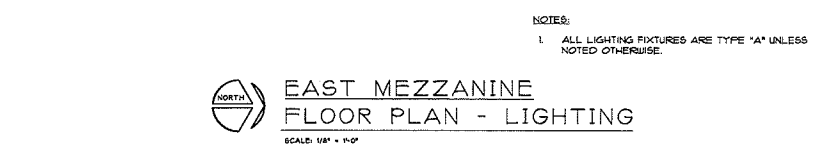
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SHEET NO. S-4
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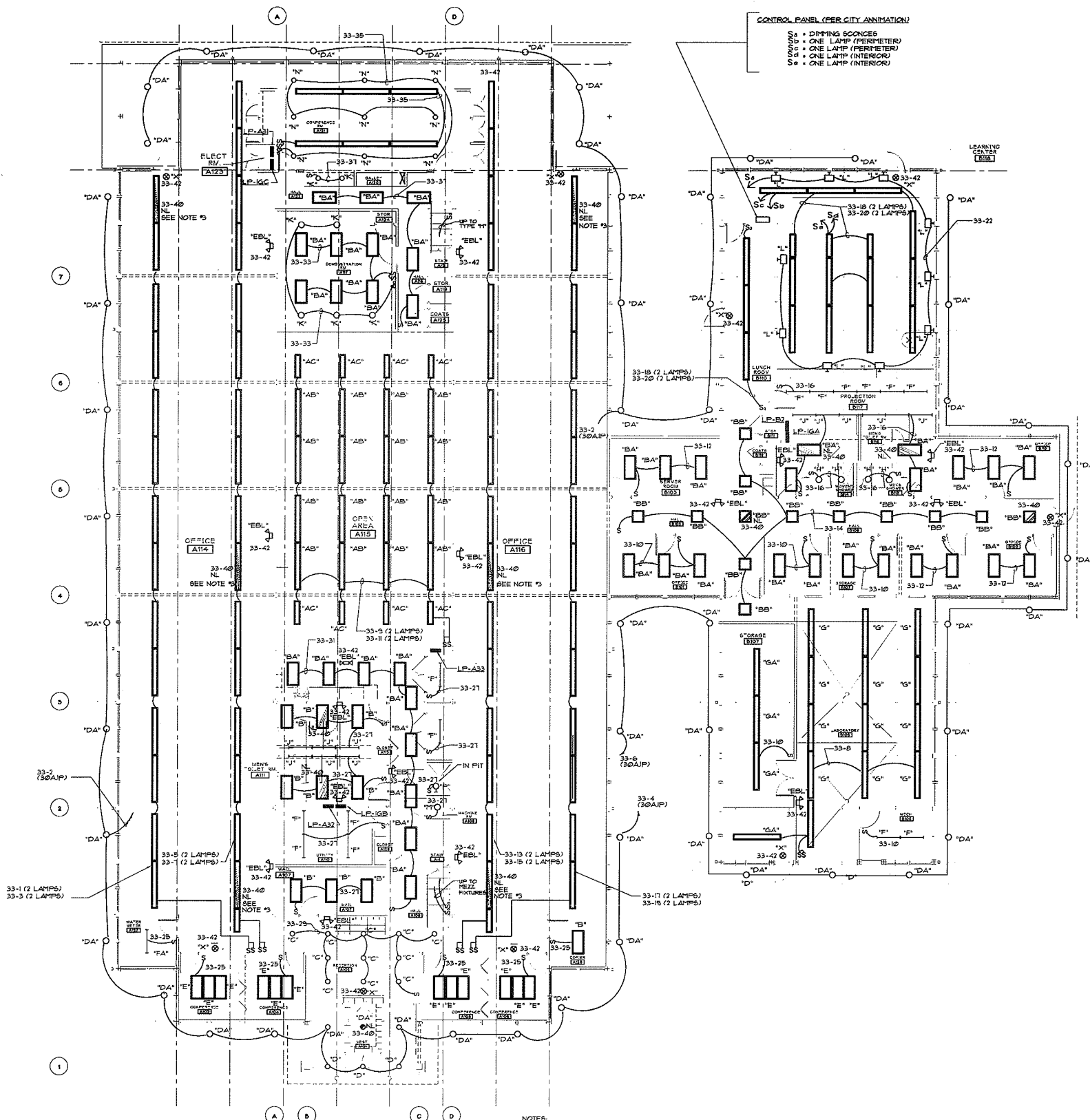


WEST MEZZANINE FLOOR PLAN - LIGHTING
SCALE: 1/8" = 1'-0"

NOTES:
1. ALL LIGHTING FIXTURES ARE TYPE "A" UNLESS NOTED OTHERWISE.



EAST MEZZANINE FLOOR PLAN - LIGHTING
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN - LIGHTING
SCALE: 1/8" = 1'-0"

NOTES:
1. ALL LIGHTING FIXTURES ARE TYPE "A" UNLESS NOTED OTHERWISE.
2. PROVIDE TWO ADDITIONAL EMERGENCY LIGHTING FIXTURES AND TWO ADDITIONAL EXIT LIGHT FIXTURES IN BASE BID TO BE INSTALLED AS DIRECTED.
3. CONNECT ONLY ONE BALLAST (2 LAMPS) ON NL CIRCUIT.
SS - INDICATES TWO LEVEL SWITCHING. CONNECT BALLASTS IN EACH FIXTURE TO RESPECTIVE LEVEL SWITCH.

CONTROL PANEL (PER CITY ANIMATION)
S = DIMMING SCENES
L = ONE LAMP (PERIMETER)
L = ONE LAMP (PERIMETER)
L = ONE LAMP (INTERIOR)
L = ONE LAMP (INTERIOR)

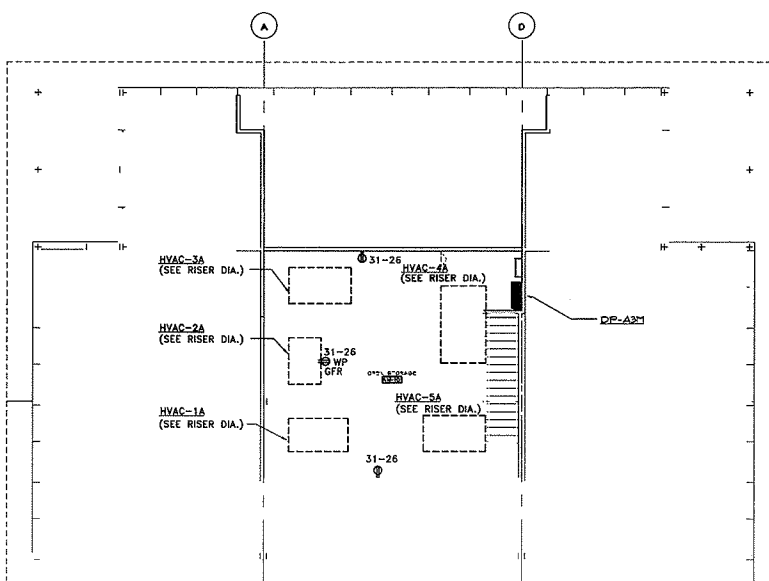
MANCINI ALKATEER & ASSOCIATES, INC.
MECHANICAL & ELECTRICAL CONSULTING ENGINEERS
300 N. LAKE STREET, SUITE 200
ANN ARBOR, MICHIGAN 48106
PHONE: (313) 963-8800
FAX: (313) 963-8800
E-MAIL ADDRESS: MANCINI@A&A.COM

FLOOR PLANS - LIGHTING
DRAWN: []
CHECKED: []
PROJECT NO.: []
DATE: []
SHEET NO.: []

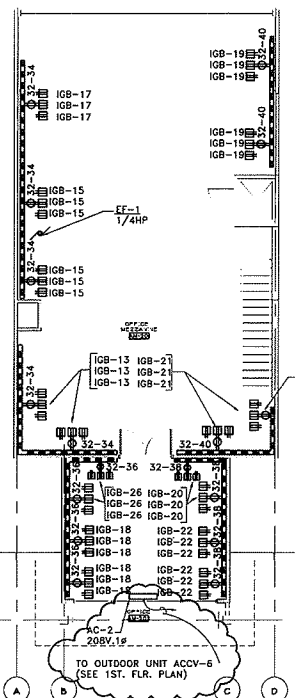
FORESTCOVE OFFICE PARK
ANN ARBOR MICHIGAN

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SHEET NO.: E-1
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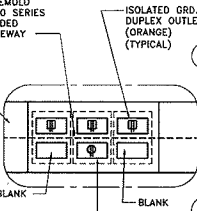
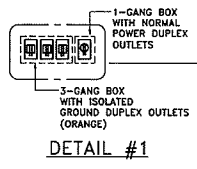
M.A.A. 401001 - PLOT FOR YOUR USE - DATE OF PLOT: 10/99
CHANGE MADE ON: [] BY: BLD
SIEGAL/TUOMALA ASSOCIATES ARCHITECTS AND PLANNERS INC
SUITE 261 - 31731 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248/851-3325



WEST MEZZANINE FLOOR PLAN
SCALE: 1/8" = 1'-0"

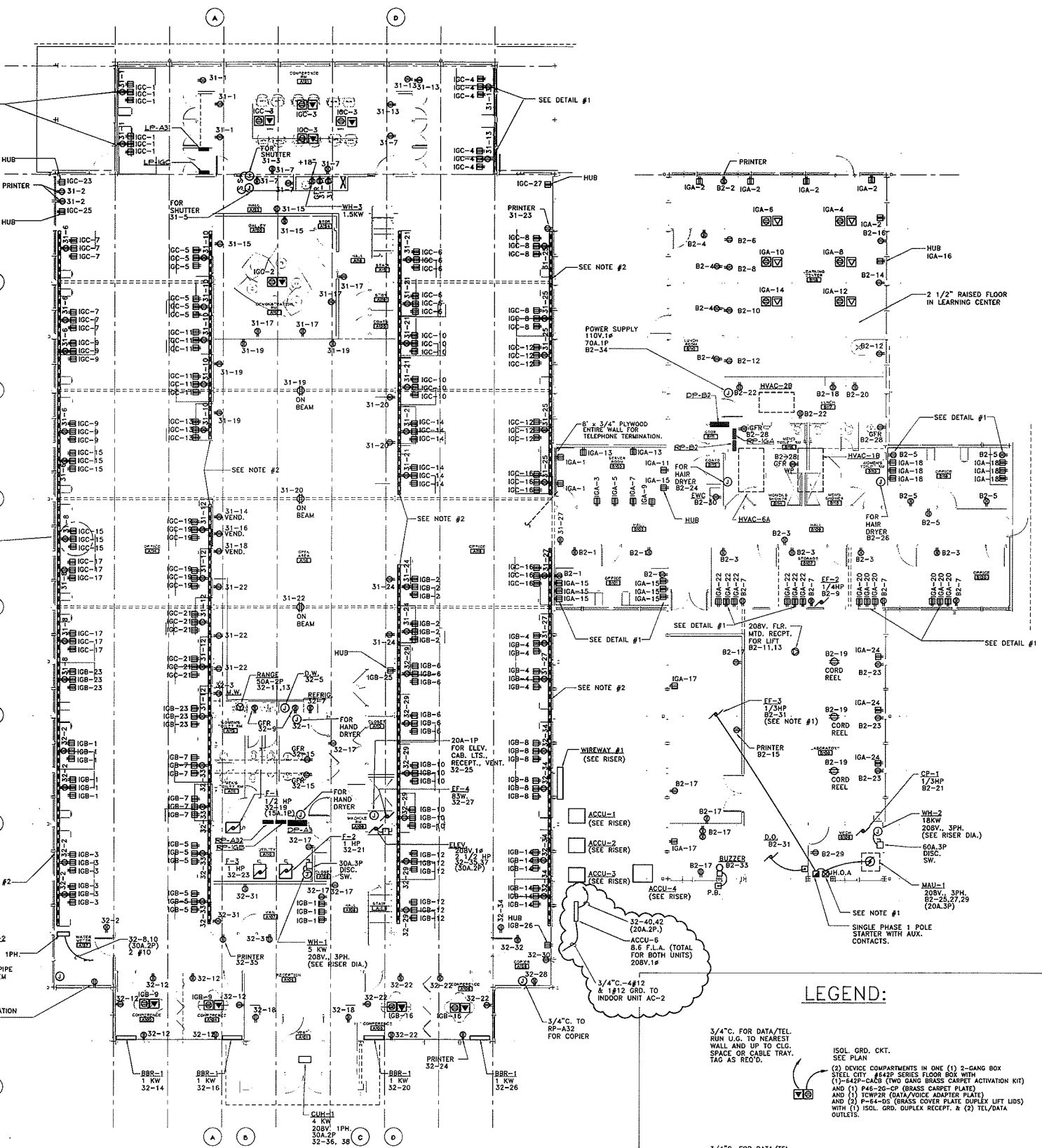


EAST MEZZANINE FLOOR PLAN - POWER
SCALE: 1/8" = 1'-0"



DETAIL #2
TYPICAL FOR ALL WORK STATIONS UNLESS NOTED OTHERWISE

FLOOR PLAN - POWER
SCALE: 1/8" = 1'-0"



- NOTES:**
- INTERLOCK OF HUB AND EF-3 BY TEMP. CONTROL
 - USE 3/4" C. TO FEED NORMAL CIRCUITS IN WIREWAY AND SEPARATE 3/4" C. FOR ISOLATED DEDICATED CIRCUITS.

LEGEND:

- 3/4" C. FOR DATA/TEL. RUN U.G. TO NEAREST WALL AND UP TO CLG. SPACE OR CABLE TRAY. TAG AS REQ'D.
- ISOL. GRD. CKT. SEE PLAN
- COMBO DATA BOX OUTLETS IN 2 1/2" RAISED FLOOR. (2) DEVICE COMPARTMENTS IN ONE (1) 3-GANG BOX STEEL CITY #442P SERIES FLOOR BOX WITH (1) P-442P-CAS (TWO GANG BRASS CARPET FLANGE) AND (1) P-442P-CP (BRASS CARPET PLATE) AND (1) TWP2R (DATA/VOICE ADAPTER PLATE) AND (1) P-442P-IG (BRASS COVER PLATE DUPLEX LIFT LIDS) WITH (1) ISOL. GRD. DUPLEX RECEPT. & (2) TEL/DATA OUTLETS.
- ISOL. GRD. CKT. SEE PLAN
- COMBO DATA BOX OUTLETS IN 2 1/2" RAISED FLOOR. (2) DEVICE COMPARTMENTS IN ONE (1) 3-GANG BOX WALKER #8042 BOX WITH #827C (TWO GANG BRASS CARPET FLANGE) AND (1) #828 (BRASS COVER PLATE) AND (1) #825 (BRASS DATA/VOICE COVER PLATE) WITH (1) ISOL. GRD. DUPLEX RECEPT. & (2) TEL/DATA OUTLETS.
- 0-4000 DIVIDED WIREWAY. SEE ARCHITECTURAL DETAIL FOR LOCATION ON WALL

