

ANN ARBOR HISTORIC DISTRICT COMMISSION

Staff Report

ADDRESS: 207 W. Jefferson Street, Application HDC10-142

DISTRICT: Old West Side Historic District

REPORT DATE: November 10, 2010

REPORT PREPARED BY: Jill Thacher, Historic Preservation Coordinator

REVIEW COMMITTEE DATE: Monday, November 8, 2010

OWNER

Name: Tim Bell
Address: 4922 Gullane Drive
 Ann Arbor, MI 48103
Phone: (734) 769-2847

APPLICANT

Same

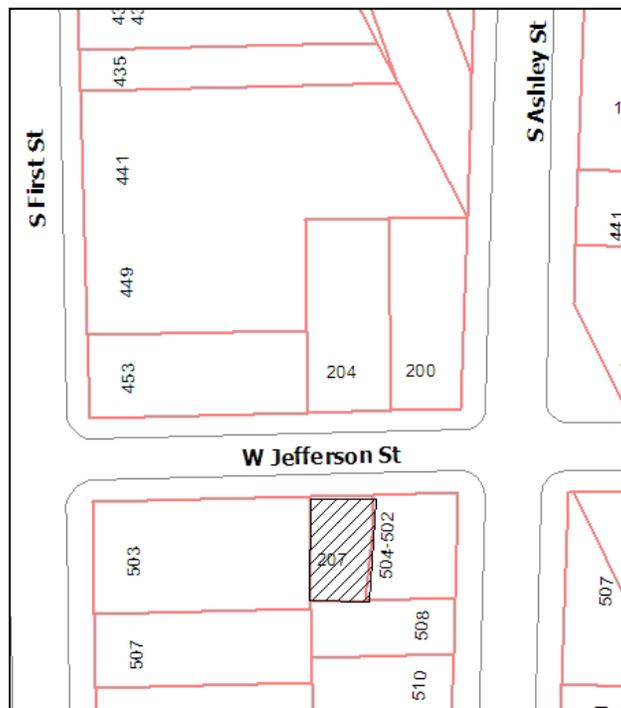
BACKGROUND: This simple 1 ¾ story house was probably built between 1904 and 1910, when Floyd A. and Klara A. Sweet occupied the house. Floyd was a driver for U.S. Express Co. The couple lived there until 1919, when John and Katherine Behr are listed in the Polk Directory as the occupants. John was a laborer and later a clerk, enameller, elevator operator, and engineer. Katherine is listed as the occupant through 1955.

In 2007, an egress window on the east elevation of the house was installed without obtaining a Certificate of Appropriateness or a building permit. An after-the-fact HDC application (07-94) was denied in September of 2007 because the window was an inappropriate size and style. The determination was appealed to the State Historic Preservation Review Board, which upheld the decision in May 2008. The installation of the same window elsewhere on the house is part of this new application.

At the January, 2009 HDC meeting, a new application (HDC08-068) was approved to replace the installed basement window with a more appropriate taller-than-wide egress window, and to replace another basement window on the east elevation with a matching egress window. That work has not yet been done.

LOCATION: The site is located on the south side of West Jefferson Street between South Ashley Street and South First Street.

APPLICATION: The applicant seeks HDC approval to move the basement egress window currently located near the front of the east



elevation to a new opening on the rear elevation; install an eight foot wide concrete driveway; install a 14 foot by 16 foot decorative concrete patio in the backyard; and install an eight foot by ten foot wood storage shed in the backyard.

APPLICABLE REGULATIONS

From the Secretary of the Interior's Standards for Rehabilitation:

- (2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- (5) Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):

Windows

Recommended: Designing and installing additional windows on rear or other non-character-defining elevations if required by the new use. New window openings may also be cut into exposed party walls. Such design should be compatible with the overall design of the building, but not duplicate the fenestration pattern and detailing of a character-defining elevation.

Not Recommended: Changing the number, location, size or glazing pattern of windows, through cutting new openings, blocking-in windows, and installing replacement sash which does not fit the historic window opening.

Introducing a new design that is incompatible with the historic character of the building.

