

ANN ARBOR HISTORIC DISTRICT COMMISSION**Staff Report**

ADDRESS: 544 Detroit Street, Application Number HDC12-167

DISTRICT: Old Fourth Ward Historic District

REPORT DATE: October 1, 2012

REPORT PREPARED BY: Jill Thacher, Historic Preservation Coordinator

REVIEW COMMITTEE DATE: Monday, October 8 for the Thursday, October 11, 2012 HDC meeting

OWNER**APPLICANT**

Name:	Jack Epstein c/o Doug Smith	Marc Rueter
Address:	208 E Washington Ann Arbor, MI 48104	515 Fifth Street Ann Arbor, MI 48103
Phone:	(734) 717-4015	(734) 769-0070

BACKGROUND: The parcel at 544 Detroit was originally a portion of a much larger lot, which had the address 501 Detroit Street, as shown in an 1888 Sanborn Fire Insurance map. A two-story barn was located near the intersection of Detroit and Division Street. By 1892 a two-story house was built in the location of the barn with the address 537 Division Street. The first residents of 537 Division were Adam Meuth, a clerk at L C Weinmann, and his wife Louise. Ella C Meuth and Ida C Meuth are also listed as residents. The house was later demolished and the gas station that is currently located on the property was constructed in 1959. The gas station has been abandoned for over thirty years.

LOCATION: The site is located on the south side of the Detroit Street and North Division Street intersection.

APPLICATION: The applicant seeks HDC approval to demolish and remove an abandoned gas station building, remove the contaminated soil, and construct a new three-story brick building.

APPLICABLE REGULATIONS:**From the Secretary of the Interior's Standards for Rehabilitation:**

- (1) A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to

protect the historic integrity of the property and its environment.

- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):

District or Neighborhood Setting

Recommended: Retaining the historic relationship between buildings and landscape features of the setting. For example, preserving the relationship between a town common and its adjacent historic houses, municipal buildings, historic roads, and landscape features.

Not Recommended: Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the district or neighborhood.

STAFF FINDINGS:

1. The applicant seeks approval to demolish the existing gas station and remove any contaminated soil. The non-contributing gas station has been abandoned for over thirty years and is in poor condition. It was built in 1959 and does not fall within the period of significance of the Old Fourth Ward Historic District. The majority of the property is currently used as a parking lot.
2. The existing building covers around 20% of the lot and the parking lot covers nearly the rest of the lot. The proposed building appears to cover approximately 75% of the lot, with the rear driveway covering around 20% of the lot. Because of the building's location at the intersection of Detroit Street and Division Street, all elevations will be visible from the sidewalk. The new building will be approximately 5,000 square feet in total. The first floor will be commercial space and covered parking. The second and third floors will be condominiums, and the third floor condominium will also have access to the roof.
3. The proposed three-story, brick, flatiron building has five double-hung clad windows each on the second and third floors of the east and west elevations, which parallel Detroit Street and Division Street. The first floor of the east and west elevations have large fixed sash windows. The west elevation has a French door entrance and single door near the south end of the building that is covered by a steel canopy with a wood ceiling. The east elevation also has a steel canopy over a single door and window. The narrow north elevation has a porch on the first floor and balconies on the second and third floor. The columns are steel and the railings will feature a floral motif. The south elevation features a large canopy above the first floor, where parking for four cars will be located within the building. A driveway at the rear of the south elevation will provide access to the parking spaces and will be accessed from Detroit Street. The second and third floors of the south elevation will each have four single double-hung windows and one set of paired double-hung windows. A fence will be constructed near the southern lot line and along a small portion of the east lot line.
4. The parapet of the building features brick corbelling that runs continuously around all

elevations. The north elevation's parapet is taller, stepped, and features metalwork in the center that is the same as the balcony railings. The top of the building also features a belvedere that contains a spiral staircase for roof access from the third floor. A wood deck is located on the northern half of the roof.

5. The building is compatible in scale and massing to the adjacent properties. Though the proposed building is much larger than the existing non-contributing building, it is not detrimental to the district and features a design that is appropriate for the lot shape and size. The modern materials proposed (brick veneer, steel balconies, steel awnings, and clad windows) are complementary to the historic materials used on other buildings in the Old Fourth Ward Historic District.
6. It is staff's opinion that the removal of the existing building and proposed three-story flatiron building are generally compatible in exterior design, arrangement, texture, material and relationship to the surrounding neighborhood and meet *The Secretary of the Interior's Standards for Rehabilitation*, particularly numbers 1, 9 and 10.

POSSIBLE MOTIONS: (Note that the motion is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 544 Detroit Street, a contributing property in the Old Fourth Ward Historic District, to demolish the existing abandoned gas station and construct a new three-story flatiron building as proposed. The proposed work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation* and *Guidelines for Rehabilitating Historic Buildings*, in particular standards 1, 9 and 10 and the guidelines for district or neighborhood setting.

MOTION WORKSHEET:

I move that the Commission issue a Certificate of Appropriateness for the work at 544 Detroit Street in the Old Fourth Ward Historic District

_____ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

ATTACHMENTS: application, drawings, photos.

