

ANN ARBOR HISTORIC DISTRICT COMMISSION

Staff Report

ADDRESS: 106 N Fourth Avenue, Application Number HDC21-036

DISTRICT: Main Street Historic District

REPORT DATE: March 11, 2021

REPORT PREPARED BY: Jill Thacher, Historic Preservation Coordinator

REVIEW COMMITTEE DATE: March 8, 2021

	OWNER	APPLICANT
Name:	Mystic Falls, LLC	Same
Address:	113 West Liberty, Floor 2 Ann Arbor, MI 48104	
Phone:	(734) 812-8121	

BACKGROUND: The art deco façade of the Land Title Building at 106 N. Fourth Avenue was built in 1927. It was designed by University of Michigan Professor of Architecture Albert J.J. Rousseau and added to the front of an older building. It features a vertical orientation in smooth limestone, tall leaded glass windows, an ornate deco cornice, and recessed black tiles. The side and rear walls are common brick.

Staff approved a new roof in 2014 and the infill of three small basement windows with glass block on the north elevation in 2010.

LOCATION: The site is located on the east side of North Fourth Avenue, north of East Huron and south of East Ann Street.

APPLICATION: The applicant seeks HDC approval to add two floors to the single-story rear wing, build a roof deck, install a window in a boarded opening on the first-floor north elevation, and perform restoration work on the historic windows and masonry.

APPLICABLE REGULATIONS

From the Secretary of the Interior's Standards for Rehabilitation:

- (1) A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
- (2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old

and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):

Alterations/Additions for the new use

Recommended: Designing additions to roofs such as residential, office, or storage spaces; elevator housing; decks and terraces; or dormers or skylights when required by the new use so that they are inconspicuous from the public right-of-way and do not damage or obscure character-defining features.

Additions

Recommended: Designing new additions in a manner that makes clear what is historic and what is new.

Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building. In either case, it should always be clearly differentiated from the historic building and be compatible in terms of mass, materials, relationship of solids to voids, and color.

Designing additional stories, when required for the new use, that are set back from the wall plane and are as inconspicuous as possible when viewed from the street.

Not Recommended: Designing a new addition so that its size and scale in relation to the historic building are out of proportion, thus diminishing the historic character.

Duplicating the exact form, material, style, and detailing of the historic building in the new addition so that the new work appears to be part of the historic building.

Constructing a rooftop addition so that the historic appearance of the building is radically changed.

Windows

Recommended: Designing and installing new windows when the historic windows (frames, sash and glazing) are completely missing. The replacement windows may be an accurate restoration using historical, pictorial, and physical documentation; or be a new design that is compatible with the window openings and the historic character of the building.

District or Neighborhood Setting

Recommended: Designing and constructing new additions to historic buildings when required by the new use. New work should be compatible with the historic character of the setting in terms of size, scale, design, material, color, and texture.

Not Recommended: Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

From the Ann Arbor Historic District Design Guidelines:

Guidelines for All Additions

Appropriate: Placing a new addition on a non-character-defining or inconspicuous elevation and limiting the size and scale in relationship to the historic property.

Designing a new addition in a manner that makes clear what is historic and what is new.

Not Appropriate: Designing an addition that overpowers or dramatically alters the original building through size or height.

STAFF FINDINGS

1. The building is currently two stories with a one-story rear addition built in 1949. This application proposes a two-story addition atop that existing rectangular one-story rear addition. It contains stairs and usable space. The design is simple, a box with no side or rear windows, clad in black Trespa Meteon, a high-pressure compact laminate (HPL) panel system.
2. The addition's third floor has an aluminum framed window wall that opens onto a 300sf roof deck, contained by a new taller parapet around three sides, with an almost 4' clear glass wind screen on top. Also built in is a bank of skylights along the north edge. They are not dimensioned, but appear to be 3'10" by about 30'.
3. From the street, the addition will be visible from East Huron and possibly from North Fourth Avenue south of the building. North of the site the taller County Building will block it from view, and the Hands On Museum and City Fire Department Building block it from the east. By using black cladding with no details or windows, the addition makes clear what is historic and what is new while almost appearing as a separate, distant building buried in the block. The addition does not harm or distract the eye from historic resources. The county building decks next door will lose some sunlight, but they are a modern addition to the building. It should be noted that the parcel immediately to the south (201/205 E Huron) is not in the historic district and will likely be redeveloped into something much taller in the future.
4. A restoration plan includes repairing wood and metal windows, repointing the stone and brickwork, masonry repairs and replacing the parapet coping as necessary. Including this information with the application is appreciated.
5. Installing an aluminum window in the first-floor window opening on the north elevation is appropriate. The window will match the one next to it to the west.
6. Since the proposal is adding floor area a site plan will need to be approved by City Council (assuming no site plan has been previously approved).
7. The design and scale of the proposed addition does not detract from the existing building and uses distinct materials to differentiate it from the historic structure. Overall, staff feels that the historical integrity and character-defining features of the building and the district

will not be harmed. Staff recommends approval.

POSSIBLE MOTIONS: (Note that the motion is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Historic District Commission issue a certificate of appropriateness for the application at 106 North Fourth Avenue, a contributing property in the Fourth/Ann Historic District, to add two floors to the single-story rear wing, build a roof deck, install a window in a boarded opening on the first floor north elevation, and perform restoration work, as proposed. The work is compatible in exterior design, arrangement, texture, material and relationship to the surrounding resources and meets the *Ann Arbor Historic District Design Guidelines*, especially those for all addition, and *The Secretary of the Interior's Standards for Rehabilitation* and *Guidelines for Rehabilitating Historic Buildings*, in particular standards 1, 2 and 9 and the guidelines for alterations for a new use, additions, windows, and district/neighborhood setting.

MOTION WORKSHEET:

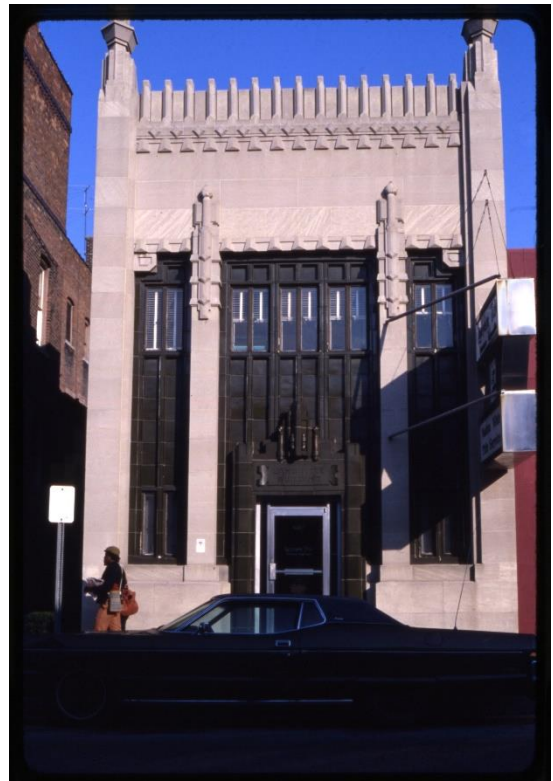
I move that the Historic District Commission issue a Certificate of Appropriateness for the work at 106 North Fourth Ave in the Fourth/Ann Historic District

_____ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

ATTACHMENTS: application, drawings, photos

106 N Fourth Avenue, the Land Title Building, 1977
(AADL Old News)





HISTORIC DISTRICT COMMISSION

PLANNING AND DEVELOPMENT SERVICES

City Hall: 301 E. Huron St. Ann Arbor, MI 48104-6120
 Mailing: P.O. Box 8647, Ann Arbor, MI 48107-8647
 Phone: 734.794.6265 ext. 42608 ithacher@a2gov.org
 Fax: 734.994.8460

OFFICE USE ONLY	
Permit Number	HDC# _____
	BLDG# _____
DATE STAMP	

APPLICATION MUST BE FILLED OUT COMPLETELY

PROPERTY LOCATION/OWNER INFORMATION

NAME OF PROPERTY OWNER Mystic Falls LLC		HISTORIC DISTRICT Fourth / Ann	
PROPERTY ADDRESS 106 N FOURTH AV			CITY ANN ARBOR
ZIPCODE 48104	DAYTIME PHONE NUMBER (734) 812-8121	EMAIL ADDRESS michael@byhook.com	
PROPERTY OWNER'S ADDRESS (IF DIFFERENT FROM ABOVE) 113 West Liberty Street, Floor 2		CITY Ann Arbor	STATE, ZIP MI, 48104

PROPERTY OWNER'S SIGNATURE

SIGN HERE	PRINT NAME Michael Watts	DATE 2/19/2021
------------------	---------------------------------	-----------------------

APPLICANT INFORMATION

NAME OF APPLICANT (IF DIFFERENT FROM ABOVE)			
ADDRESS OF APPLICANT			CITY
STATE	ZIPCODE	PHONE / CELL # ()	FAX No ()
EMAIL ADDRESS			

APPLICANT'S SIGNATURE (if different from Property Owner)

SIGN HERE	PRINT NAME X	DATE
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BUILDING USE – CHECK ALL THAT APPLY

<input type="checkbox"/> SINGLE FAMILY	<input type="checkbox"/> DUPLEX	<input type="checkbox"/> RENTAL	<input type="checkbox"/> MULTIPLE FAMILY	<input checked="" type="checkbox"/> COMMERCIAL	<input type="checkbox"/> INSTITUTIONAL
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PROPOSED WORK

Describe in detail each proposed exterior alteration, improvement and/or repair (use additional paper, if necessary).

Level 02 - 455SF addition above the existing 1949 addition to enlarge 2nd floor with ADA compliant stair. Exterior Cladding to be Trespa HPL rainscreen.

Level 03 - 455SF addition above level 2 for penthouse and ADA compliant stair. Exterior Cladding to be Trespa HPL rainscreen.

Roof terrace - 477SF rooftop terrace with glass windscreen/guardrail. Patio to be raised block system with drainage below.

Restoration of original historic windows and reintroduction of second storefront window in boarded up opening. Re-tuck pointing of masonry.

DESCRIBE CONDITIONS THAT JUSTIFY THE PROPOSED CHANGES:

Due to covid-19, office usability and air quality requirements have dramatically changed. In order for our tenant partner, Hook Studios, to be able to utilize the property as a hybrid office, changes are required to the overall internal layout and HVAC systems. Additionally, suitable outdoor space is required for the health, safety, and wellbeing of their employees.

For Further Assistance With Required Attachments, please visit www.a2gov.org/hdc



HISTORIC DISTRICT COMMISSION APPLICATION

FEE CHART

DESCRIPTION	
STAFF REVIEW FEES	FEE
Application for Staff Approval	\$35.00
Work started without approvals	Additional \$50.00
HISTORIC DISTRICT COMMISSION FEES	
All other proposed work not listed below	\$100.00
Work started without approvals	Additional \$250.00
RESIDENTIAL – Single and 2-story Structure	
Addition: single story	\$300.00
Addition: taller than single story	\$550.00
New Structure - Accessory	\$100.00
New Structure – Principal	\$850.00
Replacement of single and 2-family window(s)	\$100 + \$25/window
COMMERCIAL – includes multi-family (3 or more unit) structures	
Additions	\$700.00
Replacement of multi-family and commercial window (s)	\$100 + \$50/window
Replacement of commercial storefront	\$250.00
DEMOLITION and RELOCATION	
Demolition of a contributing structure	\$1000.0
Demolition of a non-contributing structure	\$250.00
Relocation of a contributing structure	\$750.00
Relocation of a non-contributing structure	\$250.00

FOR COMMISSION REVIEWS:

- Application withdrawals made before public notice is published will qualify for a 50% refund of the application fee.
- Application withdrawals made after public notice is sent but before the public hearing will qualify for a 25% refund of the application fee.

INSTRUCTIONS FOR SUBMITTING APPLICATIONS

All HDC applications must be signed by the property owner and the applicant, if different, with the exception of staff approvals, which may be signed by only the applicant.

All completed HDC applications and their attachments may be submitted to Planning and Development Services by mail, in person (paper or digital), faxed, or via email to building@a2gov.org.

We accept CASH, CHECK, and all major credit cards. Checks should be made payable to “City of Ann Arbor”

HDC applications that are incomplete or not submitted with the required documentation or payment will not be processed or approved.

APPLICATION EXPIRATION

HDC applications expire three (3) years after the date of approval.