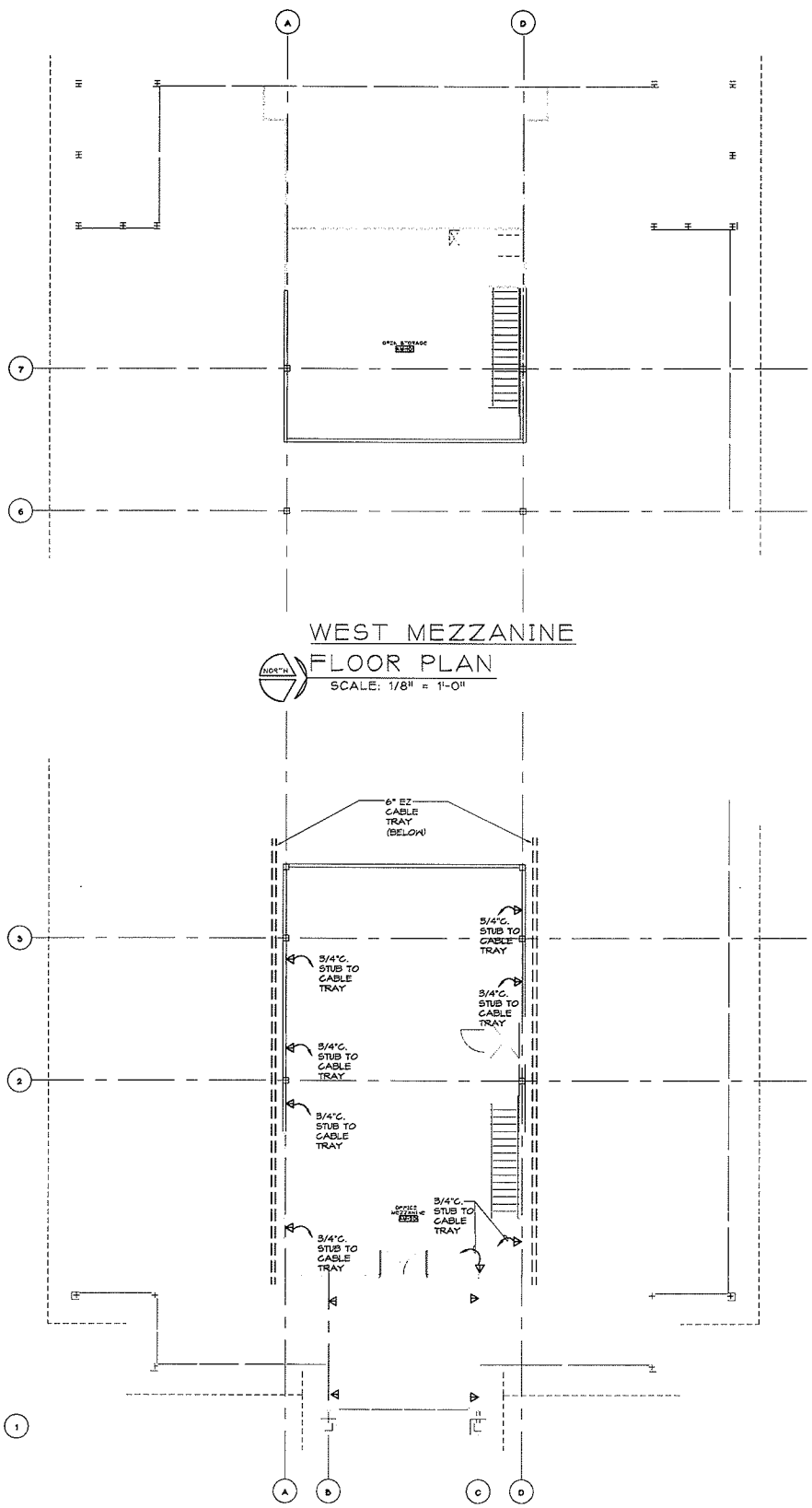
MANCINI ALKATEER & ASSOCIATES, INC.
 MECHANICAL ELECTRICAL PLUMBING
 300 WEST WASHINGTON STREET, SUITE 200
 ANN ARBOR, MICHIGAN 48106
 TEL: 313.963.8800 FAX: 313.963.8801
 WWW.MANCINI-ALKATEER.COM

FLOOR PLANS - POWER
 PROJECT NO. 1603
 SHEET NO. E-2
 DATE: 08/11/09

FORESTCOVE OFFICE PARK
 ANN ARBOR MICHIGAN

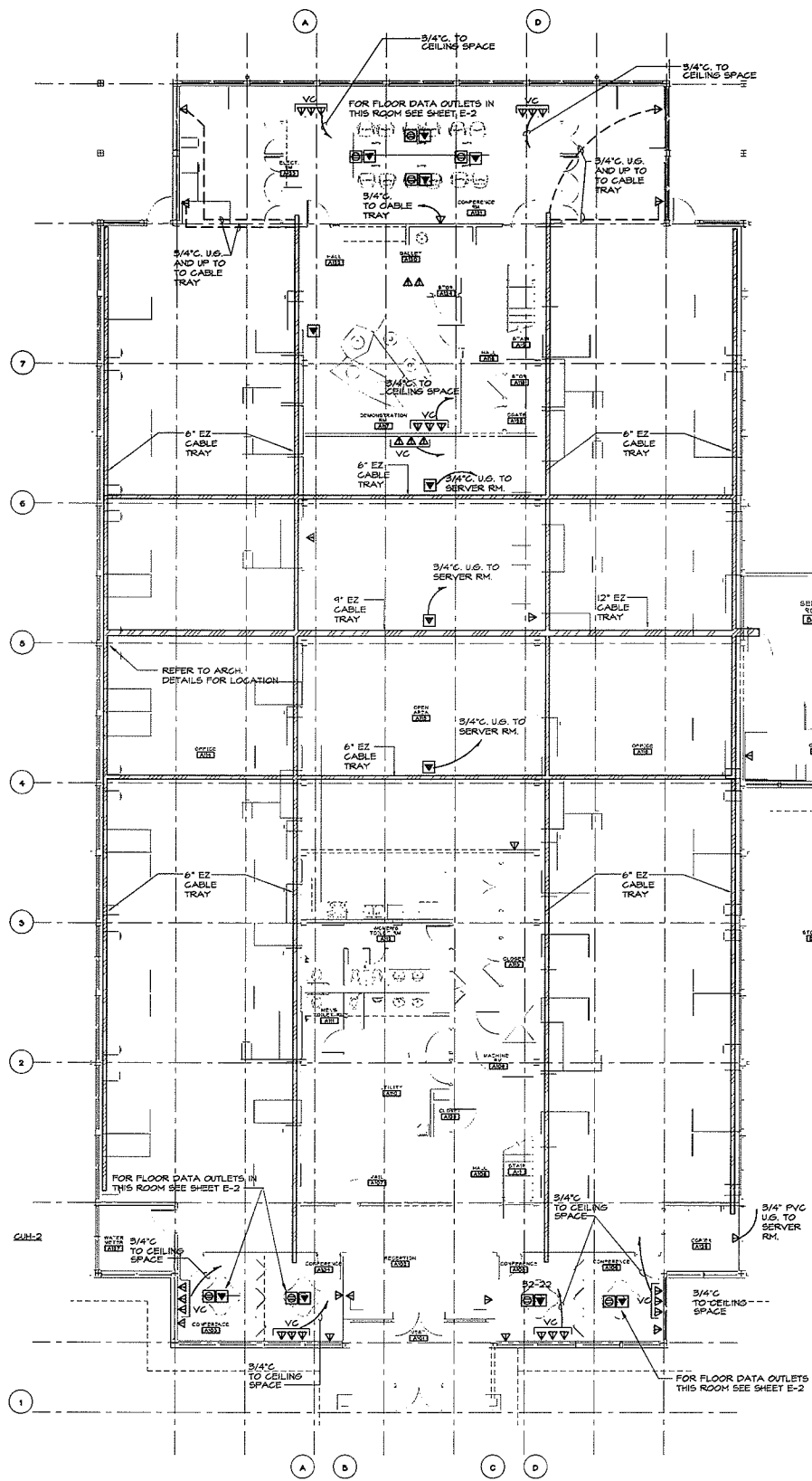
MAA 401003 - FLOOR PLAN FOR YOUR USE, DATE OF PLOTS 08/09
 CHANGE MADE ON: 07/15/10
SIGAL/TUOMALA ASSOCIATES ARCHITECTS AND PLANNERS INC.
 SUITE 261 - 31751 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248/851-5375

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 SHEET NO. **E-2**
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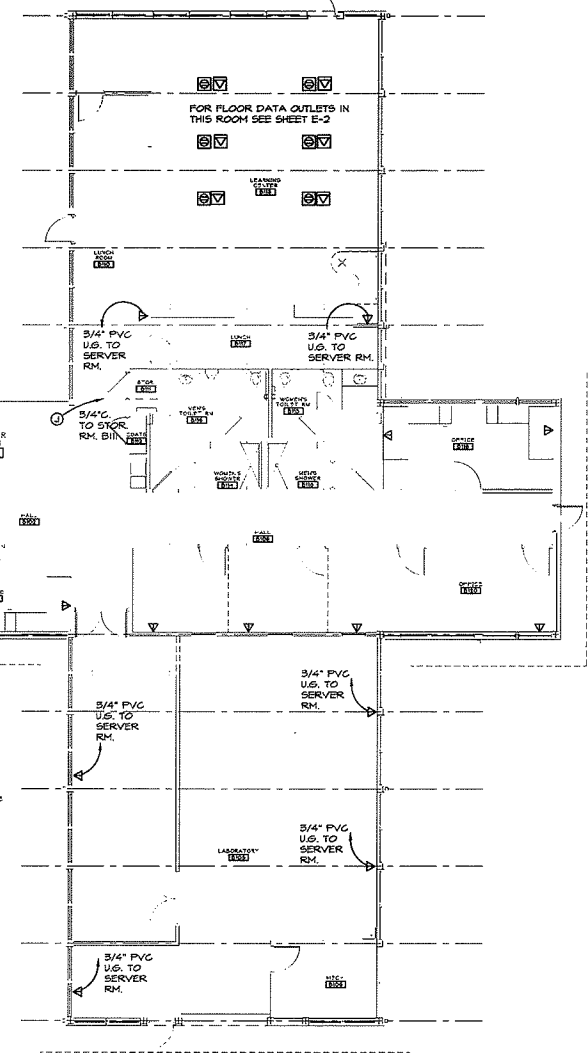


**WEST MEZZANINE
FLOOR PLAN**
SCALE: 1/8" = 1'-0"

**EAST MEZZANINE
FLOOR PLAN -
VOICE/DATA RACEWAYS
& OUTLETS**
SCALE: 1/8" = 1'-0"



**FLOOR PLAN -
VOICE/DATA RACEWAYS
& OUTLETS**
SCALE: 1/8" = 1'-0"



- NOTES:**
1. PROVIDE TWO (2) CAT. 5 CABLES FROM EACH HUB TO SERVER ROOM. EXACT LOCATION AS DIRECTED.
 2. OUTLETS ROUTING TO DESIGNATED HUBS SHALL BE SUBJECT TO OWNER'S APPROVAL. VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.

- LEGEND**
- ▷ VOICE/DATA OUTLETS WALL MTD. AT 24" AFF CONSISTING OF 4" SQUARE BOX W/ 2-GANG PLASTER RING AND NO COVER PLATE. PROVIDE 3/4" FOR EACH OUTLET TO CEILING SPACE UNLESS NOTED OTHERWISE.
 - ◻ SEE DRAWING E-2.
 - ▷ 3/4" FOR DATA/TEL. RUN U.S. TO NEAREST WALL AND UP TO CLG. SPACE OR NEAREST CABLE TRAY. TAG AS REQUIRED.
 - ◻ FLUSH VOICE/DATA FLOOR OUTLET CONSISTING OF ONE GANG FLOOR BOX WALKER #880CSI BOX WITH (1)-8TC (ONE GANG CARPET FLANGE) AND (1)-D2RS (COVER PLATE)
 - ▷ 3 GANG BOXES FOR VIDEO CONFERENCE, NO COVER PLATE. VERIFY MOUNTING HEIGHT WITH OWNER.

- NOTES:**
1. PROVIDE HANGERS FOR EZ TRAY AS RECOMMENDED BY MANUFACTURER

MANCINI, ALKATEEB & ASSOCIATES, INC.
MECHANICAL & ELECTRICAL CONSULTING ENGINEERS
3000 WOODLAND PARKWAY, SUITE 200
ANN ARBOR, MICHIGAN 48106
PHONE: 734.769.8600
FAX: 734.769.8601
E-MAIL ADDRESS: MANCINI@A&A.COM

VOICE/DATA RACEWAYS & OUTLETS

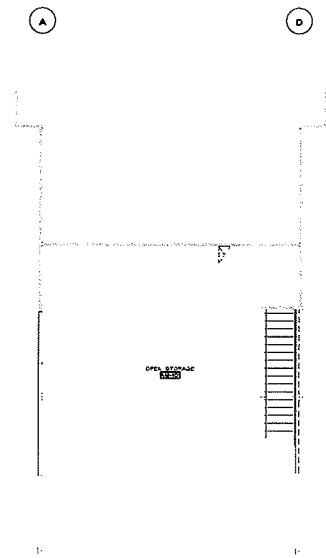
PROJECT NAME: FORESTCOVE OFFICE PARK
PROJECT LOCATION: ANN ARBOR MICHIGAN

DESIGNED BY: JAMES J. FOREST
CHECKED BY: JAMES J. FOREST
DATE: 01/20/01

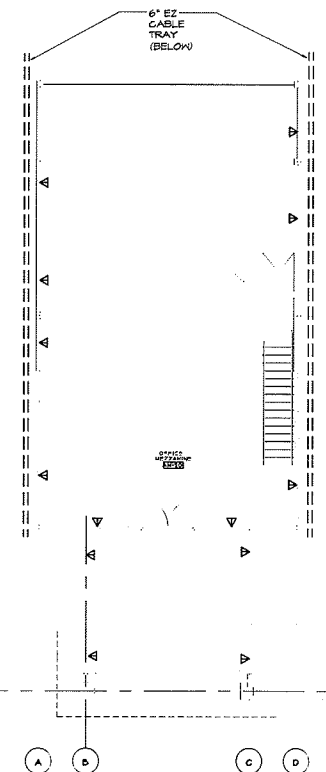
**FORESTCOVE
OFFICE PARK
ANN ARBOR
MICHIGAN**

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SHEET NO. E-3
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**WEST MEZZANINE
FLOOR PLAN**
SCALE: 1/8" = 1'-0"



**EAST MEZZANINE
FLOOR PLAN -
COMMUNICATION SYSTEM
& CABLING REQUIREMENTS**
SCALE: 1/8" = 1'-0"

THIS DRAWING IS "NOT IN CONTRACT"
FOR OWNERS USE ONLY.



**FLOOR PLAN -
COMMUNICATION SYSTEM
& CABLING REQUIREMENTS**
SCALE: 1/8" = 1'-0"

- NOTES:**
1. PROVIDE TWO (2) CAT. 5 CABLES FROM EACH HUB TO SERVER ROOM. EXACT LOCATION AS DIRECTED.
 2. OUTLETS ROUTING TO DESIGNATED HUBS SHALL BE SUBJECT TO OWNER'S APPROVAL. VERIFY ALL LOCATIONS PRIOR TO INSTALLATION.

- LEGEND**
- ▷ VOICE/ DATA OUTLETS PROVIDED BY ELECTRICAL CONTRACTOR. CABLE CONTRACTOR SHALL INSTALL 1-4 PR CAT 5 DATA CABLE FROM EACH OUTLET TO NEAREST HUB OR AS DIRECTED BY OWNER. ALSO CONTRACTOR SHALL INSTALL 1-4 PR CAT 5 VOICE CABLE FROM EACH OUTLET TO TELEPHONE BACKBOARD IN SERVER ROOM AND PROVIDE IVORY COLOR PLATE WITH TWO (2) RJ-45 JACKS AND (2) RJ-45 SLOTS FOR FUTURE USE.
 - ✓ FLUSH VOICE/ DATA FLOOR OUTLET IN RAISED FLOOR BY ELECTRICAL CONTRACTOR. CABLE CONTRACTOR SHALL INSTALL 1-4 PR CAT 5 DATA CABLE FROM EACH OUTLET TO NEAREST HUB OR AS DIRECTED BY OWNER. ALSO CONTRACTOR SHALL INSTALL 1-4 PR CAT 5 VOICE CABLE FROM EACH OUTLET TO TELEPHONE BACKBOARD IN SERVER ROOM AND PROVIDE IVORY COLOR PLATE WITH TWO (2) RJ-45 JACKS AND (2) RJ-45 SLOTS FOR FUTURE USE.
 - ▽ (B) DATA OUTLETS FOR VIDEO CONFERENCING. PROVIDE 2 - CAT 5 CABLES FOR EACH OUTLET. SEE E-3 FOR OUTLETS AND CONDUIT RUNS.