544 Detroit Street (1975 city survey photo)





City of Ann Arbor
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ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION

Section 1: Property Being Reviewed and Ownership Information	
Address of Property:	<u>544 Detroit Street</u>
Historic District:	<u>Old Fourth Ward</u>
Name of Property Owner (If different than the applicant):	<u>Jack Epstein</u>
Address of Property Owner:	<u>c/o Doug Smith, Sorsher Commercial</u>
Daytime Phone and E-mail of Property Owner:	<u>208 E. Washington, A2 48104</u> <u>734-717-4015</u>
Signature of Property Owner:	<u>[Signature]</u> Date: <u>9.21.12</u>
Section 2: Applicant Information	
Name of Applicant:	<u>Marc Rueter</u>
Address of Applicant:	<u>515 Fifth Street, Ann Arbor 48103</u>
Daytime Phone:	<u>(734) 769-0070</u>
Fax:	<u>(734) 769-0167</u>
E-mail:	<u>mr Rueter@rueterarchitects.com</u>
Applicant's Relationship to Property:	<input checked="" type="checkbox"/> owner <input type="checkbox"/> architect <input type="checkbox"/> contractor <input type="checkbox"/> other
Signature of applicant:	<u>[Signature]</u> Date: <u>9/20/12</u>
Section 3: Building Use (check all that apply)	
<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Single Family <input checked="" type="checkbox"/> Multiple Family <input type="checkbox"/> Rental <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Institutional	
Section 4: Stille-DeRossett-Hale Single State Construction Code Act (This item MUST BE INITIALED for your application to be PROCESSED)	
Public Act 169, Michigan's Local Historic Districts Act, was amended April 2004 to include the following language: "...the applicant has certified in the application that the property where the work will be undertaken has, or will have before the proposed completion date, a a fire alarm or smoke alarm complying with the requirements of the Stille-DeRossett-Hale Single State Construction Code Act, 1972 PA 230, MCL 125.1501 to 125.1531."	
Please initial here: _____	

Section 5: Description of Proposed Changes (attach additional sheets as necessary)

1. Provide a brief summary of proposed changes. See attached memo.

2. Provide a description of existing conditions. See attached memo.

3. What are the reasons for the proposed changes? See attached memo.

4. Attach any additional information that will further explain or clarify the proposal, and indicate these attachments here. See attached memo.

5. Attach photographs of the existing property, including at least one general photo and detailed photos of proposed work area.

STAFF USE ONLY

Date Submitted: 9/24-2012 Application to _____ Staff or _____ HDC

Project No.: HDC 12-167 Fee Paid: 750.00

Pre-filing Staff Reviewer & Date: _____ Date of Public Hearing: _____

Application Filing Date: _____ Action: _____ HDC COA _____ HDC Denial

Staff signature: _____ _____ HDC NTP _____ Staff COA

Comments:

M E M O R A N D U M

DATE: September 20, 2012
TO: City of Ann Arbor Historic District Commission
FROM: Marc M Rueter AIA
PROJECT: 544 Detroit Street- The Flatiron Building
CC:

REGARDING: Supplement to HDC Application

1. PROVIDE A BRIEF SUMMARY OF PROPOSED CHANGES:

The existing gasoline station and underground soil contamination will be removed and a new three-story brick building will be constructed on the site. The top two floors will each contain one condominium dwelling of approximately 1670 square feet. The first floor will be partially business use and covered parking. The flatiron portion of the building will have three steel balconies. The balcony railings and guards will feature metal work by a local metal worker-artist.

2. PROVIDE A DESCRIPTION OF EXISTING CONDITIONS:

The 1888 Sanborn Insurance map shows a barn on the property that burned in November of 1888. A new dwelling was constructed on the site the following year. This dwelling is presumed to have existed until it was torn down to construct the small gasoline station existing today. The immediate neighborhood has been home to many diverse building types and uses. Mixed in with residential uses was the nearby Road Cart & Carriage factory (later a boat factory and paper storage), A.R. Schmidt Carriage Shops, lumber storage, and a planing mill (The Treasure Mart). By 1925 the present site of Susan Bay interiors (old Arcure Motors) had become a junk yard. (See Sanborn Map page on the attached document for references.)

3. WHAT ARE THE REASONS FOR PROPOSED CHANGES:

For more than thirty years, the lot has been the site of an abandoned gasoline station and has been a neighborhood eyesore. The Owner has purchased the site and proposes to build a new building.

4. ATTACH ADDITIONAL INFORMATION THAT WILL FURTHER EXPLAIN OR CLARIFY THE PROPOSAL:

See the attached site plan, floor plans, elevation drawings, perspectives and specifications.

5. ATTACH PHOTOGRAPHS OF THE EXISTING PROPERTY

See the attached submission.