OFFICE USE ONLY

Date of Hearing:		
Action	<input type="checkbox"/> HDC COA	<input type="checkbox"/> HDC Denial
	<input type="checkbox"/> HDC NTP	<input type="checkbox"/> Staff COA
Staff Signature		
Comments		
Fee:	\$ _____	
Payment Type	<input type="checkbox"/> Check: # _____ <input type="checkbox"/> Cash <input type="checkbox"/> Credit Card	

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 Ann Arbor, MI 48103
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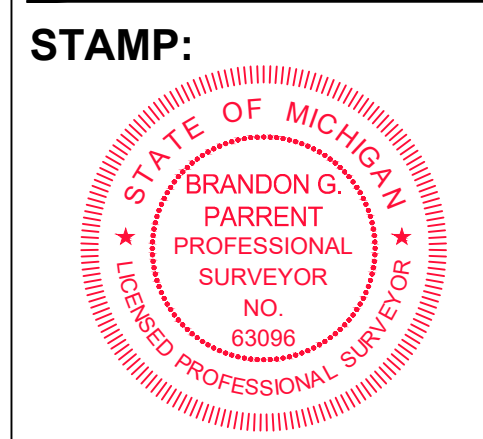
PREPARED FOR:
 Mystic Falls, LLC
 Michael Watts
 255 E. Liberty, Suite 281
 Ann Arbor, MI 48104

CREATED:
 Drawn: R. Paramo Date: 03.06.20

REVISIONS:

Rev:	Date:

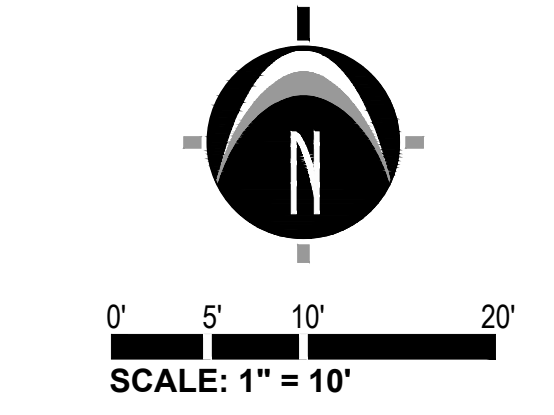
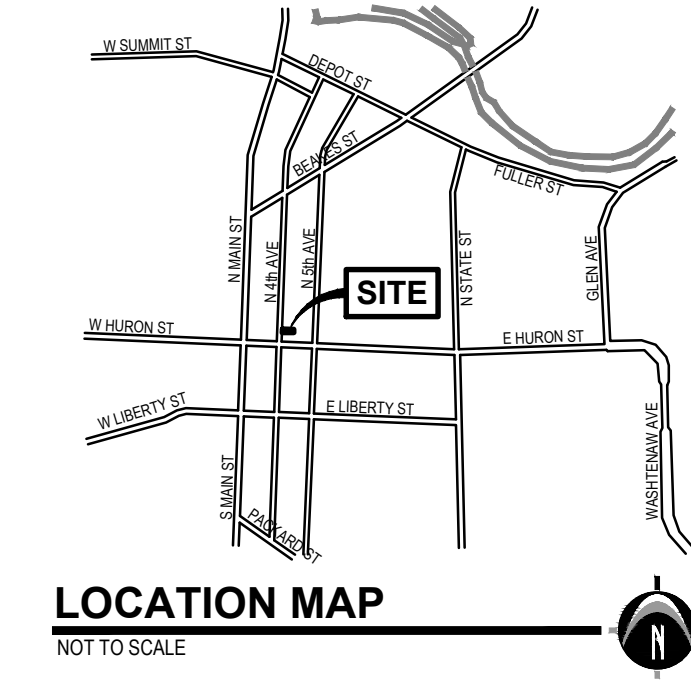
106 N. FOURTH AVENUE
 Topographic Survey
 106 N. Fourth Avenue, Ann Arbor, MI 48104
 PART OF THE NORTHEAST 1/4 OF SECTION 29, T2S. R6E,
 CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN



PROJECT NO:
20500028
SHEET NO:
TO
SHEET: 1 OF 1

LEGEND

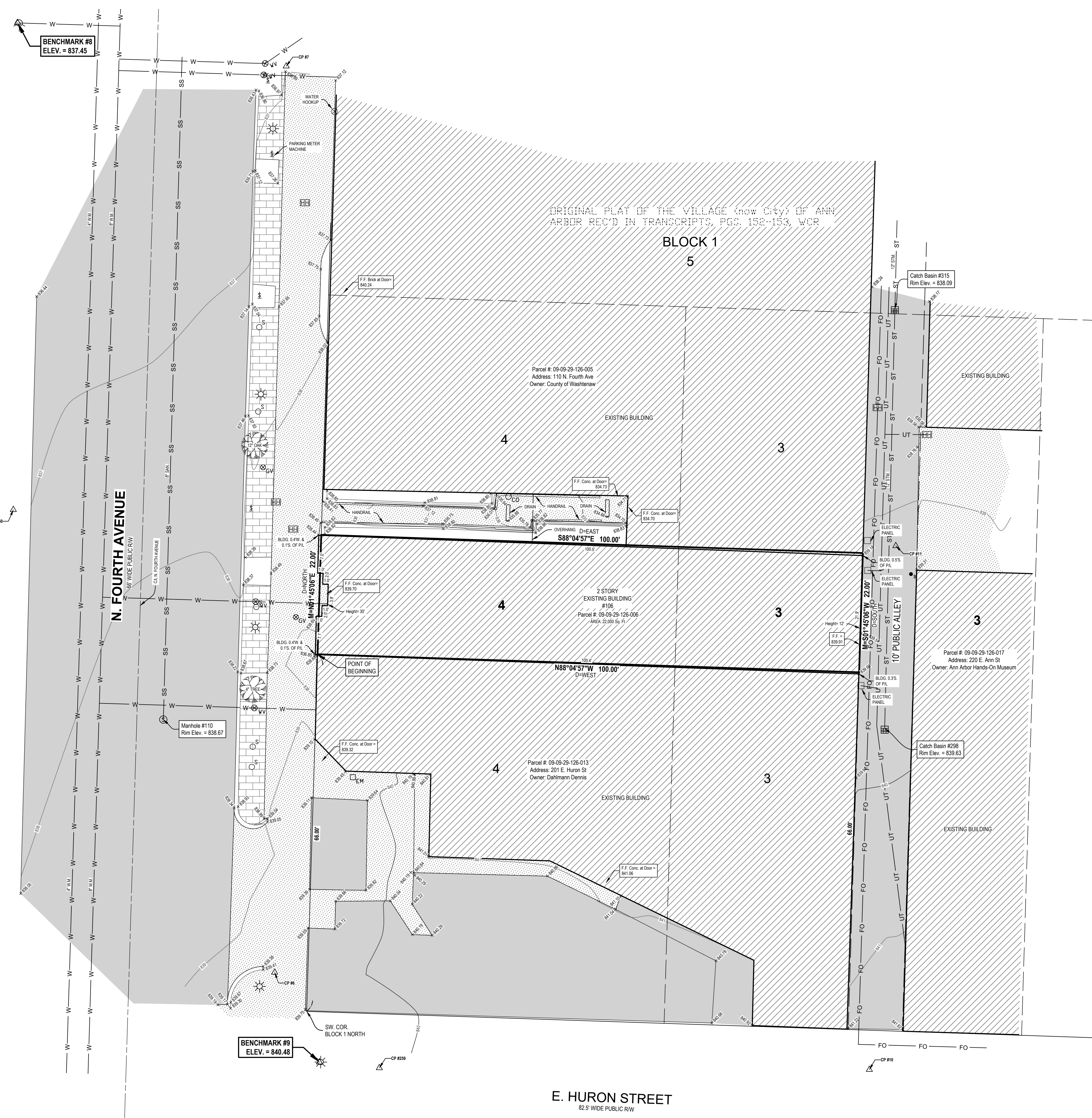
- Benchmark
- Catch Basin - Square
- Clearcut
- Deciduous Tree
- Electric Meter
- Gas Valve
- Hand Hole
- Hydrant
- Light Pole
- Manhole
- Parking Meter
- Sign
- Bollard
- Water Valve
- Underground Telephone
- Sanitary
- Storm
- Water Main
- Fiber Optic
- UT
- Asphalt
- Concrete
- Existing Building
- Brick



811 Know what's below.
 CALL before you dig.

UTILITY LOCATIONS ARE DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: EXISTING UTILITIES AND SERVICE LINES IDENTIFIED AS "PLANS" WERE OBTAINED FROM AVAILABLE CITY AS-BUILT RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.



BENCHMARKS

BENCHMARK #8 ELEV. = 837.45 (NAVD88)
 West bolt painted black on hydrant 190' +/- North of E. Huron Street on the West side of N. Fourth Avenue 8' +/- East of retaining wall.

BENCHMARK #9 ELEV. = 840.48 (NAVD88)
 Northwest bolt painted pink on light pole at the Northeast corner of E. Huron Street and N. Fourth Avenue 4' +/- North of edge of concrete and 18' +/- Southeast of light pole.

DESCRIPTION

Property located in the City of Ann Arbor, Washtenaw County, Michigan.

Commencing at the East line of Fourth Avenue at a point 86 feet North of the Southwest corner of Block 1 North of Huron Street, Range 5 East, and running thence North 22 feet; thence East 100 feet to a North alley; thence South 22 feet; thence West 100 feet to the Place of Beginning, being a part of Lots 3 and 4 in Block 1 North of Huron Street, Range 5 East, Original Plat of the Village (now City) of Ann Arbor, as recorded in Transcripts, Pages 152 and 153, Washtenaw County Records.

(Warranty Deed as recorded in Liber 4788, Page 899, Washtenaw County Records.)

*NOTE: There appears to be a typo in the description provided. 86 feet should be 66 feet, further deed research is recommended.

SURVEYOR'S NOTES

- 1) Flood Zone Classification: An examination of the National Flood Insurance Program's Flood Insurance Rate Map for Community Number 260213, Map Number 26161C0263E, with an Effective Date of April 3, 2012, shows this parcel to be located in Zone X.
- 2) Lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response. Where additional or more detailed information is required, the client is advised that excavation and/or a private utility locate request may be necessary.
- 3) NOTE TO CONTRACTORS: 3 (THREE) WORKING DAYS BEFORE YOU DIG, CALL MISS DIG AT TOLL FREE 1-800-482-7171 FOR UTILITY LOCATIONS ON THE GROUND.

SURVEYOR'S SIGNATURE

Date of Plat or Map: March 18, 2020

 Brandon G. Parrent
 Professional Surveyor No. 63096
 Nederveld, Inc.
 bparrent@nederveld.com

HDC - SUBMITTAL 02/22/2021

106 N. FOURTH AVE.
ANN ARBOR, MI 48103



DRAWING INDEX - PROJECT

SHEET #	SHEET TITLE	RESPONSIBLE FIRM	HDC SUBMITTAL 02/22/21	SPA SUBMITTAL	BUILDING PERMIT	CONSTRUCTION	REVISION 01
A0	COVER SHEET	DRN ARCHITECTS	●				
A1	BASEMENT PLAN	DRN ARCHITECTS	●				
A2	FIRST FLOOR PLAN	DRN ARCHITECTS	●				
A3	SECOND FLOOR PLAN	DRN ARCHITECTS	●				
A4	PENTHOUSE PLAN	DRN ARCHITECTS	●				
A5	ELEVATIONS	DRN ARCHITECTS	●				
A6	ELEVATIONS	DRN ARCHITECTS	●				
A7	ELEVATIONS	DRN ARCHITECTS	●				
A8	AREA CALCULATIONS	DRN ARCHITECTS	●				
A9	RENDERINGS ON STREET	DRN ARCHITECTS	●				
A10	RENDERINGS ABOVE	DRN ARCHITECTS	●				
A11	INTERIOR RENDERINGS	DRN ARCHITECTS	●				

PRELIMINARY, NOT FOR CONSTRUCTION

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DNecci@DRNarchitects.com

LAND TITLE BUILDING

106 N. FOURTH STREET
ANN ARBOR, MI 48103

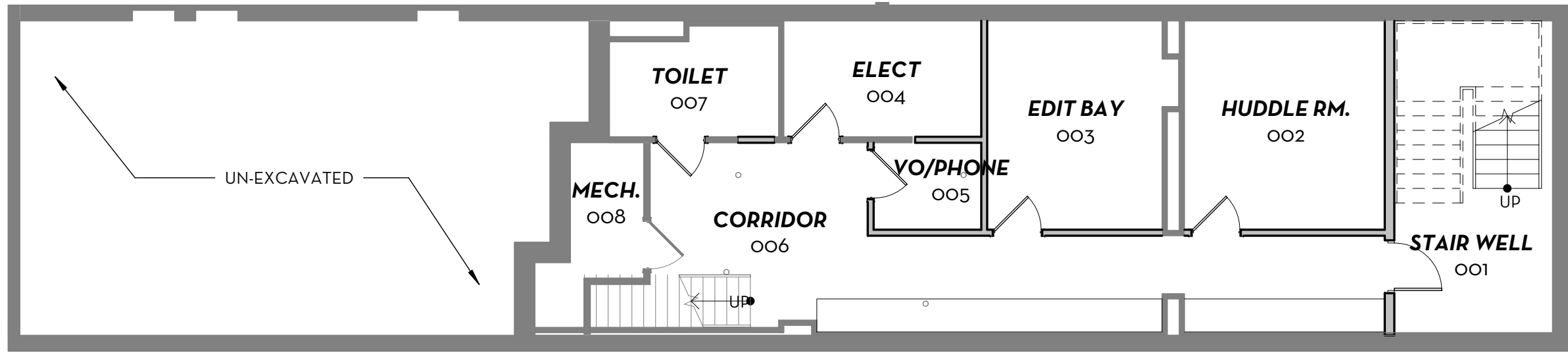
SHEET NAME

COVER SHEET

SHEET NUMBER

A0

02/22/2021




BASEMENT FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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02/22/2021

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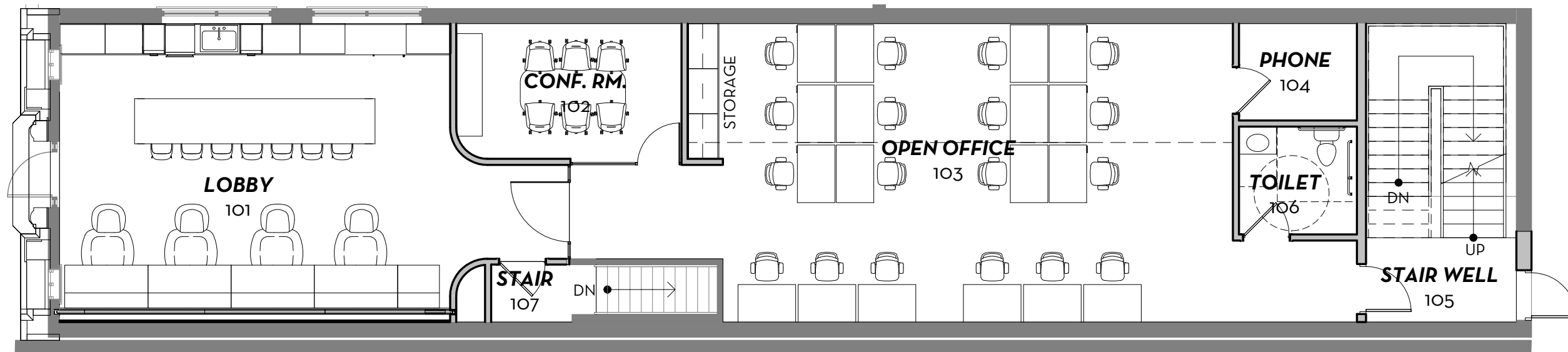


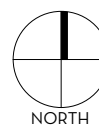
50850 Applebrooke Dr.
 Northville, MI 48167
 Phone: (248) 880-6523
 DNecci@DRNarchitects.com

LAND TITLE BUILDING
 106 N. FOURTH STREET
 ANN ARBOR, MI 48103

SHEET NAME
BASEMENT PLAN

SHEET NUMBER
A1




FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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LAND TITLE BUILDING