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MECHANICAL & ELECTRICAL CONSULTING ENGINEERS
3001 W. BROADWAY, SUITE 200
ANN ARBOR, MICHIGAN 48106
PHONE: 734.769.8800
FAX: 734.769.8801
WWW.MANCINI-ALKATEEB.COM

COMMUNICATION SYSTEM CABLING REQUIREMENTS

PROJECT NO. _____
PROJECT DATE _____
PROJECT LOCATION _____
ANN ARBOR MICHIGAN

PROJECT NO. _____
PROJECT DATE _____
PROJECT LOCATION _____
ANN ARBOR MICHIGAN

PROJECT NO. **1603**
SHEET NO. **E-4**
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ARCHITECTS AND PLANNERS INC.**
SUITE 261 • 31731 NORTHWESTERN HWY. • FARMINGTON HILLS, MI 48334 • 248/851-3325

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION
'A'	FLUORESCENT 8 FT. LONG DIRECT INDIRECT UNIT, PENDANT MOUNTED AT 8'-6" TO BOTTOM OF FIXTURE. 4-F32T8 LAMPS 2 LAMPS IN TANDEM EACH BALLAST 2-120V MOTOROLA ELEC BALLASTS AND FERROPERATED REFLECTOR. COLOR FINISH TO BE DETERMINED BY ARCHITECT. NOTE - WIRE LAMPS IN TANDEM TO ALLOW TWO LEVEL SWITCHING. LEDALITE 801-6-102-H-D OR APPROVED EQUAL.
'AA'	SAME AS TYPE 'A' EXCEPT IN 4'-0" SECTIONS AND 2 LAMPS LEDALITE 801-6-102-H-D
'AB'	SAME AS TYPE 'A' EXCEPT PENDANT MOUNTED AT 11'-0" LEDALITE 801-6-102-H-D
'AC'	SAME AS TYPE 'AA' EXCEPT PENDANT MOUNTED AT 17'-0" LEDALITE 801-6-102-H-D
'B'	FLUORESCENT RECESSED 2x4 LAY-IN TYPE FIXTURE WITH ACRYLIC PRISMATIC DIFFUSER (2)-120V MOTOROLA ELECTRONIC BALLASTS AND (4)-F32T8 LAMPS DAYBRITE 71G-4-37-01-02 OR APPROVED EQUAL.
'BA'	SAME AS TYPE 'B' EXCEPT WITH 32 CELL 3" DEEP PARABOLIC LOWER DAYBRITE 71P4-G-4-32-48-5L-02 OR APPROVED EQUAL LITHONIA
'BB'	SAME AS TYPE 'B' EXCEPT 2x2 FIXTURE WITH U LAMP DAYBRITE 71G23U-01 OR APPROVED EQUAL.
'C'	COMPACT FLUORESCENT RECESSED ROUND SPECULAR ALZAK REFLECTOR ELECTRONIC BALLAST 7-26 WATT DOUBLE TUN TUBE LAMP AND WHITE TRIM GOTHAM 7AF-726D1T-8AR-126-TRU-GEB OR APPROVED EQUAL.
'D'	H.I.D. RECESSED ROUND OUTDOOR FIXTURE WITH 16" APERTURE. 750W METAL HALIDE LAMP 120V BALLAST, DAYTIME LOCATION LABEL, 1 CLEAR ALZAK REFLECTOR. OMEGA 7Y3063-9263RC OR APPROVED EQUAL.
'DA'	SAME AS TYPE 'D' EXCEPT WITH 70 WATT LAMP 4 1" APERTURE. OMEGA 7Y4060-4060RC OR APPROVED EQUAL BY LITHONIA
'E'	FLUORESCENT RECESSED LAY-IN INDIRECT DIRECT FIXTURE WITH (4)- F32 T8 LAMPS, 2 ELECTRONIC BALLASTS, PERFORATED METAL DIFFUSER WITH ROUND PERFORATIONS. LITHONIA 7AV-G-2-32-13R-02 OR APPROVED EQUAL.
'F'	FLUORESCENT SURFACE MTD. STRIP FIXTURE WITH 2 T8 LAMPS ELECTRONIC BALLASTS, 1 120V BALLAST LITHONIA 7S-237-02-GEB OR APPROVED EQUAL BY DAYBRITE
'G'	FLUORESCENT INDUSTRIAL PENDANT MTD. FIXTURE AT 8'-0" WITH 20% UPLIGHT BAKED ENAMEL REFLECTOR 120V (4) - T8 LAMPS AND ELECTRONIC BALLAST. LITHONIA 7AF-4-96T8-02-GEB OR APPROVED EQUAL BY DAYBRITE
'GA'	SAME AS TYPE 'G' EXCEPT WITH NO UPLIGHT. LITHONIA 7AFST-4-96T8-02-GEB OR APPROVED EQUAL BY DAYBRITE
'H'	COMPACT FLUORESCENT SHOWER LIGHT, WITH (2) 15 WATT QUAD LAMPS ABSOLUTE LEDS, 120V, HFF BALLAST AND MET LOCATION LABEL. CAPRI 7623 Q/02 HFF-RJ-942 OR APPROVED EQUAL.
'J'	FLUORESCENT STAGGER STRIPS FIXTURE WITH 2 T8 32 WATT LAMPS IN 4'-0", 3'-0" LENGTHS AS REQUIRED TO PROVIDE MAXIMUM LIGHTED AREA. SEE ARCH. DETAIL. EGGSCHATE MEDIA AND SUSPENSION SYSTEM BY ARCH. TRADES. DAYBRITE 76233 OR APPROVED EQUAL.
'K'	INCANDESCENT RECESSED ROUND FIXTURE WITH OPEN DOWNLIGHT ALZAK REFLECTOR WITH 100 WATT A15 LAMP AND WHITE TRIM. LITHONIA GOTHAM SERIES 7A-1AR OR APPROVED EQUAL.
'L'	INCANDESCENT WALL MOUNTED AT 6'-6" MONOPOINT ADJUSTABLE BAFFLED FIXTURE WITH 75 WATT PAR 38 LAMP. CAPRI 7C3350 WITH KP650 MONOPOINT CANOPY.
'M'	PORCELAIN SOCKET WITH A15 LAMP BY F45 OR EQUAL.
'N'	INCANDESCENT PENDANT MTD. ROUND FIXTURE AT 8'-6" TO BOTTOM OF FIXTURE WITH 50W R60 LAMP. CEILING IS SLOPED SO PENDANT LENGTHS WILL VARY. LITHONIA 7C7B-AC OR APPROVED EQUAL.
'P'	INCANDESCENT WALL MTD. 120V FIXTURE WITH A15 GLOBE AND GUARD BY LEVITON OR P 1 5.
'EBL'	SELF-CONTAINED WALL MOUNTED DOUBLE HEAD EMERGENCY LIGHTING UNIT WITH 12V LEAD CALCIUM BATTERY, 120 HALOGEN SEALED BEAM LAMPS AND 120V. LITHONIA 7EM4 OR APPROVED EQUAL BY EMERGI LITE.
'X'	SELF-CONTAINED SINGLE FACE EMERGENCY TYPE 'LED' EXIT LIGHT FIXTURE WITH POLYCARBONATE HOUSING UNIVERSAL MOUNTING, LEAD CALCIUM BATTERY AND RED LETTERS ON WHITE BACKGROUND. LITHONIA 7L21-LED-S-U-1-R-02 OR APPROVED EQUAL BY EMERGI LITE.

SYMBOL LEGEND

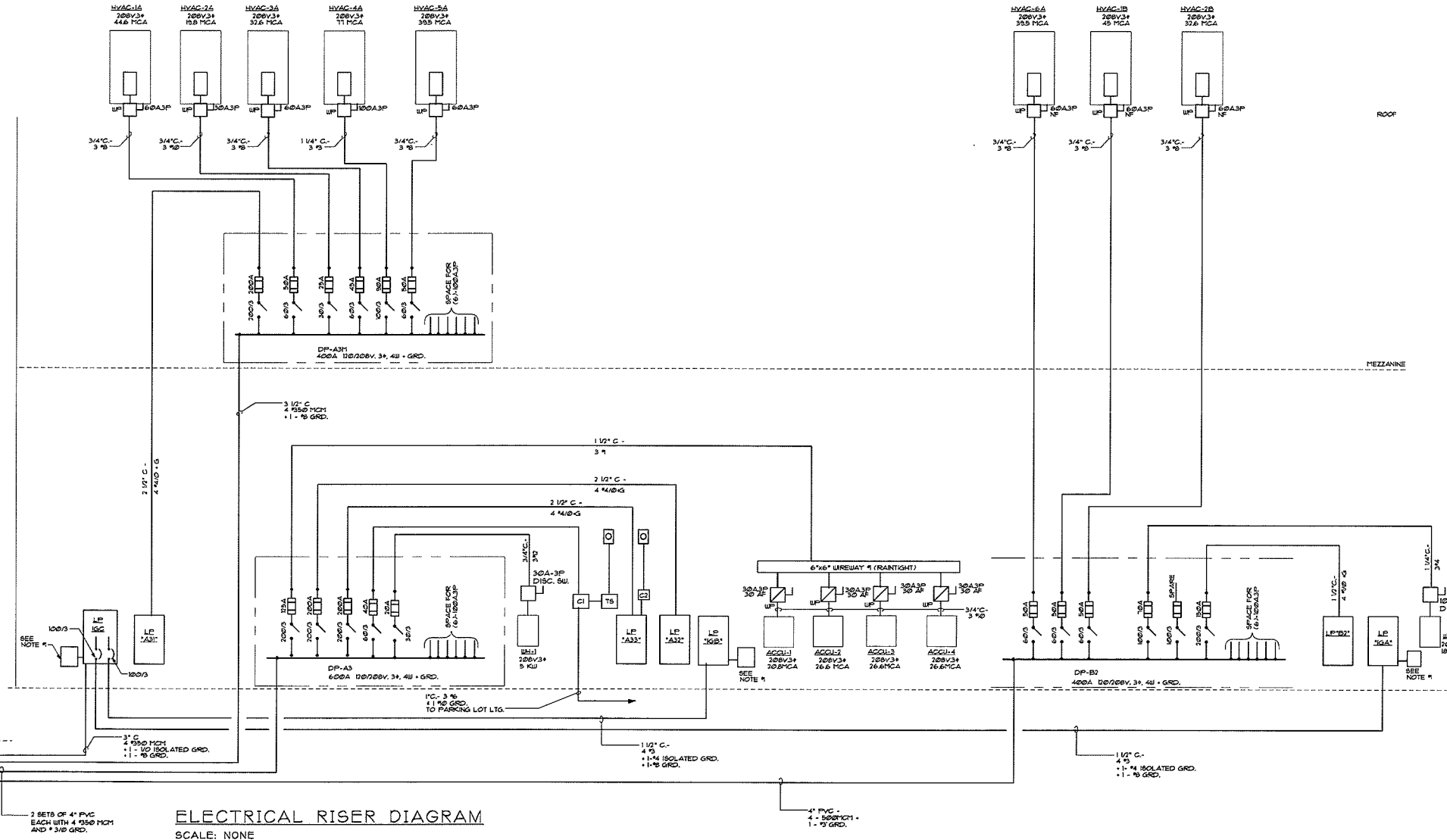
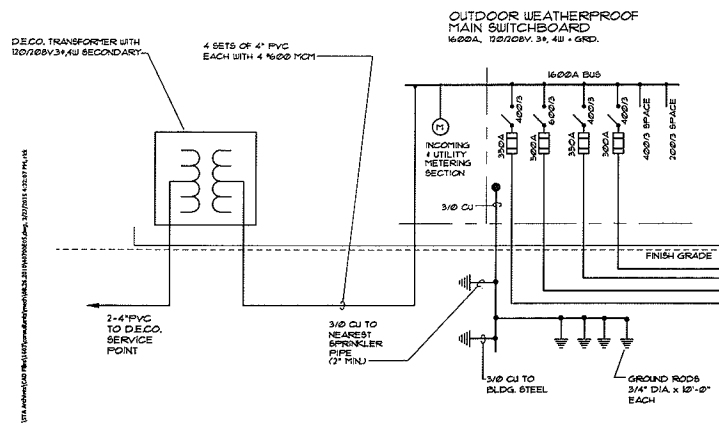
- DUPLEX OUTLET
- ISOLATED GROUND OUTLET
- JUNCTION BOX
- SINGLE PHASE STARTER
- TELEPHONE OUTLET
- VIDEO CONF. REQUIRES 3-CAT. 5 CABLE
- DATA OUTLET FOR PRINTER
- DISCONNECT SWITCH
- FUSED DISCONNECT SW.
- SINGLE PHASE MOTOR
- THREE PHASE MOTOR
- TOGGLE LIGHT SWITCH
- TWO WAY SWITCH FOR LIGHT AND EXHAUST FAN
- 1200W DIMMER SWITCH
- PHOTO CELL - MTD. ON ROOF FACING NORTH
- CONTACTOR
- TYPE SWITCH

NOTES:
 1. PROVIDE SURGE PROTECTION DEVICES (SPD'S) WHERE INDICATED ON THE LP SCHEDULE. SPD'S SHALL BE VORTICE MODEL V02B202GRC AS MANUFACTURED BY FRP PRODUCTS, INC. LOCAL REPRESENTATIVE IS CARPENTER CANNINGHAM ASSOCIATES, INC. (748) 955-9618. UNIT SHALL BE UL LISTED UNDER SECTIONS 144B, 2ND EDITION AND 128. SPD'S SHALL PROVIDE ALL MODES OF PROTECTION. THE MAXIMUM VOLTAGE CLAMPING RATINGS TO BE 332 VOLTS. PRIMARY SURGE CURRENT RATING SHALL BE 200,000 AMPS PER PHASE NOT INCLUDING NEUTRAL TO GROUND MODE WHICH SHALL BE A MINIMUM OF 100,000 AMPS. SPD'S SHALL BE PROVIDED WITH ONE LEAVE TRACKING, REDUNDANT LED STATUS INDICATORS (GREEN STATUS LED'S, RED FAULT LED'S), AUDIBLE ALARM, FORM C DRY CONTACTS, BURGE COUNTER 4 INTERLOCKING FUSED DISCONNECT. SPD'S MUST BE A MODULAR DESIGN WITH REPLACEABLE MODULES. WARRANTY SHALL BE TEN (10) YEARS FROM THE DATE OF START-UP.
 SUBSTITUTIONS MUST BE APPROVED BY THE ENGINEER AT LEAST 14 DAYS PRIOR TO BID DATE OR THEY WILL NOT BE CONSIDERED. ALTERNATES MUST MEET OR EXCEED ALL PERFORMANCE AND FEATURE CRITERIA OF THE SPECIFIED PRODUCT.

LIGHTING PANEL SCHEDULE

PANEL	CLASS	MTG.	MAINS	BRANCHES	CONN. LOAD (KW)	NOTES
LP-A31	00/000V34, 4W	SURFACE	225 FLO	43-30A-1P	23.3	
LP-A32	00/000V34, 4W	SURFACE	225 FLO	36-30A-1P, 1-30A2P, 4 2-30A3P	48.4	
LP-A33	00/000V34, 4W	SURFACE	225 FLO	39-30A-1P 4 3-30A1P	43.4	
RP-B31	00/000V34, 4W	SURFACE	225 FLO	37-30A-1P, 1-30A3P, 4 1-30A2P	36.1	
RP-G3A	00/000V34, 4W	SURFACE	025 FLO	36-30A-1P 4 6 SPACES	16.3	FED FROM PANEL 'G3C'
RP-G3B	00/000V34, 4W	SURFACE	025 FLO	36-30A-1P 4 6 SPACES	26.8	FED FROM PANEL 'G3C'
RP-G3C	00/000V34, 4W	SURFACE	400 FLO	1-60A3P, 33-30A-1P 4 2-100A3P	76	SEE NOTE 1

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 MECHANICAL & ELECTRICAL ENGINEERING
 1500 W. WASHINGTON ST. SUITE 200
 ANN ARBOR, MICHIGAN 48106
 TEL: (734) 963-1100 FAX: (734) 963-1101
 WWW.MANCINI-ALKATEEB.COM



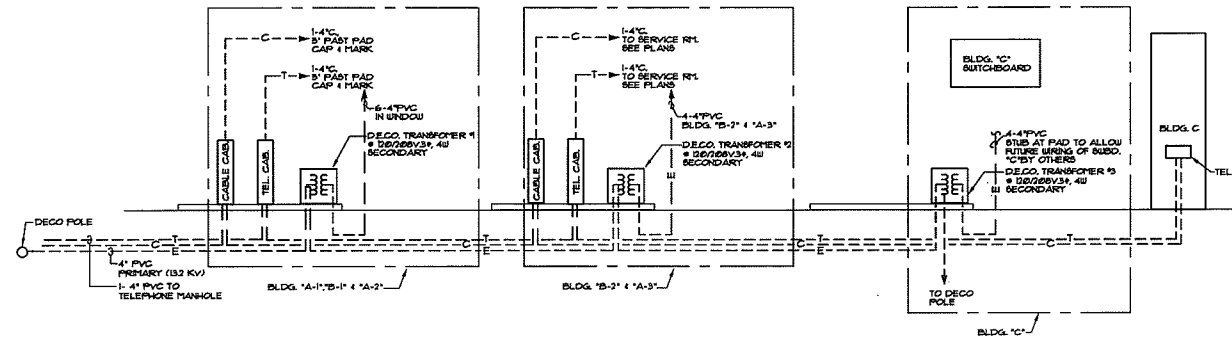
ELECTRICAL RISER DIAGRAM
 SCALE: NONE

ELECTRICAL RISER DIAGRAM AND SCHEDULES
 DRAWN: _____
 CHECKED: _____
 PROJECT NO.: _____
 PROJECT LOCATION: _____
 PROJECT DATE: _____

