

**DEVELOPER/PETITIONER:**  
ANN ARBOR HOUSING DEVELOPMENT CORPORATION  
JENNIFER HALL  
2000 SOUTH INDUSTRIAL  
ANN ARBOR, MICHIGAN 48104  
PHONE: 734-794-6721

**ARCHITECT**  
LONDON BONE BAKER ARCHITECTS  
JACK SCHROEDER AIA  
1625 W CARROLL AVE  
CHICAGO, IL 60612  
PHONE: 312-988-9100

**ENGINEER/PETITIONER'S AGENT:**  
MACON ENGINEERING, LLC  
KATHY KEINATH, P.E.  
PO BOX 314  
CHELSEA, MI 48118  
PHONE: 734-216-9941

**OWNER**  
CITY OF ANN ARBOR  
PO BOX 8647  
ANN ARBOR, MI 48107

**SUPERVISOR:**  
LIVINGSTON ENGINEERS  
DENNIS LONG PS  
3300 S OLD US23  
BRIGHTON, MI 48114  
810-225-7100

**BUILDER/GENERAL CONTRACTOR:**  
ONEAL CONSTRUCTION  
TIMOTHY STOUT  
525 W WILLIAM  
ANN ARBOR, MI 48103  
PHONE: 734-769-0770

**DEVELOPMENT CONSULTANT**  
DMC REAL ESTATE SERVICES  
DARREN MCKINNON, PE  
ANN ARBOR, MI 48103  
PHONE: 734-845-9199

**STATEMENT OF INTEREST IN LAND**  
THE PETITIONER WILL BE THE OWNER AND DEVELOPER OF THE PROPERTY.

**DEVELOPMENT PROGRAM**  
THE DEVELOPMENT PROGRAM FOR THE PROJECT INCLUDES RESIDENTIAL UNITS ON FLOORS 2&6, COMMUNITY SPACE AND COMMON AREAS. THE UNITS ARE PRIMARILY ONE BEDROOM. THE GROUND FLOOR INCLUDES TWO SPACES. THE EASTERLY PORTION OF THE GROUND FLOOR PRIMARILY SERVES THE TENANTS WITH OFFICES AND SUPPORTIVE HOUSING SERVICES. THE WESTERLY PORTION OF THE GROUND FLOOR IS CURRENTLY PROPOSED TO BE ORIENTED TOWARDS CULTURAL, COMMUNITY OR RETAIL ACTIVITY. THE PETITIONER IS WORKING WITH THE COMMUNITY LEADERSHIP COUNCIL TO ACTIVATE THE FIRST FLOOR AND TO INCORPORATE ART TO REFLECT THE NEIGHBORHOOD'S HISTORY AND COLLABORATE WITH BLACK ARTISTS.

**COMMUNITY ANALYSIS**  
THE PROPOSED PROJECT SITE IS LOCATED WITH FRONTAGE ON BOTH CATHERINE STREET AND FOURTH AVENUE WITH A PUBLIC ALLEY ALONG THE WEST PROPERTY LINE. THE SITE IS CURRENTLY ZONED D2. THE EXISTING SITE INCLUDES A PUBLIC PARKING LOT. THE PROPERTY TO THE WEST IS COMMERCIAL ZONED D2. THE PROPERTY TO THE NORTH IS THE COMMERCIAL, ZONED D2.

**TRAFFIC IMPACT ANALYSIS**  
VEHICULAR, PEDESTRIAN AND BICYCLE ROUTES ARE SHOWN ON THE PLANS. THERE ARE CURRENTLY CROSS WALKS LOCATED AT THE INTERSECTION ON BOTH FOURTH AVE AND CATHERINE STREET. A NEW BIKE LANE WAS RECENTLY CONSTRUCTED ALONG CATHERINE STREET AS PART OF THE IMPROVEMENTS IMPLEMENTED BY THE DDA. TRIP GENERATIONS ARE SHOWN BELOW BASED ON THE INSTITUTE OF TRANSPORTATION ENGINEERS COMMON TRIP GENERATIONS. NO TRAFFIC STUDY IS REQUIRED BASED ON CITY CODE.

Land Use	ITE Code	Amount	BASE VEHICLE TRIP GENERATION			
			AM Peak Hour	PM Peak Hour	Total	
Affordable Housing	223	66	DU	6	18	24
Retail Center	825	2.1	1000 sf	1	0	1
				1	3	3
				1	3	6

Trip Rates taken from ITE Trip Generation manual, 11th Edition

DATA OBTAINED FROM THE DDA FOR THE EXISTING PARKING LOT SHOWS THAT THE PARKING LOT IS TYPICALLY MOST UTILIZED ON SATURDAYS WITH THE HIGHEST VOLUME OCCURRING FROM 8 AM TO 9 AM. THE CURRENT PARKING LOT HAS 51 SPACES AND THE PARKING DATA SHOWS 72 VEHICLES DURING THE PEAK HOUR. THIS RESULTS IN A TURN OVER RATE OF 1.4. APPLYING THAT TURNOVER RATE TO THE PROPOSED 18 PARKING SPACES RESULTS IN 25 VEHICLES DURING THE PEAK HOUR.

# 121 CATHERINE

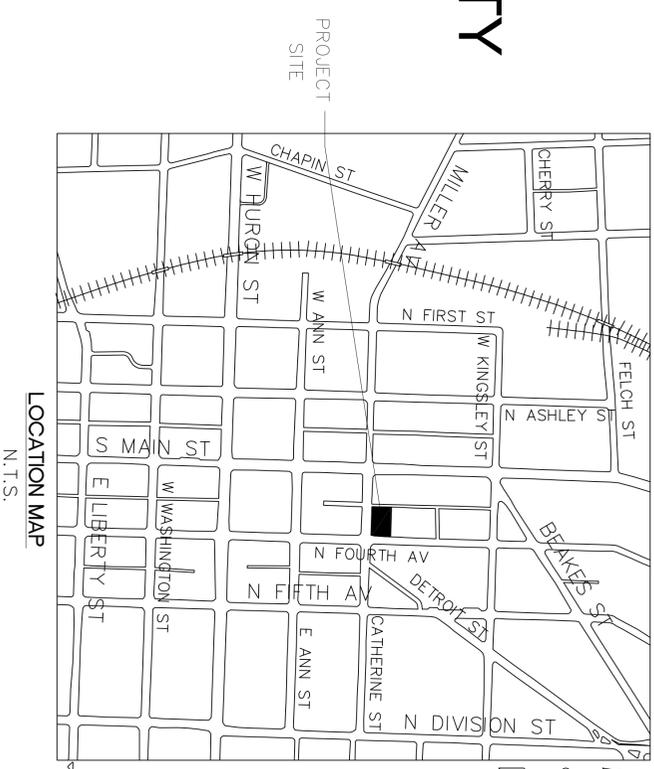
## ANN ARBOR, WASHTEENAW COUNTY

### SITE PLAN SP22-2020

#### COMPARISON CHART

	EXISTING	PROPOSED	REQUIRED
Zoning District	D2	D2	D2
Character Overlay District	Kerrytown	Kerrytown	Kerrytown
Lot Area	16,698 sf	16,698 sf	N/A
Lot Width	124.09 ft	124.09 ft	N/A
Residential Dwelling Units	0	63	N/A
Commercial Units	0	1	N/A
Total Floor Area	0 sf	62,414 sf	N/A
FAR	0%	374%	200% Normal 400% w premiums
Front setback Catherine	N/A ft	5.35 ft	0 ft
Front setback Fourth	N/A ft	0.0 ft	0 ft
Side Setback (alley)	N/A ft	0.0 ft	0 ft
Rear Setback (N prop line)	N/A ft	0.0 ft	N/A
Building Height	N/A	61 ft	Max 60 ft + 30% = 78 ft
Streetwall Height	N/A	2	Min 2 stories, Max 3 stories
Offset at Top of Streetwall	N/A	5 ft	Ave 5 ft
Massing Articulation	N/A	24 ft	Max 40 ft
Building Coverage	0%	69%	Max 80%
Open Space	N/A	11.70%	Min 10%
Bicycle Parking Residential	0	23	23 A 1/2500 sf usable floor area
Total Vehicular Parking	51	18	1 C 1/10,000 sf usable floor area
EV-C Vehicular Parking	0	14	15 Base FAR home, Premium 1/1000 sf
Barrier Free EV Parking	3	4	2. 10% of Spaces
Barrier Free EV Parking	0	1	1 Total Spaces 1 to 25
		1	1 Required EVI Spaces 1 to 4

**STANDARD SIDEWALK REPAIR AND MAINTENANCE NOTE**  
ALL SIDEWALKS ARE TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.



**LEGAL DESCRIPTION**  
LOT 27, ASSESSOR'S PLAT NO. 29, AS RECORDED IN LIBER 9 OF PLATS, PAGE 20, WASHTEENAW COUNTY RECORDS, (AS PROVIDED BY ABSOLUTE TITLE, INC., FILE NO. 91353, EFFECTIVE DATE: OCTOBER 4, 2021 @ 5:00 P.M.)

**GENERAL DESCRIPTION OF NATURAL FEATURES**  
THERE ARE NO WOODLANDS, WETLANDS, LANDMARK TREES, WATERCOURSES, STEEP SLOPES, FLOODPLAINS, OR ENDANGERED SPECIES HABITAT LOCATED ON THE SITE.

**NATURAL FEATURES STATEMENT OF IMPACT**  
THERE ARE NO NATURAL FEATURES LOCATED ON THE SITE. THERE WILL BE NO IMPACT TO NATURAL FEATURES.

**SOIL EVALUATION**  
THE SOILS ON THE SITE ARE FOX SERIES F08 BASED ON THE COUNTY SOIL MAPS. INFILTRATION TESTING ON THE SITE WAS PERFORMED. THE TESTING RESULTED IN NO INFILTRATION ON THE SITE WITH RATES OF 0.0 IN/HR.

**SUSTAINABILITY**  
TO ACHIEVE A NET ZERO READY BUILDING, OUR TEAM WILL DESIGN A BUILDING THAT MEETS A MINIMUM OF NGBS GREEN + ZERO ENERGY CERTIFICATION. OUR VISION IS A BEAUTIFUL, SUSTAINABLE BUILDING THAT MAXIMIZES ENERGY EFFICIENCY, WATER EFFICIENCY, AND RENEWABLE ENERGY WHILE MINIMIZING ITS ENVIRONMENTAL IMPACT ON SURROUNDING INFRASTRUCTURE. THE SITE WILL FEATURE PUBLICLY AVAILABLE ELECTRIC VEHICLE CHARGING STATIONS. THE ROOFTOP WILL MAXIMIZE THE PRODUCTION OF RENEWABLE ENERGY AND RAINWATER CAPTURE THROUGH CO-LOCATION OF A GREEN ROOF AND CONSTRUCTION THAT WILL ALLOW FOR POSSIBLE FUTURE INSTALLATION OF SOLAR PANELS. WE ALSO PLAN TO INCORPORATE INSTALLATION OF LOW FLOW WATER FIXTURES, ENERGY EFFICIENT LIGHTING, ENERGY STAR APPLIANCES, LOW OR NO-VOC PAINTS AND SEALANTS, DIRECT EXTERIOR VENTING, USE OF REGIONAL MATERIALS, USE OF MATERIALS WITH RECYCLED CONTENT, ENVIRONMENTALLY PREFERRED FLOORING (FLOORSCORE OR GREEN LABEL CERTIFIED), AND ON-GOING DATA COLLECTION AND MONITORING.

#### SHEET INDEX

- SP-01 COVER
- SP-02 ALTA SURVEY
- SP-03 DEMOLITION PLAN
- SP-04 LAYOUT PLAN
- SP-05 NATURAL FEATURES
- SP-06 LANDSCAPE
- SP-07 UTILITIES PLAN
- SP-08 GRADING, EROSION CONTROL AND STORM WATER MANAGEMENT
- SP-09 SITE DETAILS
- SP-10 SITE DETAILS AND STORM WATER CALCULATIONS
- SP-11 SOLID WASTE MANAGEMENT PLAN
- SP-12 PHOTOMETRIC PLAN
- A001 PERSPECTIVE RENDERINGS
- A100 PARTIAL BASEMENT PLAN
- A101 FIRST FLOOR PLAN
- A102 SECOND FLOOR PLAN
- A103 THIRD FLOOR PLAN
- A104 FOURTH FLOOR PLAN
- A105 FIFTH FLOOR PLAN
- A106 SIXTH FLOOR PLAN
- A107 ROOF PLAN
- A201 BUILDING ELEVATIONS
- A202 BUILDING ELEVATIONS
- A301 BUILDING SECTION
- A301 PRELIMINARY NOT FOR CONSTRUCTION

Correct the address here.