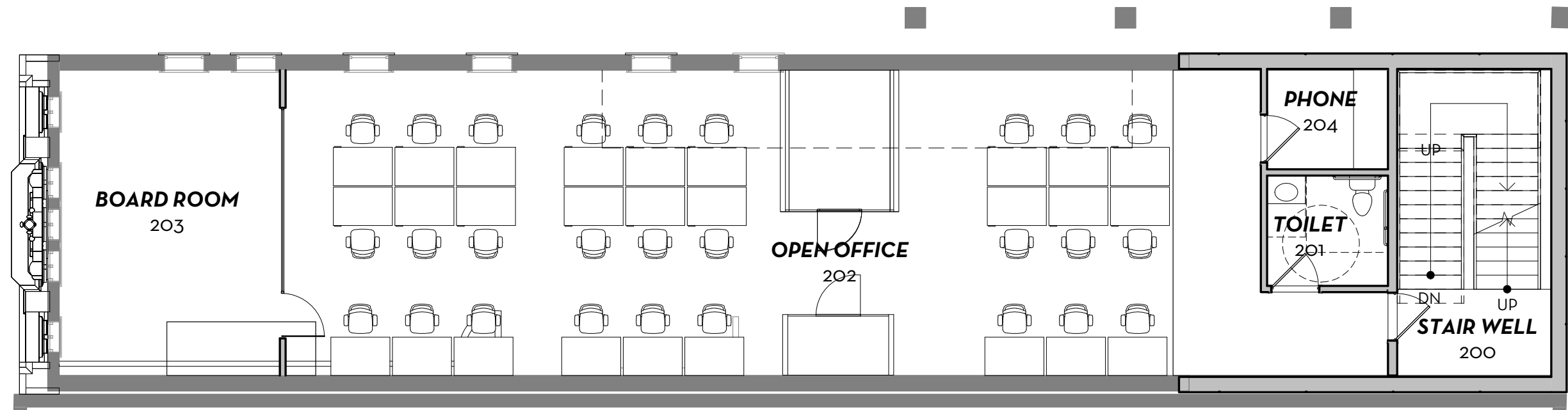
106 N. FOURTH STREET
 ANN ARBOR, MI 48103

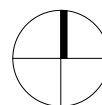
SHEET NAME

FIRST FLOOR PLAN

SHEET NUMBER

A2




SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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02/22/2021

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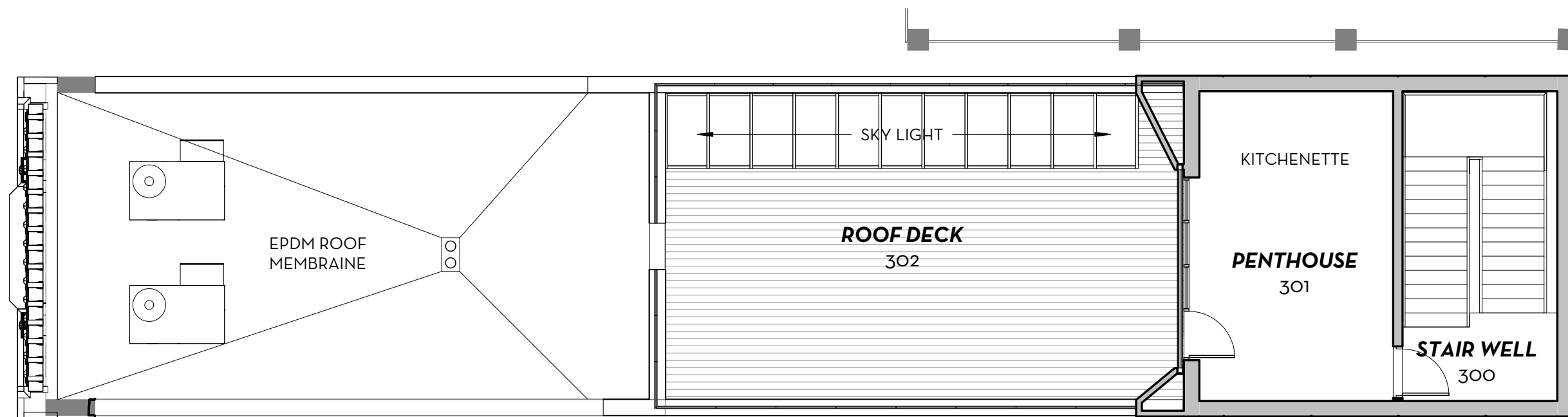



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LAND TITLE BUILDING
 106 N. FOURTH STREET
 ANN ARBOR, MI 48103

SHEET NAME
SECOND FLOOR PLAN

SHEET NUMBER
A3




PENTHOUSE FLOOR PLAN
 SCALE: 1/8" = 1'-0"

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LAND TITLE BUILDING

106 N. FOURTH STREET
ANN ARBOR, MI 48103

SHEET NAME
PENTHOUSE PLAN

SHEET NUMBER

A4

TRESPA EXTERIOR
CLADDING - A90.0.0
BLACK METEON
UNICOLOR

ALUM. FRAMING &
GLAZING

WALKABLE
SKYLIGHT

T/PARAPET
137' - 0"

ROOF
135' - 0"

DECK

GLASS WIND
SCREEN (TYP.)

LEVEL 03
125' - 0"

3 | PENTHOUSE WEST
SCALE: 1/8" = 1'-0"

ADDITION BEYOND

T/PARAPET
137' - 0"

ROOF
135' - 0"

EXIST. LIMESTONE
FASADE

MECH. UNITS
BEYOND

LEVEL 03
125' - 0"

EXIST. WINDOWS TO
BE RESTORED (TYP.)

EXIST. GLAZED
FASADE

LEVEL 02
112' - 0"

EXIST. ENTRY

LEVEL 01
AVG. GRADE
98' - 10"

2 | WEST ELEVATION
SCALE: 1/8" = 1'-0"

TRESPA EXTERIOR
CLADDING - A90.0.0
BLACK METEON
UNICOLOR

T/PARAPET
137' - 0"

ROOF
135' - 0"

LEVEL 03
125' - 0"

LEVEL 02
112' - 0"

LEVEL 01
100' - 0"

AVG. GRADE
98' - 10"

1 | EAST ELEVATION
SCALE: 1/8" = 1'-0"

PROPOSED ADDITION HEIGHT
26' - 6"

EXISTING CMU TO
REMAIN

EXIST. GLASS BLOCK
WINDOWS

11' - 8"

PROPOSED BUILDING HEIGHT
38' - 2"

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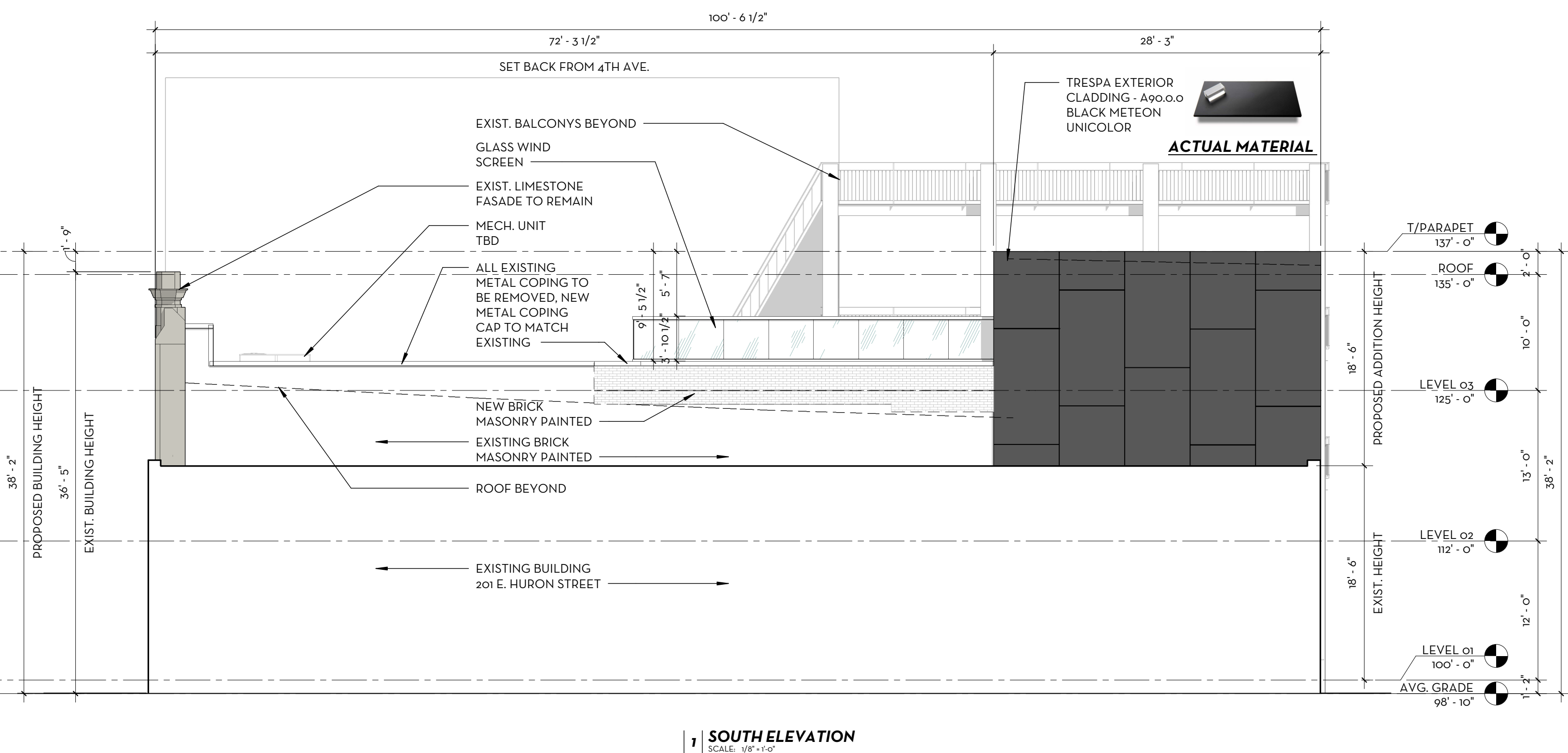
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LAND TITLE BUILDING

106 N. FOURTH STREET
ANN ARBOR, MI 48103

SHEET NAME
ELEVATIONS

SHEET NUMBER
A5



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LAND TITLE BUILDING

106 N. FOURTH STREET
ANN ARBOR, MI 48103

SHEET NAME
ELEVATIONS

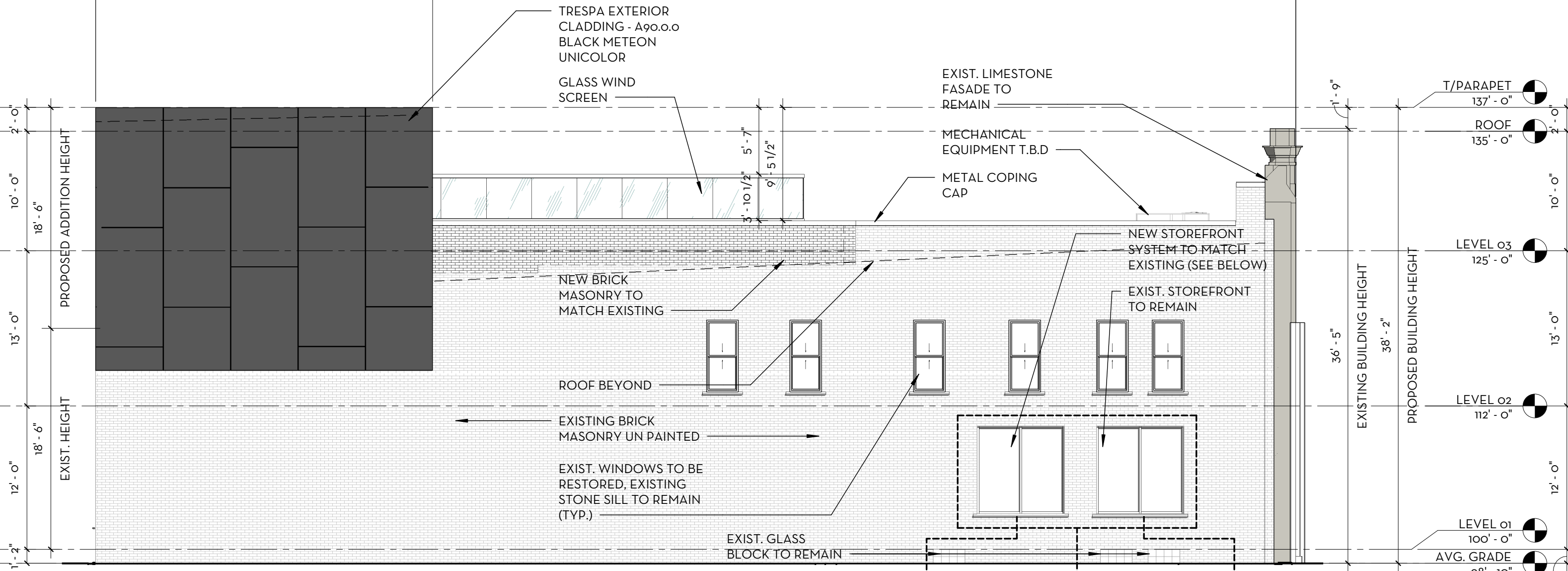
SHEET NUMBER
A6

100' - 6 1/2"

28' - 3"

72' - 3 1/2"

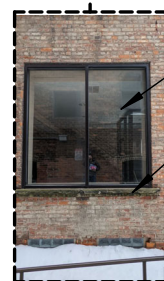
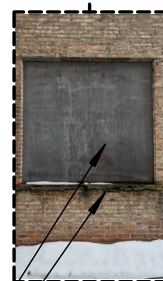
SET BACK FROM 4TH AVE.