Building Site

Recommended: Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character.

Not Recommended: Removing or radically changing buildings and their features or site features which are important in defining the overall historic character of the property so that, as a result, the character is diminished.

STAFF FINDINGS:

1. At their September, 2007 meeting, the HDC determined that the size of the existing egress window is out of proportion with the other windows and features of the house, and that the work negatively impacts the east character-defining elevation of the house. Staff

feels that relocating this window to the rear elevation would be similarly inappropriate. Despite the rear elevation having a lesser visual impact on the structure as a whole, the window is still disproportionate to other windows on the house. In addition, the existing window cuts into the baseboard, which is incompatible with the building, and no indication has been given that the same would not be true if the window were relocated to the rear elevation. The window also does not match the two taller-than-wide egress windows approved for the east elevation, and the necessity of a third basement egress window has not been demonstrated.

2. The eight foot wide concrete driveway fills the east side yard from the property line to the house, per the application drawing. In the January 2009 staff report it is noted that the two egress windows approved along the driveway appear to extend 3" to 5" below grade. If the driveway paving is approved, staff will continue to work with the applicant and the Building Official to insure that any well or clear area required for the egress windows meets building, zoning and HDC standards. If any additional curbs, bollards, or similar are required by the Building Official to delineate the window well or driveway, a new application will need to be submitted to the HDC.
3. The storage shed would need to move three feet away from the west property line to meet zoning setback requirements. The size, materials, and design of the shed are simple and appropriate, as is its placement in the rear corner of the lot. The materials and size of the patio are appropriate.
4. A timeline for completion of the new work and previously approved work was submitted by the applicant per staff's request. Since the existing east elevation egress window was installed without permits, it needs to be replaced with an appropriate window before any other work approved by the HDC is undertaken. The applicant has stated via email that his contractor will pull permits for the replacement egress window prior to November 10, 2010, and that work will then commence. This timetable is satisfactory to staff. The suggested motion includes a condition that the window work be completed prior to any new work approved as part of this application.

POSSIBLE MOTIONS: (Note that the motions support staff findings and are only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the portion of the application at 207 West Jefferson, a contributing property in the Old West Side Historic District, to install a shed, patio, and concrete driveway, on the condition that permits are not issued for the new work before the basement egress window on the east elevation is replaced per application HDC08-068. As conditioned, this proposed work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the house and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 2,5, and 9.

I move that the Commission deny the portion of the application to install an egress window on the rear elevation of the house. This proposed work is not compatible in exterior design, material, and relationship to the rest of the house and does not meet *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 2 and 9.

MOTION WORKSHEET:

I move that the Commission

____ Issue a Certificate of Appropriateness

____ Deny the Application

For the work at 207 West Jefferson in the Old West Side Historic District

____ As proposed.

____ Provided the following condition(S) is (ARE) met: 1) CONDITION(s)

The work

____ Is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

____ Is not generally compatible with the size, scale, massing and materials, and DOES NOT MEET the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) 1, 2, 3, 4, 5, 6, 7, 8, 9, 10 for the following reason(S): 1) REASON(s)

ATTACHMENTS: application, photos, drawings.

207 West Jefferson (April 2008 photo)





City of Ann Arbor
PLANNING & DEVELOPMENT SERVICES — PLANNING DIVISION
 100 North Fifth Avenue | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647
 p. 734.794.6265 | f. 734.994.8312 | planning@a2gov.org

ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION

Section 1: Property Being Reviewed and Ownership Information
Address of Property: <u>207 W. Jefferson</u>
Historic District: <u>Old West Side</u>
Name of Property Owner (If different than the applicant): _____
Address of Property Owner: <u>4922 Gullane Drive, Ann Arbor, MI 48103</u>
Daytime Phone and E-mail of Property Owner: <u>734-604-4201 tim.d.bell@comcast.net</u>
Signature of Property Owner: <u>T Bell</u> Date: <u>10-18-10</u>
Section 2: Applicant Information
Name of Applicant: <u>Timothy Bell</u>
Address of Applicant: <u>4922 Gullane Drive, Ann Arbor, MI 48103</u>
Daytime Phone: <u>(734) 604-4201</u> Fax: <u>()</u>
E-mail: <u>tim.d.bell@comcast.net</u>
Applicant's Relationship to Property: <input checked="" type="checkbox"/> owner <input type="checkbox"/> architect <input type="checkbox"/> contractor <input type="checkbox"/> other
Signature of applicant: <u>T Bell</u> Date: _____
Section 3: Building Use (check all that apply)
<input type="checkbox"/> Residential <input type="checkbox"/> Single Family <input type="checkbox"/> Multiple Family <input checked="" type="checkbox"/> Rental <input type="checkbox"/> Commercial <input type="checkbox"/> Institutional
Section 4: Stille-DeRossett-Hale Single State Construction Code Act (This item MUST BE INITIALED for your application to be PROCESSED)
Public Act 169, Michigan's Local Historic Districts Act, was amended April 2004 to include the following language: "...the applicant has certified in the application that the property where the work will be undertaken has, or will have before the proposed completion date, a a fire alarm or smoke alarm complying with the requirements of the Stille-DeRossett-Hale Single State Construction Code Act, 1972 PA 230, MCL 125.1501 to 125.1531."
Please initial here: <u>T.B.</u>

Section 5: Description of Proposed Changes (attach additional sheets as necessary)

1. Provide a brief summary of proposed changes. Install a slider ingress/egress window in the basement wall of the south (rear) elevation. Currently there is not a basement window in this elevation. Install an 8FT wide concrete driveway in place of the current dirt driveway. Install a decorative concrete patio in the back yard. Install an 8x10' storage shed in the backyard.

2. Provide a description of existing conditions. The existing basement wall structure is not original. It is concrete block which a neighbor said was constructed in the 70s. There is a small closed-in sided back porch on the rear elevation that also is not original to the house. The current drive is primarily dirt and mud. The patio and shed locations in the back yard are currently grass except there is a large plastic "shelter" for storing garbage pails that isn't used.

3. What are the reasons for the proposed changes? Window: To provide additional light and egress to the unfinished portion of the basement which I would like to change to finished living space. Patio: provide a usable space to enjoy the outdoors. Storage Shed: use for lawn mower, bikes, yard tools, etc. Currently there isn't any outside storage

4. Attach any additional information that will further explain or clarify the proposal, and indicate these attachments here. The proposed storage shed is to have a pitched shingled roof and siding similar to what is on the house, painted the same colors as the house

5. Attach photographs of the existing property, including at least one general photo and detailed photos of proposed work area. CD provided

STAFF USE ONLY

Date Submitted: _____ Application to _____ Staff or _____ HDC
Project No.: HDC 10-142 Fee Paid: 100.00
Pre-filing Staff Reviewer & Date: _____ Date of Public Hearing: _____
Application Filing Date: _____ Action: _____ HDC COA _____ HDC Denial
Staff signature: _____ _____ HDC NTP _____ Staff COA