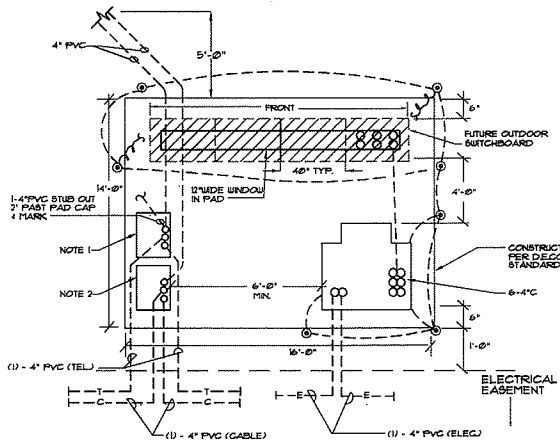
PROJECT NAME:
FORESTCOVE OFFICE PARK
 PROJECT LOCATION:
ANN ARBOR MICHIGAN

PROJECT NO. **1603**
 SHEET NO. **E-5**
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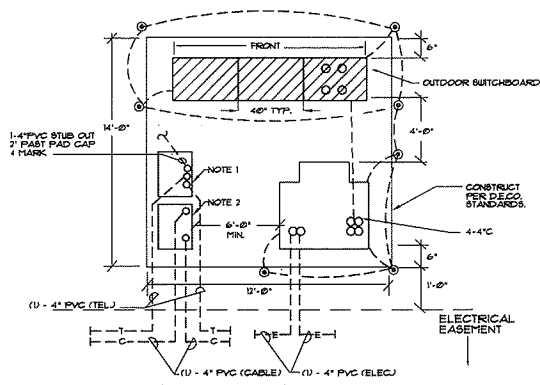
MAA 42/0003 - PLOT FOR YOUR USE - DATE OF PLOTS/89
 CHANGE MADE ON 11/1/80
SIEGAL/TUOMALA ASSOCIATES ARCHITECTS AND PLANNERS INC.
 SUITE 261 - 31751 NORTHEASTERN HWY. - FARMINGTON HILLS, MI 48334 - 248/851-3325



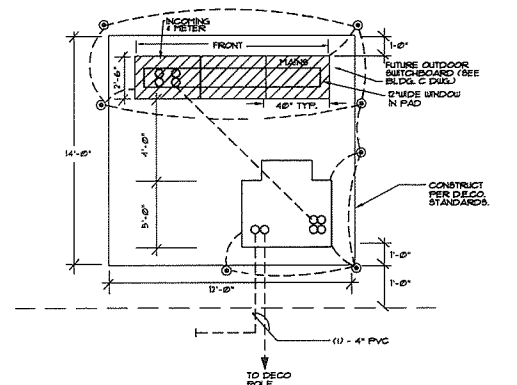
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NO SCALE



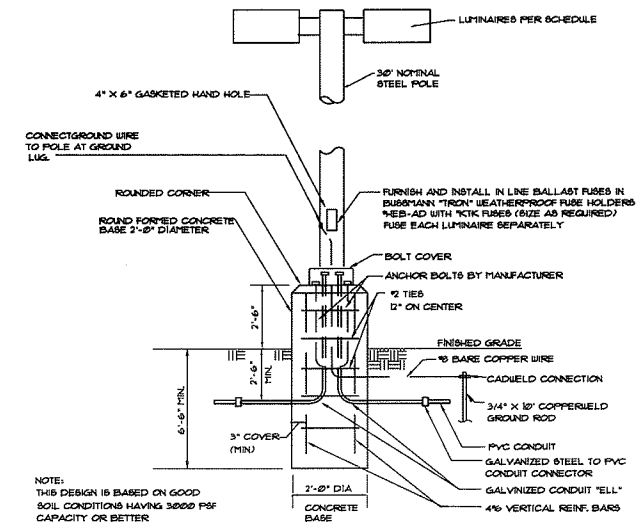
ELECTRICAL SERVICE PAD FOR
BLDG. "A-1", "B-1" & "A-2"
(TYPICAL)
NO SCALE



ELECTRICAL SERVICE PAD FOR
BLDG. "B-2" & "A-3"
(TYPICAL)
NO SCALE



ELECTRICAL SERVICE PAD FOR BLDG. "C"
(TYPICAL)
NO SCALE



SITE LIGHTING FIXTURE
NOT TO SCALE

CONTACTOR SCHEDULE				
CONTACTOR	CIRCUITS CONTROLLED	SIZE	USE	CONTROLLED BY
C1	60A-3P BRKR HI-313941	60A-3P	SITE LIGHTING	PHOTO CELL "ON" TIME 50% "OFF"

SITE LIGHTING FIXTURE SCHEDULE

- TYPE "SA" OUTDOOR LIGHTING FIXTURE CONSISTING OF REINFORCED CONCRETE BASE, 30FT. NOMINAL HEIGHT POLE AND SINGLE LUMINAIRE AS SPECIFIED. THE ENTIRE ASSEMBLY SHALL BE DESIGNED TO WITHSTAND A SUSTAINED WIND OF 80 MPH WITHOUT PERMANENT DAMAGE. UNIT SHALL BE FINISHED IN BRONZE. LUMINAIRE SHALL BE 400 WATT, METAL HALIDE, TYPE DV DISTRIBUTION, MEDIUM CUTOFF WITH 235V CONSTANT WATTAGE REGULATOR BALLAST AND WITHOUT FUSES. FUSES SHALL BE IN-LINE TYPE AND INSTALLED IN POLE BASE. POLE SHALL BE SQUARE STRAIGHT STEEL ARM SHALL BE 10\"/>

TYPE "SB" SAME AS "SA" EXCEPT WITH (2) LUMINAIRES AT 180 DEGREES EMCO #ECA-18-2-3H-400W-208-BRP

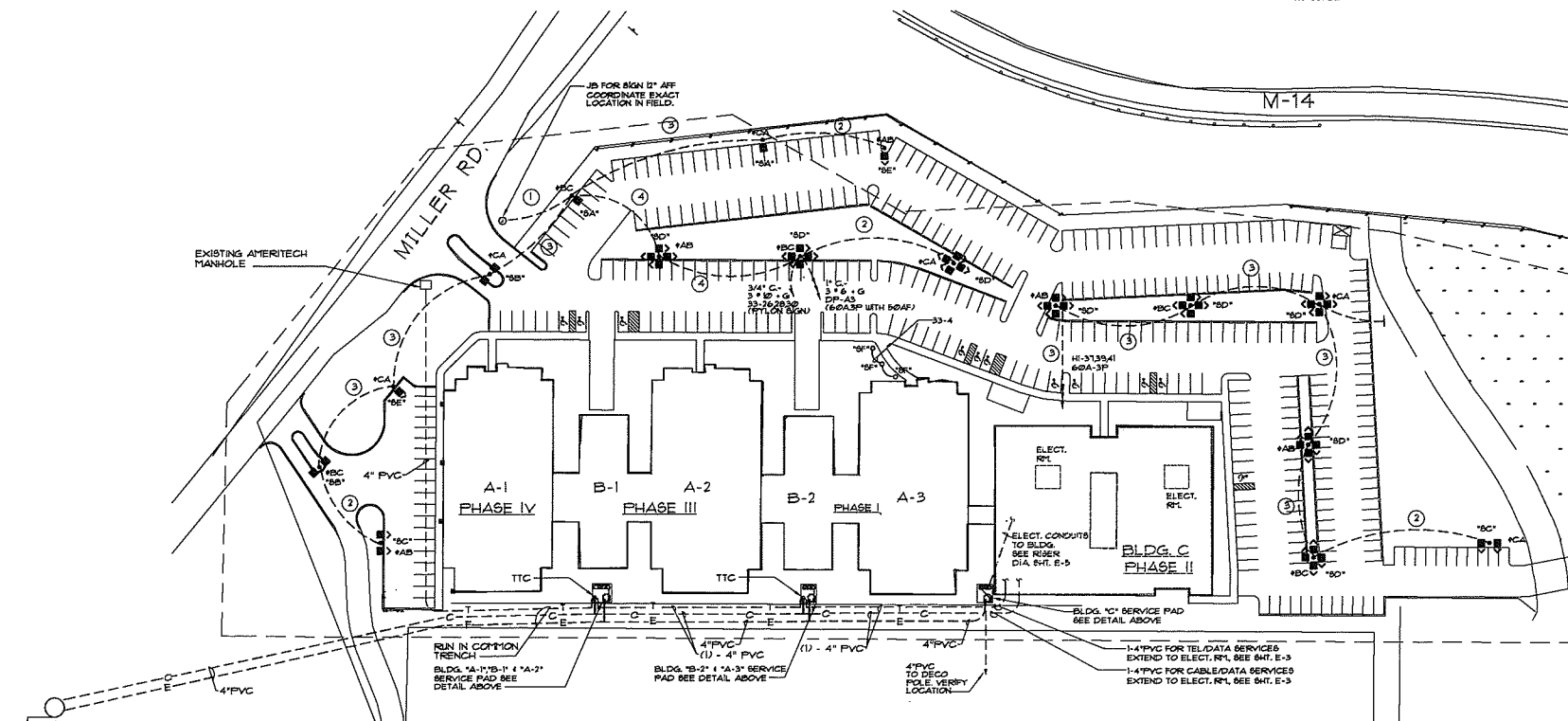
TYPE "SC" SAME AS "SB" EXCEPT FORWARD THROW OPTICAL ASSEMBLIES EMCO #ECA-18-2-3H-400W-208-BRP

TYPE "SD" SAME AS "SC" EXCEPT WITH (4) LUMINAIRES AT 90 DEGREES EMCO #ECA-18-1-FH-400W-208-BRP

TYPE "SE" SAME AS "SA" EXCEPT WITH FORWARD THROW DISTRIBUTION EMCO #ECA-18-1-FH-400W-208-BRP

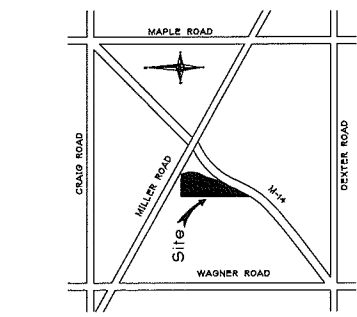
TYPE "SF" METAL HALIDE BOLLARD FIXTURE WITH 100W METAL HALIDE LAMP CONE ROUND REFLECTOR AND FUSES. EMCO #BRB-C-100MH-120-BLP-F

NOTES:
1. 48\"/>



ELECTRICAL SITE PLAN
SCALE: 1"=50'-0"

WIRE LEGEND	
①	3/4" PVC - 3 #0 - #0 GRD.
②	1" PVC - 2 #6 - #0 GRD.
③	1 1/2" PVC - 3 #6 - #0 GRD.
④	1 1/2" PVC - 3 #6 - #0 GRD. (SITE LIGHTING) 3 #0 - #0 GRD. (FOR SIGN)



SITE LOCATION MAP
NOT TO SCALE

MANOMI, ALKATEES & ASSOCIATES, INC.
 1000 W. WISCONSIN ST. SUITE 200
 MILWAUKEE, WI 53233
 TEL: 414-224-1100
 FAX: 414-224-1101
 WWW: WWW.MANOMI.COM

ELECTRICAL SITE PLAN

PROJECT NO. FORESTCOVE OFFICE PARK
 PROJECT LOCATION ANN ARBOR MICHIGAN

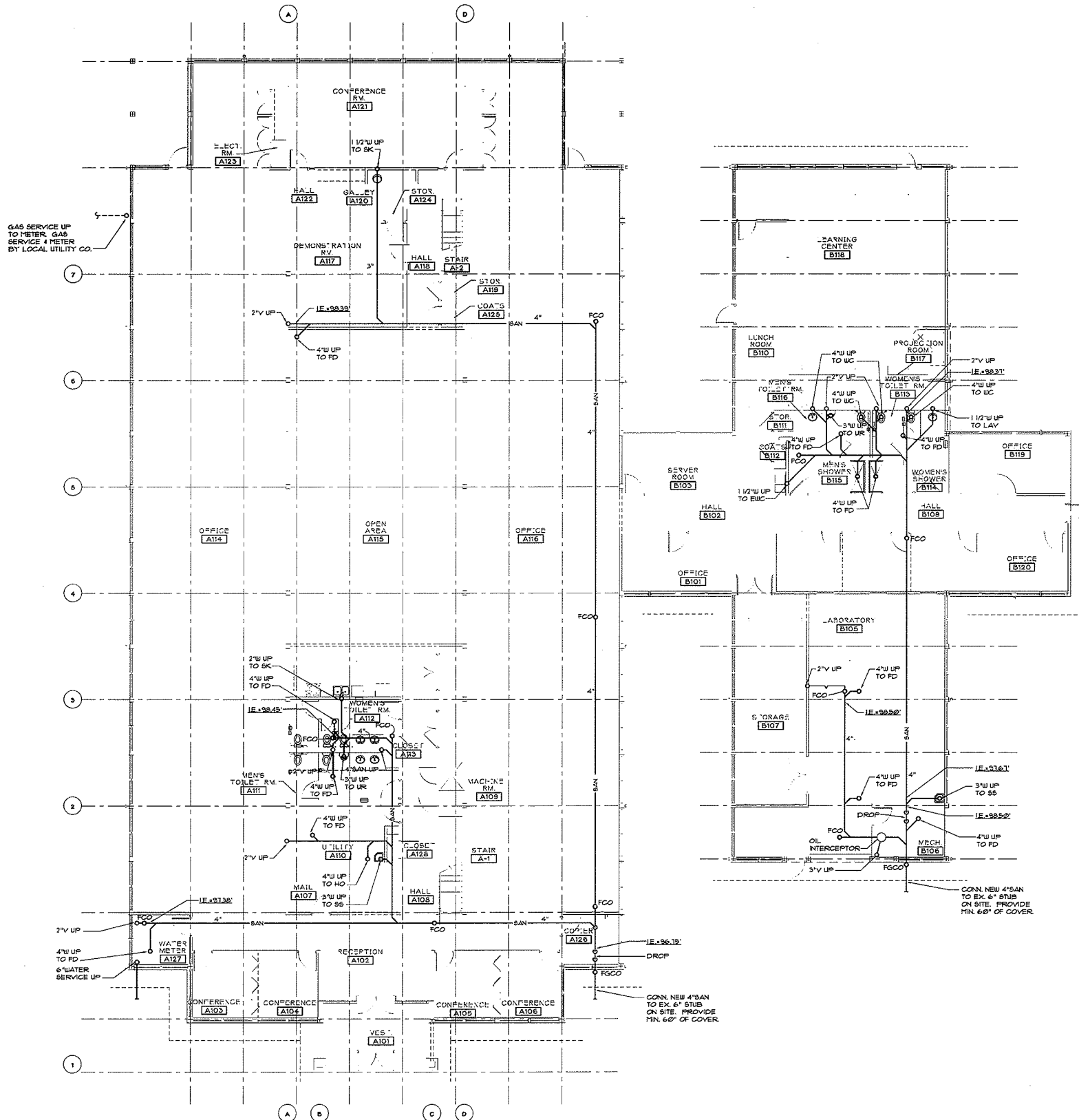
PROJECT NO. 1603

SHEET NO. SE-1

MAA 4810661, PLOT FOR BIDS, DATE OF PLOT: 11/27/99
 CHANGE MADE ON: 11/29/99, BY: RP

SIEGAL/TUOMALA ASSOCIATES ARCHITECTS AND PLANNERS INC
 SUITE 201 - 31751 NORTHWESTERN HWY., FARMINGTON HILLS, MI 48334 - 248/651-5325

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GAS SERVICE UP TO METER, GAS SERVICE 4 METER BY LOCAL UTILITY CO.

