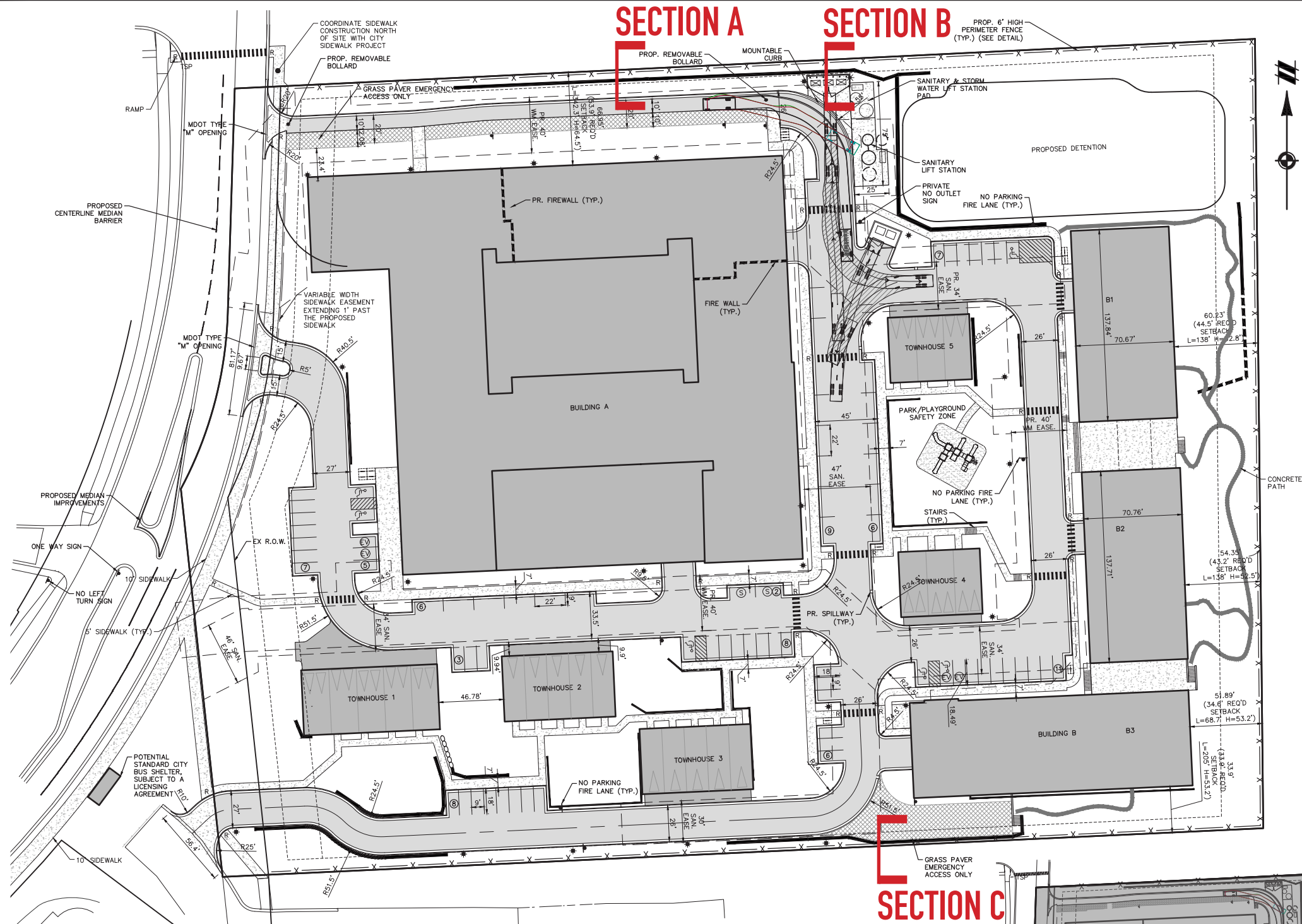


EXHIBIT A

AN SETS SITE PLAN 19000061SP-03-LING 3/29/2021 11:47 AM CHRIS ROTHHAAR



GENERAL LAYOUT NOTES:

1. RADII DIMENSIONS MEASURED FROM THE BACK OF CURB UNLESS OTHERWISE NOTED.
2. SOLAR ARRAY SYSTEMS ARE PROPOSED ON THE 'A' BUILDING IN THE NW CORNER OF THE SITE AND ON THE 'B' BUILDINGS IN THE SE CORNER OF THE SITE. THESE SYSTEMS ARE SHOWN ON THE ARCHITECTURAL PLANS.

SIDEWALK REPAIR AND MAINTENANCE NOTES:

1. ALL SIDEWALKS AREA TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.
2. ALL SIDEWALKS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY AND/OR PUBLIC PATHS SHALL MEET ALL REQUIREMENTS AND GUIDELINES AS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN.

SOLID WASTE NOTES:

THE APARTMENT BUILDINGS WILL HAVE A COMPACTOR IN THEIR RESPECTIVE TRASH ROOMS. THERE WILL BE 2-2YD WHEELED COMPACTOR CONTAINERS FOR TRASH AND 2-4YD WHEELED CONTAINERS FOR RECYCLING LOCATED IN A TRASH ENCLOSURE AREA. TRASH AND RECYCLING WILL BE TRANSPORTED, BY MAINTENANCE STAFF, TO THE TRASH ENCLOSURE AREA ON COLLECTION DAY.

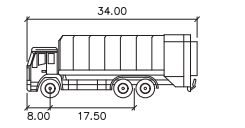
TRASH WILL BE SERVICED 6 TIMES PER WEEK. RECYCLE WILL BE SERVICED 3 TIMES PER DAY. THE CAPACITY WAS DETERMINED BY USING 530 BEDROOMS AT .03 CU OF WASTE PER DAY.

THE TOWNHOMES TRASH AND RECYCLING WILL BE DISTRIBUTED TO THE TRASH ENCLOSURE IN THE NORTHEAST CORNER OF THE SITE.

THERE WILL BE 1-4YD CONTAINER FOR TRASH AND 1-4YD CONTAINER FOR RECYCLING. TRASH WILL BE SERVICED 3 TIMES PER WEEK. RECYCLE WILL BE SERVICED 3 TIMES PER WEEK. THE CAPACITY WAS DETERMINED BY USING 35 UNITS AT .08 CU OF WASTE PER DAY.