Marc Rueter AIA
Rueter Associates Architects

THE FLATIRON BUILDING AT 544 DETROIT STREET

544 DETROIT STREET, ANN ARBOR, MICHIGAN 48104

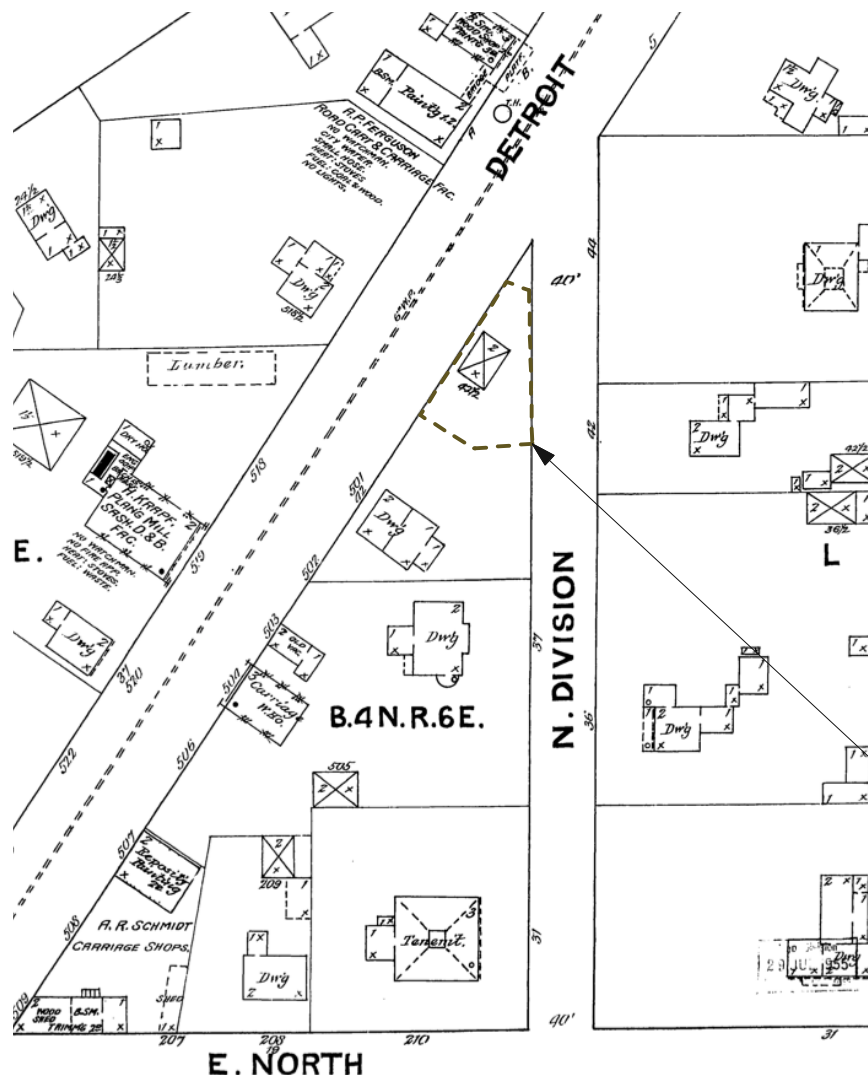
LIST OF DRAWINGS

- T1 TITLE PAGE
- T2 SANBORN MAP HISTORIES
- C1 SITE PLAN
- A1 FIRST FLOOR PLAN
- A2 BASEMENT PLAN
- A3 SECOND FLOOR PLAN
- A4 THIRD FLOOR PLAN
- A5 ROOF PLAN
- A6 VIEW FROM NORTHWEST
- A7 VIEW FROM SOUTHWEST
- A8 WEST ELEVATION
- A9 EAST ELEVATION
- A10 SOUTH ELEVATION & DETAILS
- A11 NORTHWEST BIRDSEYE & WEST CONTEXT ELEVATION
- A12 AREA CONTEXT PLAN