UNDERGROUND PLAN - PLUMBING
 FINISHED FLOOR ELEVATION = 100.00'
 SCALE 1/8" = 1'-0"

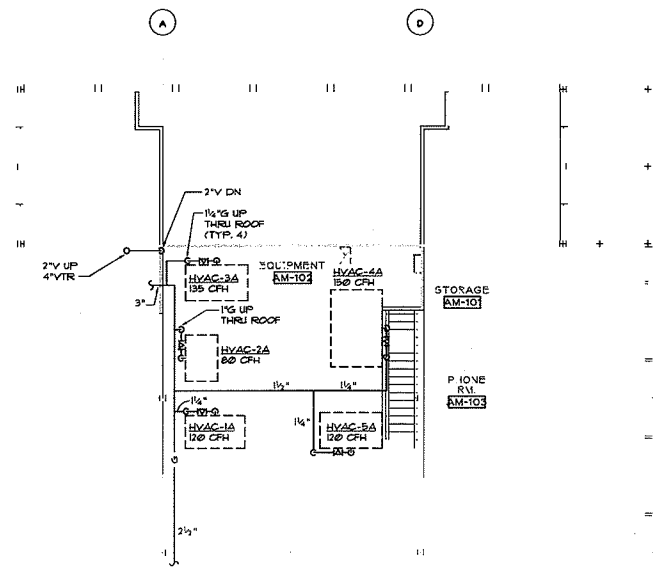
MANCINI ALKATEEB & ASSOCIATES, INC.
 MECHANICAL, ELECTRICAL, & CONSULTING ENGINEERS
 3800 INTERLAKEN DRIVE, SUITE 200
 FARMINGTON HILLS, MICHIGAN 48334
 TEL: 248-471-1100 FAX: 248-471-1101
 EMAIL ADDRESS: MANCINI@ALKATEEB.COM

UNDERGROUND PLAN - PLUMBING

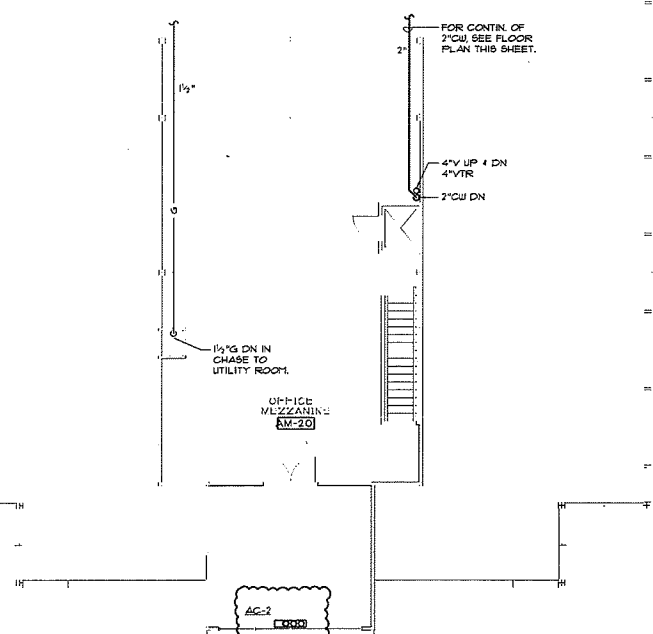
PROJECT NAME: FORESTCOVE OFFICE PARK
 PROJECT LOCATION: ANN ARBOR MICHIGAN

PROJECT NO.: 1603
 SHEET NO.: M-1
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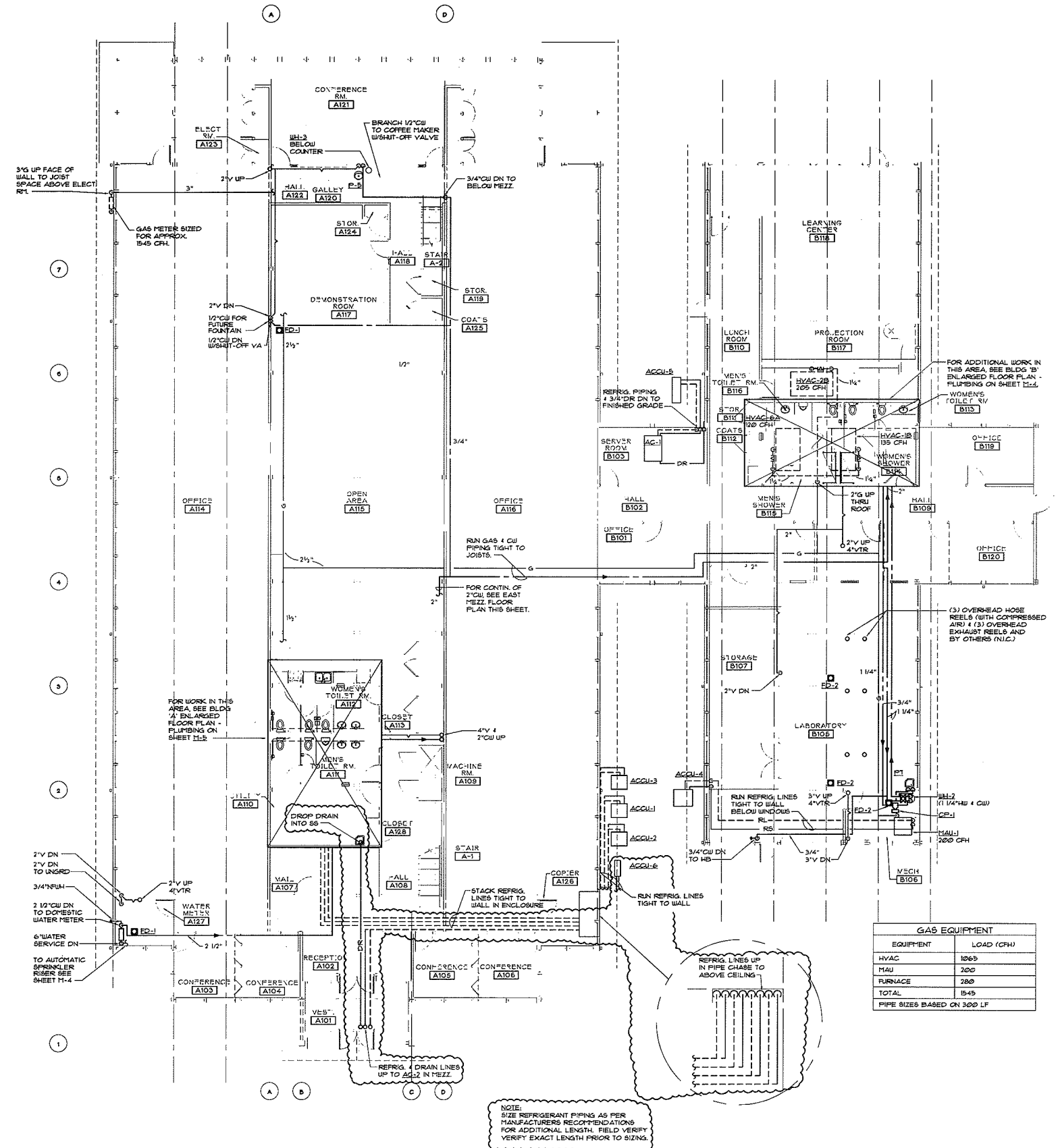
MAA 481021, PLOT FOR BID, DATE OF PLOT 1/99, CHANGE MADE ON... BY: PB
 SIEGAL/TUOMAALA ASSOCIATES ARCHITECTS AND PLANNERS INC
 SUITE 251 - 31731 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248/851-3325



WEST MEZZANINE FLOOR PLAN - PLUMBING
SCALE: 1/8" = 1'-0"



EAST MEZZANINE FLOOR PLAN - PLUMBING
SCALE: 1/8" = 1'-0"



FLOOR PLAN - PLUMBING
SCALE: 1/8" = 1'-0"

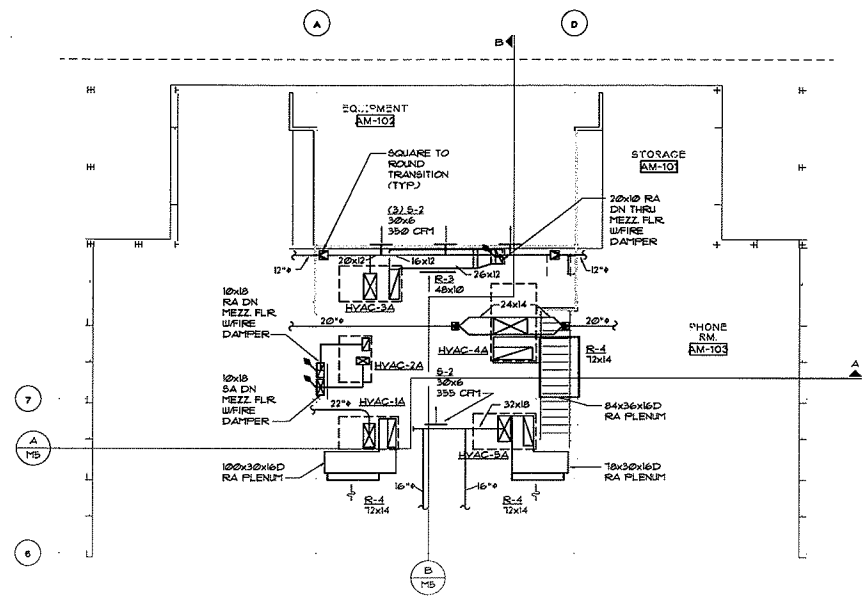
MANCINI ALKATEEB & ASSOCIATES, INC.
MECHANICAL ELECTRICAL CONSULTING ENGINEERS
3000 WOODLAND AVENUE SUITE 200
ANN ARBOR MI 48106
PHONE: 734.769.8800
FAX: 734.769.8801
WWW.MANCINI-ALKATEEB.COM
E-MAIL ADDRESS: MANCINI@MANNALCO.COM

FLOOR PLAN - PLUMBING

PROJECT NAME: FORESTCOVE OFFICE PARK
PROJECT LOCATION: ANN ARBOR MICHIGAN

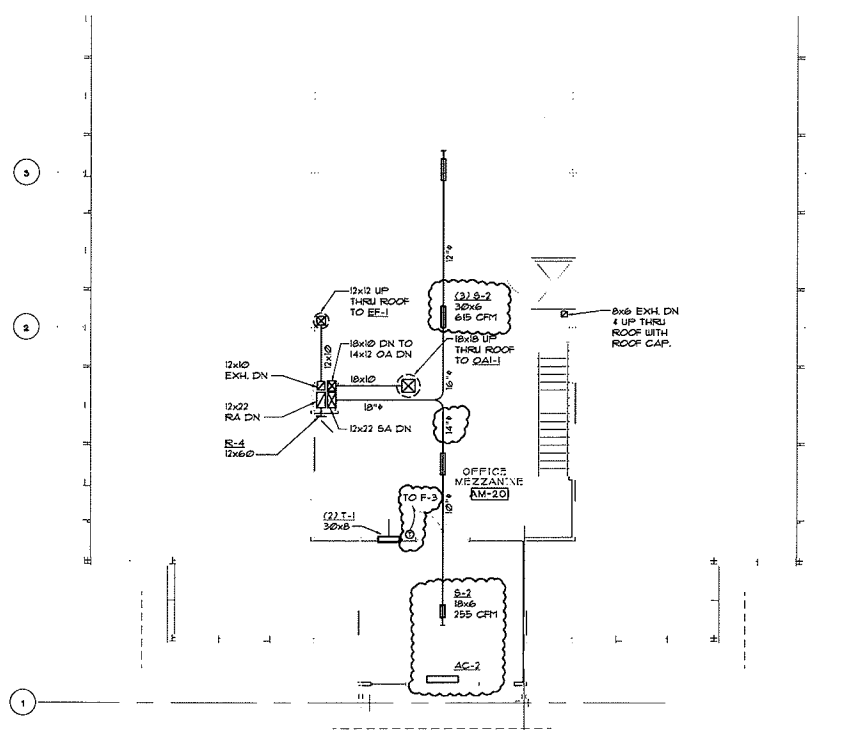
PROJECT NO.: 1603
SHEET NO.: M-2
DATE: 10/13/1999
BY: FB
CHANGE MADE ON: ---

PROJECT NO.: 1603
SHEET NO.: M-2
DATE: 10/13/1999
BY: FB
CHANGE MADE ON: ---



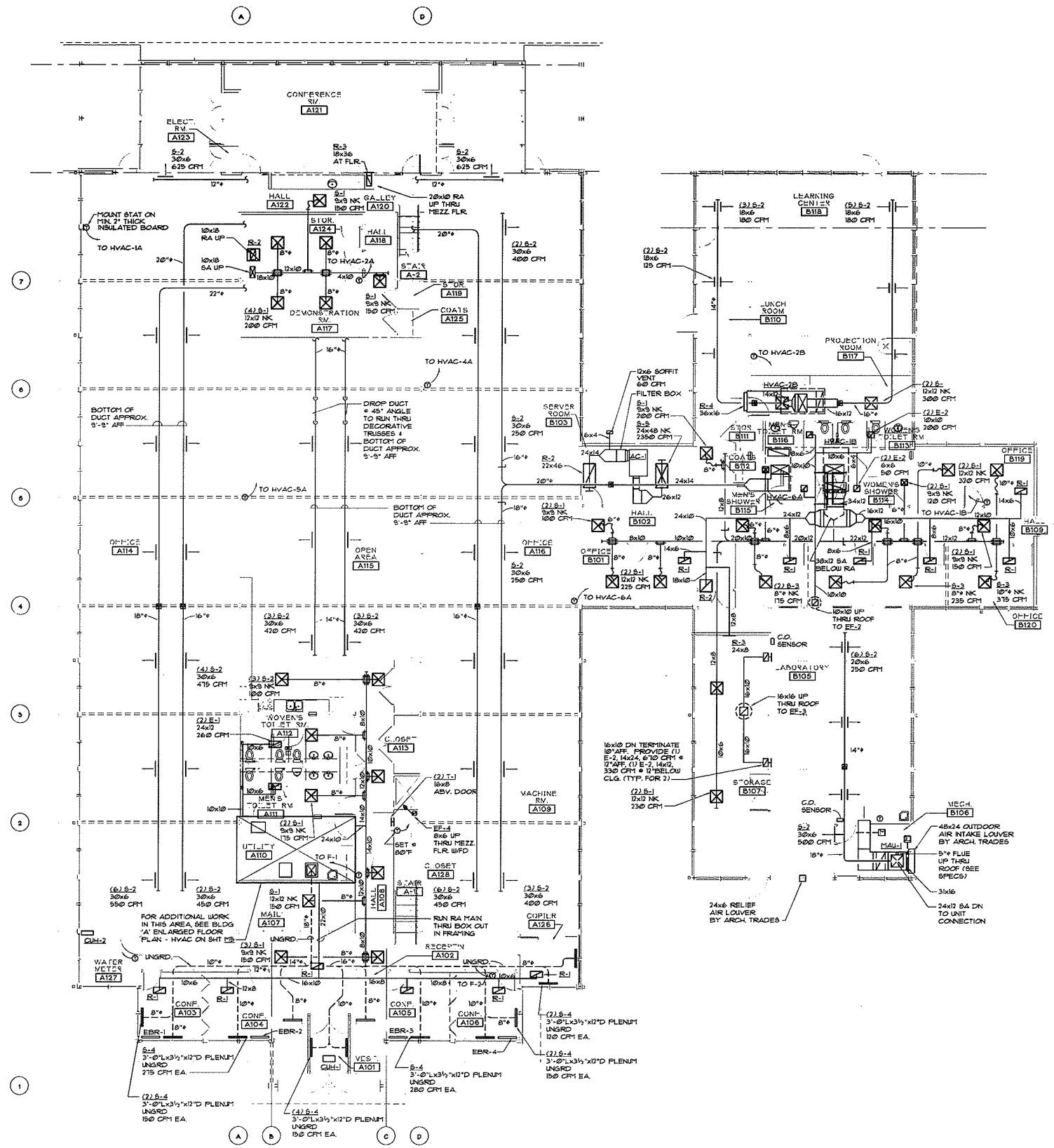
WEST MEZZANINE FLOOR PLAN - HVAC
SCALE: 1/8" = 1'-0"

NOTE:
BOTTOM OF DUCTS SHALL BE MINIMUM 1'-0" ABOVE MEZZ FLOOR.



EAST MEZZANINE FLOOR PLAN - HVAC
SCALE: 1/8" = 1'-0"

AIR CONDITIONER (AC-2 + AC21-B) SHALL BE SIMILAR TO SANYO MODEL 18F42U1 TO DELIVER 16.0 MSH COOLING CAP. + 11.6 MSH HEATING CAP. • 208V/1PH, 30A MAX. FUSE, 440 CFM.



FLOOR PLAN - HVAC
SCALE: 1/8" = 1'-0"

NOTE:
PROVIDE MIN. 3" OF COVER FOR UNSGRD. DUCTWORK AND FITCH BACK TO UNIT.