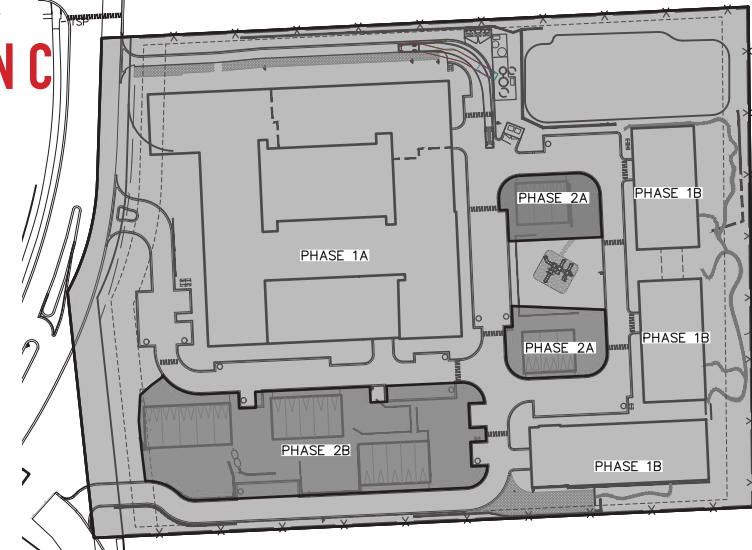
CONCIERGE SERVICE WILL BE PROVIDED TO THE TOWNHOMES.

WASTE TRUCK TEMPLATE DETAIL:



SOLID WASTE	feet
Width	: 8.50
Track	: 8.20
Lock to Lock Time	: 6.0
Steering Angle	: 40.0

PER CITY OF ANN ARBOR SOLID WASTE STANDARD DETAILS



LEGEND

	BOUNDARY LINE
	EXIST. EASEMENT
	SECTION LINE
	BOUNDARY/PROPERTY LINE
	EXIST. SETBACK
	EXIST. TREE LINE
	EXIST. CURB AND GUTTER
	EXIST. FENCE
	EXIST. GRAVEL
	EXIST. BUILDING
	EXIST. WETLAND BUFFER
	PROP. SETBACK
	PROP. BUILDING
	PROP. BUILDING INTERIOR
	PROP. WALL
	PROP. PARKING STRIPE
	PROP. BACK OF CURB
	PROP. SHARED CAR PARKING
	PROP. CONCRETE
	PROP. ASPH.
	PROP. ADA PARKING SPACE
	PROP. LIGHT POLE
	PROP. SIGN

Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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888.840.4500 www.atwell-group.com
ANN ARBOR, MI 48104
734.994.4000