LEFT:
view from northwest

Title Page

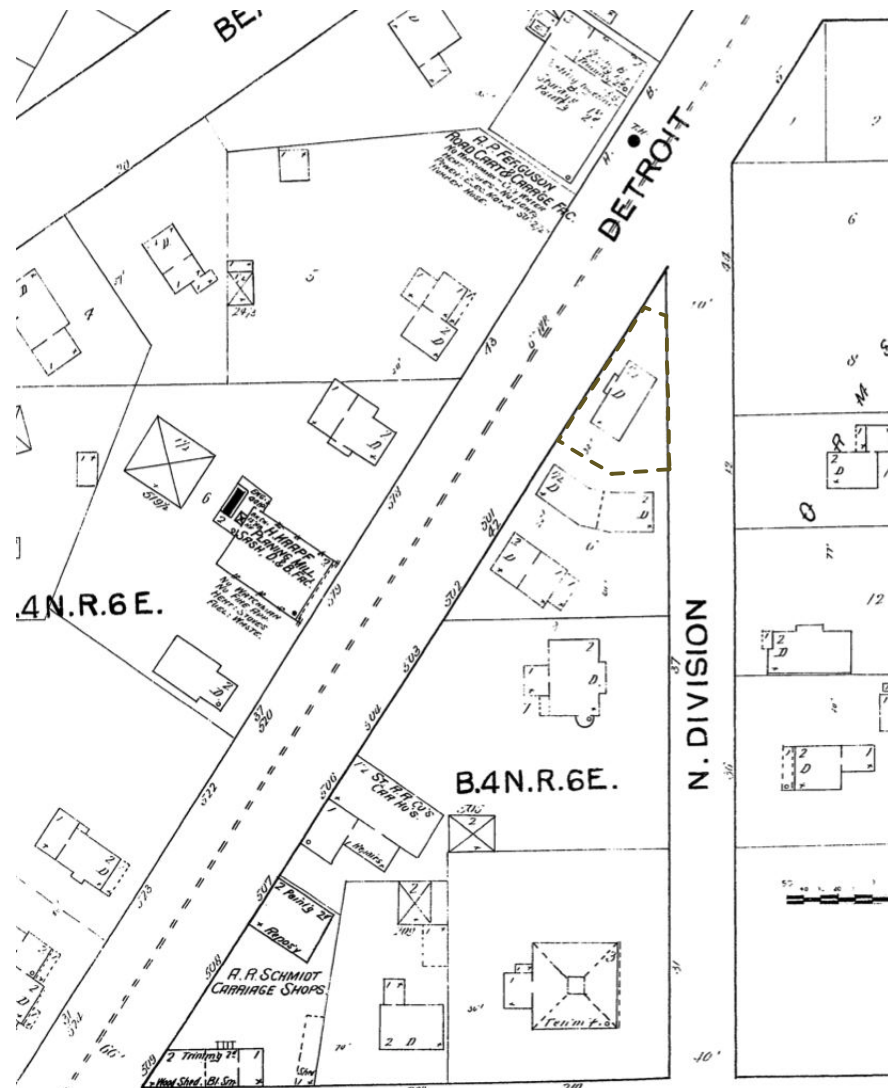


1888 SANBORN MAP

In this period the lot was quite large and had a house at 501 Detroit Street with a two story barn on the present site.

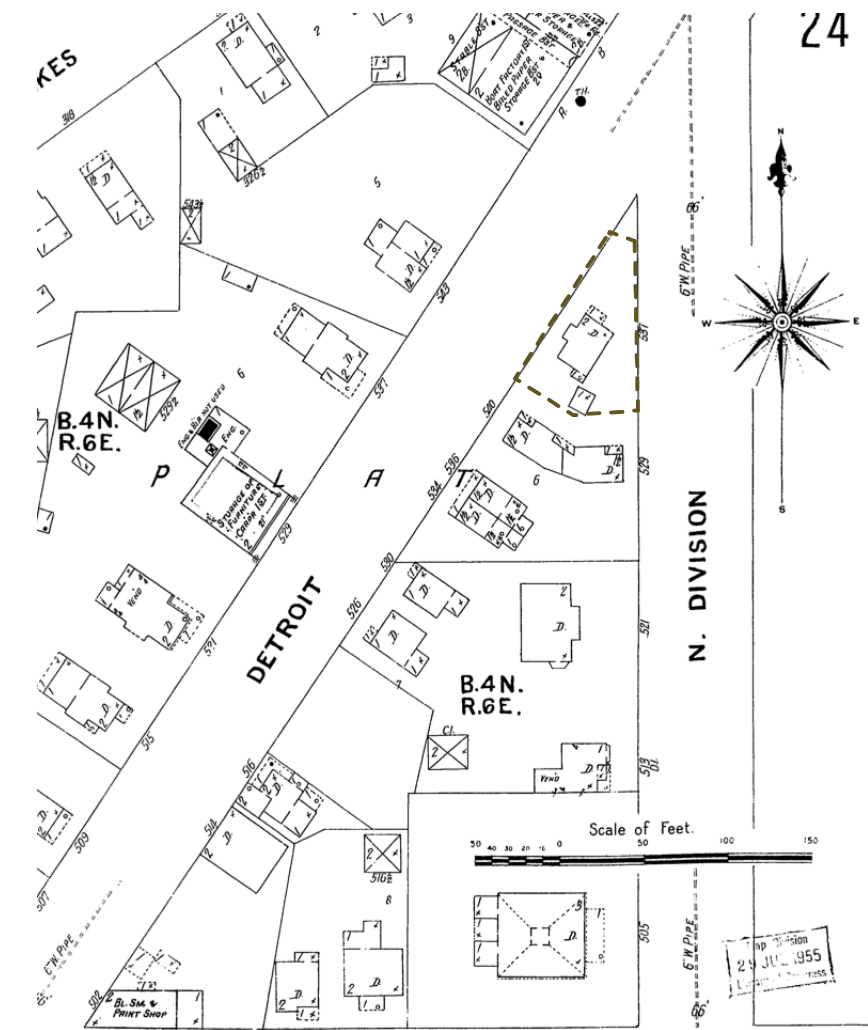
This barn burns down and Mr. Muth builds a new house on the lot (see 1892 panel). Research by Susan Weinburg. From the Ann Arbor Argus December 7, 1888.

DASHED LINE INDICATES PRESENT DAY LOT



1892 SANBORN MAP

By 1892 the "dogleg" duplex to the south had been constructed and the Muth Residence had been constructed on the site.