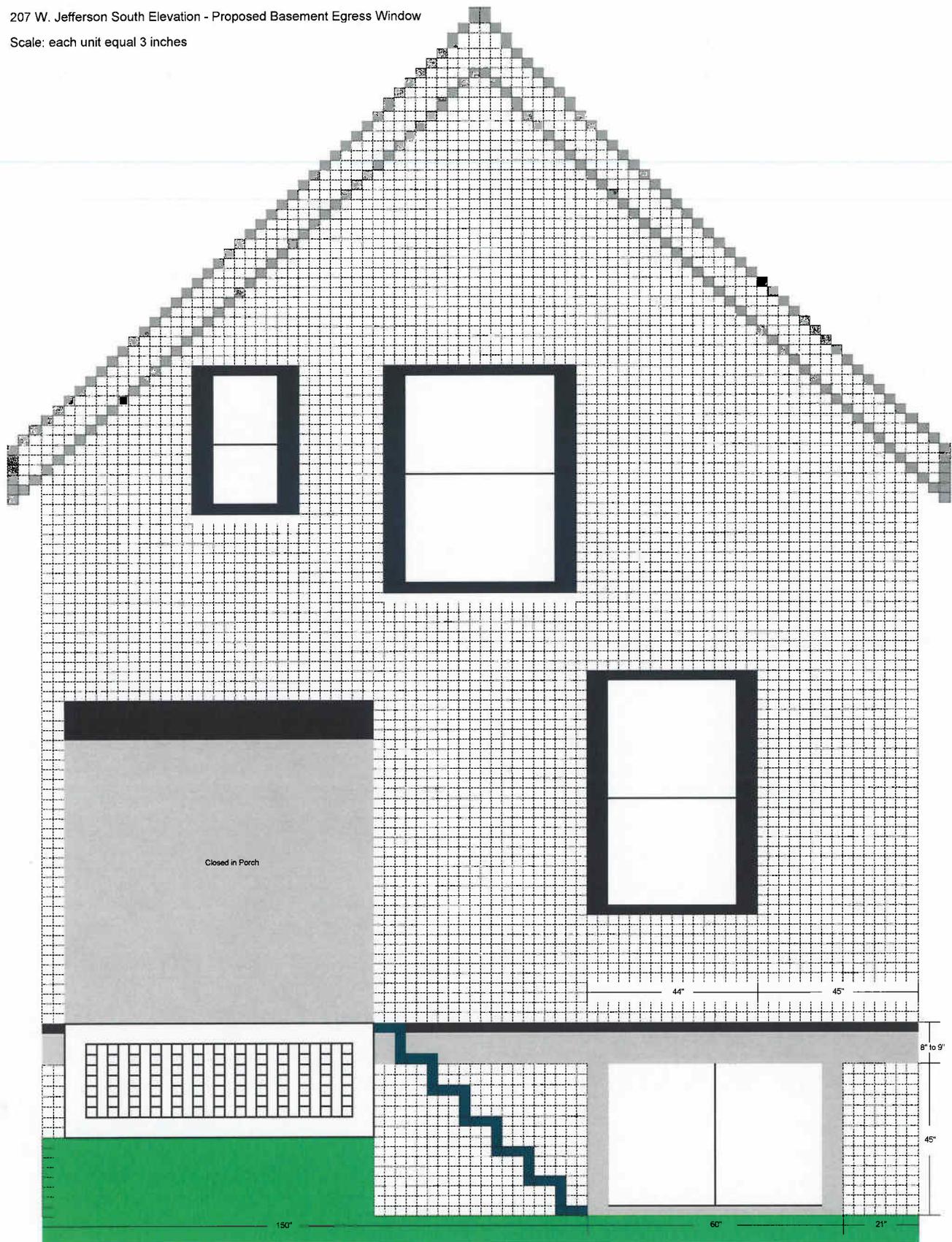
Comments:

NEW WINDOW



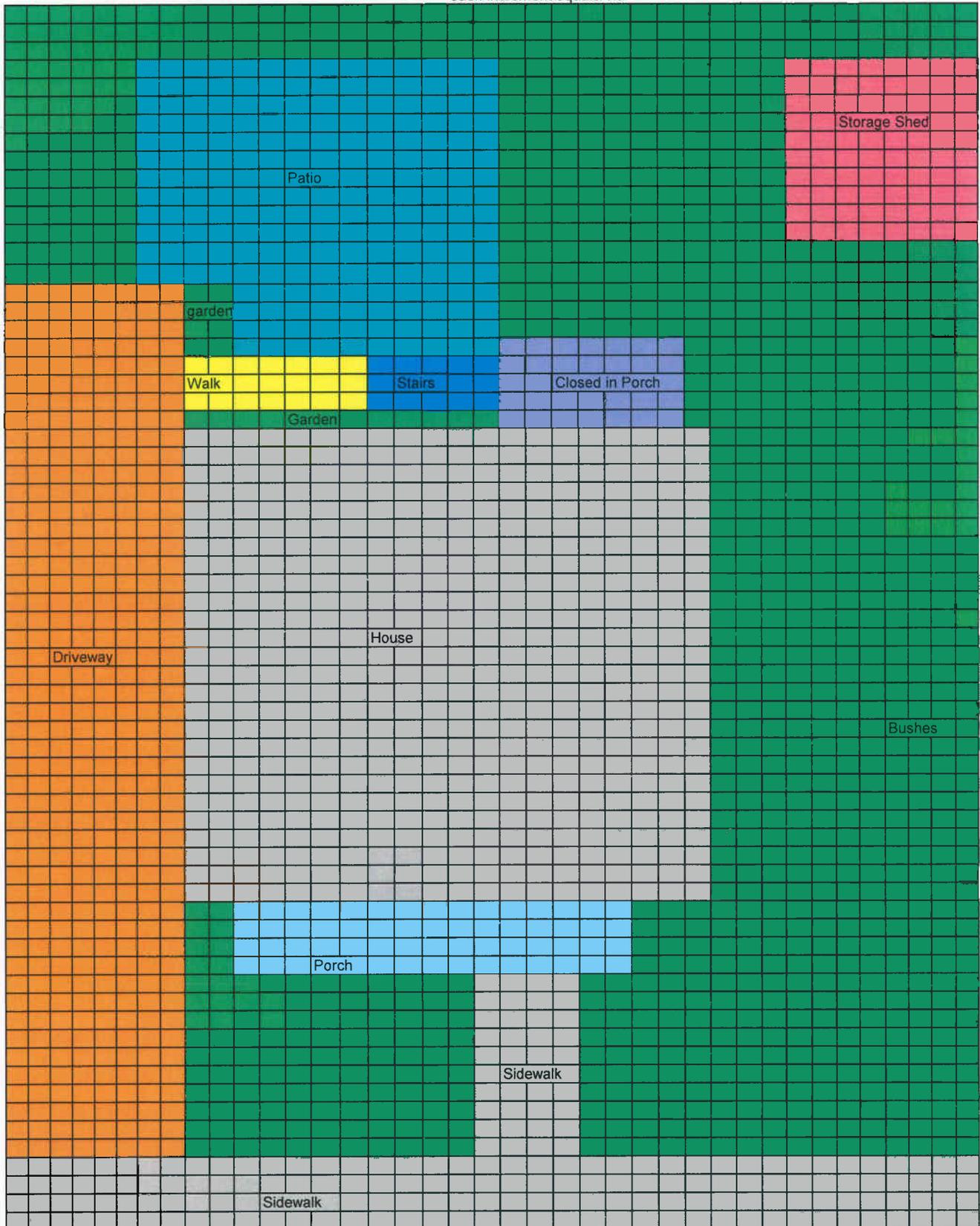
207 W. Jefferson South Elevation - Proposed Basement Egress Window

Scale: each unit equal 3 inches



207 W. Jefferson Driveway, Patio & Storage Shed Proposal

each increment equals 1ft.



Solid Ground Concrete Inc. of WNY / pat0022
716-695-5044
Sample Patterns



[1](#) | [2](#) | [3](#) | [4](#) | [5](#) | [6](#) | [7](#) | [8](#) | [9](#) | [10](#) | [11](#) | [12](#) | [13](#) | [14](#) | [15](#) | [16](#) | [17](#) | [18](#) | [19](#) | [20](#) | [21](#) | [22](#) | [23](#) | [24](#) | [25](#) | [26](#) | [27](#) | [28](#) | [29](#) | [30](#) | [31](#) | [32](#)



Random Stone

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The Shed will be of wood construction with trim similar to this picture and painted the same color scheme as the house. It will not have any windows and the gable will be over the doors. The doors will be facing East.

Shed Size:

W: 8ft.

L: 10ft

H: 11ft.