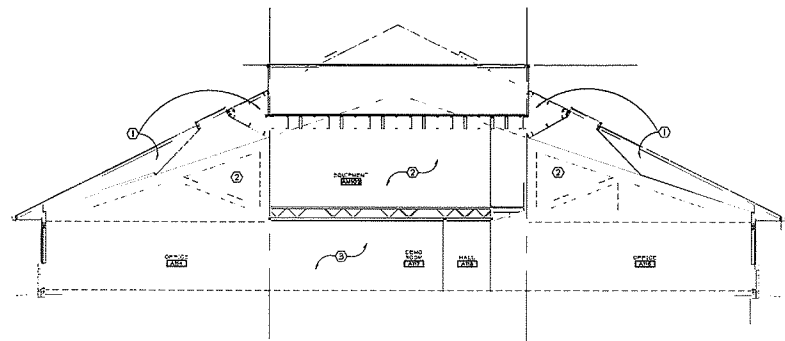
MANCINI, ALKATEEB & ASSOCIATES, INC.
500 WEST WASHINGTON STREET, SUITE 300
ANN ARBOR, MICHIGAN 48106
PHONE: 734.769.1000
FAX: 734.769.1001
WWW.MANCINI-ALKATEEB.COM

FLOOR PLAN - HVAC

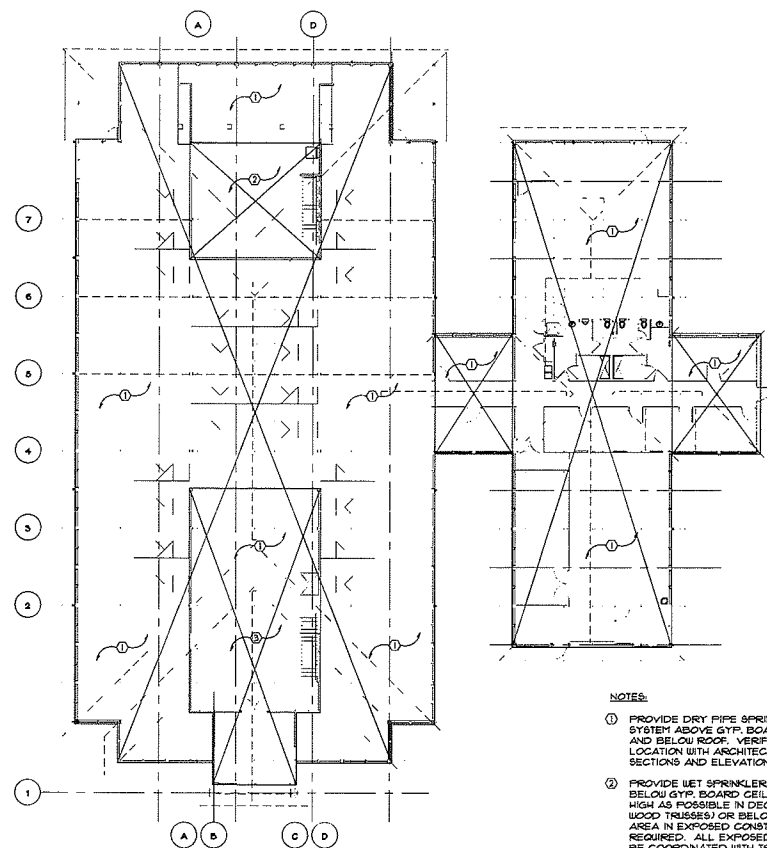
PROJECT NAME:
FORESTCOVE OFFICE PARK
PROJECT LOCATION:
ANN ARBOR MICHIGAN

PROJECT NO.
1603
SHEET NO.
M-3
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DATE OF PLOT: 3/17/99
CHANGE MADE ON: 8/1/99
SIEGAL/TUOMALA ASSOCIATES ARCHITECTS AND PLANNERS INC.
SUITE 261 • 31731 NORTHWESTERN HWY. • FARMINGTON HILLS, MI 48334 • 248/851-3325



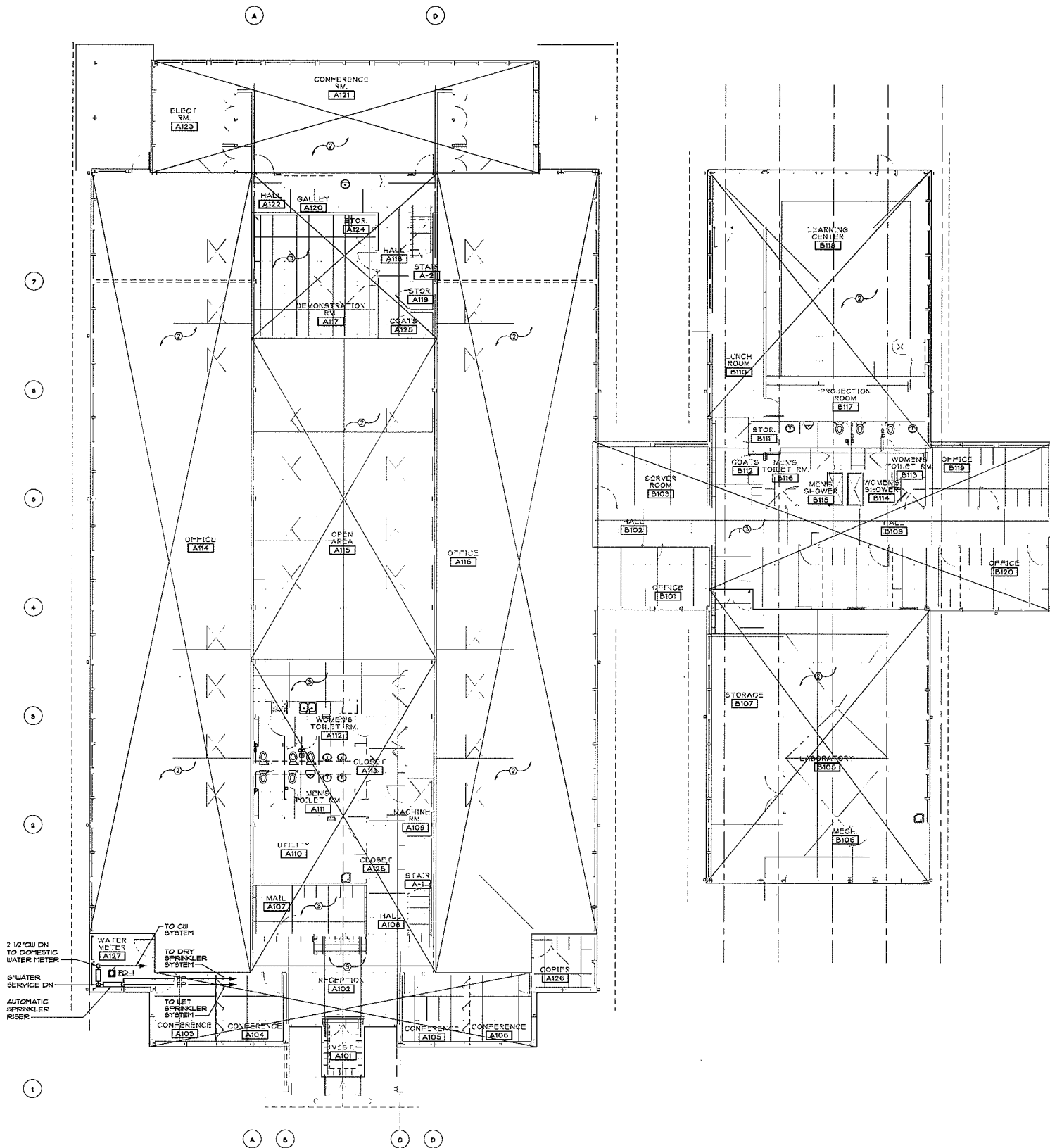
BUILDING SECTION
SCALE: 1/8" = 1'-0"



ROOF PLAN - FIRE PROTECTION
SCALE: 1/8" = 1'-0"

NOTES:

- 1 PROVIDE DRY PIPE SPRINKLER SYSTEM ABOVE GYP. BOARD CEILING AND BELOW ROOF. VERIFY EXACT LOCATION WITH ARCHITECTURAL SECTIONS AND ELEVATIONS.
- 2 PROVIDE WET SPRINKLER SYSTEM BELOW GYP. BOARD CEILING (AS HIGH AS POSSIBLE IN DECORATIVE WOOD TRUSSES) OR BELOW FLAT ROOF AREA IN EXPOSED CONSTRUCTION AS REQUIRED. ALL EXPOSED HEADS SHALL BE COORDINATED WITH TRUSSES AND LIGHTS AND SHALL CREATE A SYMMETRICAL PATTERN APPROVED BY ARCHITECT.
- 3 PROVIDE WET SPRINKLER SYSTEM FOR LAY-IN CEILING AREAS AND BELOW MEZZANINE AREAS AS REQUIRED. REFER TO ARCHITECTURAL REFLECTED CEILING PLAN.



FLOOR PLAN - FIRE PROTECTION
SCALE: 1/8" = 1'-0"

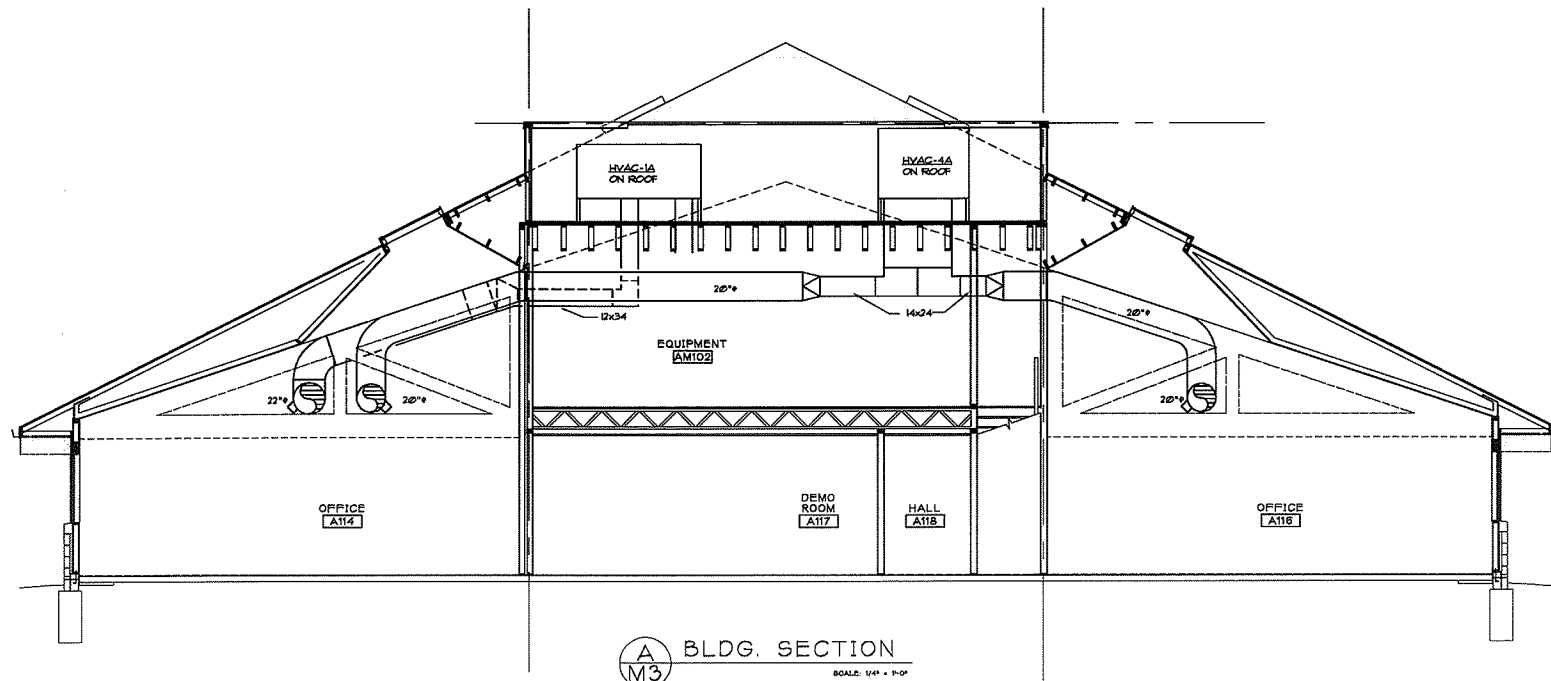
MANCINI, ALKATEER & ASSOCIATES, INC.
MECHANICAL, ELECTRICAL, PLUMBING, AND
BUILDING SYSTEMS CONSULTING ENGINEERS
3000 UNIVERSITY ROAD, SUITE 200
ANN ARBOR, MICHIGAN 48106
PHONE: 734.769.1600
FAX: 734.769.1601
E-MAIL: ADDRESS: mich@maai.com

FLOOR PLAN - FIRE PROTECTION
DATE: 01/13/09
DRAWN BY: JLB
CHECKED BY: JLB
DATE: 01/13/09
DESIGNED BY: JLB
DATE: 01/13/09
REVIEWED BY: JLB
DATE: 01/13/09
APPROVED BY: JLB
DATE: 01/13/09

PROJECT NAME:
FORESTCOVE
OFFICE PARK
PROJECT LOCATION:
ANN ARBOR
MICHIGAN

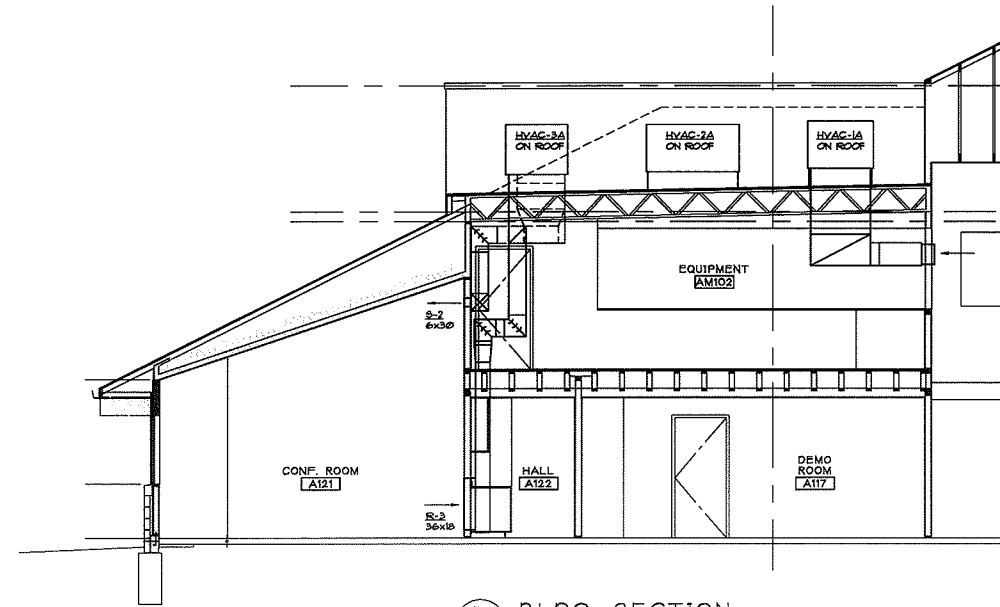
PROJECT NO.
1603
SHEET NO.
M-4
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MAA 48100214 . PLOT FOR: B05 . DATE OF PLOT: 01/13/09
CHANGE MADE ON: . BY: JLB
SIEGAL/TUOMAALA ASSOCIATES
ARCHITECTS AND PLANNERS INC
SUITE 201 • 31751 NORTHWESTERN HWY. • FARMINGTON HILLS, MI 48334 • 248/951-3322



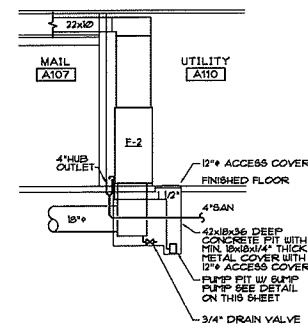
A BLDG. SECTION
SCALE: 1/4" = 1'-0"

NOTE:
1. BOTTOM OF DUCTS SHALL BE MINIMUM 1'-0" ABOVE MEZZ. FLOOR.

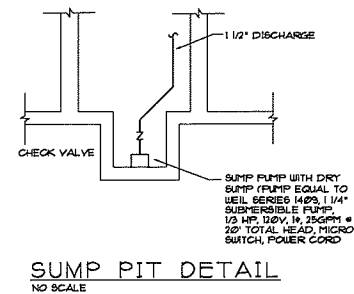


B BLDG. SECTION
SCALE: 1/4" = 1'-0"

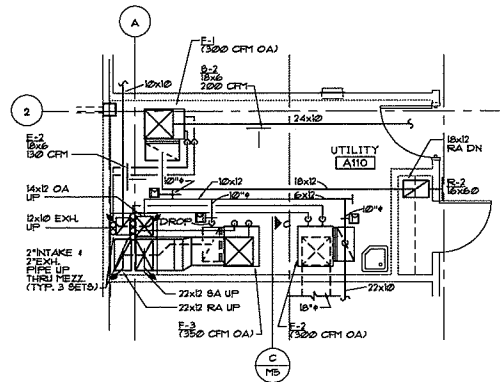
NOTE:
1. BOTTOM OF DUCTS SHALL BE MINIMUM 1'-0" ABOVE MEZZ. FLOOR.



C BLDG. SECTION
SCALE: 1/4" = 1'-0"

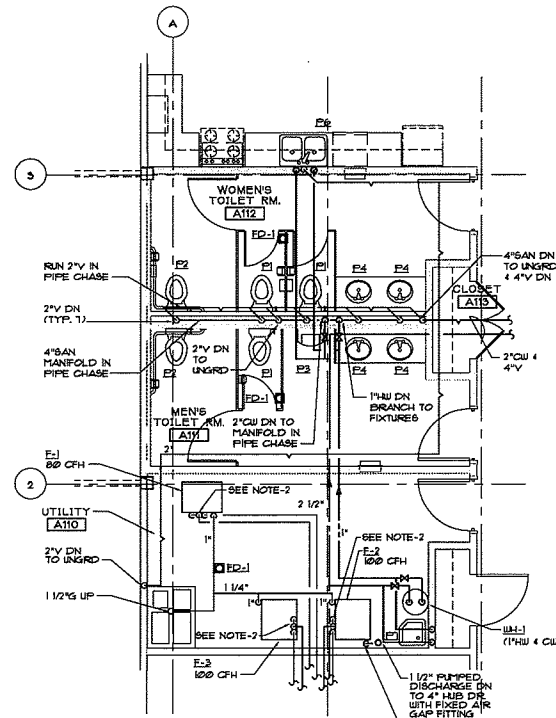


SUMP PIT DETAIL
NO SCALE



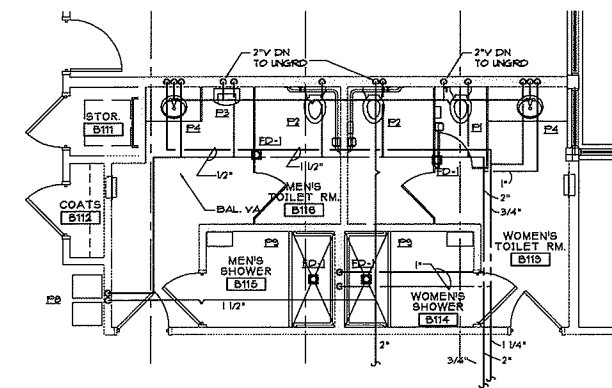
BUILDING "A" ENLARGED FLOOR PLAN - HVAC
SCALE: 1/4" = 1'-0"

NOTE:
1. FOR CONTINUATION OF DUCTWORK SEE FLOOR PLAN - HVAC ON SHEET M-3.