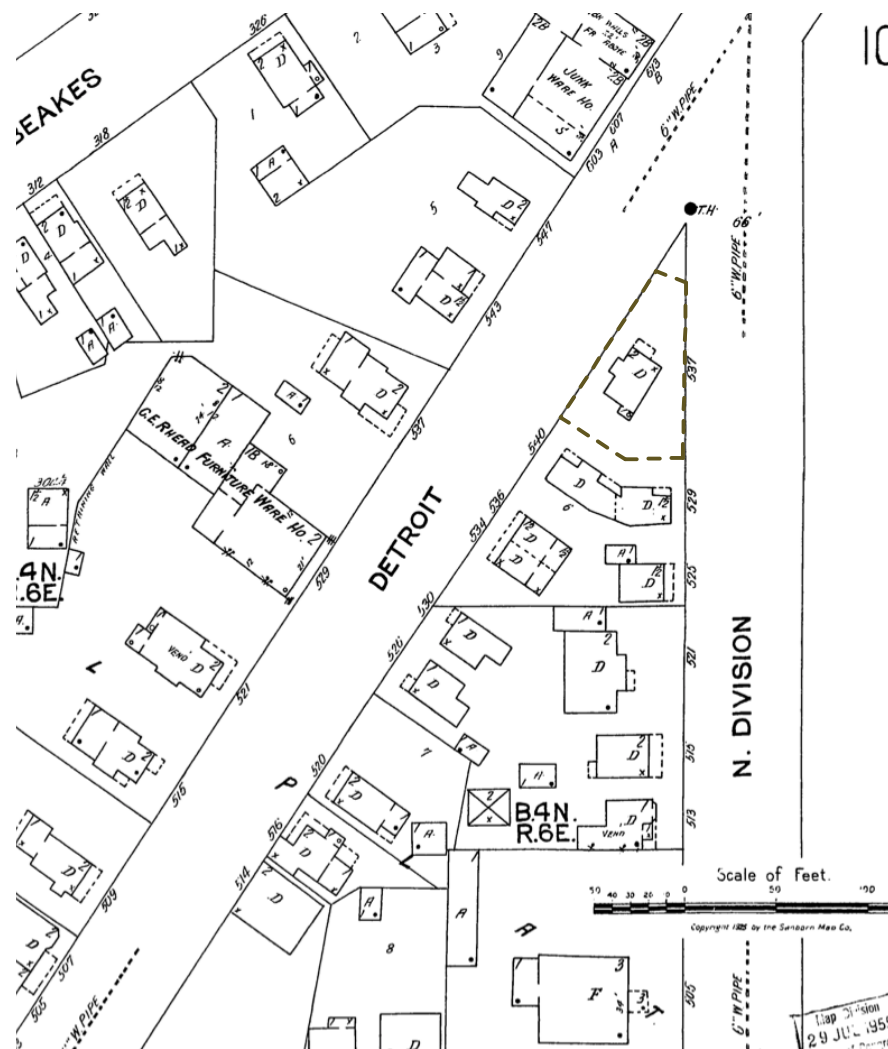


1908 SANBORN MAP

Architectural and Land Use and Area Diversity

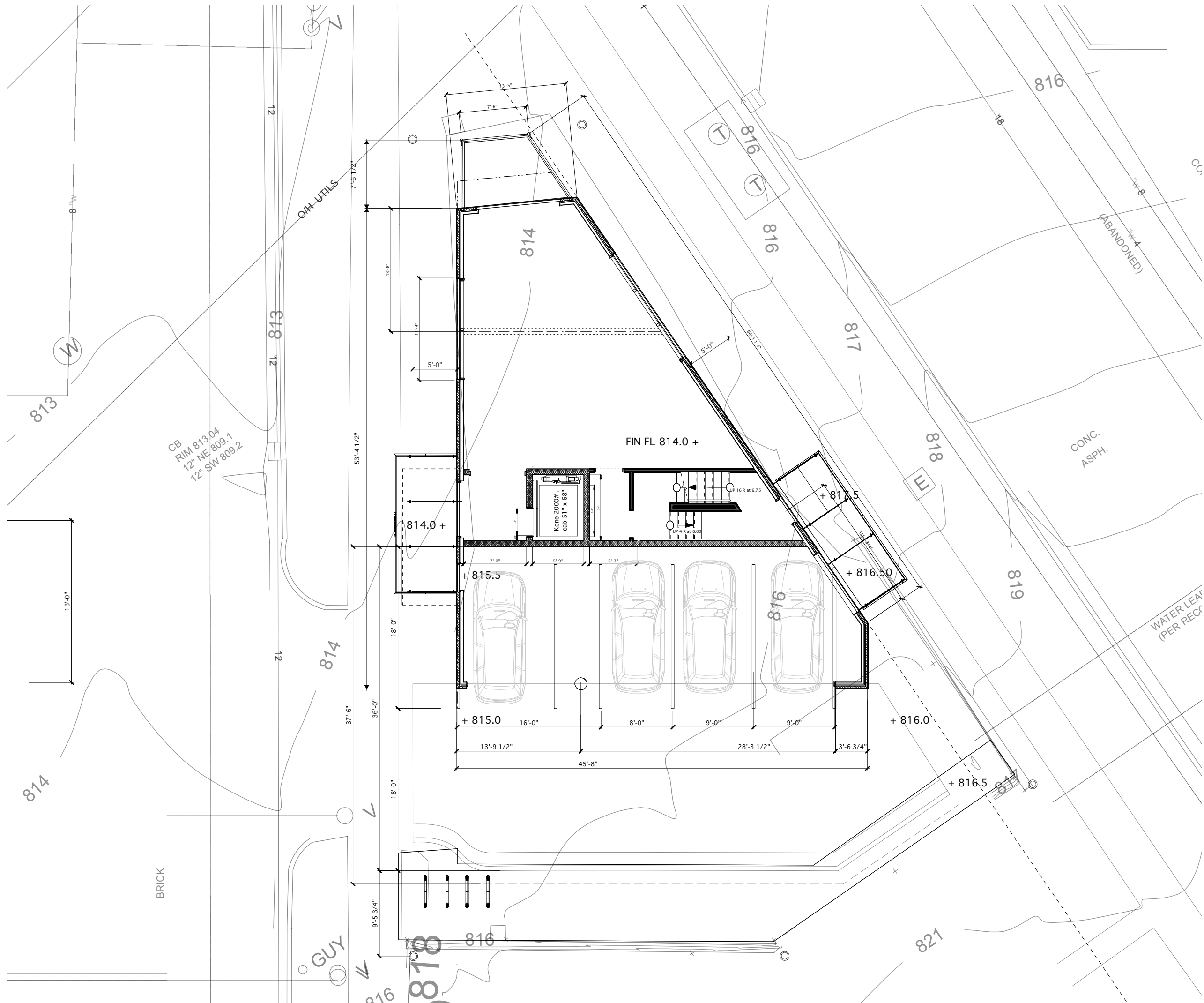
It is quite clear from studying the panels on this page that many diverse uses and building types have characterized the development of the immediate area from its earliest times.

Sanborn Map Histories



1925 SANBORN MAP

By 1925 the adjacent property development has been established. The two story dwelling on the site was demolished much later for the Clark Gasoline Station building which presently occupies the site and has been abandoned for over thirty years.



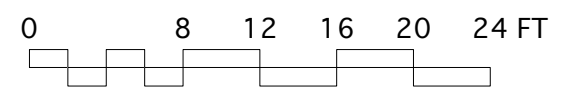
CB
RIM 813.04
12" NE 809.1
12" SW 809.2

KORNER 2000K
CAB 5'1" X 68"

FIN FL 814.0 +

CONC.
ASPH.

WATER LEAF
(PER RECC)