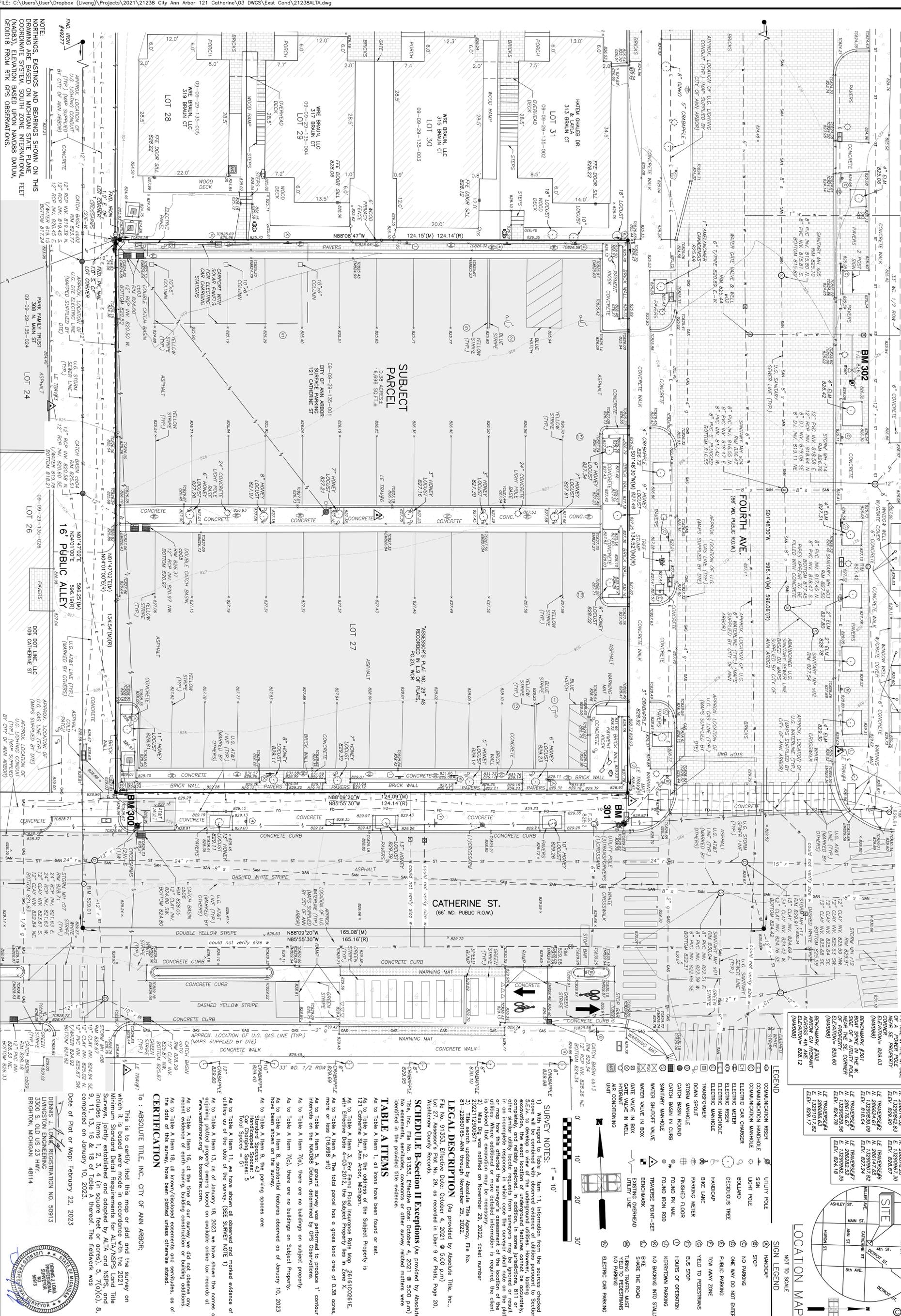
**Macon Engineering, LLC.**  
P.O. Box 314, Chelsea, MI 48118 734-216-9941

221 CATHERINE  
ANN ARBOR, MI  
SITE PLAN  
COVER



DATE	2-22-23
SCALE	11-17-22
SHEET NO.	N.T.S.
	SP-01

# ALTA/NSPS LAND TITLE & TOPOGRAPHIC SURVEY



APPROX. LOCATION OF U.G. LIGHTING CONDUIT (TYP.) (MAP SUPPLIED BY CITY OF ANN ARBOR)

APPROX. LOCATION OF U.G. WATER MAIN (TYP.) (MAP SUPPLIED BY CITY OF ANN ARBOR)

APPROX. LOCATION OF U.G. SEWER MAIN (TYP.) (MAP SUPPLIED BY CITY OF ANN ARBOR)

APPROX. LOCATION OF U.G. GAS MAIN (TYP.) (MAPS SUPPLIED BY DTE)

LE CONTROL	LE CONTROL
LE TRAVELER#1 N. 286014.52 E. 1329042.83 ELEV. 829.80	LE TRAVELER#5 N. 289147.65 E. 1329042.83 ELEV. 829.80
LE TRAVELER#2 N. 28624.61 E. 1329042.83 ELEV. 829.80	LE TRAVELER#6 N. 289147.65 E. 1329042.83 ELEV. 829.80
LE TRAVELER#3 N. 28624.61 E. 1329042.83 ELEV. 829.80	LE TRAVELER#7 N. 289147.65 E. 1329042.83 ELEV. 829.80
LE TRAVELER#4 N. 28624.61 E. 1329042.83 ELEV. 829.80	LE TRAVELER#8 N. 289147.65 E. 1329042.83 ELEV. 829.80



LEGEND	SIGN LEGEND
COMMUNICATION RISER	UTILITY POLE
COMMUNICATION HANDHOLE	STOP
ELECTRIC METER	NO PARKING
ELECTRIC METER	ONE WAY DO NOT ENTER
ELECTRIC METER	PUBLIC PARKING
ELECTRIC METER	TOW AWAY ZONE
ELECTRIC METER	YIELD TO PEDESTRIANS
ELECTRIC METER	BUS STOP
ELECTRIC METER	HOURS OF PARKING
ELECTRIC METER	NO BACKING INTO STALLS
ELECTRIC METER	BIKE
ELECTRIC METER	SHARE THE ROAD
ELECTRIC METER	TURNING TRAFFIC MUST STOP
ELECTRIC METER	NO PARKING
ELECTRIC METER	ELECTRIC CAR PARKING

**LEGEND**

- UTILITY POLE
- STOP
- NO PARKING
- ONE WAY DO NOT ENTER
- PUBLIC PARKING
- TOW AWAY ZONE
- YIELD TO PEDESTRIANS
- BUS STOP
- HOURS OF PARKING
- NO BACKING INTO STALLS
- BIKE
- SHARE THE ROAD
- TURNING TRAFFIC MUST STOP
- NO PARKING
- ELECTRIC CAR PARKING

**SURVEY NOTES:**

- 1) With regard to Table A, Item 11, information from the sources checked above will be combined with observed evidence of utilities pursuant to Section 207.10 of the Michigan Surveying Act. The exact location of underground features cannot be accurately ascertained, and are shown as approximate locations. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in a utility being located at a different location than the actual location of the utility. Where additional or more detailed information is required, the client is advised that excavation may be necessary. (See Note 2, 2022, ticket number 20221155)
- 2) Title search updated by Absolute Title Agency, File No. 81-22860165-ANN through November 29, 2022.
- 3) Title search updated by Absolute Title Agency, File No. 81-22860165-ANN through November 29, 2022.

**SCHEDULE B-Section II Exceptions** (As provided by Absolute Title, Inc., File No. 91353, Effective Date: October 4, 2021 @ 5:00 PM)

No easements, servitudes, covenants or other survey related matters were identified in the provided title evidence.

**TABLE A ITEMS**

As to Table A Item 1, all items have been found or set.

As to Table A Item 2, the address of the Subject Property is 121 Catherine St., Ann Arbor, Michigan.

As to Table A Item 3, Parcel No. 29, as recorded in Liber 9 of Public Records, Page 20, Washburn County Records.

**CERTIFICATION**

To: ABSOLUTE TITLE, INC., CITY OF ANN ARBOR.

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4 (in square feet or acres), 5, 7(a)(c), 8, 9, 11, 13, 16 & 18 of Table A hereof. The fieldwork was completed on January 10, 2023.

Date of Plot or Map: February 22, 2023

**REVISIONS**

DATE	REVISIONS
10/11/22	ADJUST U.G. ELEC LINE IN ALLEY
01/18/23	UPDATE ALTA
02/22/23	REVISIONS PER CITY

**DATE** 2021-11-24

**Job no.** 21238

**Scale:** 1" = 10'

**Vertical:** 1" = 10'

**Horizontal:** 1" = 10'

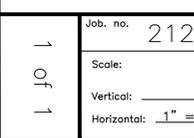
**Client**  
CITY OF ANN ARBOR  
HOUSING COMMISSION  
20000 S. INDUSTRIAL HWY  
ANN ARBOR, MICHIGAN 48104

**Drawn:** N. LEMONS

**Checked:**

**Approved:**

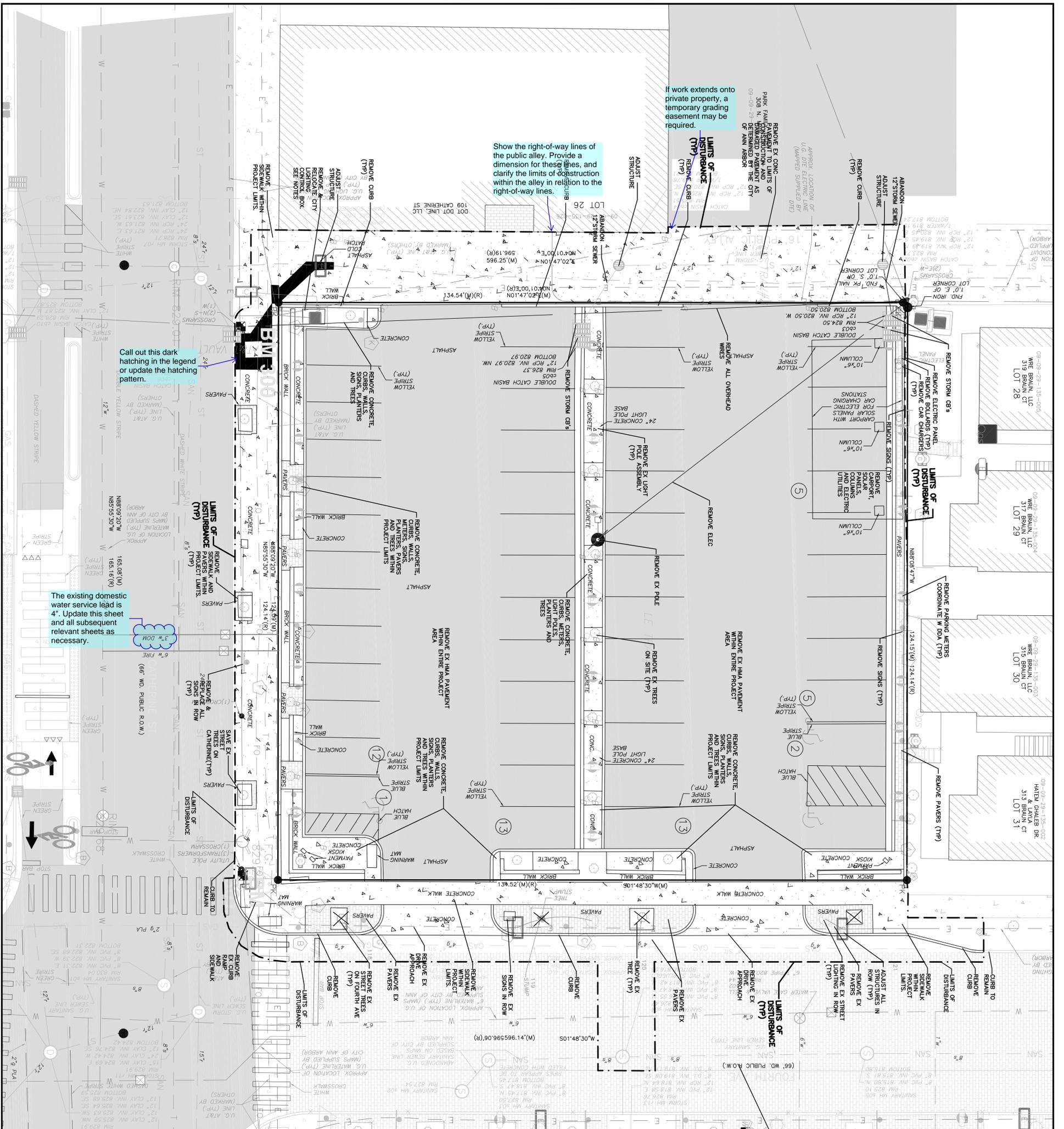
**Date:** 2021-11-24



**DENNIS J. LEMONS**  
REGISTERED PROFESSIONAL ENGINEER  
LICENSE NO. 9093  
LIVINGSTON ENGINEERING  
3300 S. OLD U.S. 23 HWY.  
BRIGHTON, MICHIGAN 48114

**LIVINGSTON ENGINEERING**  
CIVIL ENGINEERING SURVEYING PLANNING  
3300 S. OLD U.S. 23, BRIGHTON, MI 48114  
PHONE: (810) 225-7100 FAX: (810) 225-7699

**ALTA/NSPS LAND TITLE SURVEY**  
121 CATHERINE ST.  
ANN ARBOR, MICHIGAN 48104



If work extends onto private property, a temporary grading easement may be required.