SECTION 05

TOWN 3 SOUTH, RANGE 6 EAST

CITY OF ANN ARBOR

WASHTENAW COUNTY, MICHIGAN

VMG DEVELOPMENT, LLC

VALHALLA ANN ARBOR

SITE PLAN

LAYOUT PLAN

CLIENT

DATE MAY 23, 2019

6/20/2019: PER CITY

9/18/2019: PER CITY

12-19-2019: PER CITY

3/21/2020: PER CITY

5/21/2020: PER CITY

6/23/2020: PER PLANNING

7/25/2020: PLANNING COMMISSION

1/22/2021: PER CITY

3/28/2021: PER CITY

REVISIONS

SCALE 0 20 40

1" = 40 FEET

DR. SK CH. ---

P.M. MB

BOOK ---

JOB 19000061

SHEET NO. 03

CAD FILE: 19000061SP-03-LING

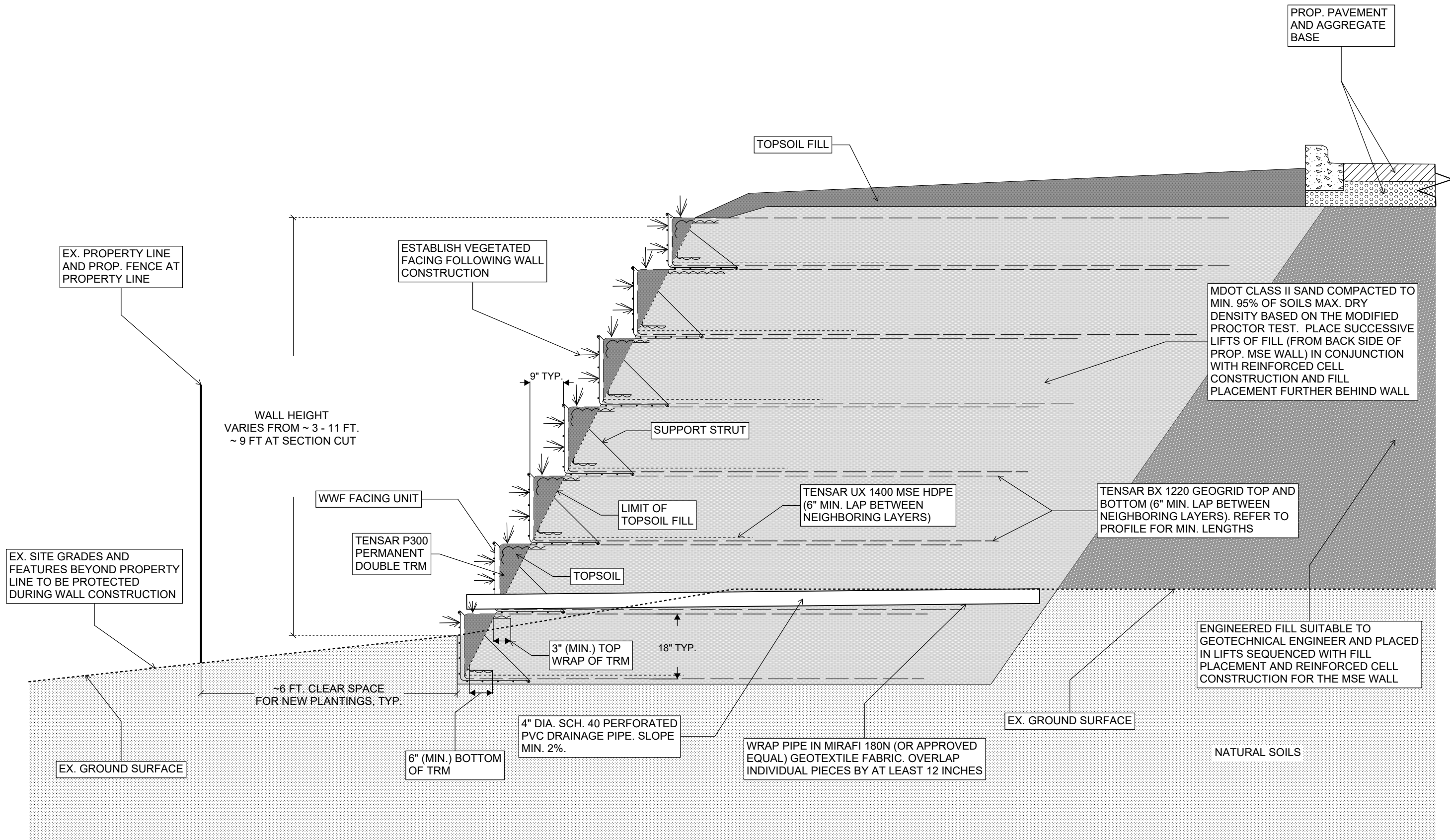


EXHIBIT A

SECTION A: MSE WALL NOT TO SCALE

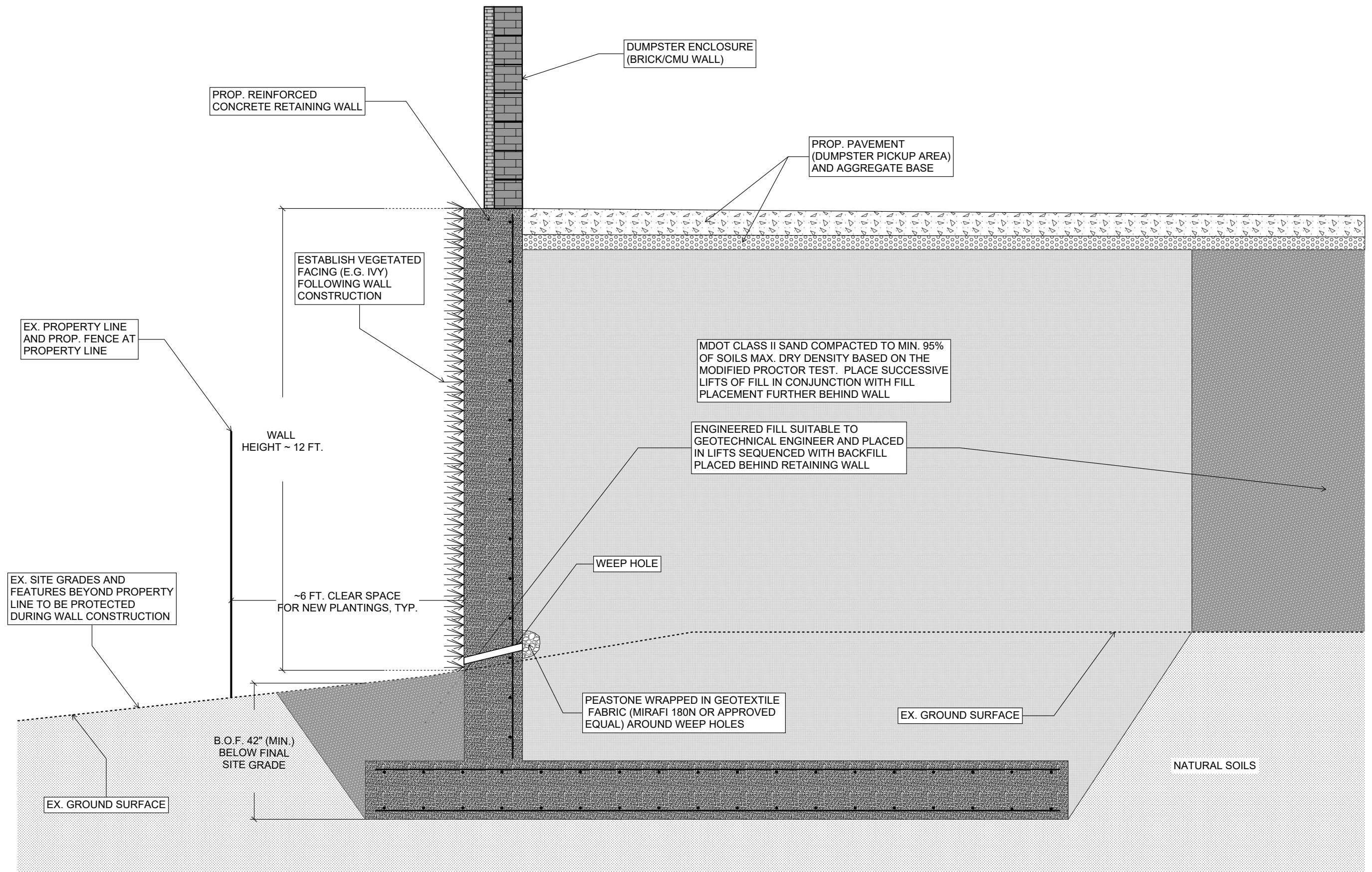


EXHIBIT A

SECTION B: CONCRETE RETAINING WALL NOT TO SCALE

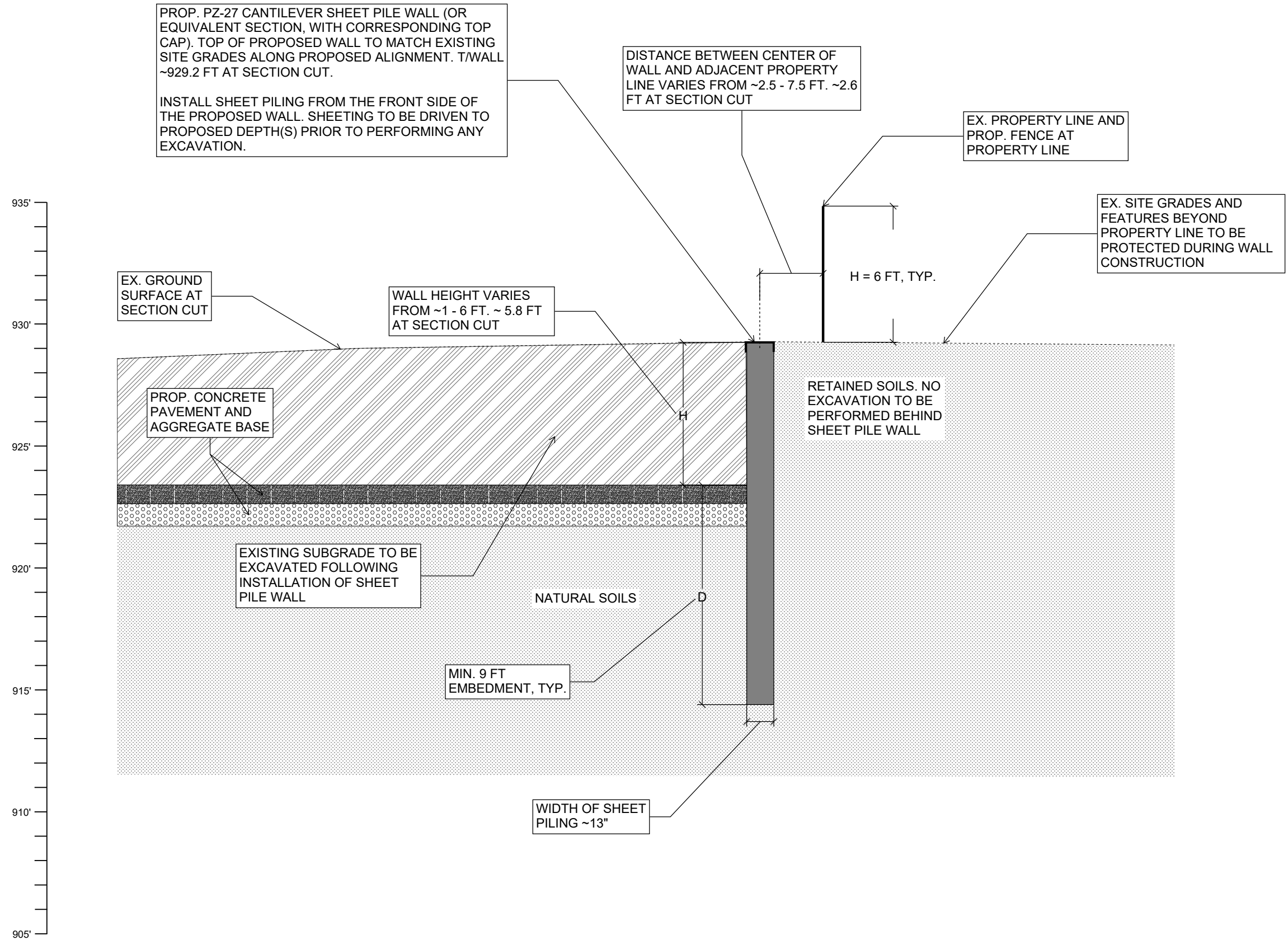


EXHIBIT A

SECTION C: SHEET PILE WALL NOT TO SCALE



EXAMPLE: MSE WALL AFTER ESTABLISHING VEGETATIVE GROWTH
PHOTO COURTESY SME - UNIVERSITY OF MICHIGAN SCHOOL OF NURSING



VISUALIZATION OF NORTH RETAINING WALL WITH TREES AND BRUSH REMOVED FOR CLARITY



VISUALIZATION OF NORTH RETAINING WALL WITH TREES AND BRUSH

EXHIBIT A

NORTH RETAINING WALL



PROPERTY LINE



PROPERTY LINE

EXHIBIT A

NORTH SITE ELEVATION



EXHIBIT A

AERIAL VIEW FROM MICHIGAN STADIUM



EXHIBIT A

AERIAL VIEWS



EXHIBIT A

VIEW OF PROJECT FROM GOLF COURSE LOOKING SOUTH

WILLIAM C. LAWRENCE, ARBORIST

ADDRESS: 8300 West Waters Road, Ann Arbor, MI 48103
TELEPHONE: (734) 845-1207

EDUCATION: Master of Science in Urban Forestry, 1983, University of Michigan, Ann Arbor, Michigan.

Bachelor of Science in Forestry, 1972, University of Michigan, Ann Arbor, Michigan

EXPERIENCE: 2002 to Present

President and Owner of Urban Forestry Consultants, LLC of Ann Arbor, a firm providing consulting services in Woodlot Management, Urban and Regional Forest Management and Arboriculture as it pertains to land development, tree evaluation, expert witness services in litigation involving trees, diagnosis of tree problems and municipal forestry management.

2003 to 2012

President and Owner of Lawrence Arbor Care, LLC a full-service professional tree care and landscaping firm.

1980 to 2002

Manager of Forestry and Horticulture Division for the City of Ann Arbor. Responsible for a work force ranging from 14 to 20 employees working on public tree care and horticultural gardens. Provided technical information to the general public. Responsible for administering large public endowment fund for tree care and planting. Created first computerized tree inventory/information system for the City.