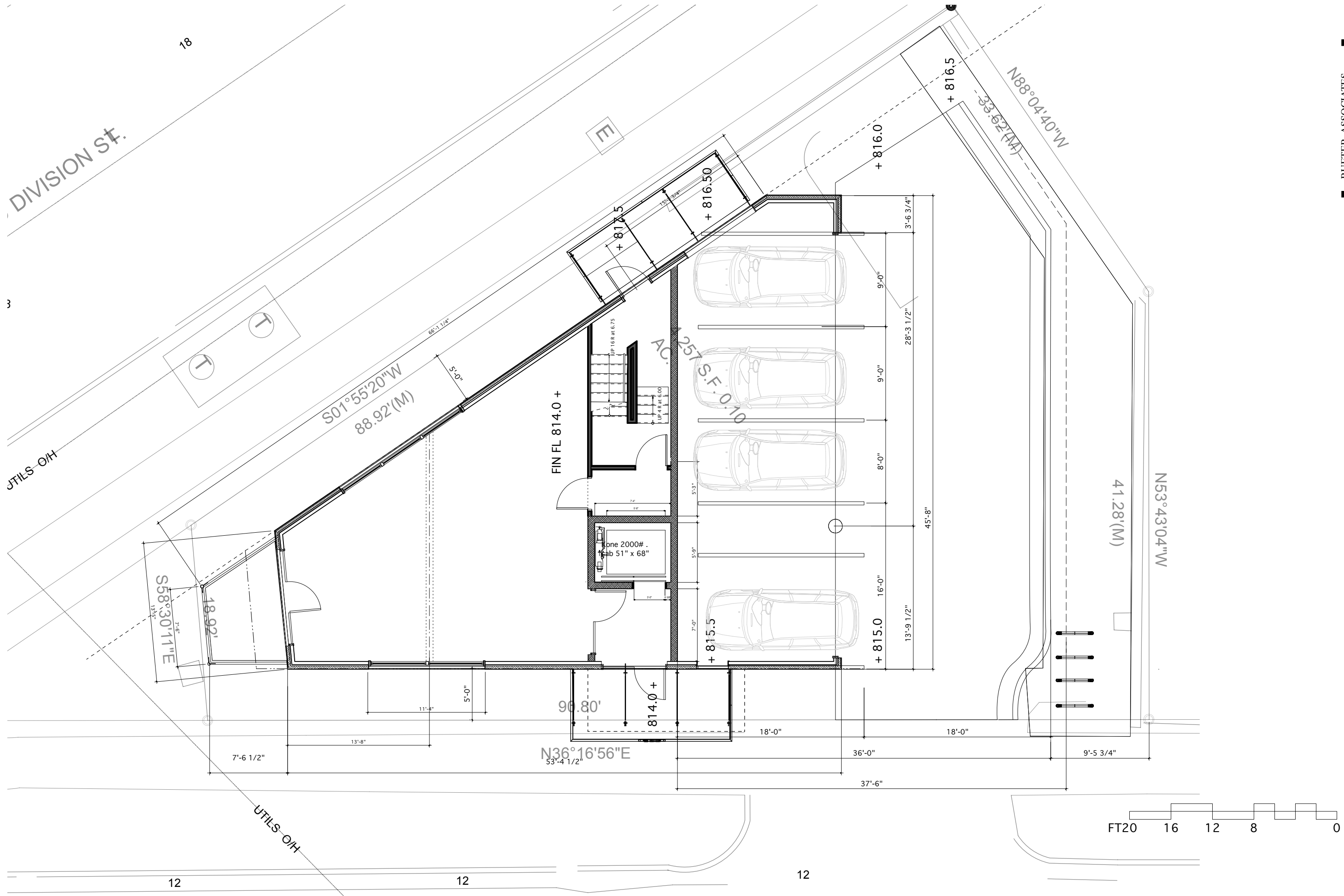


Site Plan

■ RUEJTER ASSOCIATES
ARCHITECTS
515 Fifth Street, Ann Arbor, Michigan 48103
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544 DETROIT STREET
Ann Arbor MI

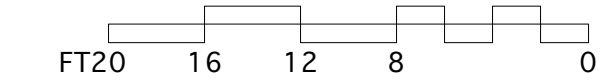
HDC SEPT. 20, 2012



DIVISION ST.