BUILDING "A" ENLARGED FLOOR PLAN - PLUMBING
SCALE: 1/4" = 1'-0"

NOTE:
1. FOR CONTINUATION OF PIPING SEE FLOOR PLAN - PLUMBING ON SHEET M-2.
2. REFRIGERANT PIPING WITH DOUBLE SUCTION RUBER DOWN TO EVAPORATOR COIL. SEE REFRIGERANT SCHEMATIC PIPING DIAGRAM ON SHEET M-6.



BUILDING "B" ENLARGED FLOOR PLAN - PLUMBING
SCALE: 1/4" = 1'-0"

NOTE:
1. FOR CONTINUATION OF PIPING SEE FLOOR PLAN - PLUMBING ON SHEET M-2.

MAA 4010015 , PLOT FOR: BIDS , DATE OF PLOT: 1/19
CHANGE MADE ON: , BY: FB
SIEGAL/TUOMAALA ASSOCIATES ARCHITECTS AND PLANNERS INC
SUITE 201 - 31731 NORTHWESTERN HWY. - FARMINGTON HILLS, MI 48334 - 248-531-3333

MANCINI, ALKATEEB & ASSOCIATES, INC.
3000 WOODLAND DRIVE, SUITE 200
ANN ARBOR, MICHIGAN 48106
PHONE: 734-769-1100
FAX: 734-769-1101
E-MAIL ADDRESS: MANCINI@AAI.COM
WWW.AAI.COM

ENLARGED FLOOR PLANS & SECTIONS

PROJECT NAME: FORESTCOVE OFFICE PARK
PROJECT LOCATION: ANN ARBOR MICHIGAN

PROJECT NO. 1603
SHEET NO. M-5
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**ATTACHMENT B
LEGAL STATUS OF OFFEROR**

(The Respondent shall fill out the provision and strike out the remaining ones.)

The Respondent is:

- A corporation organized and doing business under the laws of the state of _____, for whom _____ bearing the office title of _____, whose signature is affixed to this proposal, is authorized to execute contracts on behalf of respondent.*

*If not incorporated in Michigan, please attach the corporation's Certificate of Authority

- A limited liability company doing business under the laws of the State of _____, whom _____ bearing the title of _____ whose signature is affixed to this proposal, is authorized to execute contract on behalf of the LLC.
- A partnership organized under the laws of the State of _____ and filed with the County of _____, whose members are (attach list including street and mailing address for each.)
- An individual, whose signature with address, is affixed to this RFP.

Respondent has examined the basic requirements of this RFP and its scope of services, including all Addendum (if applicable) and hereby agrees to offer the services as specified in the RFP.

_____, Date: _____,
Signature

(Print) Name _____ Title _____

Firm: _____

Address: _____

Contact Phone _____ Fax _____

Email _____

ATTACHMENT C
CITY OF ANN ARBOR DECLARATION OF COMPLIANCE

Non-Discrimination Ordinance

The “non discrimination by city contractors” provision of the City of Ann Arbor Non-Discrimination Ordinance (Ann Arbor City Code Chapter 112, Section 9:158) requires all contractors proposing to do business with the City to treat employees in a manner which provides equal employment opportunity and does not discriminate against any of their employees, any City employee working with them, or any applicant for employment on the basis of actual or perceived age, arrest record, color, disability, educational association, familial status, family responsibilities, gender expression, gender identity, genetic information, height, HIV status, marital status, national origin, political beliefs, race, religion, sex, sexual orientation, source of income, veteran status, victim of domestic violence or stalking, or weight. It also requires that the contractors include a similar provision in all subcontracts that they execute for City work or programs.

In addition the City Non-Discrimination Ordinance requires that all contractors proposing to do business with the City of Ann Arbor must satisfy the contract compliance administrative policy adopted by the City Administrator. A copy of that policy may be obtained from the Purchasing Manager

The Contractor agrees:

- (a) To comply with the terms of the City of Ann Arbor’s Non-Discrimination Ordinance and contract compliance administrative policy.
- (b) To post the City of Ann Arbor’s Non-Discrimination Ordinance Notice in every work place or other location in which employees or other persons are contracted to provide services under a contract with the City.
- (c) To provide documentation within the specified time frame in connection with any workforce verification, compliance review or complaint investigation.
- (d) To permit access to employees and work sites to City representatives for the purposes of monitoring compliance, or investigating complaints of non-compliance.

The undersigned states that he/she has the requisite authority to act on behalf of his/her employer in these matters and has offered to provide the services in accordance with the terms of the Ann Arbor Non-Discrimination Ordinance. The undersigned certifies that he/she has read and is familiar with the terms of the Non-Discrimination Ordinance, obligates the Contractor to those terms and acknowledges that if his/her employer is found to be in violation of Ordinance it may be subject to civil penalties and termination of the awarded contract.

Company Name

Signature of Authorized Representative

Date

Print Name and Title

Address, City, State, Zip

Phone/Email address

Questions about the Notice or the City Administrative Policy, Please contact:
Procurement Office of the City of Ann Arbor
(734) 794-6500

**ATTACHMENT D
CITY OF ANN ARBOR
LIVING WAGE ORDINANCE DECLARATION OF COMPLIANCE**

The Ann Arbor Living Wage Ordinance (Section 1:811-1:821 of Chapter 23 of Title I of the Code) requires that an employer who is (a) a contractor providing services to or for the City for a value greater than \$10,000 for any twelve-month contract term, or (b) a recipient of federal, state, or local grant funding administered by the City for a value greater than \$10,000, or (c) a recipient of financial assistance awarded by the City for a value greater than \$10,000, shall pay its employees a prescribed minimum level of compensation (i.e., Living Wage) for the time those employees perform work on the contract or in connection with the grant or financial assistance. The Living Wage must be paid to these employees for the length of the contract/program.

Companies employing fewer than 5 persons and non-profits employing fewer than 10 persons are exempt from compliance with the Living Wage Ordinance. If this exemption applies to your company/non-profit agency please check here No. of employees ___

The Contractor or Grantee agrees:

- (a) To pay each of its employees whose wage level is not required to comply with federal, state or local prevailing wage law, for work covered or funded by a contract with or grant from the City, no less than the Living Wage. The current Living Wage is defined as \$15.90/hour for those employers that provide employee health care (as defined in the Ordinance at Section 1:815 Sec. 1 (a)), or no less than \$17.73/hour for those employers that do not provide health care. The Contractor or Grantor understands that the Living Wage is adjusted and established annually on April 30 in accordance with the Ordinance and covered employers shall be required to pay the adjusted amount thereafter to be in compliance with Section 1:815(3).

Check the applicable box below which applies to your workforce

Employees who are assigned to any covered City contract/grant will be paid at or above the applicable living wage without health benefits

Employees who are assigned to any covered City contract/grant will be paid at or above the applicable living wage with health benefits

- (b) To post a notice approved by the City regarding the applicability of the Living Wage Ordinance in every work place or other location in which employees or other persons contracting for employment are working.
- (c) To provide to the City payroll records or other documentation within ten (10) business days from the receipt of a request by the City.
- (d) To permit access to work sites to City representatives for the purposes of monitoring compliance, and investigating complaints or non-compliance.
- (e) To take no action that would reduce the compensation, wages, fringe benefits, or leave available to any employee covered by the Living Wage Ordinance or any person contracted for employment and covered by the Living Wage Ordinance in order to pay the living wage required by the Living Wage Ordinance.

The undersigned states that he/she has the requisite authority to act on behalf of his/her employer in these matters and has offered to provide the services or agrees to accept financial assistance in accordance with the terms of the Living Wage Ordinance. The undersigned certifies that he/she has read and is familiar with the terms of the Living Wage Ordinance, obligates the Employer/Grantee to those terms and acknowledges that if his/her employer is found to be in violation of Ordinance it may be subject to civil penalties and termination of the awarded contract or grant of financial assistance.

Company Name

Street Address

Signature of Authorized Representative

Date

City, State, Zip

Print Name and Title

Phone/Email address



ATTACHMENT E

VENDOR CONFLICT OF INTEREST DISCLOSURE FORM
--

All vendors interested in conducting business with the City of Ann Arbor must complete and return the Vendor Conflict of Interest Disclosure Form in order to be eligible to be awarded a contract. Please note that all vendors are subject to comply with the City of Ann Arbor's conflict of interest policies as stated within the certification section below.

If a vendor has a relationship with a City of Ann Arbor official or employee, an immediate family member of a City of Ann Arbor official or employee, the vendor shall disclose the information required below.

1. No City official or employee or City employee's immediate family member has an ownership interest in vendor's company or is deriving personal financial gain from this contract.
2. No retired or separated City official or employee who has been retired or separated from the City for less than one (1) year has an ownership interest in vendor's Company.
3. No City employee is contemporaneously employed or prospectively to be employed with the vendor.
4. Vendor hereby declares it has not and will not provide gifts or hospitality of any dollar value or any other gratuities to any City employee or elected official to obtain or maintain a contract.
5. Please note any exceptions below:

Conflict of Interest Disclosure*	
Name of City of Ann Arbor employees, elected officials or immediate family members with whom there may be a potential conflict of interest.	<input type="checkbox"/> Relationship to employee <hr/> <input type="checkbox"/> Interest in vendor's company <input type="checkbox"/> Other (please describe in box below)

*Disclosing a potential conflict of interest does not disqualify vendors. In the event vendors do not disclose potential conflicts of interest and they are detected by the City, vendor will be exempt from doing business with the City.

I certify that this Conflict of Interest Disclosure has been examined by me and that its contents are true and correct to my knowledge and belief and I have the authority to so certify on behalf of the Vendor by my signature below:		
Vendor Name	Vendor Phone Number	
Signature of Vendor Authorized Representative	Date	Printed Name of Vendor Authorized Representative

**ATTACHMENT F
CITY OF ANN ARBOR NON-DISCRIMINATION ORDINANCE**

Relevant provisions of Chapter 112, Nondiscrimination, of the Ann Arbor City Code are included below.
You can review the entire ordinance at www.a2gov.org/humanrights.

Intent: It is the intent of the city that no individual be denied equal protection of the laws; nor shall any individual be denied the enjoyment of his or her civil or political rights or be discriminated against because of actual or perceived age, arrest record, color, disability, educational association, familial status, family responsibilities, gender expression, gender identity, genetic information, height, HIV status, marital status, national origin, political beliefs, race, religion, sex, sexual orientation, source of income, veteran status, victim of domestic violence or stalking, or weight.

Discriminatory Employment Practices: No person shall discriminate in the hire, employment, compensation, work classifications, conditions or terms, promotion or demotion, or termination of employment of any individual. No person shall discriminate in limiting membership, conditions of membership or termination of membership in any labor union or apprenticeship program.

Discriminatory Effects: No person shall adopt, enforce or employ any policy or requirement which has the effect of creating unequal opportunities according to actual or perceived age, arrest record, color, disability, educational association, familial status, family responsibilities, gender expression, gender identity, genetic information, height, HIV status, marital status, national origin, political beliefs, race, religion, sex, sexual orientation, source of income, veteran status, victim of domestic violence or stalking, or weight for an individual to obtain housing, employment or public accommodation, except for a bona fide business necessity. Such a necessity does not arise due to a mere inconvenience or because of suspected objection to such a person by neighbors, customers or other persons.

Nondiscrimination by City Contractors: All contractors proposing to do business with the City of Ann Arbor shall satisfy the contract compliance administrative policy adopted by the City Administrator in accordance with the guidelines of this section. All city contractors shall ensure that applicants are employed and that employees are treated during employment in a manner which provides equal employment opportunity and tends to eliminate inequality based upon any classification protected by this chapter. All contractors shall agree not to discriminate against an employee or applicant for employment with respect to hire, tenure, terms, conditions, or privileges of employment, or a matter directly or indirectly related to employment, because of any applicable protected classification. All contractors shall be required to post a copy of Ann Arbor's Non-Discrimination Ordinance at all work locations where its employees provide services under a contract with the city.

Complaint Procedure: If any individual believes there has been a violation of this chapter, he/she may file a complaint with the City's Human Rights Commission. The complaint must be filed within 180 calendar days from the date of the individual's knowledge of the allegedly discriminatory action or 180 calendar days from the date when the individual should have known of the allegedly discriminatory action. A complaint that is not filed within this timeframe cannot be considered by the Human Rights Commission. To file a complaint, first complete the complaint form, which is available at www.a2gov.org/humanrights. Then submit it to the Human Rights Commission by e-mail (hrc@a2gov.org), by mail (Ann Arbor Human Rights Commission, PO Box 8647, Ann Arbor, MI 48107), or in person (City Clerk's Office). For further information, please call the commission at 734-794-6141 or e-mail the commission at hrc@a2gov.org.

Private Actions For Damages or Injunctive Relief: To the extent allowed by law, an individual who is the victim of discriminatory action in violation of this chapter may bring a civil action for appropriate injunctive relief or damages or both against the person(s) who acted in violation of this chapter.

**THIS IS AN OFFICIAL GOVERNMENT NOTICE AND
MUST BE DISPLAYED WHERE EMPLOYEES CAN READILY SEE IT.**

ATTACHMENT G

CITY OF ANN ARBOR LIVING WAGE ORDINANCE

RATE EFFECTIVE APRIL 30, 2023 - ENDING APRIL 29, 2024

\$15.90 per hour

If the employer provides health care benefits*

\$17.73 per hour

If the employer does **NOT** provide health care benefits*

Employers providing services to or for the City of Ann Arbor or recipients of grants or financial assistance from the City of Ann Arbor for a value of more than \$10,000 in a twelve-month period of time must pay those employees performing work on a City of Ann Arbor contract or grant, the above living wage.

ENFORCEMENT

The City of Ann Arbor may recover back wages either administratively or through court action for the employees that have been underpaid in violation of the law. Persons denied payment of the living wage have the right to bring a civil action for damages in addition to any action taken by the City.

Violation of this Ordinance is punishable by fines of not more than \$500/violation plus costs, with each day being considered a separate violation. Additionally, the City of Ann Arbor has the right to modify, terminate, cancel or suspend a contract in the event of a violation of the Ordinance.

* Health Care benefits include those paid for by the employer or making an employer contribution toward the purchase of health care. The employee contribution must not exceed \$.50 an hour for an average work week; and the employer cost or contribution must equal no less than \$1/hr for the average work week.

The Law Requires Employers to Display This Poster Where Employees Can Readily See It.

**For Additional Information or to File a Complaint contact
Colin Spencer at 734/794-6500 or cspencer@a2gov.org**

APPENDIX A - SAMPLE CONTRACT

PROFESSIONAL SERVICES AGREEMENT BETWEEN [TBD] AND THE CITY OF ANN ARBOR FOR [TBD]

This agreement ("Agreement") is between the City of Ann Arbor, a Michigan municipal corporation, 301 E. Huron St. Ann Arbor, Michigan 48104 ("City"), and [TBD], a(n) [TBD] _____, [TBD], [TBD], [TBD] [TBD] ("Contractor"). City and Contractor agree as follows:

1. DEFINITIONS

Administering Service Area/Unit means [TBD].

Contract Administrator means [TBD], acting personally or through any assistants authorized by the Administrator/Manager of the Administering Service Area/Unit.

Deliverables means all documents, plans, specifications, reports, recommendations, and other materials developed for and delivered to City by Contractor under this Agreement.

Effective Date means the date this Agreement is signed by the last party to sign it.

Project means [TBD].

Services means [TBD] as further described in Exhibit A.

2. DURATION

- A. The obligations of this Agreement shall apply beginning on the Effective Date and this Agreement shall remain in effect until satisfactory completion of the Services unless terminated as provided for in this Agreement.

3. SERVICES

- A. Contractor shall perform all Services in compliance with this Agreement. The City retains the right to make changes to the quantities of Services within the general scope of the Agreement at any time by a written order. If the changes add to or deduct from the extent of the Services, the compensation shall be adjusted accordingly. All such changes shall be executed under the conditions of the original Agreement.
- B. Quality of Services under this Agreement shall be of the level of quality performed by persons regularly rendering this type of service. Determination of acceptable quality shall be made solely by the Contract Administrator.
- C. Contractor shall perform Services in compliance with all applicable statutory, regulatory, and contractual requirements now or hereafter in effect. Contractor shall also comply with and be subject to City policies applicable to independent contractors.