1 | NORTH ELEVATION
SCALE: 1/8" = 1'-0"

PLYWOOD TO BE REMOVED, NEW 2" X 4 1/2" ANOD. ALUM. FRAMING AND 1" INSULATED GLAZING WITH LOW-E COATING TO BE INSTALLED - TUBELITE - 14000 SERIES - BRONZE TO MATCH ADJACENT

STONE SILL TO REMAIN



EXISTING WINDOWS

EXISTING STOREFRONT TO REMAIN

STONE SILL TO REMAIN

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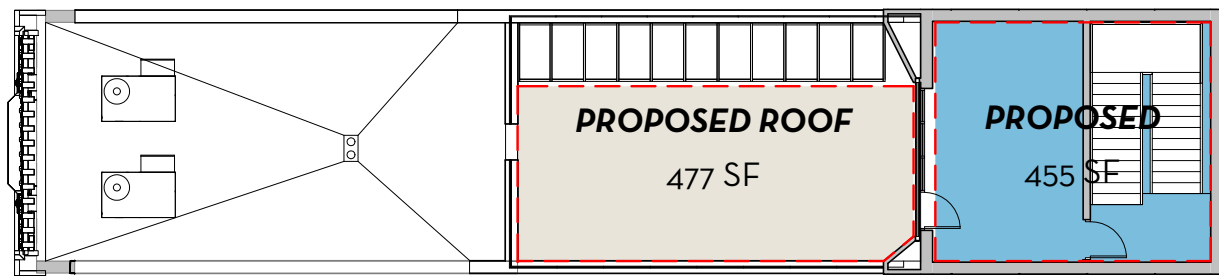
106 N. FOURTH STREET
ANN ARBOR, MI 48103

SHEET NAME
ELEVATIONS

02/22/2021

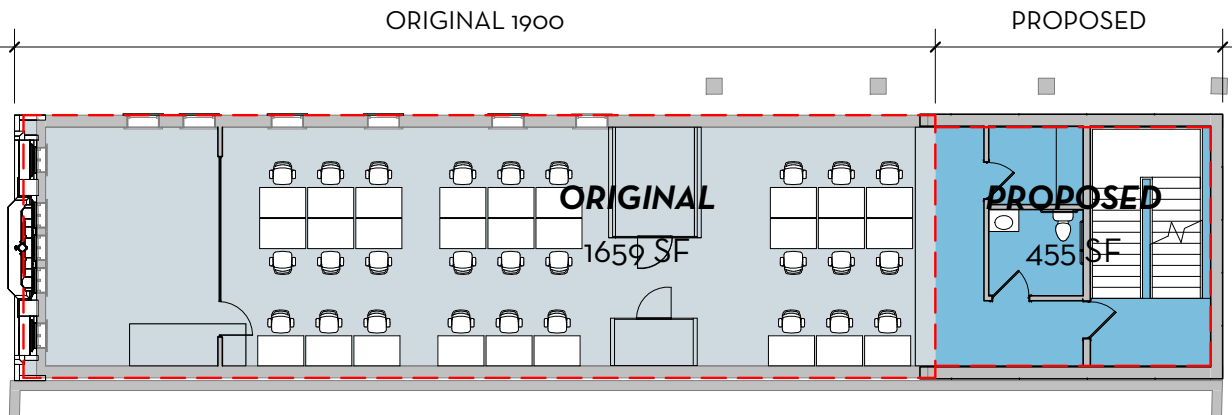
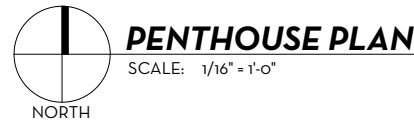
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A7



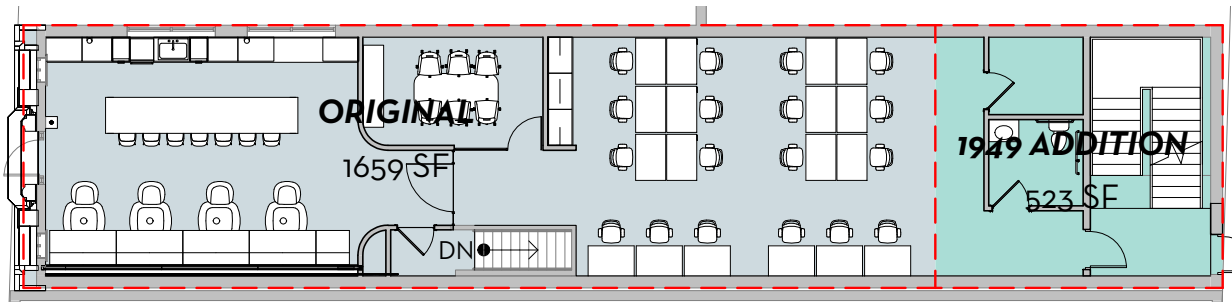
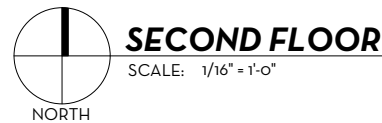
AREA LEGEND

- PROPOSED
- PROPOSED ROOF



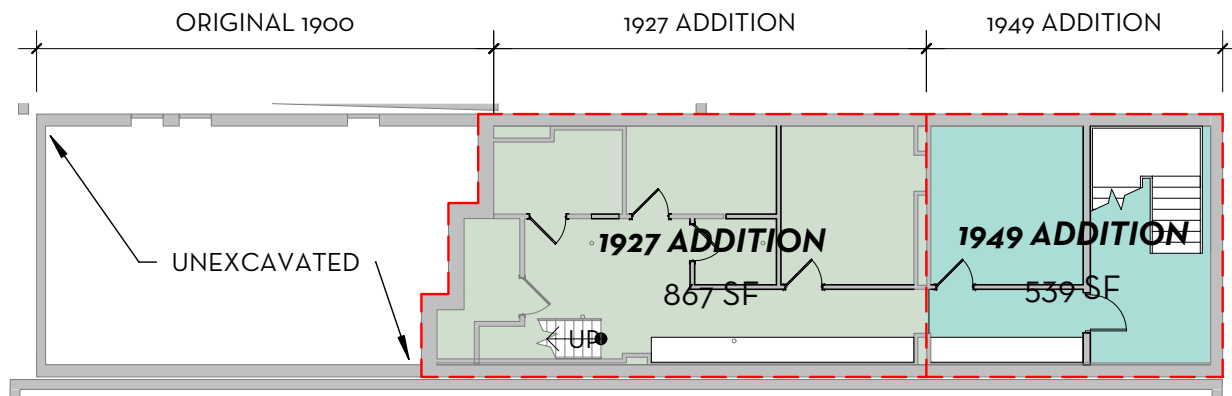
AREA LEGEND

- ORIGINAL
- PROPOSED



AREA LEGEND

- 1949 ADDITION
- ORIGINAL



AREA LEGEND

- 1927 ADDITION
- 1949 ADDITION



AREA CALCULATION

NAME	LEVEL	AREA
1927 ADDITION	BASEMENT 01	867 SF
1949 ADDITION	BASEMENT 01	539 SF
1949 ADDITION	LEVEL 01	523 SF
ORIGINAL	LEVEL 01	1659 SF
ORIGINAL	LEVEL 02	1659 SF
PROPOSED	LEVEL 02	455 SF
PROPOSED	LEVEL 03	455 SF
PROPOSED ROOF	LEVEL 03	477 SF

CONTRIBUTING RESOURCE = 3,318 SF
 DIVIDED BY 50%= 1,659 SF
 TOTAL ADDITION WO/ ROOF TERRACE = 1,433 SF
 % FLOOR AREA OF ORIGINAL = 43%
 % FOOTPRINT OF ORIGINAL = 0%

TOTAL ADDITION 43% CONTRIBUTING RESOURCE

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 DNecci@DRNarchitects.com

LAND TITLE BUILDING

106 N. FOURTH STREET
 ANN ARBOR, MI 48103

SHEET NAME

AREA CALCULATIONS

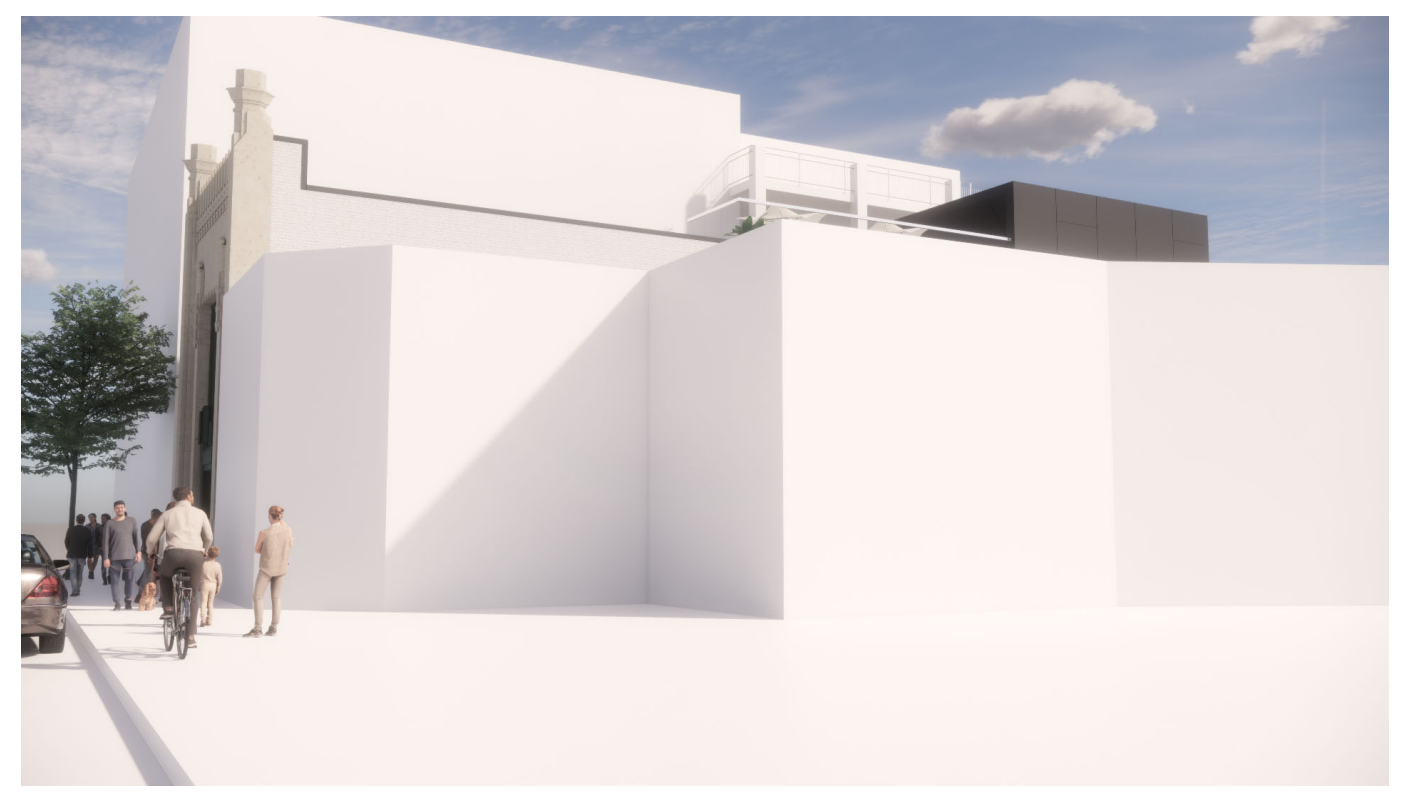
02/22/2021

SHEET NUMBER

A8



4 | FOURTH AVE. - STREET VIEW 02
SCALE: 12" = 1'-0"



2 | FORTH AVE. & HURON - STREET LEVEL
SCALE: 12" = 1'-0"



3 | HURON STREET - STREET VIEW
SCALE: 12" = 1'-0"



1 | FOURTH AVE. - STREET LEVEL 01
SCALE: 12" = 1'-0"