1977 to 1990

Vice-President of Metropolitan Forestry Consultants, Inc. a consulting Firm which deals in all aspects of forestry, urban forestry and arboriculture.

1974 to 1980

Forestry Technician for the City of Ann Arbor, Forestry Division acting as Assistant to the City Forester.

Past guest lecturer in Urban Forestry at the University of Michigan, School of Natural Resources and Environment on Urban Forestry related concepts.

PROFESSIONAL

SOCIETIES: Xi Sigma Pi, National Forestry Scholastic Honor Society.

Michigan Forestry and Parks Association: Past President and member of Shade Tree Evaluation Committee and Visiting Urban Foresters Committee.

ISA Michigan: Michigan Chapter of the International Society of Arboriculture: past member of Board of Directors, Past Chair Person of Program/Education Committee and member of Tree Valuation Committee.

Michigan Urban and Community Forestry Council, past member.

International Society of Arboriculture (ISA): Current member. Past member Board of Directors, and Michigan Chapter Representative (9 years) and former Certified Arborist. Past member of the Certified Municipal Arborist Test Committee for the International Society of Arboriculture and former honorary Certified Municipal Specialist.

Society of Commercial Arboriculture, former member.

ReLeaf Michigan, President - Non-profit organization dedicated to educating the public on the value of trees and organizing and funding community volunteer tree plantings. A Board Member or volunteer since 1989.

PUBLICATIONS & PRESENTATIONS:

“Status of Street Tree Inventories in the U.S.,” Bassett, J.R. and Lawrence, W.C. 1975 Journal of Arboriculture 1:48-52.

Presented papers on numerous occasions regarding a variety of Forestry and Arboriculture topics for the Michigan Forestry and Park Association, Michigan Academy of Science, Arts and Letter and the Arborist Society of Michigan.

HOLD HARMLESS AND INDEMNITY AGREEMENT

This Hold Harmless and Indemnity Agreement (the "Agreement") is entered into by and between PEFT Development, LLC ("PEFT"), a Michigan limited liability company with a registered address in East Lansing, Michigan, and the University of Michigan ("U of M"), a public research university principally located in Ann Arbor, Michigan. PEFT and U of M are collectively referred to in this Agreement as the "Parties" and may be individually referred to as a "Party".