Show the right-of-way lines of the public alley. Provide a dimension for these lines, and clarify the limits of construction within the alley in relation to the right-of-way lines.

Call out this dark hatching in the legend or update the hatching pattern.

The existing domestic water service lead is 4". Update this sheet and all subsequent relevant sheets as necessary.

REMOVE EX BRICK AS SHOWN. ALL BRICK IS TO BE SALVAGED AND REPLACED.

- NOTES:
1. CONTRACTOR TO REMOVE ALL EXISTING PARKING METERS ON THE SITE AND COORDINATE SALVAGE WITH DDA.
  2. ALL EXISTING UNUSED UTILITY SERVICE LEADS ARE TO BE CUT AND CAPPED AT THE MAIN.
  3. REMOVE PAVEMENT AS DIRECTED BY THE CITY.
  4. REMOVE EX CONC TO REMOVE/REPLACE CURB PAVEMENT. REMOVE SERVICE LEADS AND CONSTRUCT ALL STRUCTURES WITHIN INFLUENCE OF PROPOSED GRADES.
  5. THE BRICKS DISTURBED DURING CONSTRUCTION IN FOURTH AVE SHALL BE SALVAGED, RESTORED AND REUSED IN THE RESTORATION OF FOURTH AVE. DAMAGED BRICKS SHALL BE REPLACED.
  6. BID TO RELOCATE STREET LIGHTING CONTROL BOX TO RELOCATE STREET LIGHTING CONTROL. MAIN/CATHERINE INTERSECTION. PROPOSED LOCATION HAS BEEN COORDINATED WITH CITY OF ANN ARBOR SIGNS & SIGNALS.

Reword this note to read "will be" instead of "has been" and delete "to northeast corner of Main/Catherine intersection." A final location has not yet been coordinated with Signs and Signals.

Edit note 2 to read "All existing unused utility service leads are to be permanently killed at the main."

LEGEND

	AIR CONDITIONING
	UTILITY POLE
	ELECTRIC CAR CHARGER
	ELECTRIC METER
	ELECTRIC RISER
	ELECTRIC HANDHOLE
	TRANSFORMER
	DOWN SPOUT
	CATCH BASIN ROUND
	CATCH BASIN IN CURB
	SANITARY MANHOLE
	WATER SHUTOFF VALVE
	WATER VALVE IN BOX
	GATE VALVE IN WELL
	HYDRANT
	HANDICAP
	BIKE LANE
	PARKING METER
	FOUND IRON ROD
	SET IRON ROD
	TRANSVERSE POINT-SET
	EXISTING OVERHEAD UTILITY LINE
	PR STORM SEWER
	PR SANITARY SEWER
	PR WATER MAIN
	PR PROJECT LIMITS OF DISTURBANCE
	PR TREE FENCE
	PR INLET FILTER
	PR CONCRETE
	PR BRICK
	PR HMA PAVEMENT
	PR CONTOUR LINE
	PR CURB
	PR SPOT GRADE

121 CATHERINE ANN ARBOR, MI

SITE PLAN DEMOLITION

DATE: 2-22-23  
SCALE: 1"=10'  
SHEET NO: SP-03

# Macon Engineering, LLC.

P.O. Box 314, Chelsea, MI 48118 734-216-9941

Know what's below. Call before you dig.

FOR INFORMATION ON THE STATE OF MICHIGAN'S CALL BEFORE YOU DIG PROGRAM, VISIT US ONLINE AT WWW.CALLBEFOREYODIG.COM OR CALL 1-800-487-3874. THE CALL BEFORE YOU DIG PROGRAM IS A SERVICE PROVIDED BY THE MICHIGAN DEPARTMENT OF TRANSPORTATION AND INFRASTRUCTURE SERVICES. IT IS NOT A GUARANTEE OF THE ACCURACY OF THE INFORMATION PROVIDED. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY ANY FAILURE TO CALL BEFORE YOU DIG.

There is no existing curb and gutter for the proposed curb and gutter to connect to.

Clarify the purpose of these rubber speed bumps.

Darken the weight of the directional labels for the drive approaches.

Label who will own and maintain the proposed bench and bike hoop in the Catherine Street right-of-way.

Label the ownership of all streetlights and utility poles within the public right-of-way. Note whether these are existing or proposed.

Show the existing fire hydrant in this area.

Label this symbol (the dark circle with a diagonal line from the upper left down to the lower right).

Label the radius of this curve at the intersection of N Fourth Avenue and Catherine Street.

**LEGEND**

	AIR CONDITIONING
	UTILITY POLE
	SIGN
	LIGHT POLE
	DECIDUOUS TREE
	HANDICAP
	BIKE LANE
	PARKING METER
	FOUND IRON ROD
	SET IRON ROD
	BENCHMARK
	EXISTING OVERHEAD UTILITY LINE
	PR STORM SEWER
	PR SANITARY SEWER
	PR WATER MAIN
	PR SIL I FENCE
	PR TREE FENCE
	PR INLET FILTER
	PR CONCRETE
	PR BRICK
	PR HMA PAVEMENT
	PR CURB
	PR CONTOUR LINE
	PR SPOT GRADE
	PR STREET LIGHT

**LAYOUT NOTES:**  
 SETBACKS ALLOWED:  
 FRONT 0'  
 SIDE 0'

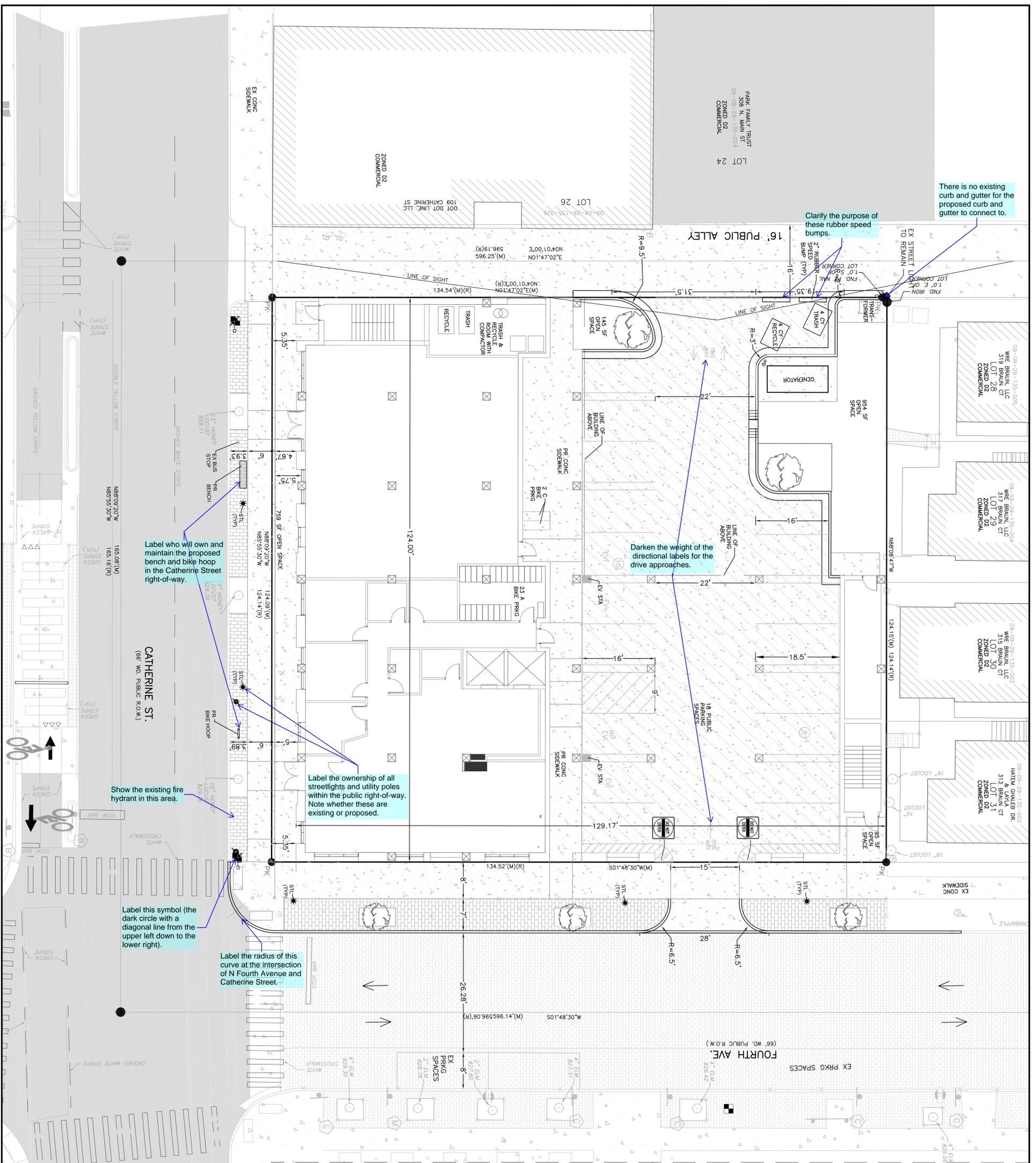
**PARKING:**  
 THE PROJECT PROPOSES TO PROVIDE 18 PUBLIC PARKING SPACES.

**BALCONIES:** WILL COMPLY WITH CHAPTER 39 OF THE BUILDING CODE FOR ARCHITECTURAL DRAWINGS FOR BALCONY DIMENSIONS.

**PUBLIC SIDEWALK EXTENSION, FOURTH AVENUE AND CATHERINE STREET:**  
 THE PROPOSED MATERIALS INTENDED TO REPLACE THE PAVEMENT, BRICK PAVERS, BRICK EXTENSION PAVERS, BIKE HOOPS, LIGHT POLES, TREE GRATES, BENCHES AND ANY OTHER FINISHES DISTURBED BY THE PROJECT SHALL BE REPLACED AND ARE TO MATCH THE DETAILS PROVIDED IN THE CITY OF ANN ARBOR, DOWNTOWN DEVELOPMENT AUTHORITY REQUIREMENTS.

**FOURTH AVE BRICK REPLACEMENT:**  
 REPLACEMENT OF AREAS DISTURBED DURING THE COURSE OF THE PROJECT ARE TO BE REPLACED TO MATCH THE EXISTING CONDITIONS. THE BRICK CROSS SECTION WITHIN FOURTH AVE IS AS FOLLOWS:  
 6" COLEMAN SAND BED  
 2" SAND BED  
 8" CONCRETE BASE  
 CURB AND GUTTER, THICKENED PLAN

**PUBLIC ALLEY PAVEMENT REPLACEMENT:**  
 REPLACEMENT OF AREAS DISTURBED DURING THE COURSE OF THE PROJECT ARE TO BE REPLACED TO MATCH THE EXISTING CONDITIONS.