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LAND TITLE BUILDING

106 N. FOURTH STREET
ANN ARBOR, MI 48103

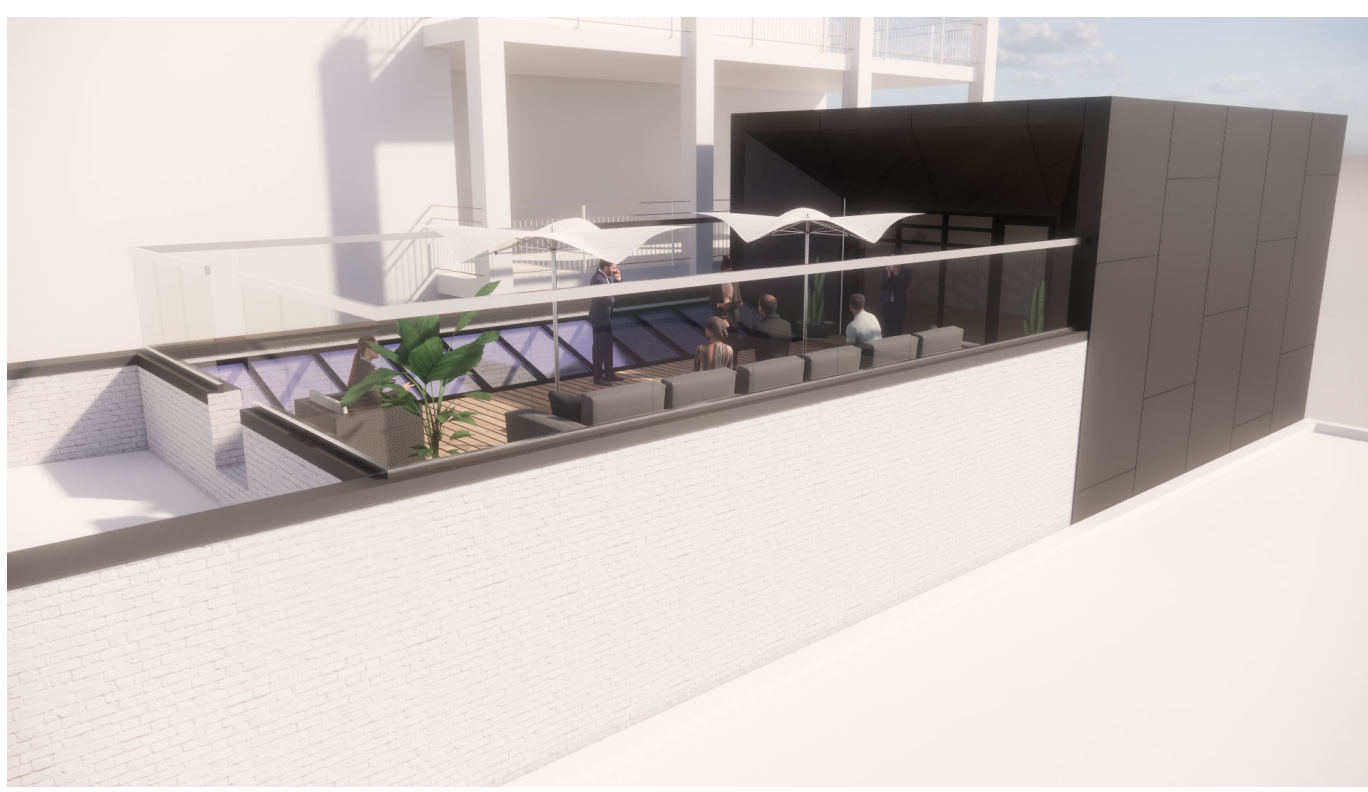
SHEET NAME

RENDERINGS ON STREET

02/22/2021

SHEET NUMBER

A9



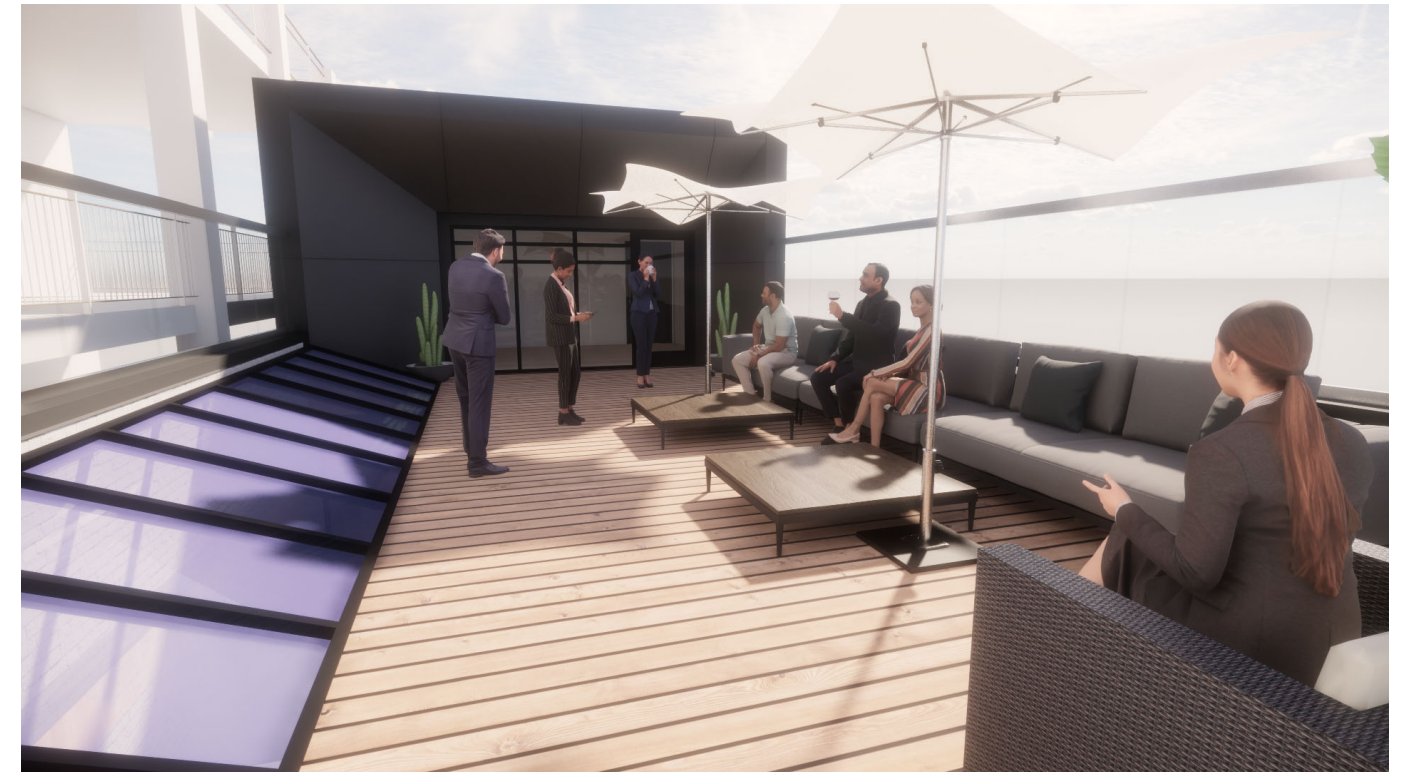
4 | OVERHEAD PERSPECTIVE 03
SCALE: 12" = 1'-0"



2 | OVERHEAD PERSPECTIVE 01
SCALE: 12" = 1'-0"



3 | OVERHEAD PERSPECTIVE 02
SCALE: 12" = 1'-0"



1 | PATIO VIEW
SCALE: 12" = 1'-0"

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LAND TITLE BUILDING

106 N. FOURTH STREET
ANN ARBOR, MI 48103

SHEET NAME

RENDERINGS ABOVE

02/22/2021

SHEET NUMBER

A10



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LAND TITLE BUILDING

106 N. FOURTH STREET
ANN ARBOR, MI 48103


SHEET NAME

INTERIOR RENDERINGS

02/22/2021

SHEET NUMBER

A11



106 N. 4th Ave

LAND TITLE BUILDING OVERVIEW AND POST-COVID PLANS

Prepared by Hook & Fractal Design

HOOK

Guide

Due to Covid-19 and the abrupt closure of many offices, employers have had to dramatically rethink how they work. In a recent [Pew Research study](#), it was found that the majority of knowledge workers like working from home and want to continue to do so post-Covid.

With the increase in flexible work, employers are now re-imagining offices as: *a place employees want to be and no longer a place they need to be.*

The following document outlines our plans to create just that: *an office centered around collaboration and wellness, that can better attract diverse talent and help keep our downtown vibrant and historic.*

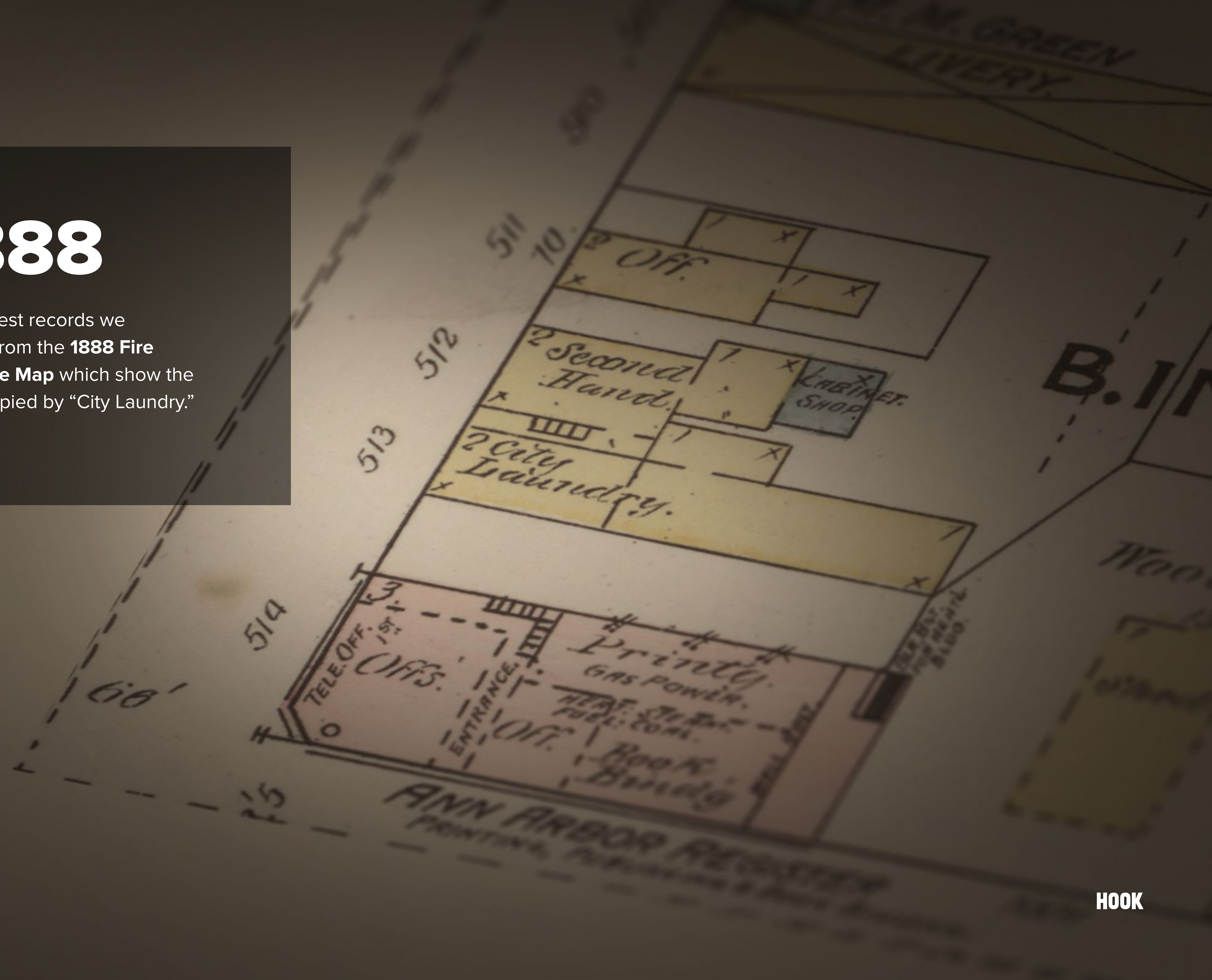
- [1. Historic Timeline](#)
- [2. The Building Today](#)
- [3. Proposed Plans](#)
- [4. Key Restorations](#)
- [5. About Us](#)

An aerial, black and white photograph of a city street scene. The central focus is a large, ornate, multi-story building with a prominent gabled roof and a central entrance. To the right of this building, a street runs north-south, with a white arrow pointing to a building labeled '106'. Further down this street, there is a gas station with a 'GULF' sign and a building with a sign that reads 'WASHTENAW ABSTRACT CO.'. To the left of the central building, there are several other large buildings, one of which has a sign that says 'MORAYS'. The street is lined with trees and parked cars. The overall scene depicts a dense urban environment.

THE HISTORY OF 106 North 4th Ave

1888

The earliest records we find are from the **1888 Fire Insurance Map** which show the site occupied by “City Laundry.”



1908

An historical archive of the adjacent YMCA building reveals the original timber structure occupied by “Home Steam Laundry.”

1913

A handful of years later, the Washtenaw Abstract Co. (1913-1958) purchased the site and built the brick structure that still remains.

Owned by attorney and city mayor Arthur Brown, the structure was known as “Brown’s Little Old Office.”

(Photo from 1916)

ABSTRACT OFFICE

1927

According to [AADL.org](https://www.aadl.org), Gertrude Norris, the then president of Brown's Washtenaw Abstract Company, contracted architecture professor Albert J. Rousseau to design the current Art Deco facade.

LAND TITLE
BUILDING

1949

A second addition was added to the back of the building while still under the ownership of the Washtenaw Abstract Co.

(Photo from 1949, shortly before addition was constructed)



2002

Since 2002, the building has changed ownership four times with significant internal renovations having removed all of the historic finishes. Tenants include an Internet Service Provider and Law Offices.



An aerial, high-angle photograph of a city street. The street is paved with asphalt and has yellow double lines down the center. On the right side of the street, there is a row of buildings. The most prominent one is a white, single-story building with a dark blue roof and large windows. Behind it is a taller, multi-story brick building. To the left of the street, there is a large, flat, light-colored area, possibly a parking lot or a construction site. The overall scene is captured in a cinematic style with soft lighting.

PHOTOS OF THE BUILDING TODAY



Facade from across N. 4th Ave, showing ally.



Facade from across N. 4th Ave, straight on.



Facade from across E. Huron.



Facade from across E. Huron.



Exposure from across E. Huron



Facade from across N 4th Ave.



Exposure from adjacent sidewalk on N. 4th Ave.



Exposure from adjacent sidewalk on E. Huron



Exposure from adjacent sidewalk on E. Huron



Back side of building (1949 Addition) from south-facing alley.



Facade Detail from adjacent sidewalk



Facade Detail from adjacent sidewalk



Facade Detail from adjacent sidewalk



Backside roof and parapet including 1949 addition.



Backside roof including 1949 addition.

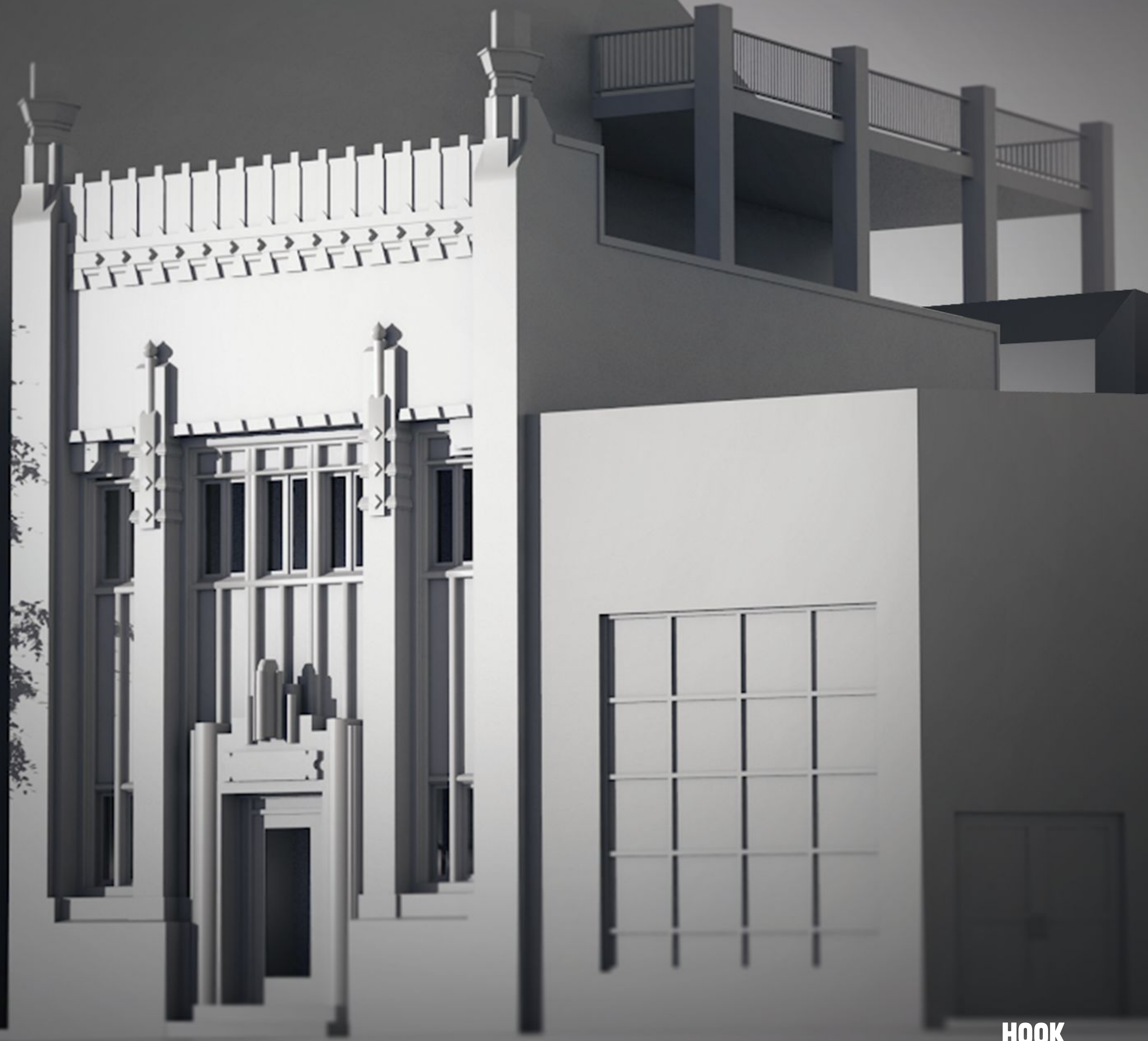


Backside roof including 1949 addition.