Front Elevation



Basement wall where egress window will be



Rear Elevation Showing areas for Egress window and patio



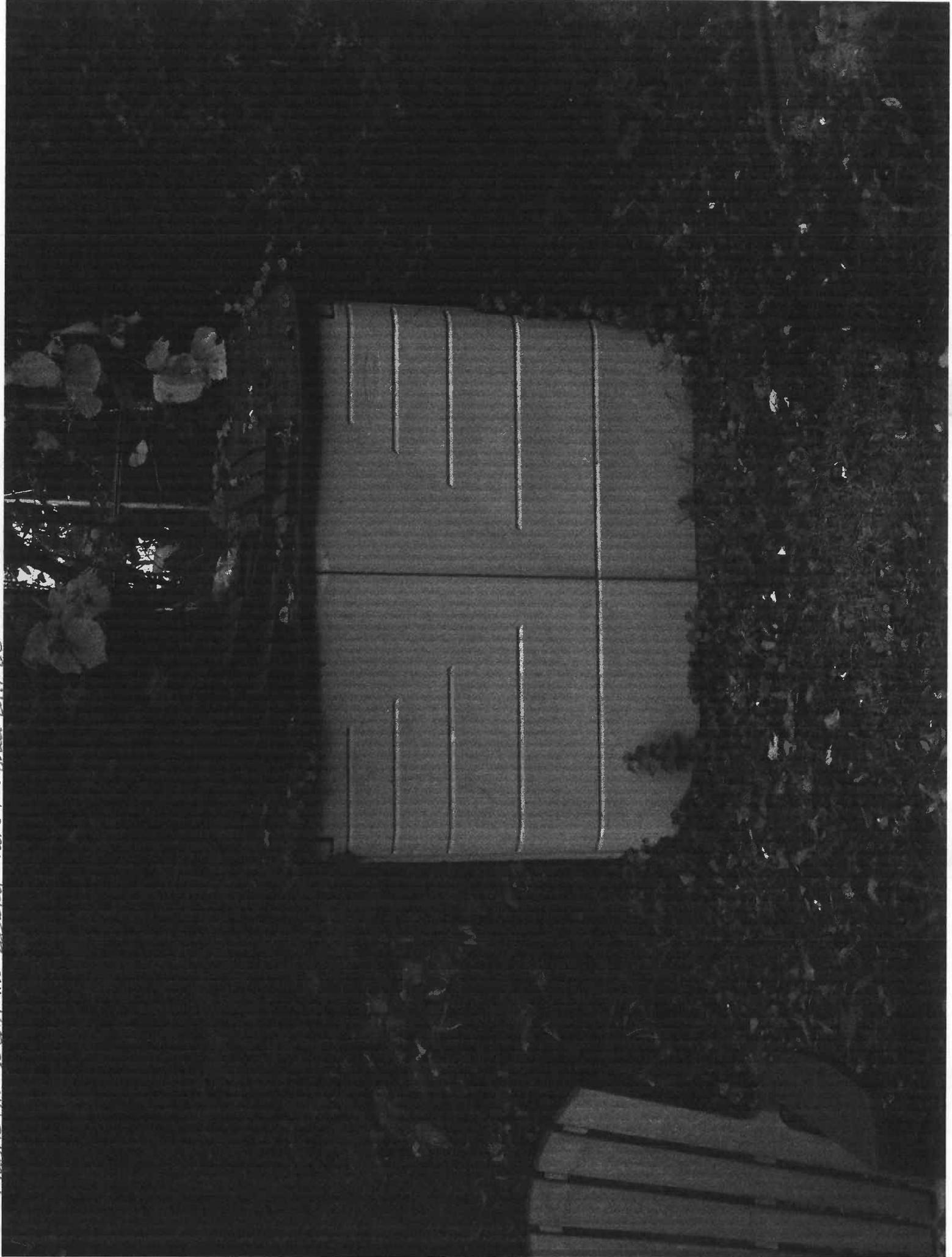
Rear Elevation
Egress window &
Patio areas