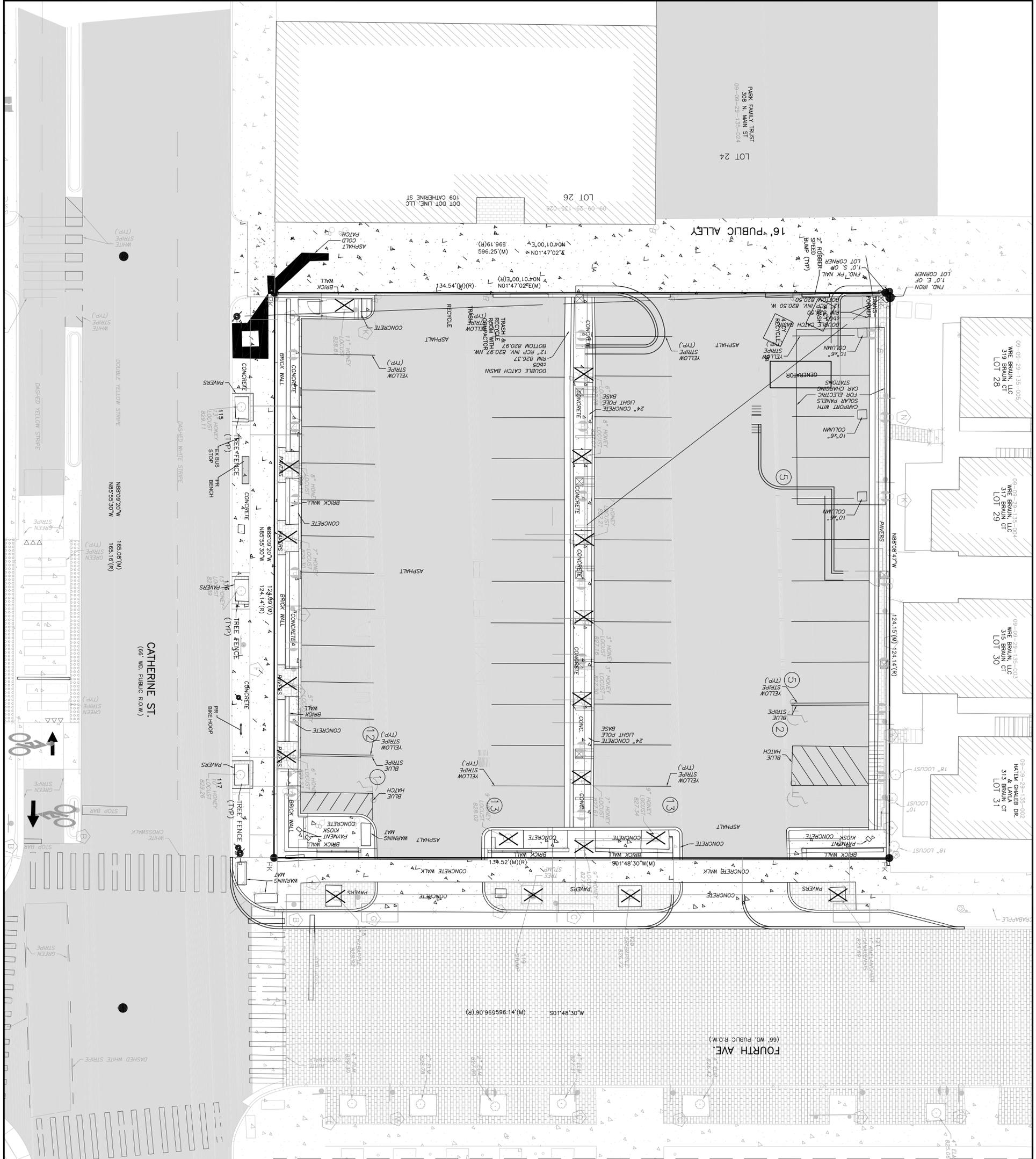
**121 CATHERINE ANN ARBOR, MI**

**SITE PLAN LAYOUT**

DATE	2-22-23
SCALE	1"=10'
SHEET NO.	SP-04

**Macon Engineering, LLC.**  
 P.O. Box 314, Chelsea, MI 48118 734-216-9941

Know what's below.  
 Call before you dig.



LEGEND

- COMMUNICATION RISER
- COMMUNICATION HANDHOLE
- UTILITY POLE
- ELECTRIC CAR CHARGER
- ELECTRIC METER
- ELECTRIC RISER
- ELECTRIC HANDHOLE
- TRANSFORMER
- DOWN SPOUT
- STORM MANHOLE
- CATCH BASIN ROUND
- CATCH BASIN IN CURB
- SANITARY MANHOLE
- WATER SHUTOFF VALVE
- WATER VALVE IN BOX
- GATE VALVE IN BOX
- GATE VALVE IN WELL
- HYDRANT
- AIR CONDITIONING
- UTILITY POLE
- SIGN
- LIGHT POLE
- BOLLARD
- DECIDUOUS TREE
- HANDICAP
- BIKE LANE
- PARKING METER
- FINISHED FLOOR
- FOUND IRON ROD
- SET IRON ROD
- FRANCHISE POINT-SET
- BENCHMARK
- EXISTING OVERHEAD UTILITY LINE
- PR SANITARY SEWER
- PR STORM SEWER
- PR WATER MAIN
- PR SANITARY MAIN
- PR SUI I FENCE
- PR TREE FENCE
- PR INLET FILTER
- PR CONCRETE
- PR BRICK
- PR HMA PAVEMENT
- PR CURB
- PR CONTOUR LINE
- PR SPOT GRADE
- PR STREET LIGHT
- REMOVE TREE

NOTES

- THESE ARE NO WOODLANDS, WETLANDS, LANDMARK TREES, WATERCOURSES, STEEP SLOPES, FLOODPLAINS, OR ENDANGERED SPECIES HABITAT LOCATED ON THE SITE. THE STREET TREES ON CATHERINE WILL BE PRESERVED AND SAVED. TREE FENCE TO BE PROVIDED AROUND EACH STREET TREE.

TREE INVENTORY

Number	Size (in)	Species	Remove	Notes
101	6	Honey Locust	X	
102	8	Honey Locust	X	
103	7	Honey Locust	X	
104	3	Honey Locust	X	
105	3	Honey Locust	X	
106	7	Honey Locust	X	
107	9	Honey Locust	X	
108	9	Honey Locust	X	
109	9	Honey Locust	X	
110	6	Honey Locust	X	
111	5	Honey Locust	X	
112	7	Honey Locust	X	
113	8	Honey Locust	X	
114	11	Honey Locust	X	
115	13	Honey Locust	X	Street Tree
116	13	Honey Locust	X	Street Tree
117	10	Honey Locust	X	Street Tree
118	3	Crabapple	X	Street Tree
119	10	Stump	X	Street Tree
120	4	Crabapple	X	Street Tree
121	1	Serviceberry	X	Street Tree

DATE: 2-22-23

SCALE: 1"=10'

SHEET NO. SP-05

121 CATHERINE ANN ARBOR, MI

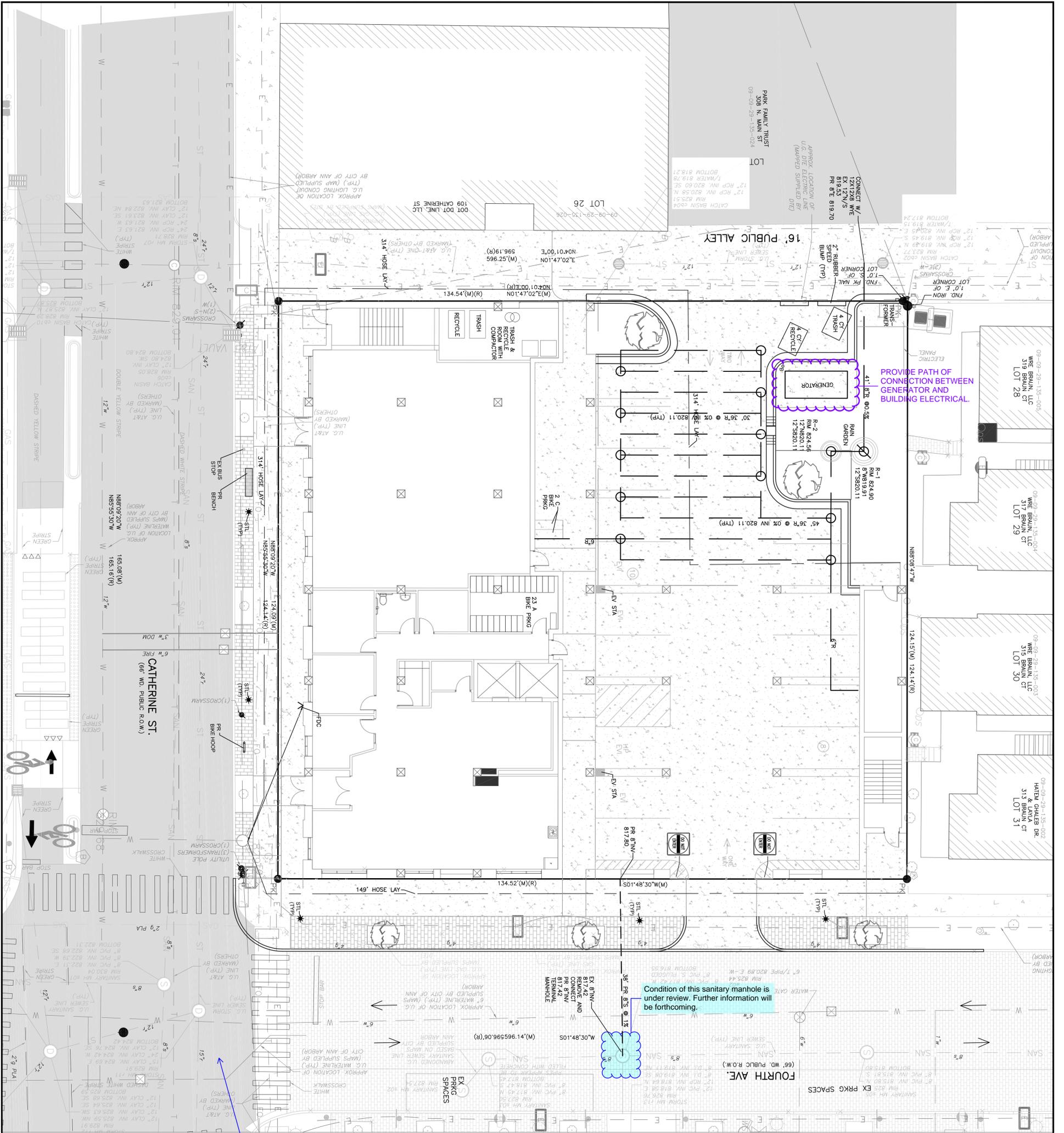
SITE PLAN NATURAL FEATURES OVERLAY

# Macon Engineering, LLC.

P.O. Box 314, Chelsea, MI 48118 734-216-9941

Know what's below. Call before you dig.

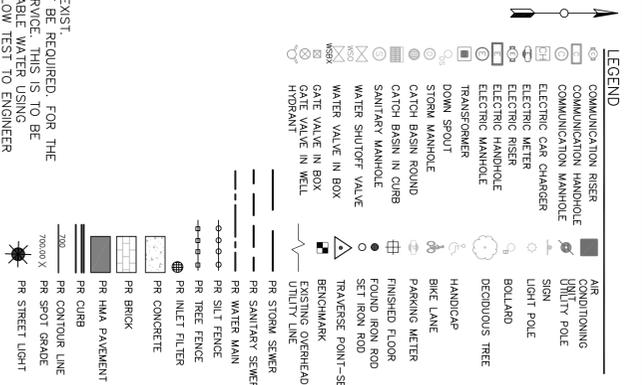




If Catherine Street is not proposed to be repaved, remove the gray hatching or update the gray hatching in the legend on this and all relevant pages.

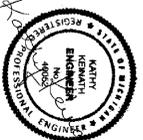
SANITARY SEWER MITIGATION CALCULATIONS	
Existing Unenclosed Parking Spaces	51 spaces
Design Dry Weather Flow Rate	0 gpd/seat
<b>Total Existing Dry Weather Flow</b>	<b>0 gpd</b>
Proposed Residential Units up to 600 sf	42
Design Dry Weather Flow Rate	175 gpd/unit
Residential Units 601 to 1200 sf	21
Design Dry Weather Flow Rate	250 gpd/unit
Retail Design Dry Weather Flow Rate	2282 sf
Design Dry Weather Flow Rate	0.03 gpd/sf
Non-medical Office Space Design Dry Weather Flow Rate	2550 sf
Design Dry Weather Flow Rate	0.06 gpd/sf
Unenclosed Parking Spaces Design Dry Weather Flow Rate	18
Design Dry Weather Flow Rate	0 gpd/space
<b>Total Proposed Dry Weather Flow</b>	<b>12,821 gpd</b>
Peaking Factor	4
System Recovery Factor	10%
<b>Flow to be mitigated</b>	<b>56,414.42 gpd</b>
<b>Flow to be mitigated</b>	<b>39 gpm</b>

- NOTES:
1. FIRE WALLS DO NOT EXIST.
  2. BOOSTER PUMPS MAY BE REQUIRED. FOR THE BUILDING'S WATER SERVICE THIS IS TO BE DETERMINED BY AVAILABLE WATER USING CURRENT ITR/DA/SPANNER SYSTEM ENGINEER.
  3. THERE IS A FIRE SUPPRESSION SYSTEM IN THE BUILDING. THE SYSTEM MUST BE NFPA 13.
  4. FDC TO HAVE TWO 2.5" NST
  5. KNOX BOX(S) TO BE PROVIDED AND LOCATION(S) COORDINATED WITH THE FIRE DEPARTMENT.
  6. PROVIDE MIRRORS AT ENTRANCE ON FOURTH AVE FOR PEDESTRIAN VISIBILITY.