Backside of 1949 addition from North-facing alley

PROPOSED PLANS FOR 106 N. 4th

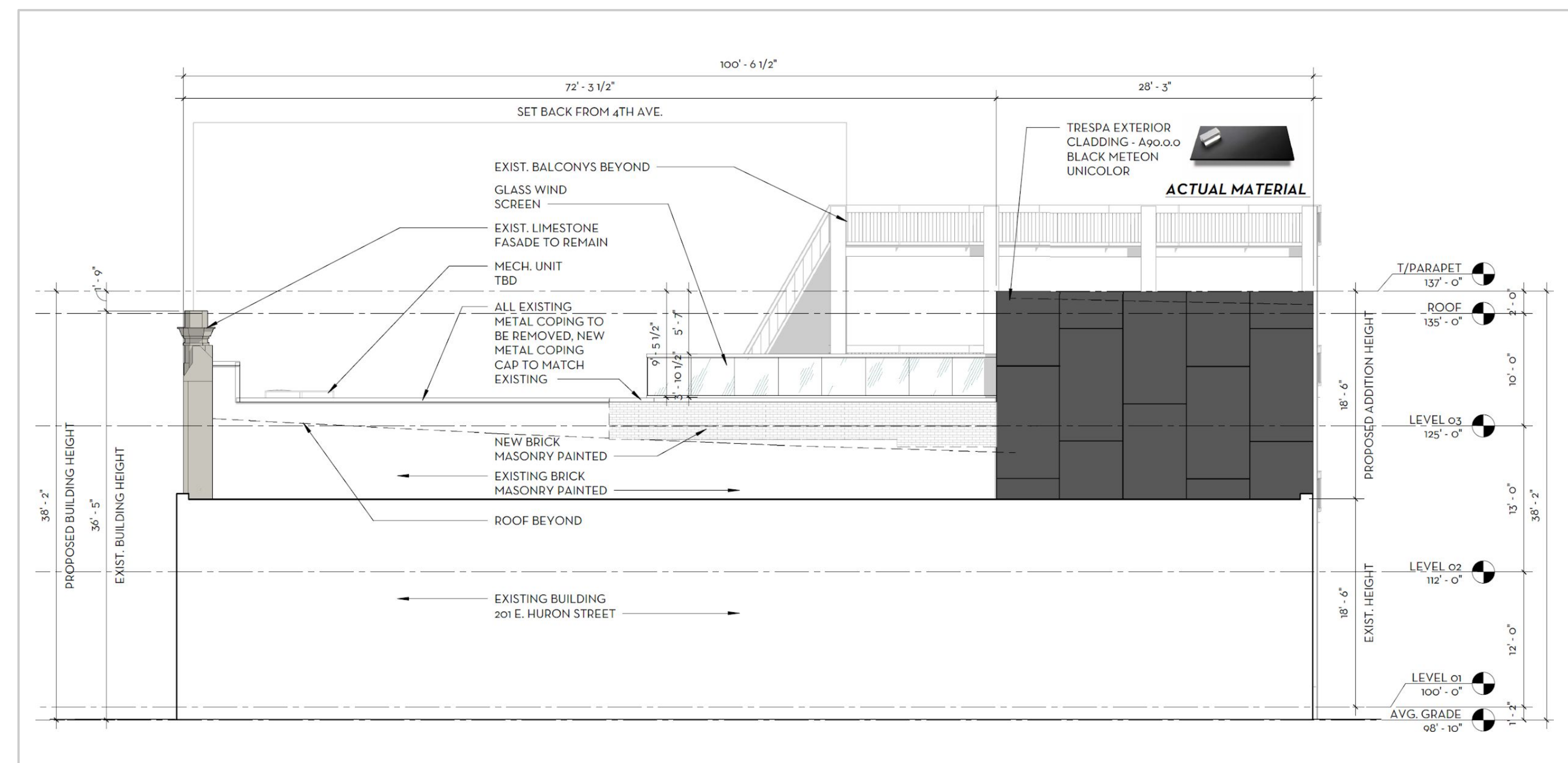
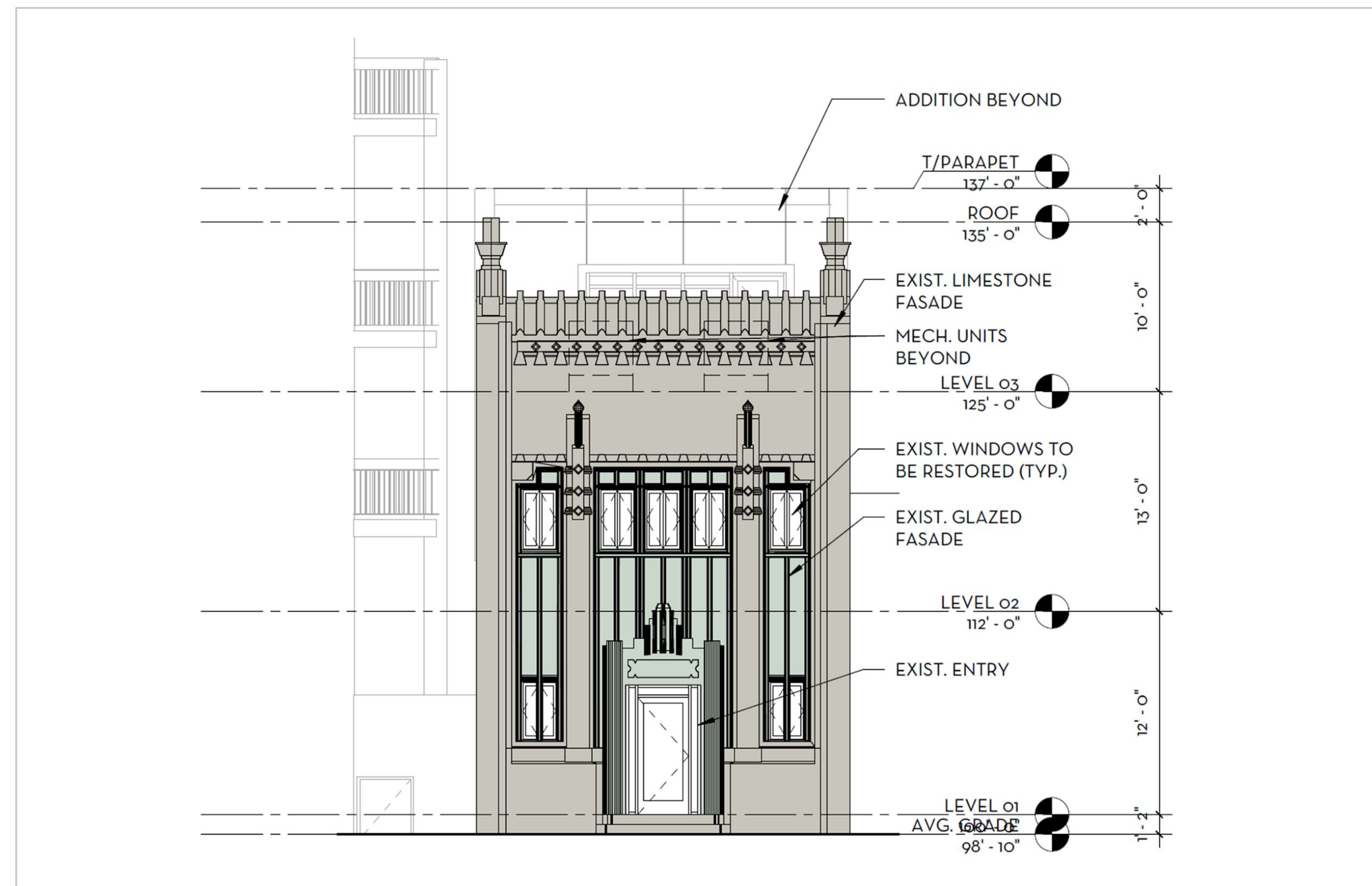


Plans

106 North 4th was recently purchased by Hook, an Advertising Agency founded in Ann Arbor in 2006.

With ~50 staff in the Ann Arbor area, our intention is to use the building as a permanent office to compliment our Los Angeles, Detroit, and San Francisco locations.

Due to Covid, the future of our workplace requires more physical space, improved air filtration, outdoor space, and a highly flexibility in layout.

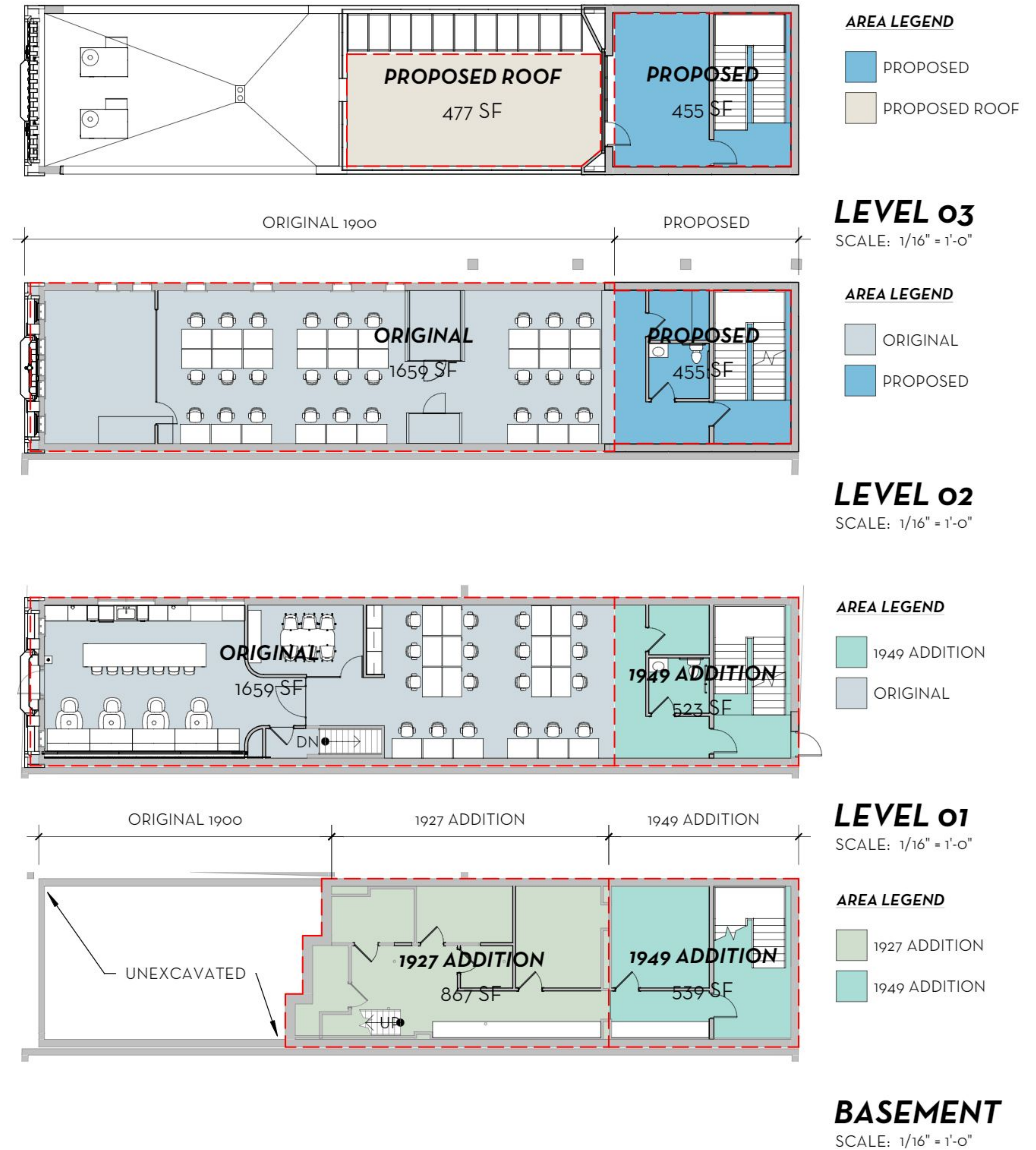


HDC Considerations

To accommodate what we believe will be requirements for post-pandemic offices, we are adding 910 additional indoor sqft to the existing 3318 sqft. This is an 43% increase over the original building's contributing resource and less than 50% of the structure that existed in 1944.

Much of the new square footage is employed in updating the building to modern fire-safety practices with the addition of a protected stairwell for rear egress.