- D. Contractor may rely upon the accuracy of reports and surveys provided by the City, except when a defect should have been apparent to a reasonably competent professional or when Contractor has actual notice of a defect.

4. INDEPENDENT CONTRACTOR

- A. The parties agree that at all times and for all purposes under the terms of this Agreement each party's relationship to any other party shall be that of an independent contractor. Each party is solely responsible for the acts of its own employees, agents, and servants. No liability, right, or benefit arising out of any employer-employee relationship, either express or implied, shall arise or accrue to any party as a result of this Agreement.
- B. Contractor does not have any authority to execute any contract or agreement on behalf of the City, and is not granted any authority to assume or create any obligation or liability on the City's behalf, or to bind the City in any way.

5. COMPENSATION OF CONTRACTOR

- A. The total amount of compensation paid to Contractor under this Agreement shall not exceed \$0.00, which shall be paid upon invoice by Contractor to the City for services rendered according to the schedule in Exhibit B. Compensation of Contractor includes all reimbursable expenses unless a schedule of reimbursable expenses is included in an attached Exhibit B. Expenses outside those identified in the attached schedule must be approved in advance by the Contract Administrator.
- B. Payment shall be made monthly following receipt of invoices submitted by Contractor and approved by the Contract Administrator, unless a different payment schedule is specified in Exhibit B.
- C. Contractor shall be compensated for additional work or Services beyond those specified in this Agreement only when the scope of and compensation for the additional work or Services have received prior written approval of the Contract Administrator.
- D. Contractor shall keep complete records of work performed (e.g. tasks performed, hours allocated, etc.) so that the City may verify invoices submitted by Contractor. Such records shall be made available to the City upon request and submitted in summary form with each invoice.

6. INSURANCE/INDEMNIFICATION

- A. Contractor shall procure and maintain from the Effective Date or Commencement Date of this Agreement (whichever is earlier) through the conclusion of this Agreement, such insurance policies, including those required by this Agreement, as will protect itself and the City from all claims for bodily injury, death, or property damage that may arise under this Agreement; whether the act(s) or omission(s) giving rise to the claim were made by Contractor, Contractor's subcontractor, or anyone employed by Contractor

or Contractor's subcontractor directly or indirectly. Prior to commencement of work under this Agreement, Contractor shall provide documentation to the City demonstrating Contractor has obtained the policies and endorsements required by this Agreement. Contractor shall provide such documentation in a form and manner satisfactory to the City. Currently, the City requires insurance to be submitted through its contractor, myCOI. Contractor shall add registration@mycoitracking.com to its safe sender's list so that it will receive necessary communication from myCOI. When requested, Contractor shall provide the same documentation for its subcontractors.

- B. All insurance providers of Contractor shall be authorized to do business in the State of Michigan and shall carry and maintain a minimum rating assigned by A.M. Best & Company's Key Rating Guide of "A-" Overall and a minimum Financial Size Category of "V". Insurance policies and certificates issued by non-authorized insurance companies are not acceptable unless approved in writing by the City.
- C. To the fullest extent permitted by law, Contractor shall indemnify, defend, and hold the City and its officers, employees, and agents harmless from all suits, claims, judgments, and expenses, including attorney's fees, resulting or alleged to result, from an act or omission by Contractor or Contractor's employees or agents occurring in the performance or breach of this Agreement, except to the extent that any suit, claim, judgment, or expense are finally judicially determined to have resulted from the City's negligence, willful misconduct, or failure to comply with a material obligation of this Agreement. The obligations of this paragraph shall survive the expiration or termination of this Agreement.
- D. Contractor is required to have the following minimum insurance coverage:
 - 1. Professional Liability Insurance or Errors and Omissions Insurance protecting Contractor and its employees - \$1,000,000.
 - 2. Commercial General Liability Insurance equivalent to, as a minimum, Insurance Services Office form CG 00 01 04 13 or current equivalent. The City of Ann Arbor shall be an additional insured. There shall be no added exclusions or limiting endorsements that diminish the City's protections as an additional insured under the policy.

\$1,000,000	Each occurrence as respect Bodily Injury Liability or Property Damage Liability, or both combined
\$2,000,000	Per project General Aggregate
\$1,000,000	Personal and Advertising Injury
 - 3. Worker's Compensation Insurance in accordance with all applicable state and federal statutes; also, Employers Liability Coverage for:

Bodily Injury by Accident - \$500,000 each accident
Bodily Injury by Disease - \$500,000 each employee
Bodily Injury by Disease - \$500,000 each policy limit
 - 4. Motor Vehicle Liability Insurance equivalent to, as a minimum, Insurance Services Office form CA 00 01 10 13 or current equivalent. Coverage shall include all owned vehicles, all non-owned vehicles and all hired vehicles. The

City of Ann Arbor shall be an additional insured. There shall be no added exclusions or limiting endorsements that diminish the City's protections as an additional insured under the policy. The limits of liability shall be \$1,000,000 for each occurrence as respects Bodily Injury Liability or Property Damage Liability, or both combined.

5. Umbrella/Excess Liability Insurance shall be provided to apply in excess of the Commercial General Liability, Employers Liability and the Motor Vehicle coverage enumerated above, for each occurrence and for aggregate in the amount of \$1,000,000.
- E. Commercial General Liability Insurance and Motor Vehicle Liability Insurance (if required by this Agreement) shall be considered primary as respects any other valid or collectible insurance that the City may possess, including any self-insured retentions the City may have; and any other insurance the City does possess shall be considered excess insurance only and shall not be required to contribute with this insurance. Contractor agrees to waive any right of recovery by its insurer against the City for any insurance listed herein.
- F. Insurance companies and policy forms are subject to approval of the City Attorney, which approval shall not be unreasonably withheld. Documentation must provide and demonstrate an unconditional and unqualified 30-day written notice of cancellation in favor of the City of Ann Arbor. Further, the documentation must explicitly state the following: (a) the policy number(s); name of insurance company; name(s), email address(es), and address(es) of the agent or authorized representative; name and address of insured; project name; policy expiration date; and specific coverage amounts; (b) any deductibles or self-insured retentions, which may be approved by the City in its sole discretion; (c) that the policy conforms to the requirements specified. Contractor shall furnish the City with satisfactory certificates of insurance and endorsements prior to commencement of any work. If any of the above coverages expire by their terms during the term of this Agreement, Contractor shall deliver proof of renewal and/or new policies and endorsements to the Administering Service Area/Unit at least ten days prior to the expiration date.

7. **WAGE AND NONDISCRIMINATION REQUIREMENTS**

- A. Nondiscrimination. Contractor shall comply, and require its subcontractors to comply, with the nondiscrimination provisions of MCL 37.2209. Contractor shall comply with the provisions of Section 9:158 of Chapter 112 of Ann Arbor City Code and assure that Contractor's applicants for employment and employees are treated in a manner which provides equal employment opportunity.
- B. Living Wage. If Contractor is a "covered employer" as defined in Chapter 23 of Ann Arbor City Code, Contractor must comply with the living wage provisions of Chapter 23 of Ann Arbor City Code, which requires Contractor to pay those employees providing Services to the City under this Agreement a "living wage," as defined in Section 1:815 of the Ann Arbor City Code, as adjusted in accordance with Section 1:815(3); to post a notice approved by the City of the applicability of Chapter 23 in every location in which regular or contract employees providing services under this Agreement are working; to maintain records of compliance; if requested by the City, to provide documentation to verify compliance; to take no action that would reduce the

compensation, wages, fringe benefits, or leave available to any employee or person contracted for employment in order to pay the living wage required by Section 1:815; and otherwise to comply with the requirements of Chapter 23.

8. REPRESENTATIONS AND WARRANTIES BY CONTRACTOR

- A. Contractor warrants that the quality of Services shall conform to the level of quality performed by persons regularly rendering this type of service.
- B. Contractor warrants that it has all the skills, experience, and professional and other licenses necessary to perform the Services.
- C. Contractor warrants that it has available, or will engage at its own expense, sufficient trained employees to provide the Services.
- D. Contractor warrants that it has no personal or financial interest in this Agreement other than the fee it is to receive under this Agreement. Contractor certifies that it will not acquire any such interest, direct or indirect, which would conflict in any manner with the performance of the Services. Contractor certifies that it does not and will not employ or engage any person with a personal or financial interest in this Agreement.
- E. Contractor warrants that it is not, and shall not become overdue or in default to the City for any contract, debt, or any other obligation to the City, including real and personal property taxes. Further Contractor agrees that the City shall have the right to set off any such debt against compensation awarded for Services under this Agreement.
- F. Contractor warrants that its bid or proposal for services under this Agreement was made in good faith, that it arrived at the costs of its proposal independently, without consultation, communication, or agreement for the purpose of restricting competition as to any matter relating to such costs with any competitor for these services; and no attempt has been made or will be made by Contractor to induce any other person or entity to submit or not to submit a bid or proposal for the purpose of restricting competition.
- G. The person signing this Agreement on behalf of Contractor represents and warrants that they have express authority to sign this Agreement for Contractor and agrees to hold the City harmless for any costs or consequences of the absence of actual authority to sign.
- H. The obligations, representations, and warranties of this section 8 shall survive the expiration or termination of this Agreement.

9. OBLIGATIONS OF THE CITY

- A. The City shall give Contractor access to City properties and project areas as required to perform the Services.
- B. The City shall notify Contractor of any defect in the Services of which the Contract Administrator has actual notice.

10. ASSIGNMENT

- A. Contractor shall not subcontract or assign any portion of any right or obligation under this Agreement without prior written consent from the City. Notwithstanding any consent by the City to any assignment, Contractor shall at all times remain bound to all warranties, certifications, indemnifications, promises, and performances required of Contractor under the Agreement unless specifically released from the requirement in writing by the City.
- B. Contractor shall retain the right to pledge payments due and payable under this Agreement to third parties.

11. TERMINATION OF AGREEMENT

- A. If either party is in breach of this Agreement for a period of 15 days following receipt of notice from the non-breaching party with respect to the breach, the non-breaching party may pursue any remedies available against the breaching party under applicable law, including the right to terminate this Agreement without further notice. The waiver of any breach by any party to this Agreement shall not waive any subsequent breach by any party.
- B. The City may terminate this Agreement, on at least 30 days' advance notice, for any reason, including convenience, without incurring any penalty, expense, or liability to Contractor, except the obligation to pay for Services actually performed under the Agreement before the termination date.
- C. Contractor acknowledges that if this Agreement extends for several fiscal years, continuation of this Agreement is subject to appropriation of funds through the City budget process. If funds are not appropriated or otherwise made available, the City shall have the right to terminate this Agreement without penalty at the end of the last period for which funds have been appropriated or otherwise made available by giving written notice of termination to Contractor. The Contract Administrator shall give Contractor written notice of such non-appropriation within 30 days after the Contract Administrator has received notice of such non-appropriation.
- D. The expiration or termination of this Agreement shall not release either party from any obligation or liability to the other party that has accrued at the time of expiration or termination, including a payment obligation that has already accrued and Contractor's obligation to deliver all Deliverables due as of the date of termination of the Agreement.

12. REMEDIES

- A. This Agreement does not, and is not intended to, impair, divest, delegate, or contravene any constitutional, statutory, or other legal right, privilege, power, obligation, duty, or immunity of the parties.
- B. All rights and remedies provided in this Agreement are cumulative and not exclusive, and the exercise by either party of any right or remedy does not preclude the exercise

of any other rights or remedies that may now or subsequently be available at law, in equity, by statute, in any other agreement between the parties, or otherwise.

- C. Absent a written waiver, no act, failure, or delay by a party to pursue or enforce any right or remedy under this Agreement shall constitute a waiver of that right with regard to any existing or subsequent breach of this Agreement. No waiver of any term, condition, or provision of this Agreement, whether by conduct or otherwise, shall be deemed or construed as a continuing waiver of any term, condition, or provision of this Agreement. No waiver by either party shall subsequently affect the waiving party's right to require strict performance of this Agreement.

13. NOTICE

All notices and submissions required under this Agreement shall be delivered to the respective party in the manner described herein to the address stated below or such other address as either party may designate by prior written notice to the other. Notices given under this Agreement shall be in writing and shall be personally delivered, sent by next day express delivery service, certified mail, or first class U.S. mail postage prepaid, and addressed to the person listed below. Notice will be deemed given on the date when one of the following first occur: (1) the date of actual receipt; (2) the next business day when notice is sent next day express delivery service or personal delivery; or (3) three days after mailing first class or certified U.S. mail.

If Notice is sent to Contractor:

[TBD]
ATTN: [TBD]
[TBD]
[TBD], [TBD] [TBD]

If Notice is sent to the City:

City of Ann Arbor
ATTN: [TBD]
301 E. Huron St.
Ann Arbor, Michigan 48104

With a copy to: The City of Ann Arbor
ATTN: Office of the City Attorney
301 East Huron Street, 3rd Floor
Ann Arbor, Michigan 48104

14. CHOICE OF LAW AND FORUM

This Agreement will be governed and controlled in all respects by the laws of the State of Michigan, including interpretation, enforceability, validity and construction, excepting the principles of conflicts of law. The parties submit to the jurisdiction and venue of the Circuit Court for Washtenaw County, State of Michigan, or, if original jurisdiction can be established, the United States District Court for the Eastern District of Michigan, Southern Division, with respect to any action arising, directly or indirectly, out of this Agreement or the performance or breach of this Agreement. The parties stipulate that the venues referenced in this Agreement are convenient

and waive any claim of non-convenience.

15. OWNERSHIP OF DOCUMENTS

Upon completion or termination of this Agreement, all Deliverables prepared by or obtained by Contractor as provided under the terms of this Agreement shall be delivered to and become the property of the City. Original basic survey notes, sketches, charts, drawings, partially completed drawings, computations, quantities, and other data shall remain in the possession of Contractor as instruments of service unless specifically incorporated in a Deliverable, but shall be made available, upon request, to the City without restriction or limitation on their use. The City acknowledges that the documents are prepared only for the Services. Prior to completion of the Services the City shall have a recognized proprietary interest in the work product of Contractor.

16. CONFLICTS OF INTEREST OR REPRESENTATION

Contractor certifies it has no financial interest in the Services to be provided under this Agreement other than the compensation specified herein. Contractor further certifies that it presently has no personal or financial interest, and shall not acquire any such interest, direct or indirect, which would conflict in any manner with its performance of the Services under this Agreement.

Contractor agrees to advise the City if Contractor has been or is retained to handle any matter in which its representation is adverse to the City and to obtain the City's consent therefor. The City's prospective consent to Contractor's representation of a client in matters adverse to the City, as identified above, will not apply in any instance where, as the result of Contractor's representation, Contractor has obtained sensitive, proprietary, or otherwise confidential information of a non-public nature that, if known to another client of Contractor, could be used in any such other matter by the other client to the material disadvantage of the City. Each matter will be reviewed on a case by case basis.

17. SEVERABILITY OF PROVISIONS

Whenever possible, each provision of this Agreement will be interpreted in a manner as to be effective and valid under applicable law. However, if any provision of this Agreement or the application of any provision to any party or circumstance is prohibited by or invalid under applicable law, that provision will be ineffective to the extent of the prohibition or invalidity without invalidating the remainder of the provisions of this Agreement or the application of the provision to other parties and circumstances.

18. EXTENT OF AGREEMENT

This Agreement, together with all Exhibits constitutes the entire understanding between the City and Contractor with respect to the subject matter of the Agreement and it supersedes, unless otherwise incorporated by reference herein, all prior representations, negotiations, agreements, or understandings, whether written or oral. Neither party has relied on any prior representations in entering into this Agreement. No terms or conditions of either party's invoice, purchase order, or other administrative document shall modify the terms and conditions of this Agreement, regardless of the other party's failure to object to such terms or conditions. This Agreement shall be binding on and shall inure to the benefit of the parties to this Agreement and their permitted

successors and permitted assigns and nothing in this Agreement, express or implied, is intended to or shall confer on any other person or entity any legal or equitable right, benefit, or remedy of any nature whatsoever under or by reason of this Agreement. This Agreement may only be altered, amended, or modified by written amendment signed by Contractor and the City. This Agreement may be executed in counterparts, each of which shall be deemed an original, but all of which together shall be deemed to be one and the same agreement.

19. ELECTRONIC TRANSACTION

The parties agree that signatures on this Agreement may be delivered electronically or by facsimile in lieu of an physical signature and agree to treat electronic or facsimile signatures as binding.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK; SIGNATURE PAGES FOLLOW]

SAMPLE

[TBD]

CITY OF ANN ARBOR

By: _____

By: _____

Name: _____

Name: Milton Dohoney Jr.

Title: _____

Title: City Administrator

Date: _____

Date: _____

Approved as to substance:

By: _____

Name: _____

Title: _____

Date: _____

Approved as to form:

By: _____

Name: Atleen Kaur

Title: City Attorney

Date: _____



EXHIBIT A
Scope of Services

EXHIBIT B
Compensation