121 CATHERINE ANN ARBOR, MI

SITE PLAN UTILITIES



**Macon Engineering, LLC.**  
P.O. Box 314, Chelsea, MI 48118 734-216-9941



DATE: 2-22-23  
SCALE: 1"=10'  
SHEET NO. SP-07











Item	Quantity	Unit
1	1	ft
2	1	ft
3	1	ft
4	1	ft
5	1	ft
6	1	ft
7	1	ft
8	1	ft
9	1	ft
10	1	ft
11	1	ft
12	1	ft
13	1	ft
14	1	ft
15	1	ft
16	1	ft
17	1	ft
18	1	ft
19	1	ft
20	1	ft

**Specifications**

Diameter: 19"

Height: 3.25"

Weight: 18 lbs

Material: Aluminum

Finish: White

Mounting: Surface Mount

Beam Spread: 48°

Color Temperature: 3000K

Power: 10W

Life Span: 50,000 hours

Dimming: Non-dimmable

UL Listed: Yes

RoHS Compliant: Yes

ETL Listed: Yes

Energy Star: No

IP Rating: IP65

Operating Temperature: -20°C to 50°C

Storage Temperature: -40°C to 60°C

Relative Humidity: 5% to 95%

Shock Resistance: 10g

Vibration Resistance: 10g

EMC: Class B

CE Marked: Yes

RoHS: Yes

REACH: Yes

WEEE: Yes

Recycling: 100%

**Introduction**

The all new VCPG LED Visually Comfortable Parking Garage luminaire is designed to bring green concepts to the parking garage. The recessed form design of VCPG LED minimizes light spillage and glare. The luminaire is designed to provide uniform, vertical and uniform lighting. The dedicated up-light module reduces the amount of light that is directed downwards, reducing the amount of light that is wasted. The VCPG LED delivers up to 87% in energy savings over traditional parking garage lighting. The VCPG LED provides significant maintenance savings over traditional luminaires.

**Ordering Information**

EXAMPLE: VCPG LED V4 P4 40K 70CRI TSM WWOULT SRM DNAXD

Order	LED Light Engine	Package	Color Temperature	Beam Spread	Mounting	Shipping Weight	Shipping Dimensions
VCPG LED V4	V4	40K	4000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
VCPG LED V4	V4	50K	5000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
VCPG LED V4	V4	60K	6000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
VCPG LED V4	V4	70K	7000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
VCPG LED V4	V4	80K	8000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
VCPG LED V4	V4	90K	9000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
VCPG LED V4	V4	100K	10000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"

**Wedge LED Family Overview**

Luminaire	Standard CCT	Color	Beam Spread	Mounting	Shipping Weight	Shipping Dimensions
WEDGE LED 48	40K	4000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED 10W	10W	3000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED 15W	15W	3000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED 20W	20W	3000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED 30W	30W	3000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED 40W	40W	3000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED 50W	50W	3000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED 60W	60W	3000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED 70W	70W	3000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED 80W	80W	3000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED 90W	90W	3000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED 100W	100W	3000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"

**Specifications**

Depth: 3.25"

Height: 19"

Width: 19"

Weight: 18 lbs

Material: Aluminum

Finish: White

Mounting: Surface Mount

Beam Spread: 48°

Color Temperature: 3000K

Power: 10W

Life Span: 50,000 hours

Dimming: Non-dimmable

UL Listed: Yes

RoHS Compliant: Yes

ETL Listed: Yes

Energy Star: No

IP Rating: IP65

Operating Temperature: -20°C to 50°C

Storage Temperature: -40°C to 60°C

Relative Humidity: 5% to 95%

Shock Resistance: 10g

Vibration Resistance: 10g

EMC: Class B

CE Marked: Yes

RoHS: Yes

REACH: Yes

WEEE: Yes

Recycling: 100%

**Introduction**

The WEDGE LED family is designed to meet the needs of a wide variety of applications. The clean, rectangular design comes in a variety of sizes with uniform lighting. The WEDGE LED family is designed to provide uniform, vertical and uniform lighting. The dedicated up-light module reduces the amount of light that is directed downwards, reducing the amount of light that is wasted. The WEDGE LED delivers up to 87% in energy savings over traditional parking garage lighting. The WEDGE LED provides significant maintenance savings over traditional luminaires.

**Ordering Information**

EXAMPLE: WEDGE LED P2 40K 80CRI VF MWOULT PE DBBDO

Order	LED Light Engine	Package	Color Temperature	Beam Spread	Mounting	Shipping Weight	Shipping Dimensions
WEDGE LED P2	P2	40K	4000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED P2	P2	50K	5000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED P2	P2	60K	6000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED P2	P2	70K	7000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED P2	P2	80K	8000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED P2	P2	90K	9000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"
WEDGE LED P2	P2	100K	10000K	48°	Surface Mount	18 lbs	19" x 3.25" x 19"

**Accessories**

WEDGE LED P2 40K 80CRI VF MWOULT PE DBBDO

WEDGE LED P2 50K 80CRI VF MWOULT PE DBBDO

WEDGE LED P2 60K 80CRI VF MWOULT PE DBBDO

WEDGE LED P2 70K 80CRI VF MWOULT PE DBBDO

WEDGE LED P2 80K 80CRI VF MWOULT PE DBBDO

WEDGE LED P2 90K 80CRI VF MWOULT PE DBBDO

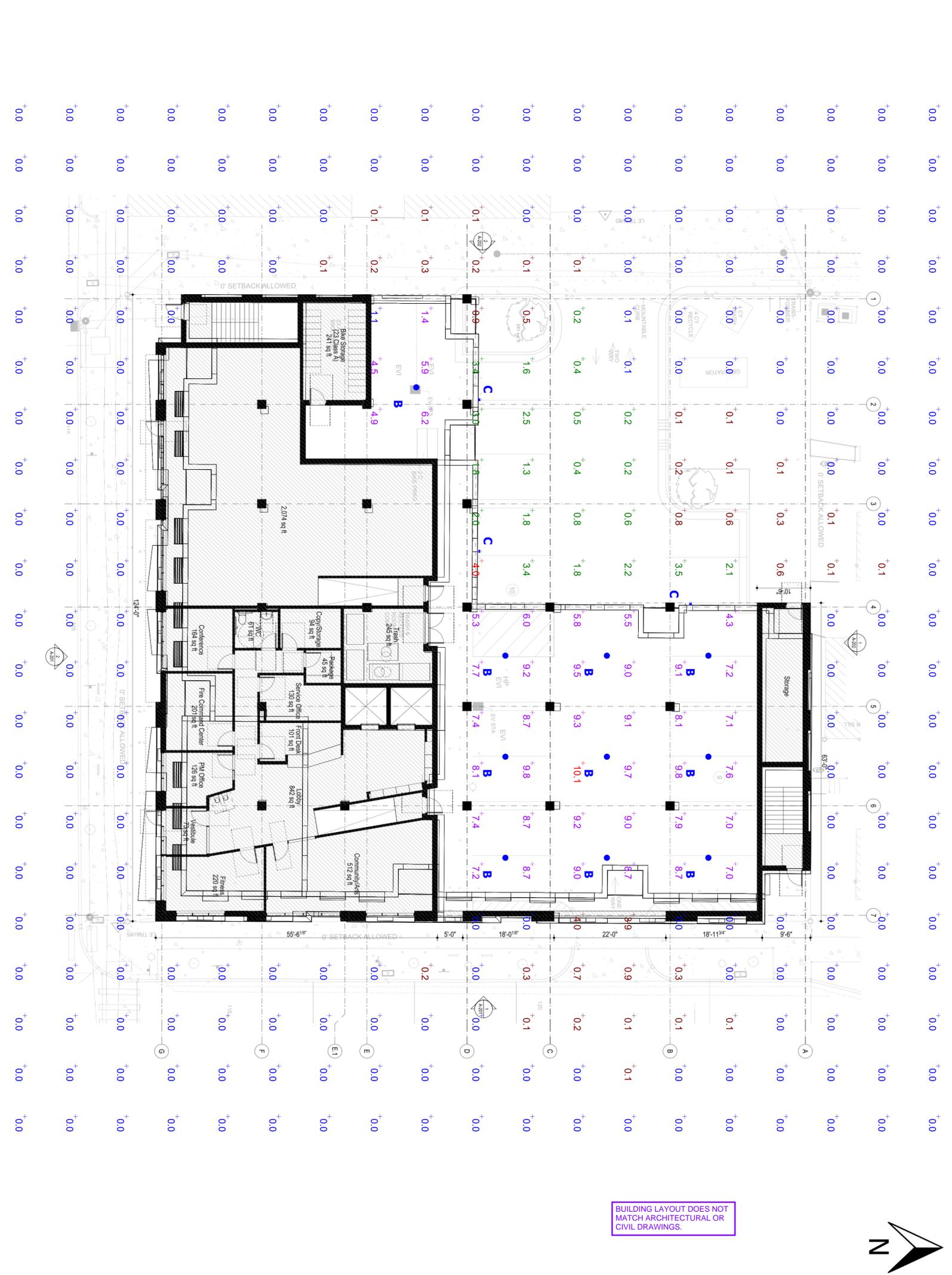
WEDGE LED P2 100K 80CRI VF MWOULT PE DBBDO

**Alternates Note**

THE USE OF FIXTURE ALTERNATES MUST BE SUBMITTED TO THE CITY FOR APPROVAL.

**Mounting Height Note**

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



**Plan View**  
Scale - 1" = 10ft

**Statistics**

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
COVERED PARKING	+	7.5 fc	10.1 fc	1.1 fc	9.2:1	6.8:1	0.7:1
OUTDOOR PARKING	+	1.8 fc	4.8 fc	0.1 fc	40.0:1	18.0:1	0.4:1

**Schedule**

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp Wattage	Mounting Height
⊗	B	10	Lithonia Lighting	VCPG LED P2 30W TSM WWOULT SRM DNAXD	VCPG LED WITH P2 - PERFORMANCE PACKAGE - 3000K - TSM OPTIC TUBE	33.96	9'-8"
⊗	C	3	Lithonia Lighting	WEDGE LED P2 40K 80CRI VF MWOULT PE DBBDO	WEDGE LED WITH P2 - PERFORMANCE PACKAGE - 3000K - 80CRI VISUAL COMFORT FORWARD OPTIC	10.0002	15'-0"

**Ordering Note**

FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

**Drawing Note**

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

**General Note**

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 3' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASGG@GASSERBUSH.COM OR 734-266-6705.



121 CATHERINE STREER  
PHOTOMETRIC SITE PLAN  
PREPARED FOR: MACON ENGINEERING  
GASSER BUSH ASSOCIATES  
WWW.GASSERBUSH.COM

Designer: XX/RB  
Date: 01/23/2023  
Scale: Not to Scale  
Drawing No.: #22-83248-72  
1 of 1



121 E CATHERINE ST. SOUTH-EAST STREET LEVEL VIEW

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A LICENSED ARCHITECT AND OWNER OF THE CITY OF ANN ARBOR, MI.

*Jeff Bone*

02/22/2023  
02/13/2023  
11/17/2022  
11/01/2022

○ Issued for Site Plan Review - Revision 1  
● Issued for Schematic Design 2.0  
● Issued for Site Plan Review  
○ Issued for Schematic Design