Back yard showing patio and prime area



PLANTS ABOVE CONTAIN. REPORTED WHERE THE SHEET WILL BE



driveway area next to house





11000 Series - In-Swing Egress Window

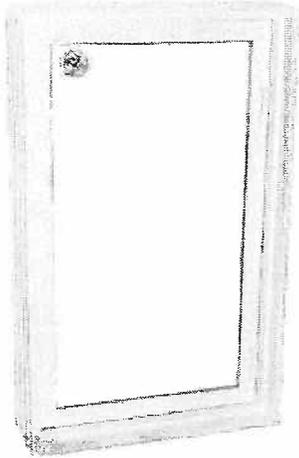
Press Release - May 11, 2001

Product Line

Select another product

Basement Window Style

Choose window style



In-Swing Egress windows open inwards

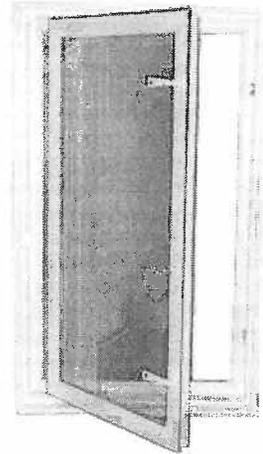
Full or Nominal wall widths

All vinyl construction - No maintenance

Low-E 3/4" insulated glass unit

*Meets Uniform Building Code for Egress and
Escape windows*

Available in two standard sizes



Custom sizes available for replacement windows

Full screen removable from inside

ISE-2745 (In-Swing Egress)	
Frame Dimension (Outside)	27" wide x 45" high
Net Clear Opening A**:	20 1/8" wide x 40 7/8" high (5.71 sq. ft.)
Net Clear Glass Area:	20 3/8" wide x 38 3/8" high (5.43 sq. ft.)

WINDOW ELEMENT measurements

#2 GLASS SIZE

existing width

28"

proposed width

20³/₈"

existing height

13"

proposed height

38³/₈"

#5 MUNTINS

existing distance

NA

proposed

NA

#9 CASING

exist. width

2¹/₄"

proposed width

2¹/₄"

exist. depth

1/2"

proposed depth

1/2"

#7 SASH FACE

existing distance

1"

proposed

1³/₄"

#6 PROFILES

existing

1"

proposed

1³/₄"

#3 INSET

existing

1/8"

proposed

1/2"

#8 PITCH

existing

NA

proposed

NA

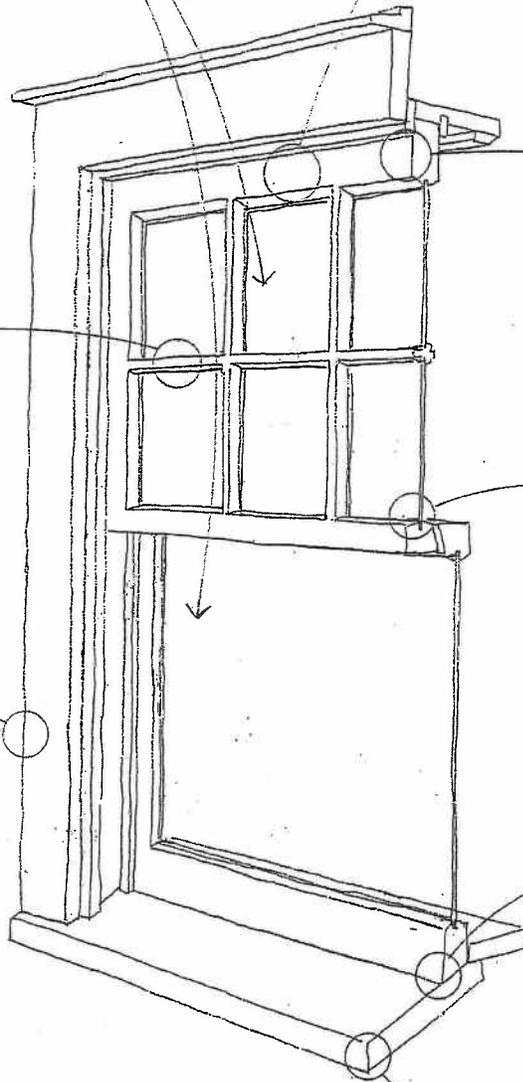
THICKNESS

existing

N.A.

proposed

3/4"



PREPARED BY: Tim Bell DATE: 11-20-08

SIGNATURE: *Tim Bell*

207 W. Jefferson
East elevation

Scale  each unit equal 3 inches 207 W. Jefferson East Facing Elevation - Proposed Basement Window Replacement