JTILS-O/H

UTILS-O/H



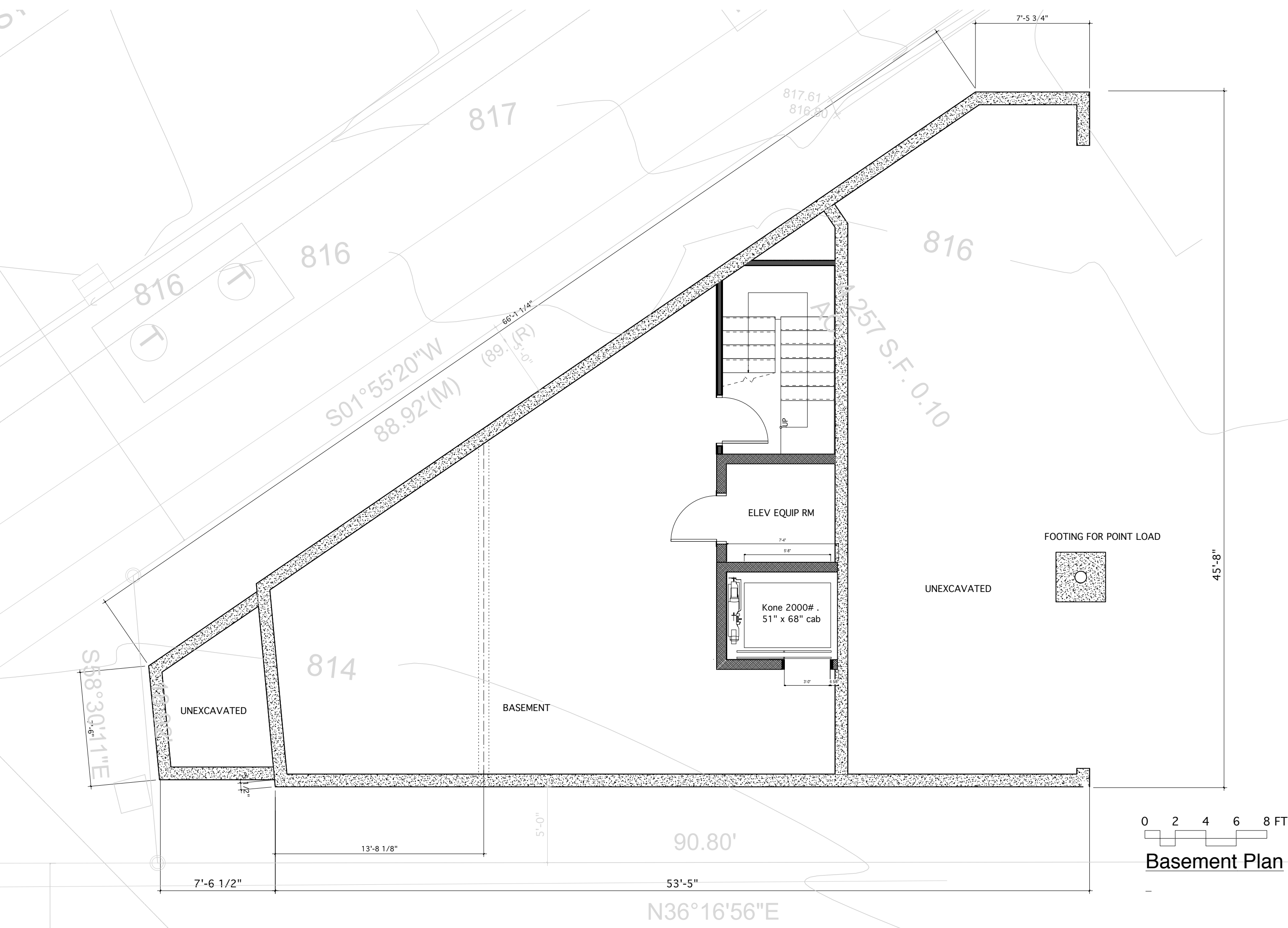
First Floor Plan
GROSS AREA 1062 SF

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