(A) WHEREAS, PEFT is undertaking to construct a certain development known as the Vallhalla Development (the "Project"), which is on certain real property located in Ann Arbor, Michigan, that is directly adjacent to a certain golf course owned and operated by U of M (the "U of M Golf Course");

(B) WHEREAS, U of M has expressed some concerns related to the Project's proximity to the U of M Golf Course; and

(C) WHEREAS, in order to alleviate U of M's concerns, regarding the Project, the Parties have entered into this Agreement.

NOW, THEREFORE, in consideration for the Parties' willingness to enter into this Agreement, and for other good and valuable consideration, the sufficiency of which is acknowledged by the Parties, the Parties agree as follows:

1. PEFT, as Developer of the Project, assumes and undertakes the entire risk of any and all personal injuries and/or property damage arising out of or in any way connected to U of M (including, but not limited to, its employees, agents and representatives) and/or its invitees utilizing the U of M Golf Course that is directly adjacent to the Project.

2. To the fullest extent permitted by law, PEFT shall indemnify, hold harmless and defend U of M, including its officers, members, directors, employees, agents, invitees, customers and representatives, from and against any and all damages, expenses, claims and suits of whatever kind or nature (including attorney fees) allegedly arising out of or in any way connected with golf balls being hit from the U of M Golf Course onto the Project.

3. This Agreement represents the full agreement between the Parties, pertaining to this matter. This Agreement shall be governed by and construed in accordance with Michigan law. This Agreement may be signed in counterparts and any e-mail, pdf, facsimile or other electronic signature on this Agreement shall be treated as, and have the same effect as, original signatures.

PEFT DEVELOPMENT, LLC

UNIVERSITY OF MICHIGAN

By: _____
Its: _____

By: _____
Its: _____

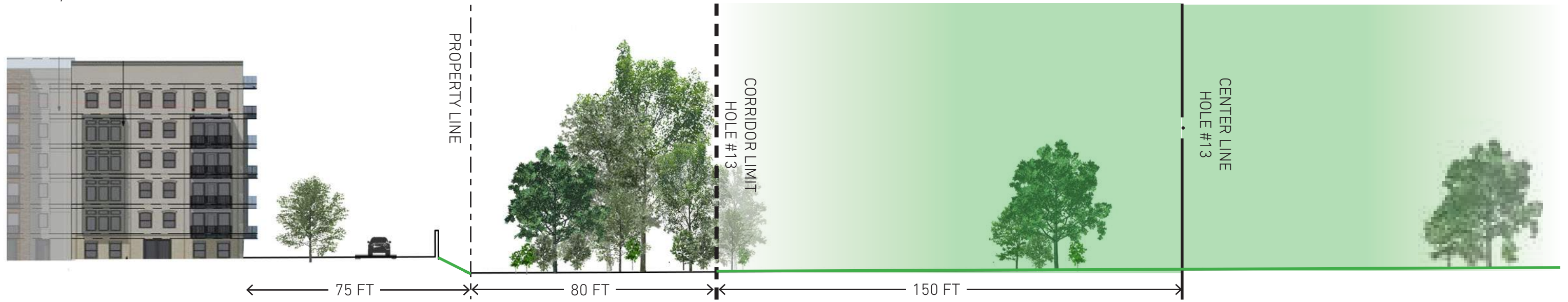
Date: June __, 2021

Date: June __, 2021

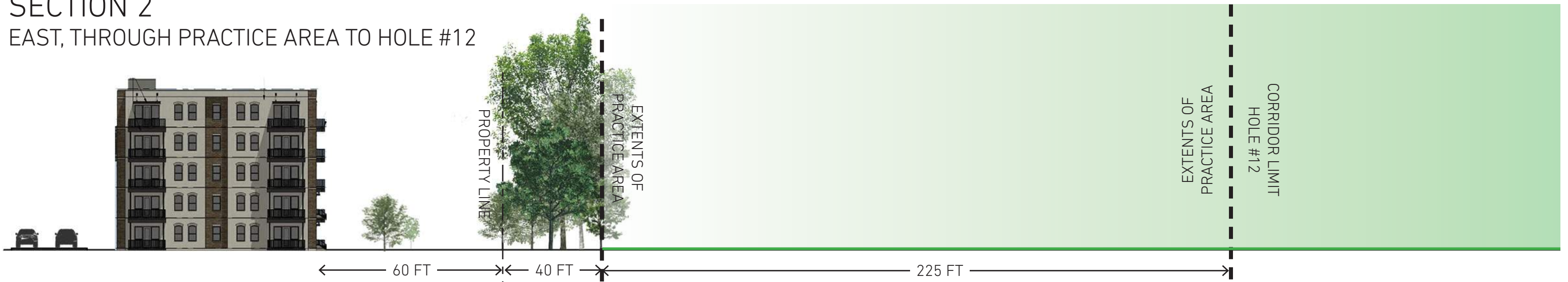
PLAN



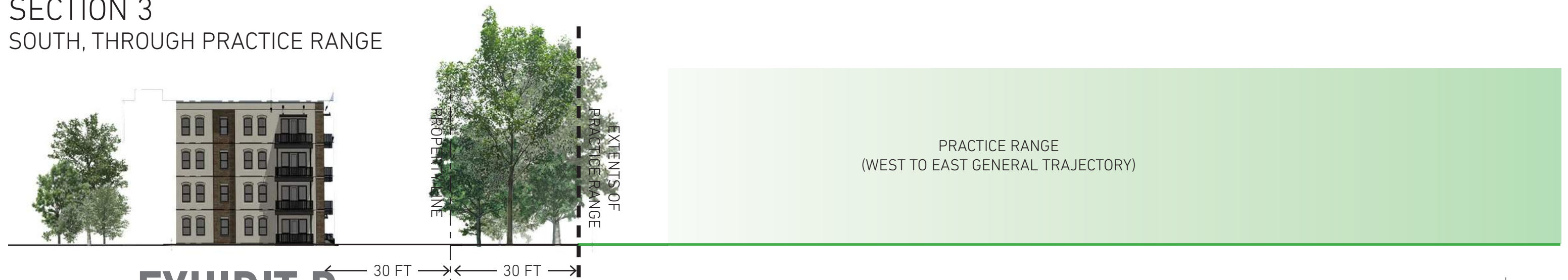
SECTION 1
NORTH, THROUGH HOLE #13



SECTION 2
EAST, THROUGH PRACTICE AREA TO HOLE #12



SECTION 3
SOUTH, THROUGH PRACTICE RANGE



May 18, 2021

MKSK

James B. Cooper, Principal
Peritus Ventures
1175 West Long Lake Road Suite 202, Troy, MI 48098

RE: Valhalla Development, Golf Course Qualifications

Jim:

Thank you for involving MKSK in this important project. As you requested, this letter is a follow-up to our previous correspondence that described our evaluation of the golf course concerns raised by the University of Michigan. This package described MKSK's qualifications on dealing with similar golf course issues on many other projects where a golf course adjoins a residential development.