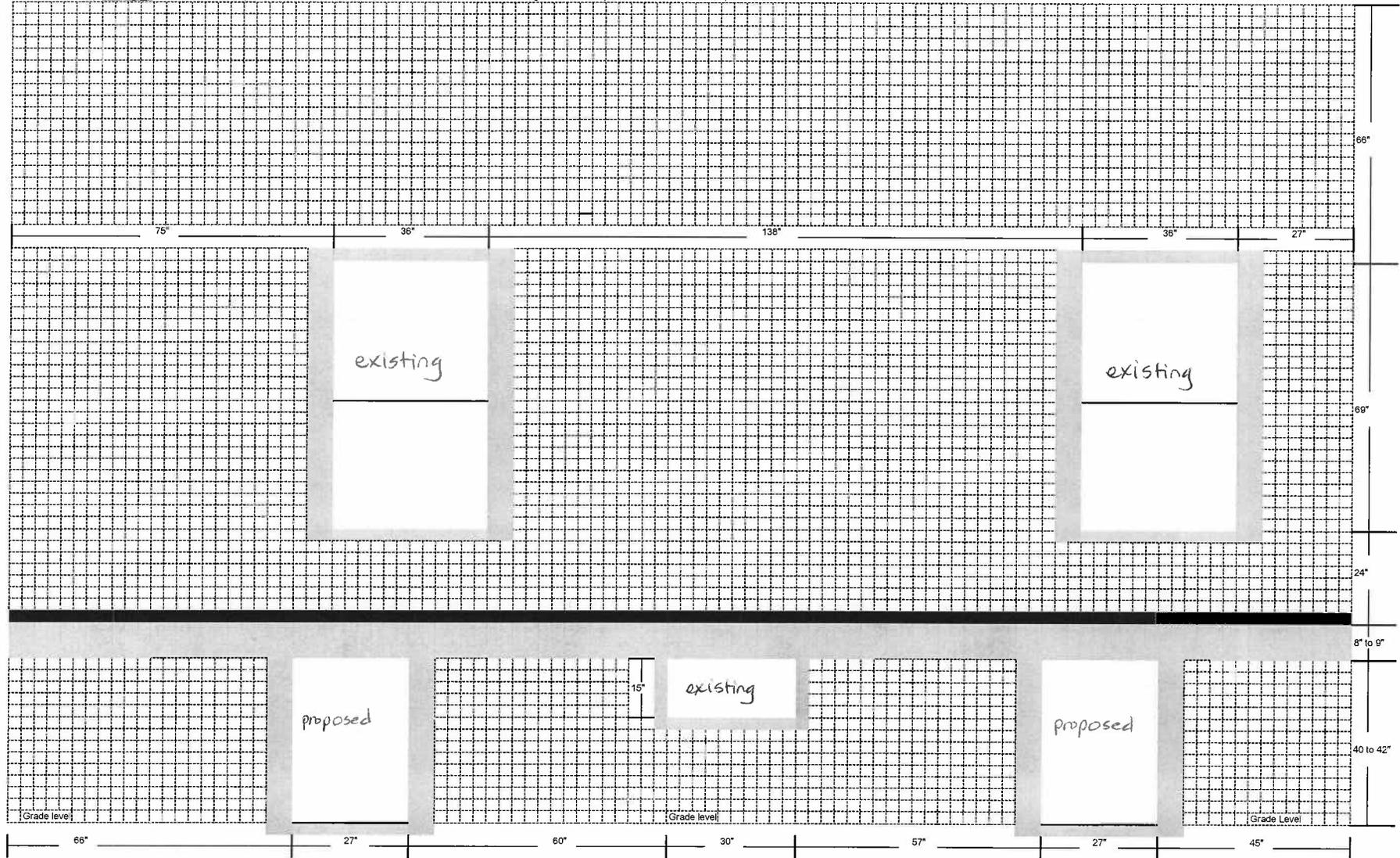


Exhibit - 1 207 W. Jefferson East Elevation - 3 Metal Basement Windows



Exhibit 6 - Sliding Ingress/Egress Window recently installed