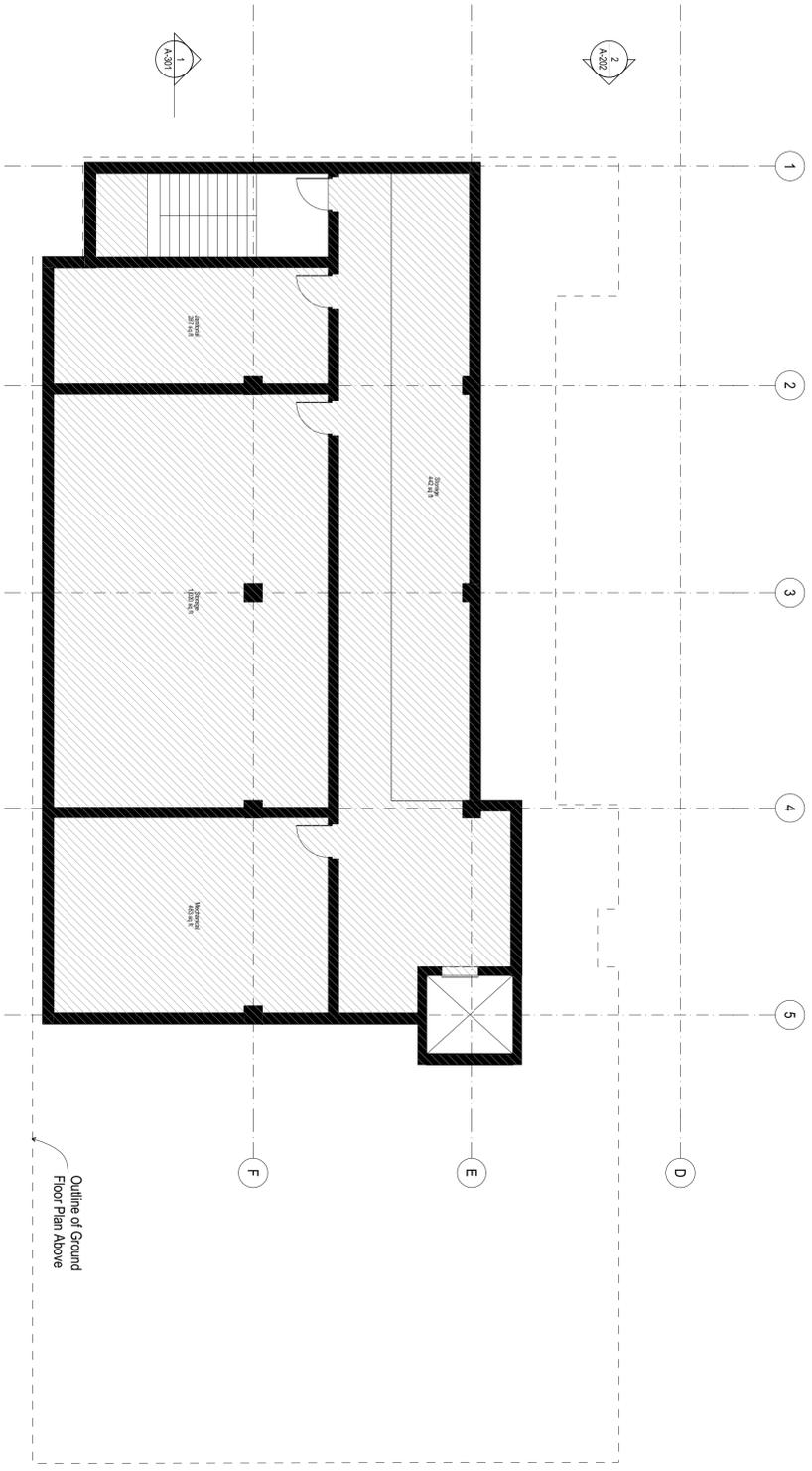
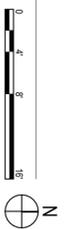
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P: 773.286.8100  
F: 773.286.8101  
www.lbba.com

**121 E. Catherine St.**  
121 E. Catherine St.  
Ann Arbor, MI 48104  
**2128A**

Building Renderings

**A-001**

**1** Partial Basement Plan  
SCALE: 1/8" = 1'-0"



Floor Area: The sum of the area, in square feet, of the Floor of all Stories of a Building or Structure measured from the exterior faces of the exterior walls or from the center line of walls separating two Buildings, excluding stairwells (including landings), escalators, elevator shafts, ramps, vertical chases or chutes, and attics in which occupancy is prohibited under Chapter 105 (Housing Code) of City Code in Buildings that contain only residential uses

Partial Basement Area: 3,286

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A LICENSED ARCHITECT AND AN INDIVIDUAL REGISTERED WITH THE BOARD OF ARCHITECTS OF THE CITY OF ANN ARBOR, MI.

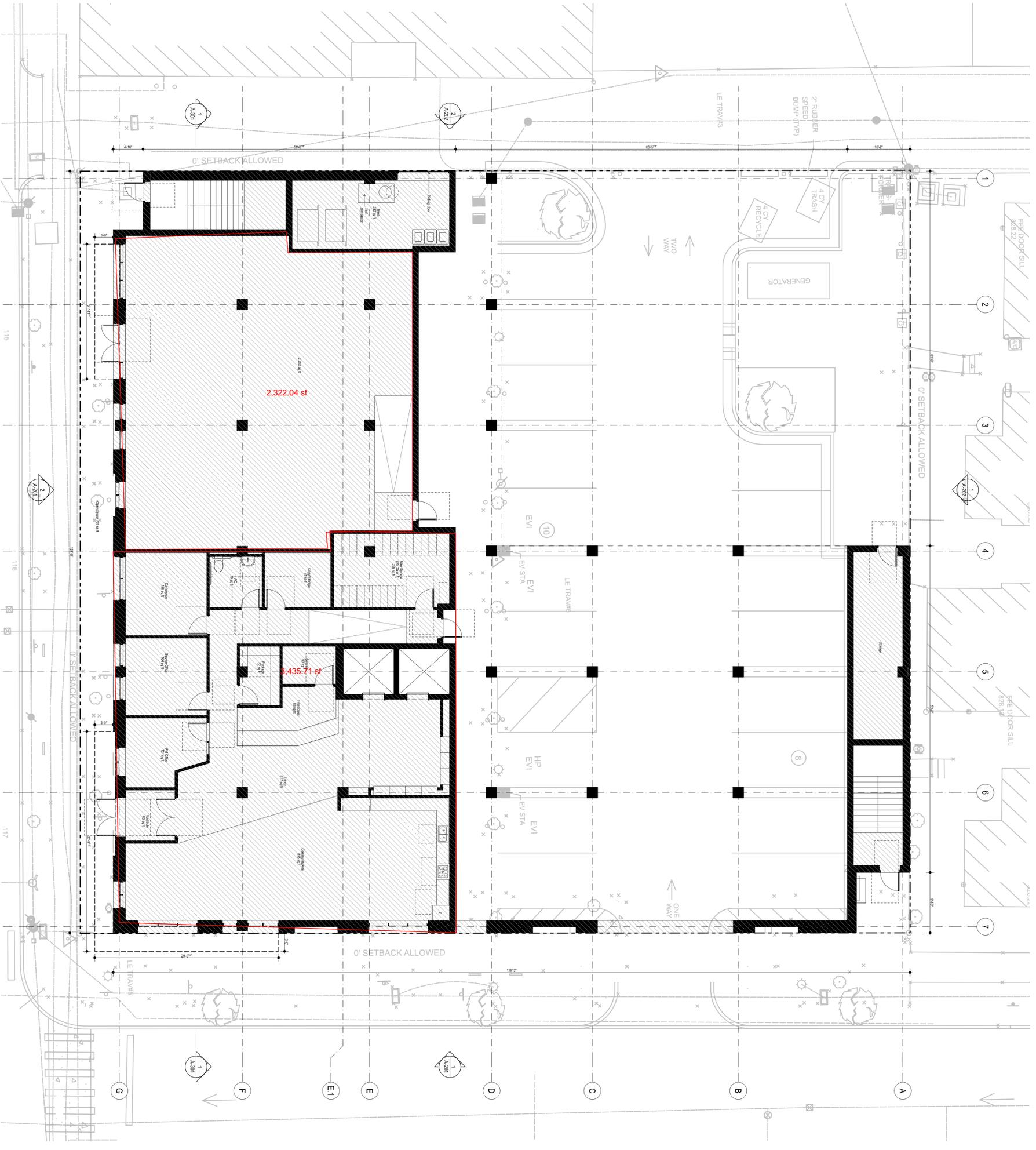
*Jeff Bone*

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11/17/2022	Issued for Site Plan Review
11/01/2022	Issued for Schematic Design

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www.lbra.com

**121 E. Catherine St.**  
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Ann Arbor, MI 48104  
**2128A**

**1** Site Plan & 1st Floor  
SCALE: 1/8" = 1'-0"



Floor Area: The sum of the area, in square feet, of the floor of all stories of a Building or Structure measured from the exterior faces of the exterior walls or from the center line of walls separating two Buildings, excluding stairwells (including landings), elevators, elevator shafts, ramps, vertical chases or chutes, and attics in which occupancy is prohibited under Chapter 105 (Housing Code) of City Code in Buildings that contain only residential uses

- Basement Area: 3,286
- 1st Floor Area: 6,553
- 2nd Floor Area: 11,451
- 3rd Floor Area: 10,281
- 4th Floor Area: 10,281
- 5th Floor Area: 10,281
- 6th Floor Area: 10,281
- Floor Area Total: 62,414 GSF
- Site Area: 16,698
- FAR: 3.73
- 63 UNITS

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A LICENSED ARCHITECT AND AN INDIVIDUAL REGISTERED WITH THE BOARD OF ARCHITECTS OF THE CITY OF ANN ARBOR, MI.

*Jeff Bone*

STATE OF MICHIGAN  
 ARCHITECT  
 No. 13070680189  
 LICENSED ARCHITECT

02/22/2023  
 02/13/2023  
 11/17/2022  
 11/01/2022

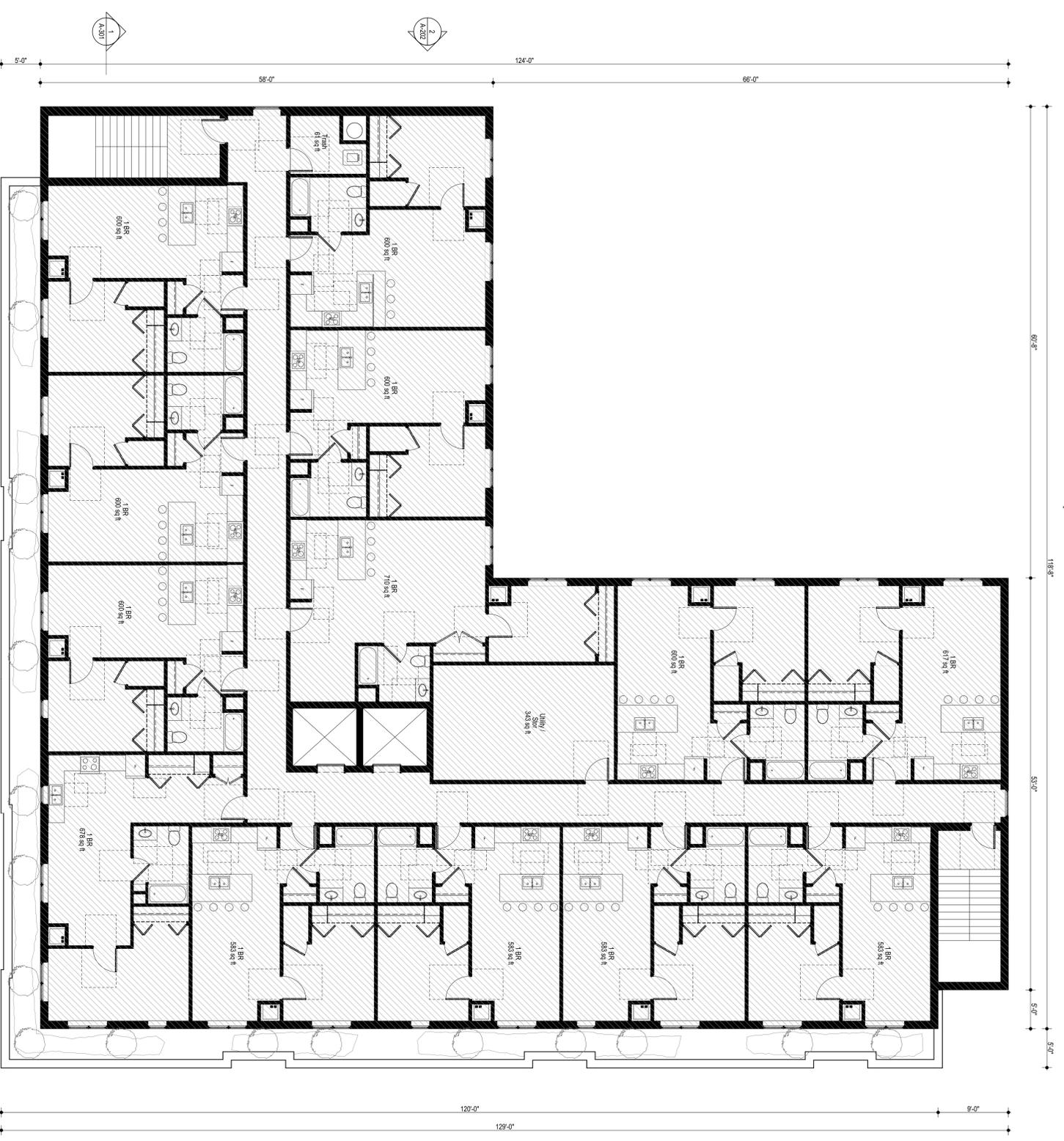
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Site Plan & 1st Floor  
**A-101**

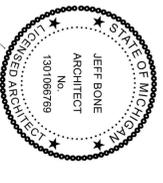




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3rd Floor Area: 10,281

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A LICENSED ARCHITECT AND A MEMBER OF THE CITY OF ANN ARBOR, MI.