As you know, our 30+ years of experience has afforded us the opportunity to work on many planned residential developments that are golf-related. Those projects were often in collaboration with some of the most renowned golf names in the history of the game. Like the Valhalla site, most of those residential development reside side-by-side with a golf course. An occasional errant golf ball is to be expected, similar to golf balls that fall along the road or public pathways, but likely less so in this instance being mostly adjacent to practice facilities used by highly skilled collegiate golfers.

In this case, you asked that we review the layout of your development in relationship to safe occupation for all involved. MKSK was asked to provide critical analysis and understanding of certain of these issues through the lens of golf course development design expertise and in our professional opinion for consideration by the Development Team in their addressing of those issues. Our efforts have documented the specific golf play adjacent, both practice and open play, and the specific travel of the golf ball relative to your project. We feel that our analysis is practical and accounts for the reasonable and predictive play of the golf course.

We did share this information with representatives from the University of Michigan in the past. As a result, a number of changes were made to the site plan, including a short fence around the perimeter. The plan was not changed, however, to also add the requested 10 foot high fence and a taller net. We do not believe those changes are warranted.

Please review the following qualification materials. Should you need any further information from MKSK, we would be happy to accommodate you.

Respectfully Submitted,
MKSK, Inc.

A handwritten signature in black ink, appearing to read "B Kinzelman", with a horizontal line extending to the right.

Senior Principal, Brian Kinzelman, FASLA, AICP, LEED AP
Bkinzelman@mkskstudios.com

CREATING SIGNATURE GOLF COURSE DEVELOPMENTS



Columbus
Atlanta
Cincinnati
Detroit
Greenville
Indianapolis
Lafayette
Louisville

MKSK



We invite you to explore the character of our work.

MKSK is a collective of Planners, Urban Designers, and Landscape Architects, founded in 1990, who are passionate about the interaction between people and place. We work with communities and clients to reimagine, plan, and design dynamic environments for the betterment of all. We are a practice with a network of eight regional metropolitan studios in Ohio, Indiana, Kentucky, Michigan, South Carolina and Georgia. We approach planning and design with a clear understanding that each place is unique and has economic, social, environmental, historical, and cultural influences which should be explored through thoughtful, context sensitive design. We help communities and our clients meet the challenges of changing global conditions by addressing resiliency and sustainability. We shape place to improve lives, and we share our transformational stories and the power of strong planning and design to inspire ourselves, our peers, and the world to work together for the common good.

GOLF COURSE DEVELOPMENT

Our experience in golf course site design and community planning is extensive and broad based, strengthening our capability of satisfying a variety of project and client needs. The following are specific services which we have provided on numerous past projects.

- Golf Course Community Development and Residential Planning
- Site Analysis, Evaluation and Selection
- Zoning and Development Plan Documentation
- Comprehensive Land Use Planning
- Golf Course Routing and Design
- Clubhouse and Site Design
- Streetscape and Entry Design
- Swim and Racquet Facilities Design
- Practice Facility Design
- Golf Course Planting
- Golf Course Amenities, Bridges, Water-features Design
- Golf Course Repurposing

COLUMBUS	614.621.2796
ATLANTA	614.621.2796
CINCINNATI	513.818.3842
DETROIT	313.652.1101
GREENVILLE	864.626.5715
INDIANAPOLIS	317.423.9600
LAFAYETTE	765.250.9209
LOUISVILLE	502.694.1416



Our land planners understand the numerous factors that must be considered to create a robust and successful plan including assessments of existing conditions, environment, infrastructure, transportation systems, parking, demographics, market, trends, development economics, fiscal implications, community character, cultural and historic structures, the built environment, and the public realm. We understand the relationships between the many various types of land uses and their impacts on infrastructure, watersheds, and municipal services and funding.

Because of our work with the development community, we also have a robust understanding of the types, yields, needs, and site layout of the myriad land developments of private developers. This ranges from conservation developments, subdivisions to multi-family developments, retail stores to town centers, corporate offices to industrial development, and true mixed-use urban centers. We also understand their infrastructure, parking, support, amenity, and park needs. MKSK also specializes in planning for the public realm, including regional parks, playgrounds, signature spaces, plazas, civic building spaces, streetscapes, gateways, riverfronts, etc.

Our goal in all of our land planning efforts is to identify catalytic projects that will attract investment, support the community, and greatly improve the quality of life. Because of the success of our land use plans, many of our clients continue to use our services to meet their needs.

BRIAN KINZELMAN, FASLA, AICP, LEED AP

Principal, Landscape Architect, Planner

MKSK

Brian's passion is designing spaces that provide a solid foundation for future development and fit seamlessly into the existing landscape.

As cofounder of MKSK, Brian has 43 years experience in Landscape Architecture and Planning with principal leadership and project management on hundreds of projects. His professional background includes large scale land use planning, urban design, mixed use development and campus planning. Brian has focused experience in golf course site design and residential planning for golf course communities and has designed the facilities for several signature courses.

Project Experience

Blackhawk Land Planning & Development Plan
Galena, Ohio

OSU Golf Course Facility Criteria Architect
Columbus, Ohio

The Medallion Club & Clubhouse
Westerville, Ohio

The Medallion Club, Swim & Racquet Club
Westerville, Ohio

The Medallion Club Villas
Westerville, Ohio

Country Club of the North & Clubhouse
Beavercreek, Ohio

Safari Golf Course
Powell, Ohio

Muirfield Village Golf Club
Dublin, Ohio

Zanesville Country Club
Zanesville, Ohio

Red Roof Inns Golf Course
Hilliard, Ohio

Ross Golf and Sporting Club
Ross, Ohio

Education

The Ohio State University,
Bachelor of Science Landscape Architecture, 1977

Registration

Registered Landscape Architect, OH, KY, IN, WV, TN, PA
LEED Accredited Professional, U.S. Green Building Council
CLARB Certified Landscape Architect
Certified Planner, American Planning Association

Professional Affiliations

American Society of Landscape Architects Fellow
American Institute of Certified Planners
American Planning Association, Ohio Chapter
Society for College and University Planning
Urban Land Institute

Boards & Commissions

Board of Trustees, Columbus College of Art & Design



BRAD STRADER, AICP, PTP

Principal

MKSK

Brad advocates linking land use with multi-modal transportation and design to create vibrant places.