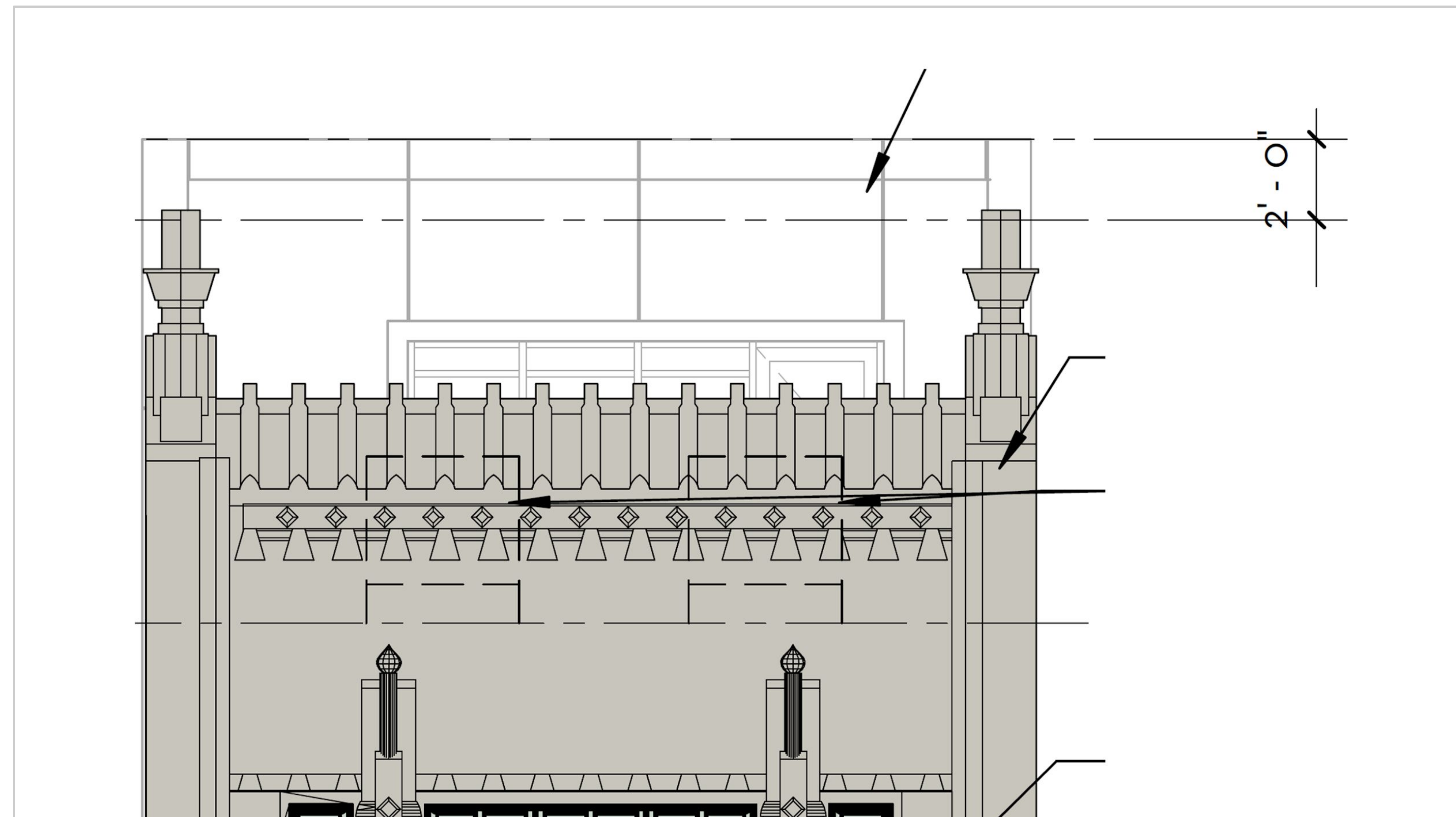
A rooftop deck will be added to create usable outdoor space for distance working.



HDC Considerations

Neither the addition of the rooftop space nor the improved roof-mounted air filtering systems will be visible from street level in front of the building.

The overall height of the original structure is increasing by a total of 2ft.



HDC Considerations

For the cladding we're using [Trespa Meteon](#) Unicolor Black.

For reference, a couple images of the product in use are include on the right.

[System Overview](#)

[Material Properties](#)



HDC Considerations

There is an original 1st floor window opening that has been covered in plywood at some point.

We will return the opening to its original state with a [bronze storefront window](#) matching the one adjacent to it.



HDC Considerations

All coping details will match the existing material, size and color that is on the building.



Renders

These preliminary renders demonstrate the proposed addition will be constructed in a distinctly modern style to avoid projecting a false sense of historical development.

Our intention is to preserve the perception of the building's authentic character from the street level and the integrity of its historical origin.

Old is cool.

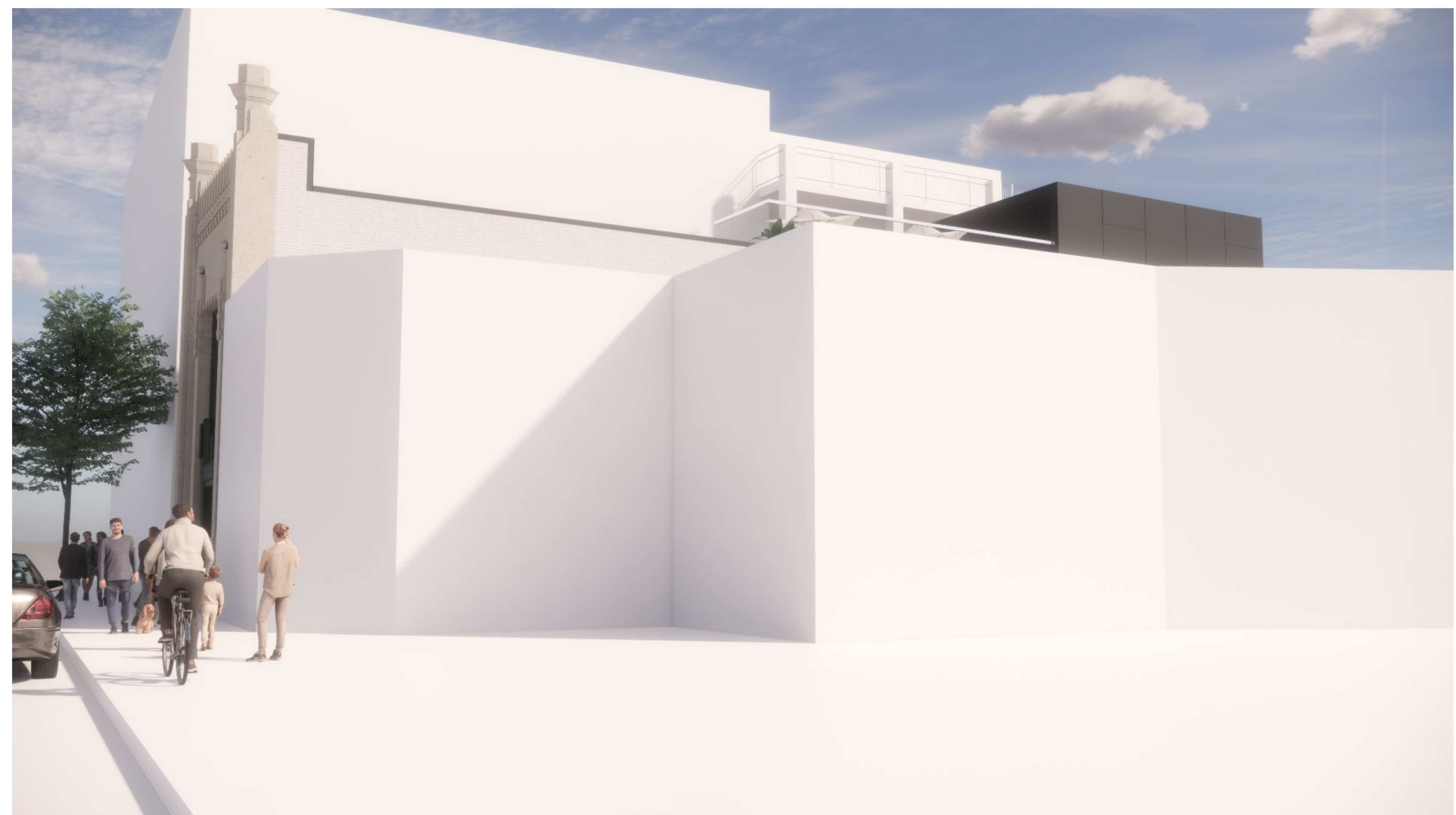


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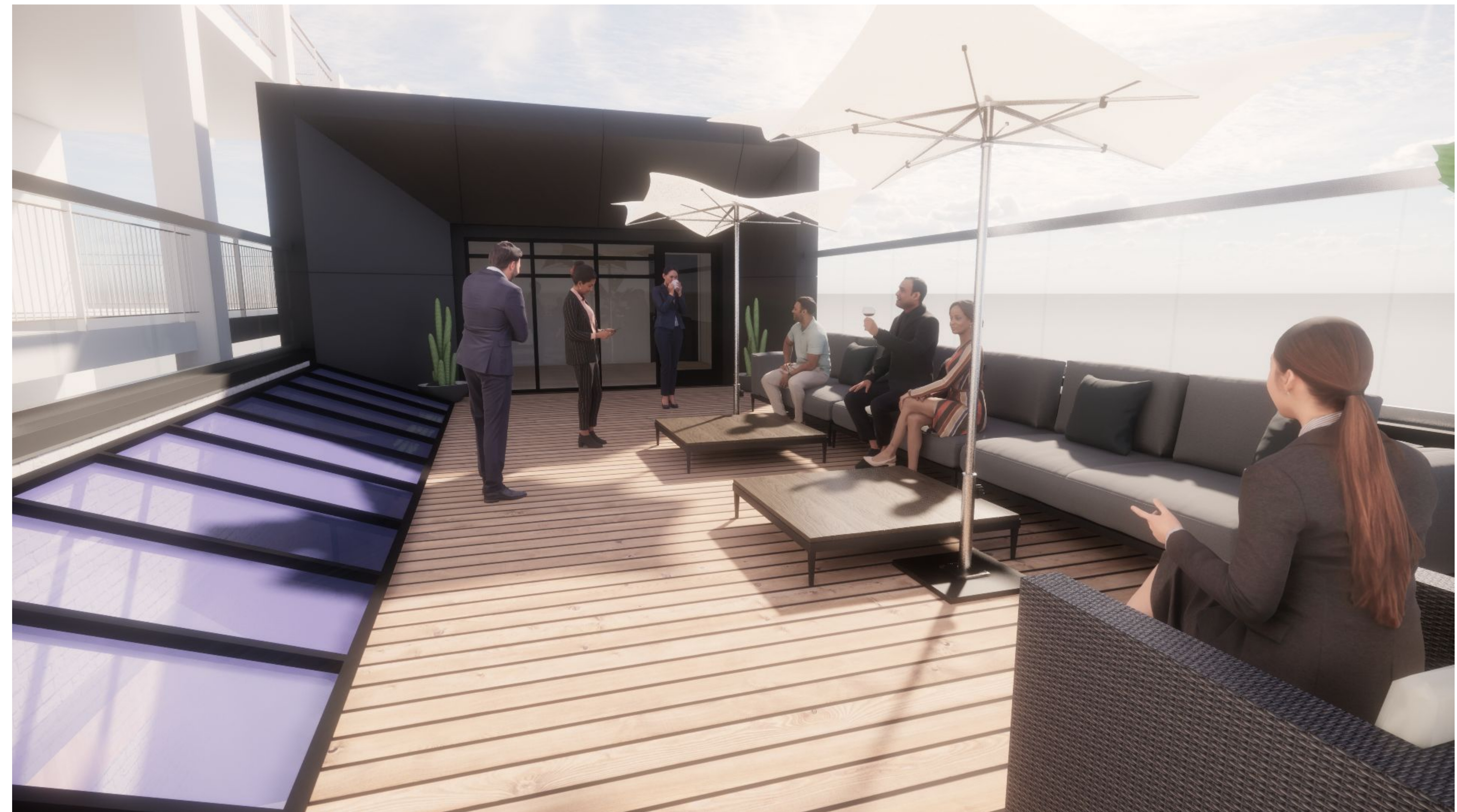
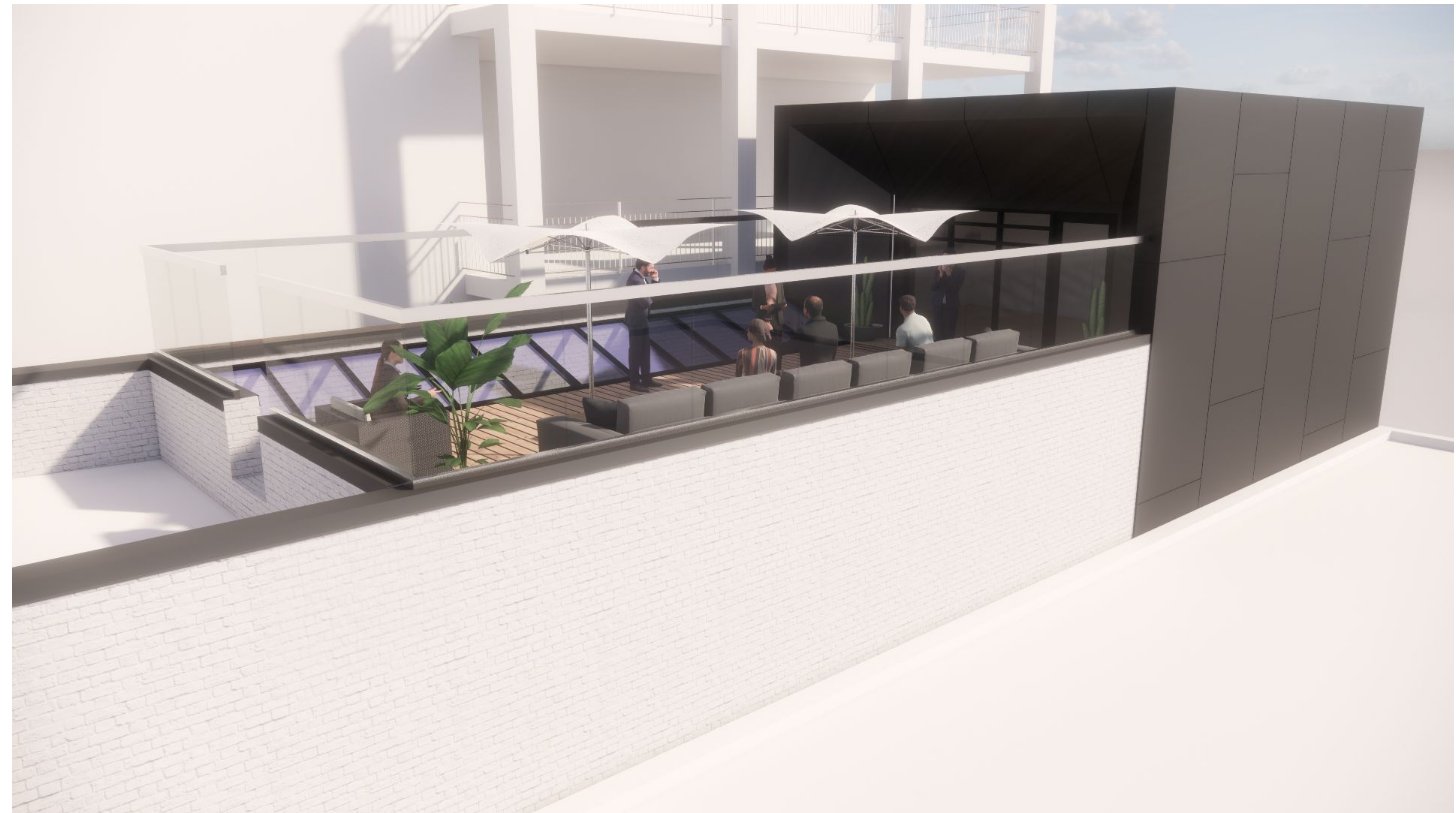