JEFF BONE  
ARCHITECT  
No. 13010680189  
LICENSED ARCHITECT

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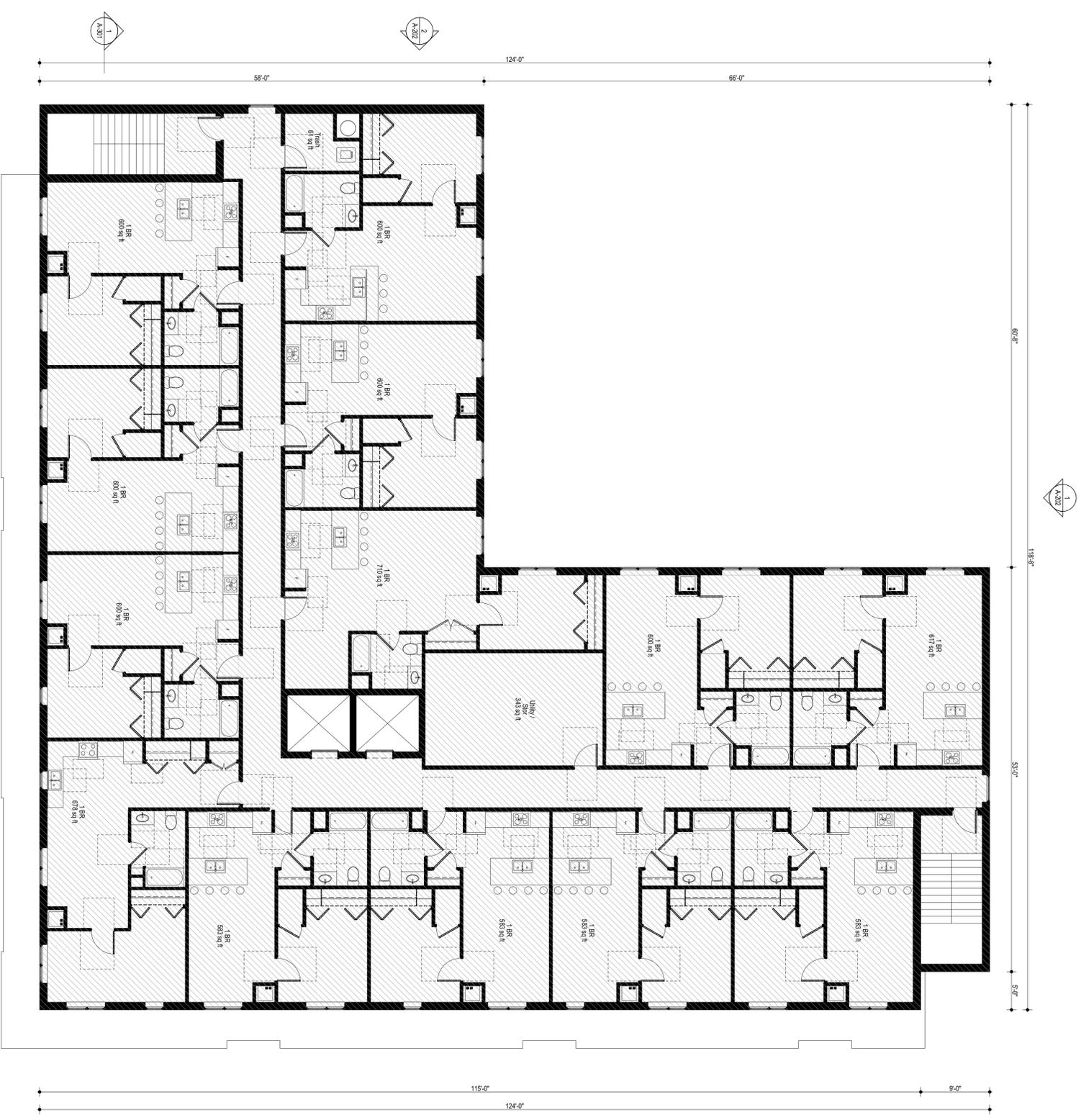
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**1** 3rd Floor Plan  
SCALE: 1/8" = 1'-0"



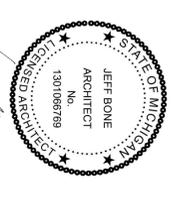
3rd Floor Plan  
**A-103**



 Floor Area: The sum of the area, in square feet, of the Floor of all Stories of a Building or Structure measured from the exterior faces of the exterior walls or from the center line of walls separating two Buildings, excluding stairwells (including landings), escalators, elevator shafts, ramps, vertical chases or chutes, and attics in which occupancy is prohibited under Chapter 105 (Housing Code) of City Code in Buildings that contain only residential uses

4th Floor Area: 10,281

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JEFF BONE  
ARCHITECT  
No. 13010680189  
LICENSED ARCHITECT

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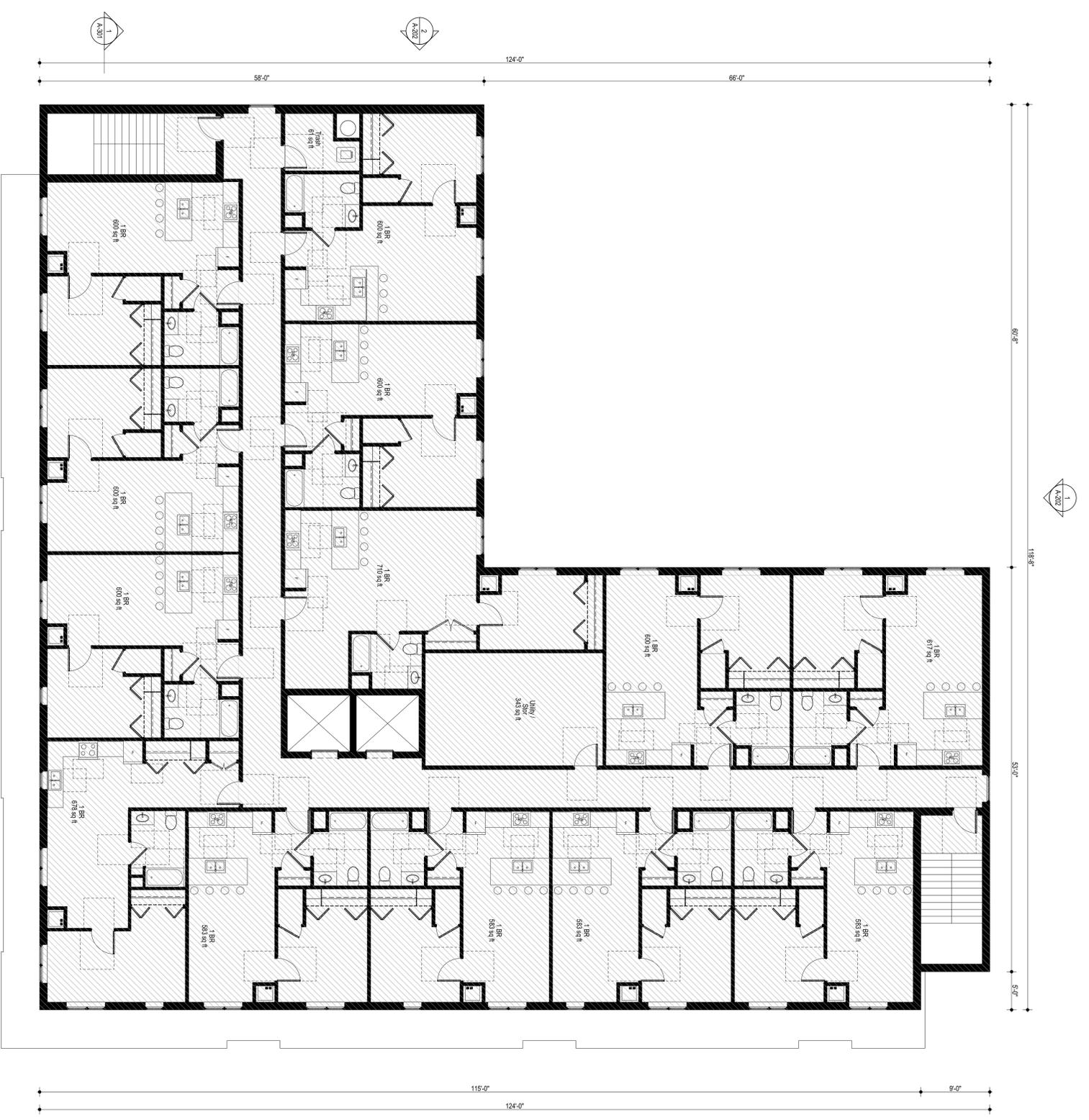
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**1** 4th Floor Plan  
SCALE: 1/8" = 1'-0"



4th Floor Plan  
**A-104**



 Floor Area: The sum of the area, in square feet, of the Floor of all Stories of a Building or Structure measured from the exterior faces of the exterior walls or from the center line of walls separating two Buildings, excluding stairwells (including landings), escalators, elevator shafts, ramps, vertical chases or chutes, and attics in which occupancy is prohibited under Chapter 105 (Housing Code) of City Code in Buildings that contain only residential uses

5th Floor Area: 10,281

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JEFF BONE  
ARCHITECT  
No. 13010680189  
LICENSED ARCHITECT  
STATE OF MICHIGAN

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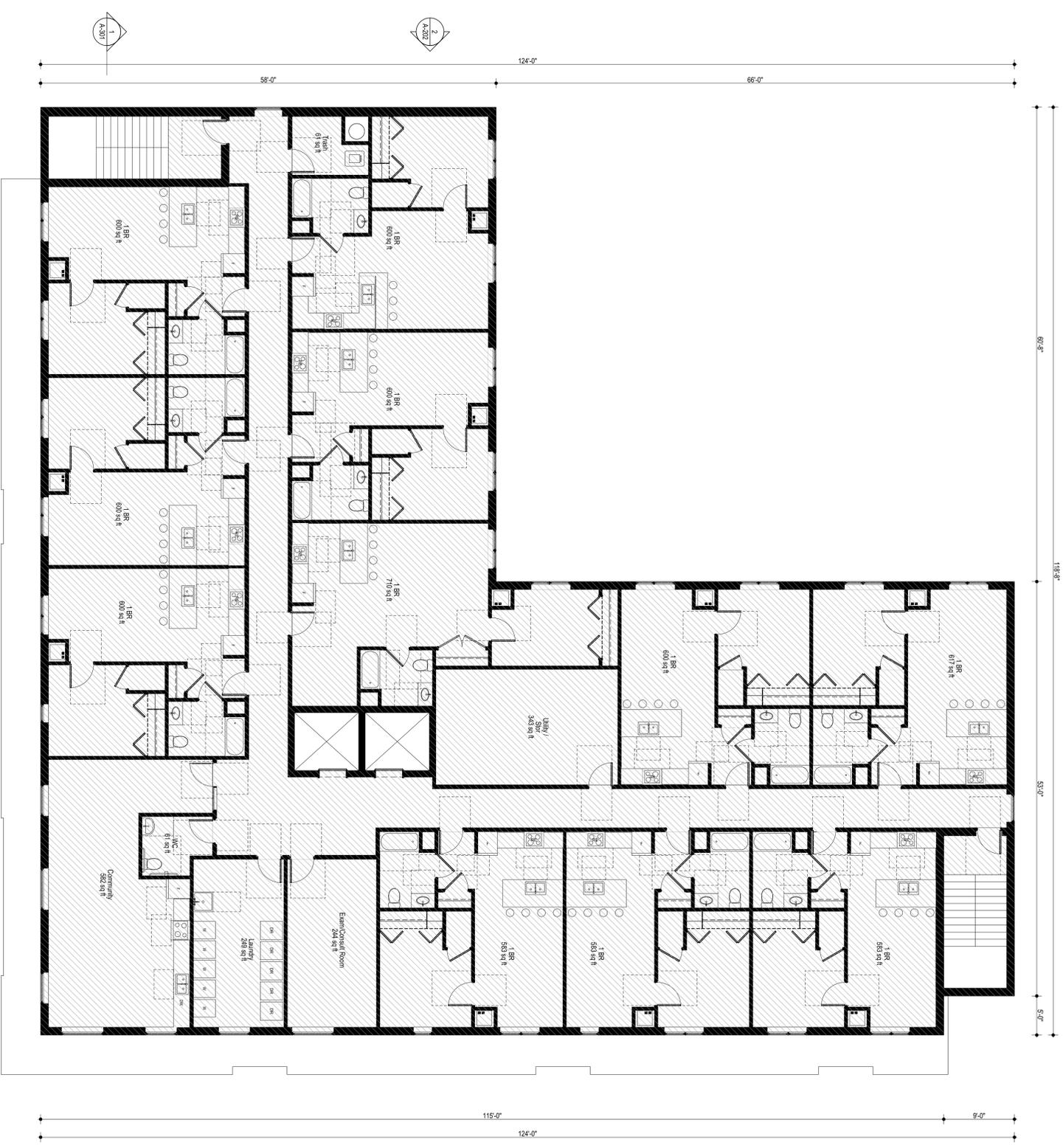
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**1** 5th Floor Plan

SCALE: 1/8" = 1'-0"



5th Floor Plan  
**A-105**



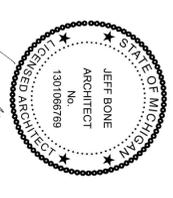
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6th Floor Area: 10,281