Brad has more than 30 years experience specializing in comprehensive planning, downtown plans, multi-modal, transportation, greenways, and placemaking. He has led projects in eight states in the Great Lakes and Mid-Atlantic region. Over 30 of those types of projects have involved multiple jurisdictions and agencies. Many also involved evaluation of changes to administrative responsibilities to improve both efficiency and quality of service. Brad is a lead advisor to the Michigan Economic Development Corporation's "Redevelopment Ready Community" program that helps cities of all sizes recognize the important role of great public spaces as part of economic development strategies.

Project Experience

South State Street Design Alternatives
Ann Arbor, Michigan

City of Ann Arbor Transportation Plan
Ann Arbor, Michigan

Multi-Community Greenways Plan
Macomb County, Michigan

Parks and Recreation Master Plan
Westland, Michigan

Joint Parks and Greenways Plan
Grand Blanc City and Grand Blanc Township, Michigan

Comprehensive Plan
Peters Township, Pennsylvania

BEST: Michigan & Gratiot Avenue TOD Corridor Studies
Detroit, Michigan

Michigan Street Area Corridor Plan
Grand Rapids, Michigan

Charleston Comprehensive and Downtown Plans
Charleston, West Virginia

Comprehensive Plan and District Plans
Kalamazoo, Michigan

Comprehensive Plan
Steubenville, Ohio

Riverfront Parks Master Plan
Ypsilanti, Michigan

Education

Michigan State University,
B.S., with Honors, in Urban Planning, 1983

Registration

Fellow, Institute of Transportation Engineers (FITE)
ITE Certified Professional Transportation Planner (PTP)
American Institute of Certified Planners

Professional Affiliations

American Planning Association
Transportation Research Board
Institute of Transportation Engineers

Boards & Commissions

TRB Access Management Committee
ITE Transportation Planning Council, Executive Committee,
Smart Community Task Force, Multi-Modal Transportation
Impact Assessment; Chair, TOD Parking Task Force,
Parking Council, Complete Streets Council; Vice-Chair, ITE
Committee to create Recommended Practice for Multi-
modal Transportation Impact Assessments



mkskstudios.com

THE MEDALLION CLUB

Westerville, Ohio

MKSK



Environmentally-sensitive golf course development

The Medallion Club is a 27-hole golf course designed by Jack Nicklaus II featuring more than 350 single family home sites and 18 acres of cluster housing on 601 acres of unique central Ohio property. Developed within one of the more significant wetland areas in the central Ohio region, the project presented unique challenges to the site development team.

Considerable effort was made to identify the wetlands areas of the site and analyze the existing Great Blue Heron rookery in an effort to minimize the impact of development. Of the entire 601-acre golf course development, 85.4 acres have been identified and preserved as original wetland area, with 8.9 acres of these wetlands mitigated due to site construction yielding over 20 acres of new wetlands constructed on site. A stormwater system was designed to manage both golf course and housing development run-off, ensuring unaltered volumes through the wetland areas.

A unique monitoring system was put into place to ensure the long-term health of the wetlands areas, protection of the Great Blue Heron rookery, and continued management of all of these environmentally sensitive areas through a program of resource management, water conservation, and state-of-the-art golf course management practices.

Outcome:

- 1995 OCASLA Merit Award

CLIENT
YEAR

Champions Development Group
1993

THE MEDALLION CLUB

Westerville, Ohio

MKSK



CLIENT
YEAR

Champions Development Group
1993

COUNTRY CLUB OF THE NORTH

Beavercreek, Ohio

MKSK



Planning and design for a premier golf course community

The 18-hole, championship length Jack Nicklaus Signature golf course is surrounded by 184 single family home sites and 22 acres of multi-family housing. Golf club facilities consist of a 38,000 square foot clubhouse with complete pro shop and dining facilities and a state-of-the-art outdoor practice facility and driving range. MKSK services included master planning, zoning documentation, entry feature and streetscape design, clubhouse and practice facility site design, planting design, golf course water features and cart path bridge development. Country Club of the North has become a premier golf course community in southwestern Ohio.

Outcome:

- 2000 OCASLA Merit Award

CLIENT
YEAR

NBL Development
1992

DEMUTH GOLF COURSE

Canton, Ohio

MKSK



Routing master plan for an 18-hole public course

MKSK prepared the routing plan for a proposed 18-hole daily fee public golf course. The 245 acre tract is characterized by dramatic topography with 150 feet of elevation change. In addition to the golf holes, a clubhouse site and practice facility were identified along with 26 acres of residential lots.

CLIENT
YEAR

J.D. Mining, Inc.
2002

COLUMBUS ZOO SAFARI GOLF COURSE & CLUBHOUSE

Powell, Ohio

MKSK



Redevelopment of environmentally-friendly golf course

The Columbus Zoo Safari Golf Course, located in Powell, Ohio, is an 18-hole, 140-acre, mature golf course located adjacent to the Columbus Zoo. MKSK teamed up with the Columbus Zoo & Aquarium to redevelop and reconfigure the Master Plan and add additional course holes displaced by the re-routing of SR 750.

Connected to the course, a full service clubhouse features a comfortable setting for golf outings and leagues, complete with a full Pro Shop and expanded menu for visitors. The Maintenance Area has also been redeveloped to better insure the upkeep of the course.

Additionally, the newly relocated Practice Facility includes a driving range, practice putting, and chipping greens, making it a fun environment for all ages and skill levels.

MKSK performed the project administration and services including, concept and schematic design, final landscape and irrigation plans, bid assistance, and construction administration.

CLIENT	Columbus Zoo & Aquarium
CONTACT	Terri Kepes
PHONE	614.645.3461
YEAR	2006

MEMORIAL GARDENS AT MUIRFIELD VILLAGE GOLF CLUB

Dublin, Ohio

MKSK



Honoring the history of the game at one of its most popular venues

The Memorial Garden at Muirfield Village Golf Club is a tribute to the great figures in the history of golf. Located adjacent to the clubhouse, the park has quickly become a focal point for members and visitors, as well as a backdrop for interviews and news coverage during the annual PGA Memorial Tournament.