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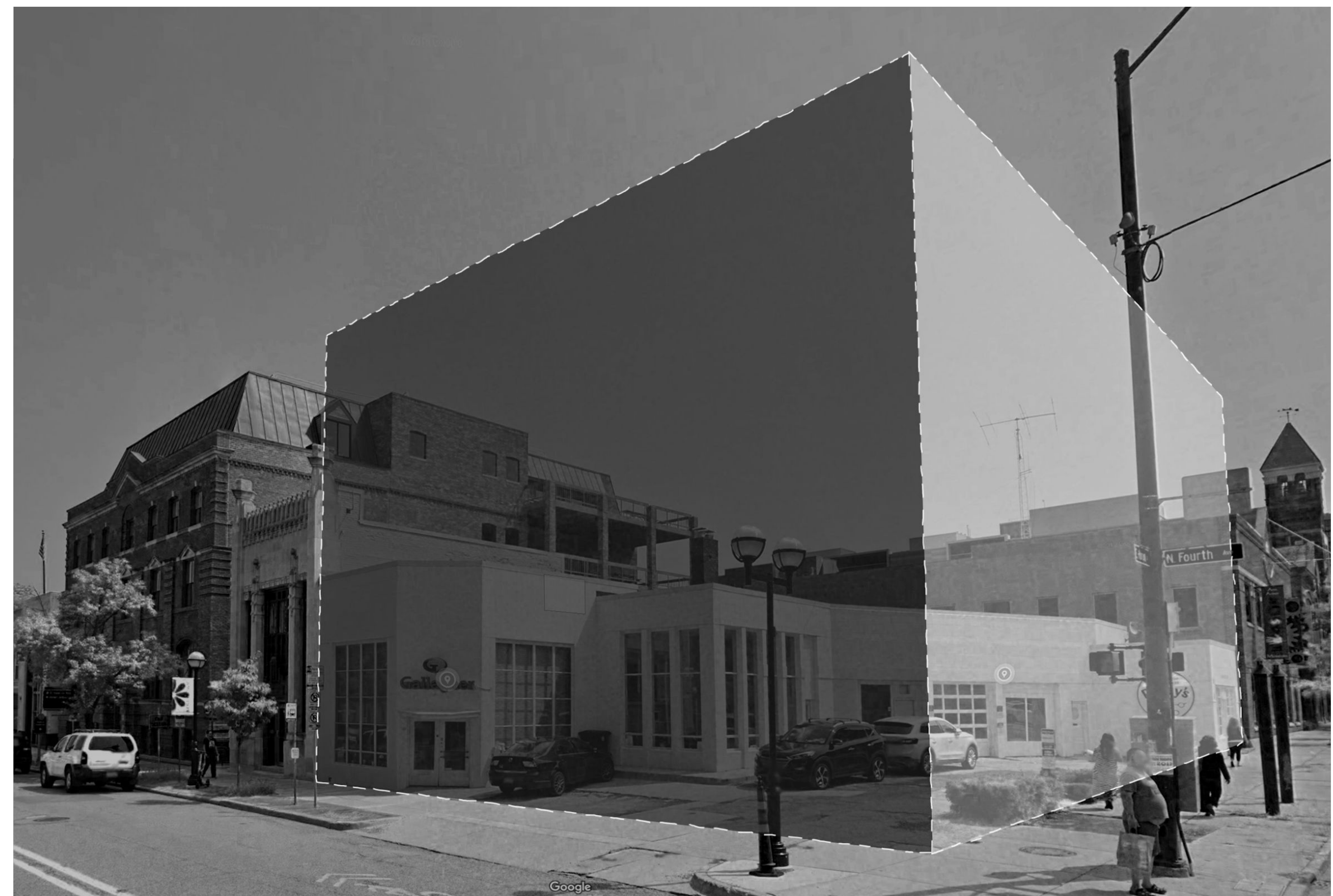
Old is cool.



General Considerations

The south adjacent Gulf Building is owned by Dahlmann Properties and they have indicated that they plan on selling it in the future for development.

The platt is not part of the Fourth/Ann District, and a 4 story structure could be placed there.



General Considerations

Two doors down at 116 North Fourth Ave is a second Washtenaw Abstract Co building that has undergone significant additions that include a rooftop patio.

Those additions are viewable from Ann Street as well as Fourth Ave.

We have taken great care in researching and considering our rear addition to ensure it fits respectfully with the building and into the surrounding area.



General Considerations

Across the street at 206 East Huron Street, Cahoots has recently added a rooftop structure that is visible from Fourth Ave.

That structure uses similar materials and styles to those that we have proposed.



RESTORATION

Restoration

Environmental Cleanup - as part of the purchase, we discovered a 500 gallon heating oil tank in the 1949 basement. The tank was safely discharged, cleaned, and all required certifications filed with the State of Michigan.

Windows - The wooden windows on the north side of the building are in need of repair. We are partnering with [Robin Adair](#) to fully restore the windows. He will also preserve the front metal framed windows by reglazing, removing all rust, and protecting the metal from future decay.



Restoration

Tuck Pointing - All stonework on the building's facade and brickwork will be re-tuck pointed with historically accurate materials in order to preserve the integrity of the unique and historic features.

Parapet - The southern parapet has experienced severe water damage due to the incorrect paint used to cover it. We will repair the masonry to ensure it's structurally sound for future generations and use ***the same color, material and dimensions of coping that is currently on the building.***



ABOUT US

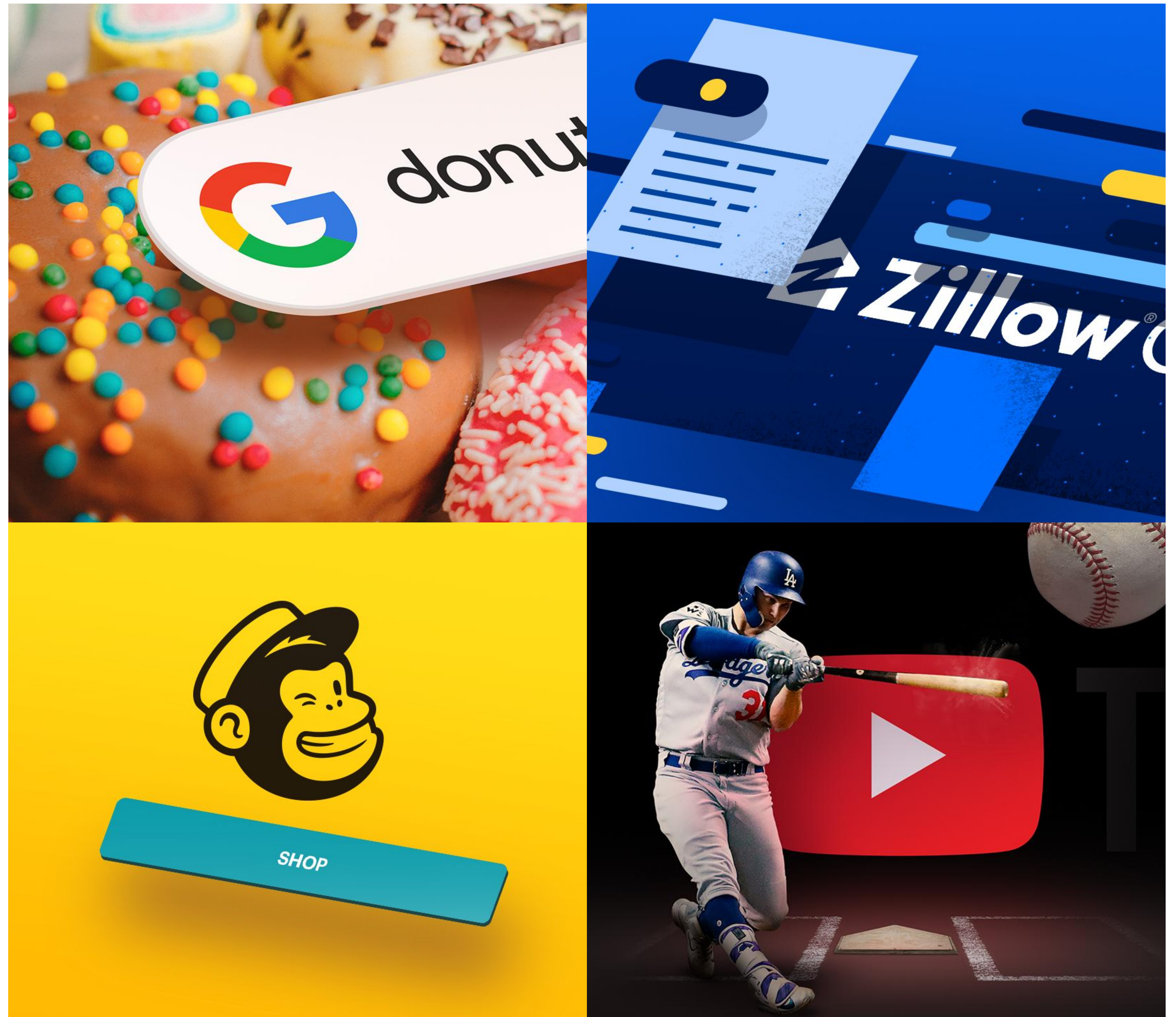
Hook

Hook is a Creative Production Agency that creates ads, content, and experiences for industry-leading brands such as Google, YouTube, Nike, Zillow, Mailchimp, and Stripe.

Founded in Ann Arbor in 2006, the agency has grown to employ 110 people, 48 of whom live in or around Ann Arbor.

We are currently transitioning from our original office space at 255 E. Liberty St.

Ad Age Small Agencies of the Year • 2020
Adweek Fastest Growing Agencies • 2020



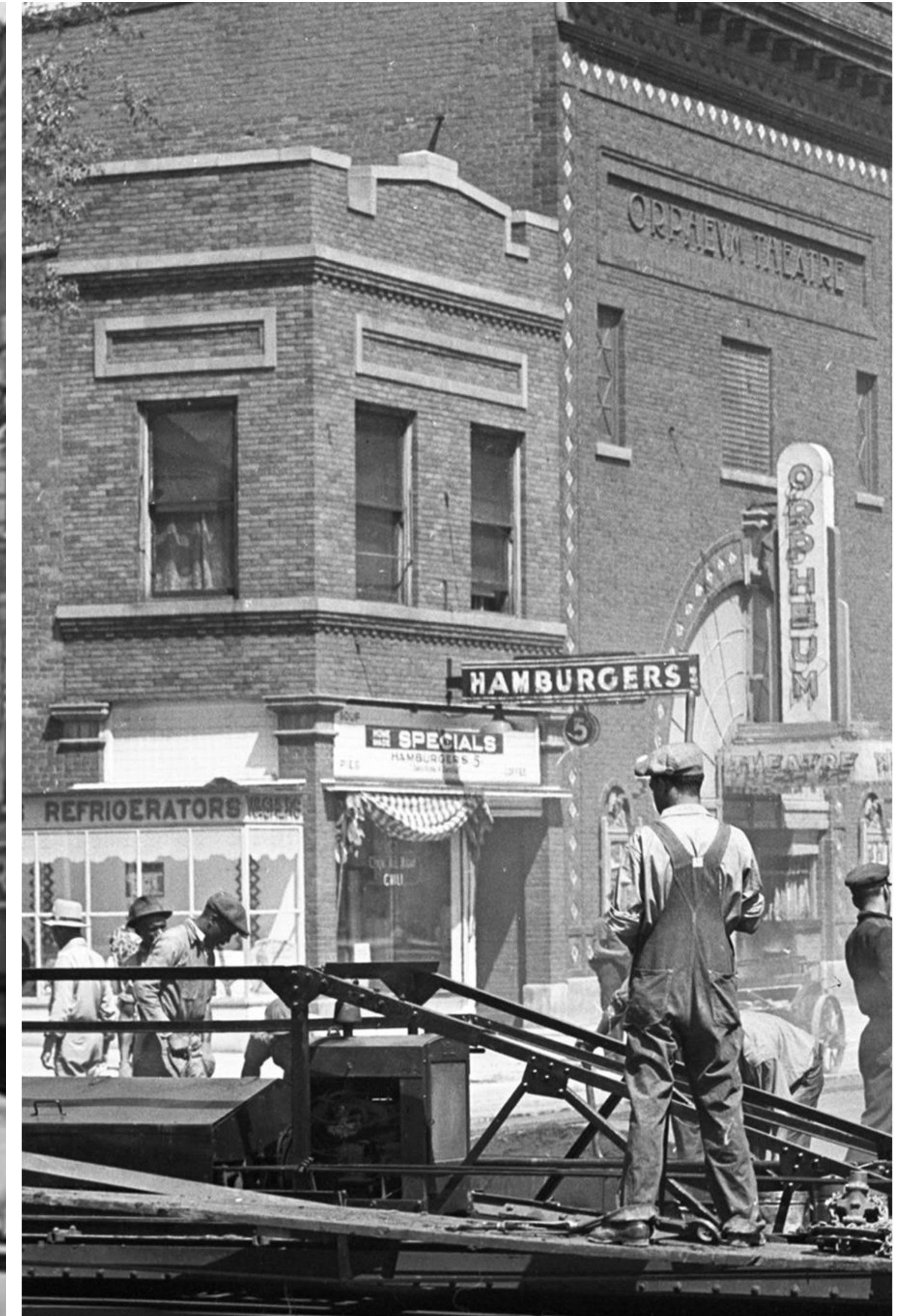
Ann Arbor natives and Hook founders Michael Watts and Aaron Schwartz currently own and maintain two other historic properties in Ann Arbor.

In 2015, they purchased the Haarer building at 113 West Liberty, launching a full restoration of the original windows, repair of the exterior brick, and removal of all hazardous materials including asbestos and lead paint.

In 2019, they acquired the historic building at 328 S. Main St. and are currently engaged in an active restoration project after serious dilapidation of the building and departure of the Prickly Pear.



In 2015, we purchased and restored the Haarer Building at 113 West Liberty St.



In 2019, we purchased the Hamburger Building at 328 South Main St. (Formerly the Prickly Pear). We're currently performing renovations.