**1** 6th Floor Plan  
SCALE: 1/8" = 1'-0"



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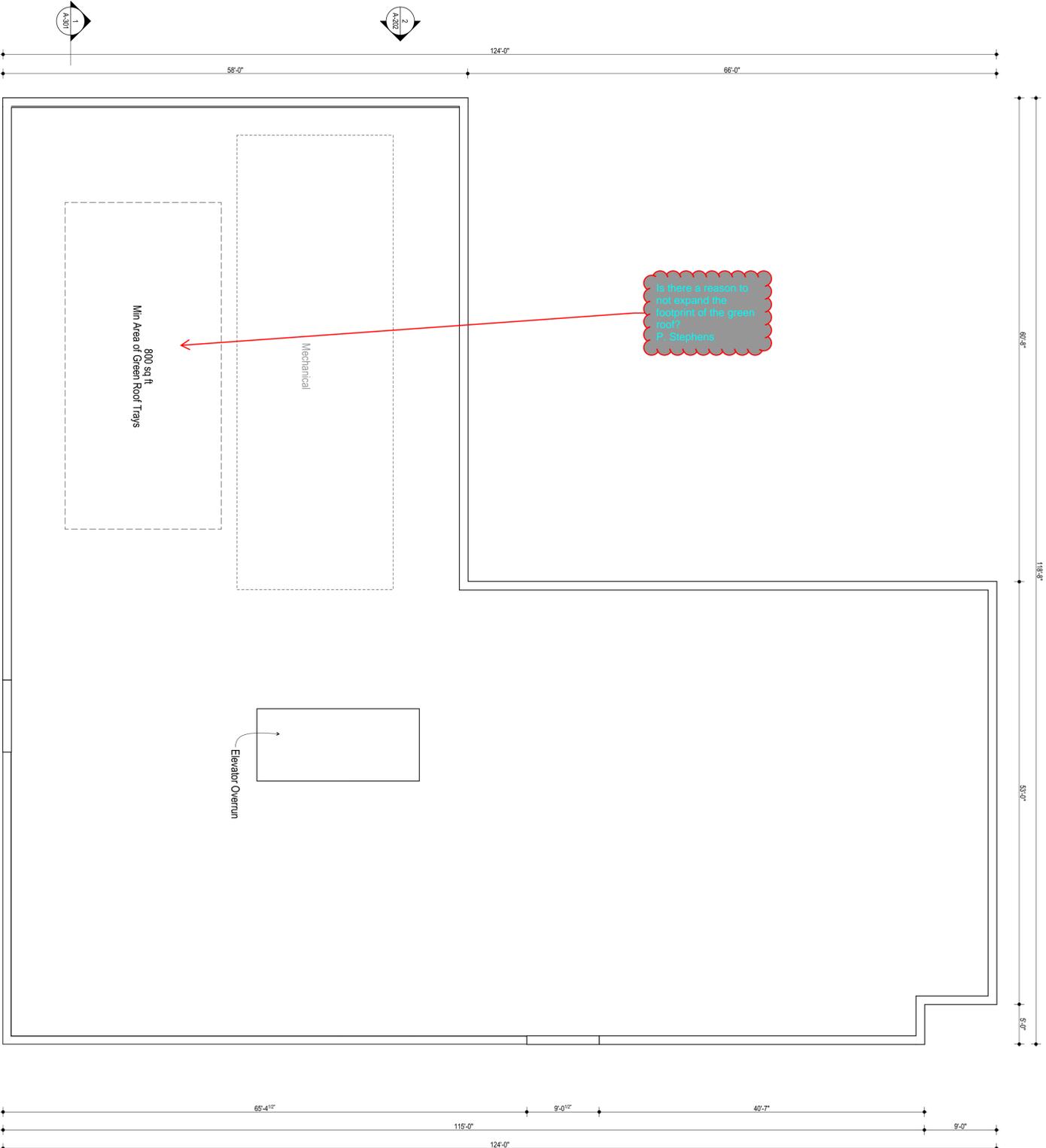
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ARCHITECT  
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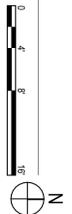
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6th Floor Plan  
**A-106**



**1** Roof Plan  
SCALE: 1/8" = 1'-0"



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*Jeff Bone*

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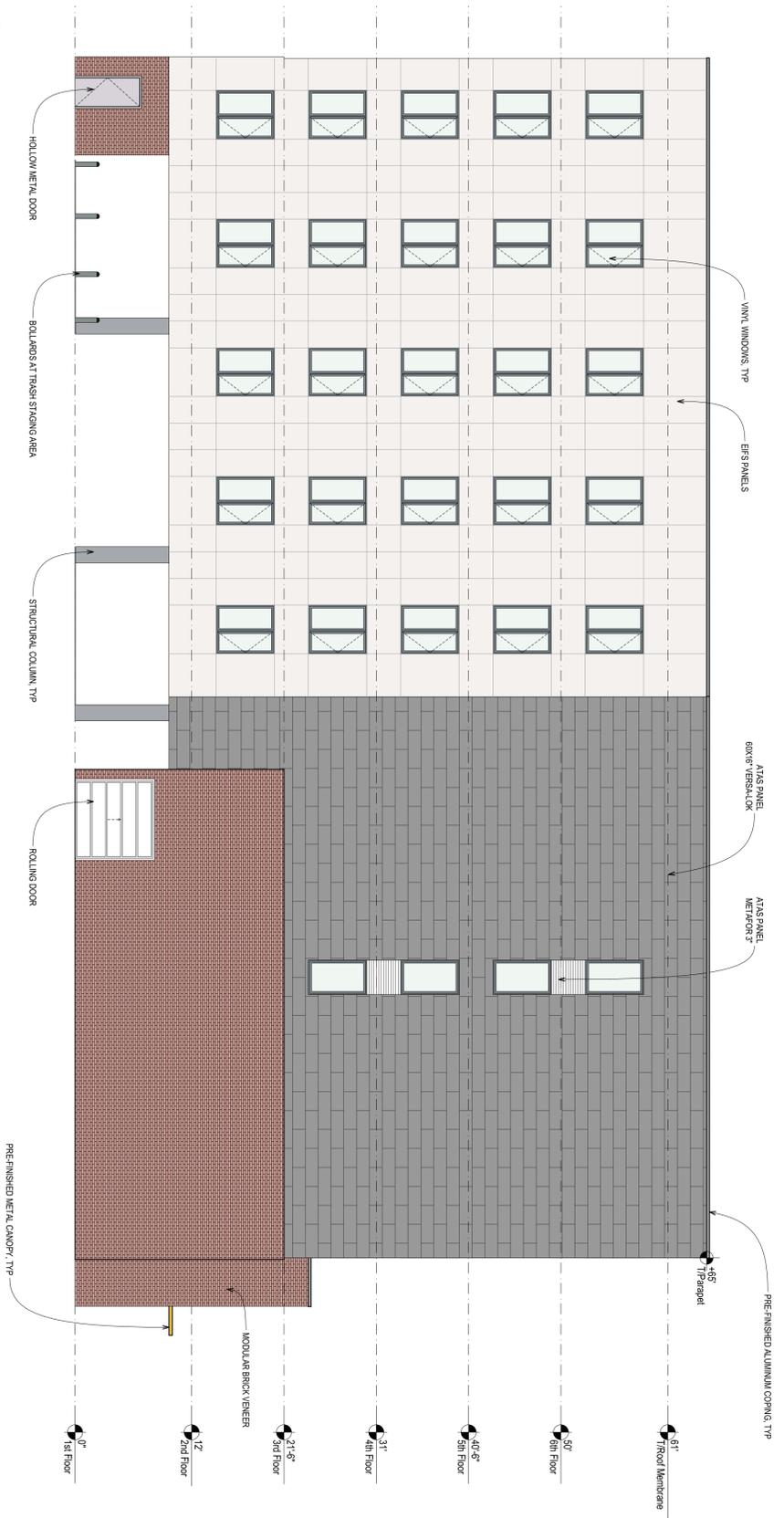
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121 E. Catherine St.  
Ann Arbor, MI 48104  
**2128A**





1 North Elevation  
SCALE: 1/8" = 1'-0"



2 West Elevation  
SCALE: 1/8" = 1'-0"

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE REQUIREMENTS OF THE CITY OF ANN ARBOR, MI.

*Jeff Bone*

STATE OF MICHIGAN  
ARCHITECT  
JEFF BONE  
No. 1301080178  
LICENSED ARCHITECT

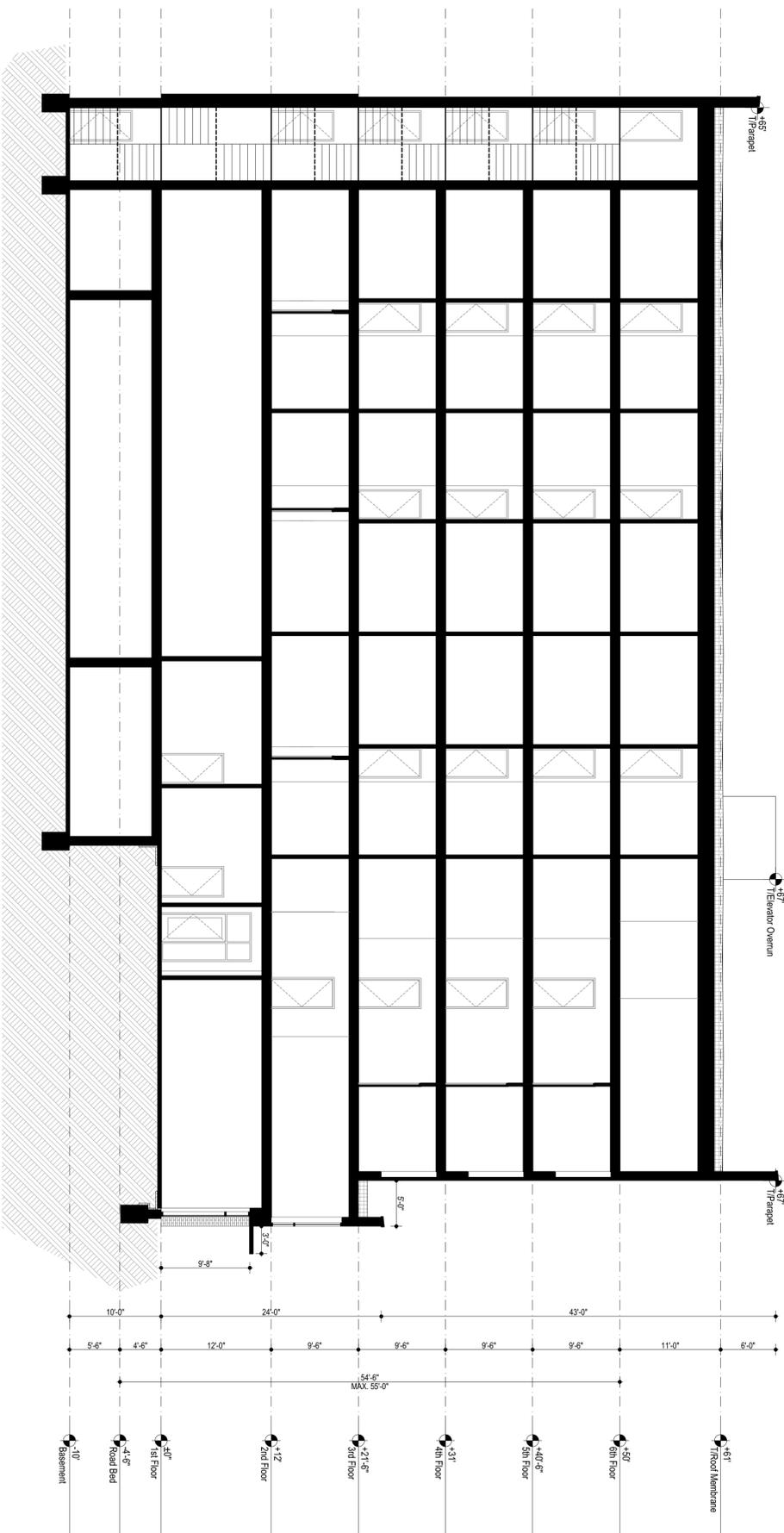
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**121 E. Catherine St.**  
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**2128A**

**Building Elevations**

**A-202**



1 E-W Building Section  
SCALE: 1/8" = 1'-0"

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY SUPERVISION AND THAT THEY COMPLY TO THE CITY ORDINANCES OF THE CITY OF ANN ARBOR, MI.

*Jeff Bone*

STATE OF MICHIGAN  
ARCHITECT  
JEFF BONE  
No. 1301080109  
LICENSED ARCHITECT

02/22/2023  
02/13/2023  
11/17/2022  
11/01/2022

- Issued for Site Plan Review - Revision 1
- Issued for Schematic Design 2.0
- Issued for Site Plan Review
- Issued for Schematic Design

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**2128A**

Building Sections

**A-301**