The series of curved stone facades display bronze relief panels representing the greatest figures in the game. Incorporating several levels of gently sloping grass and crushed stone, the Memorial Park is a centerpiece for the entrance to the club where visitors can stroll through the relaxing yet visually complex structure. Integrated into the hillside, the park paths create a natural progression through time as the history of golf is recounted through the stories of many of the game's greatest players, ground breakers, and other characters. Each year the Memorial

tournament is dedicated to a significant golfer and a bronze tribute panel is created and added to the garden. Central to the park is a multi purpose pavilion structure and honoree plaza, where tournament ceremonies take place and other club social events occur.

Outcome:

- 1999 OCASLA Merit Award

CLIENT
CONTACT

Muirfield Village Golf Club
Allan Lupton, AIA, Lupton Rausch
Architects

PHONE
EMAIL
YEAR

614.224.9050
alupton@luptonrausch.com
1998

ASTON OAKS

Cincinnati, Ohio

MKSK



Master planned golf course community is a “best of” model development for Greater Cincinnati

Aston Oaks is a 680-acre planned unit development 25 minutes west of downtown Cincinnati, Ohio. The site is characterized by sweeping river views, steep slopes and mature woodland and features a Nicklaus design golf course and a wide array of housing alternatives. The scope of services included site planning and design services for two separate phases of the development. Responsibilities included the design of the community’s open space, signage, streetscape, and entry features as well as the integration of the community clubhouse and amenities. The project was the site of the “Best of the West” home show. MKSK provided design review, construction administration, and promotional assistance for the show.



CLIENT
YEAR

Neihaus Development
2002

ROSS GOLF COURSE AND SPORTING CLUB

Ross, Ohio

MKSK



Master plan for a new golf course development

MKSK provided land use planning and golf course routing for this 360-acre site in southwestern Ohio. The project site is densely wooded with steep topography and is the site of a former scout camp. The routing takes advantage of the limited cleared areas of the site and is sensitive to the topography as to not destroy the site's natural amenities and to minimize earthwork needed for course construction. The course is a championship length course and par 72 layout with complete practice facilities. To augment the golf facilities and to lengthen the user season, this project included an area of cabins fronting the major site pond, offers fishing, hiking and off-season activities such as skating, cross-country skiing, site-wide trails, warming huts, sporting clays and trap range. Club facilities are to utilize existing structures as much as possible, including

main building to be renovated and used as a clubhouse, reuse of the original camp pool, which will be coupled with new tennis courts and addle tennis courts.

Project housing will include cluster housing, conventional single family homes and estate lot home sites, all serviced by publicly-dedicated right-of-way and developer-provided infrastructure.

BLACKHAWK LAND PLANNING & DEVELOPMENT PLAN

Galena, Ohio

MKSK



Former golf course redeveloped as a walkable mixed use development connected by trails and preserved open spaces

MKSK provided land planning, conceptual development planning, and zoning application preparation for a 220-acre property to be annexed into Galena, Ohio. The site is currently a golf course and a portion of farmland just north of the Hoover Reservoir in Berkshire Township. The conceptual plan is a mixed use, walkable development, featuring more than 36% open space and a connected trail system. The plan protects the land's natural elements, including a stream corridor and 15 acres of new growth woodlands.

When built, this development will become the front door of Galena along State Route 3. A mix of office and retail uses will bring jobs to the area and serve as amenities for local residents. Planned neighborhoods will help to meet the

growing need for housing in eastern Delaware County by providing housing options for a variety of household types and ages of life. The architecture of homes will be rural and traditional in character, with examples that emphasize the natural charm and history of Galena and Ohio's small towns. The development will also fill an important gap in the Ohio To Erie Trail, offering a safe and uninterrupted regional connection for pedestrians and cyclists.

The MKSK planning and design team led all land planning efforts for The Champion Companies, including several presentations to Galena Planning and Zoning Commission, and coordinated with the team of engineers and architects to produce the Development Plan zoning application. MKSK coordinated the production of renderings to visualize the development at full build out and worked with the client team to produce phase one of the planned development's zoning regulations.

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2019

BLACKHAWK LAND PLANNING & DEVELOPMENT PLAN

Galena, Ohio

MKSK



SITE PLAN



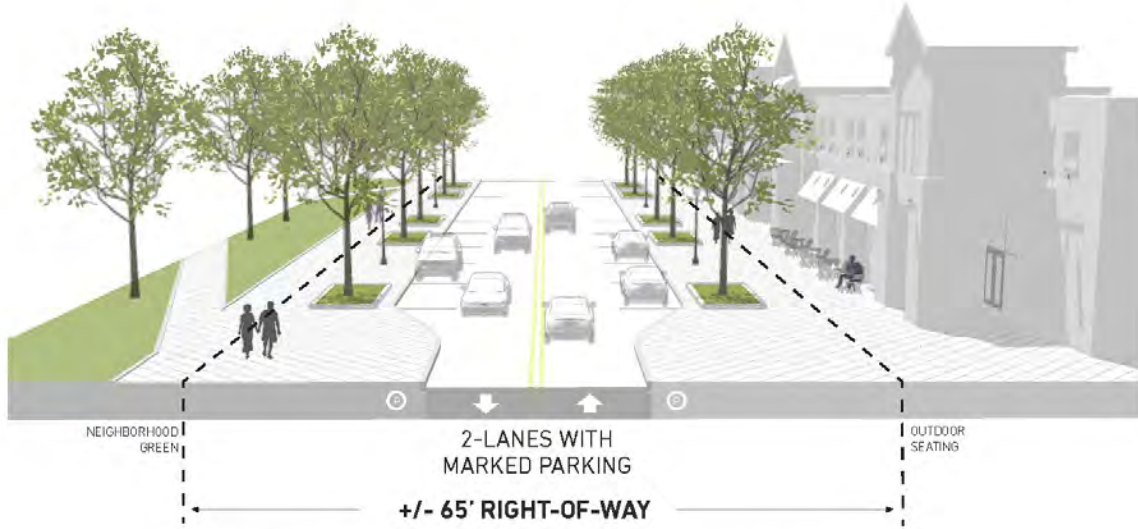
CONCEPTUAL FRAMEWORK & LAND USE

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BLACKHAWK LAND PLANNING & DEVELOPMENT PLAN

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NEIGHBORHOOD CENTER STREET SECTION



SIGNATURE AVENUE SECTION

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