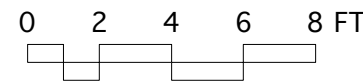
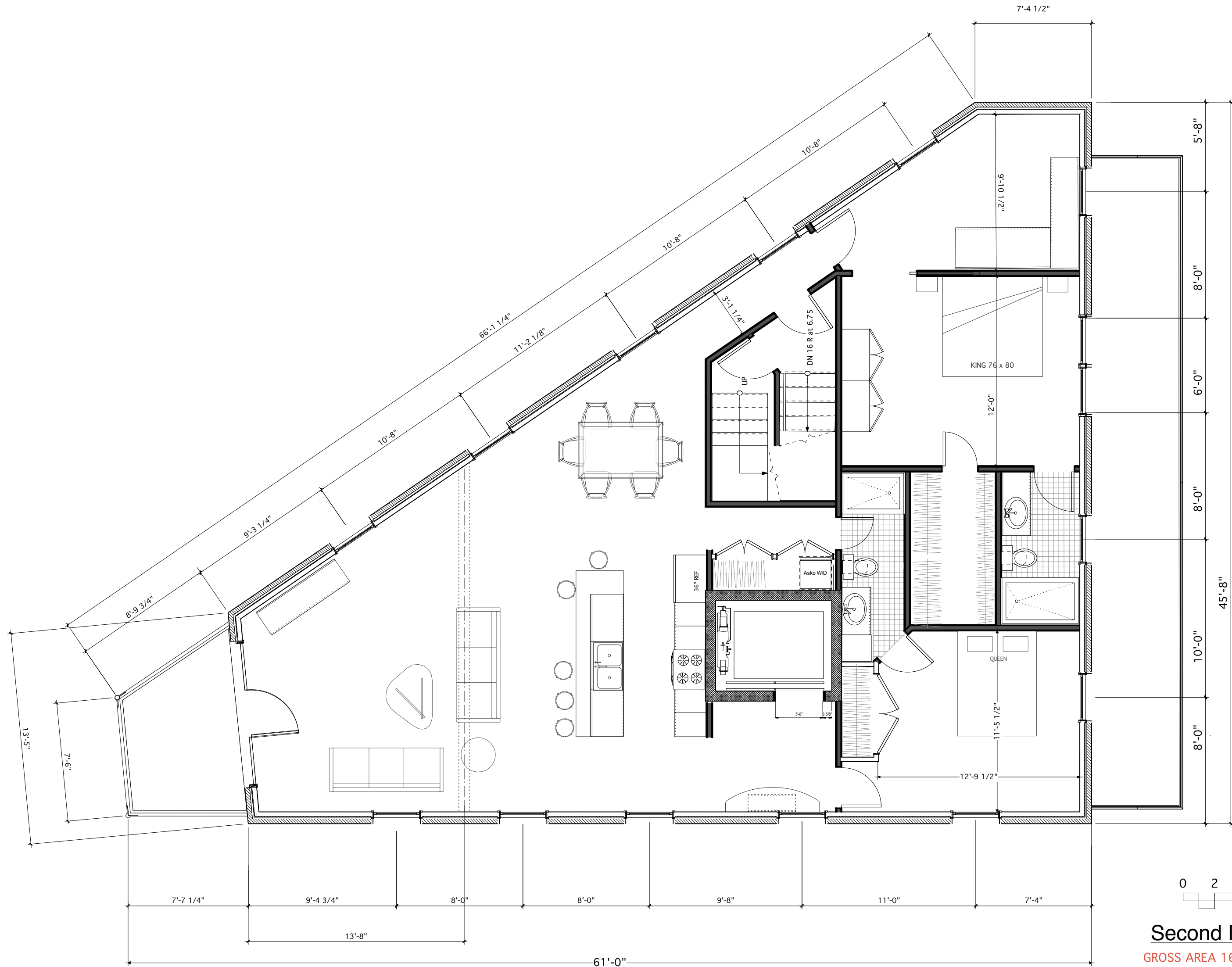
544 DETROIT STREET
Ann Arbor MI

HDC SEPT. 20, 2012

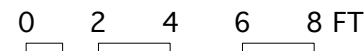
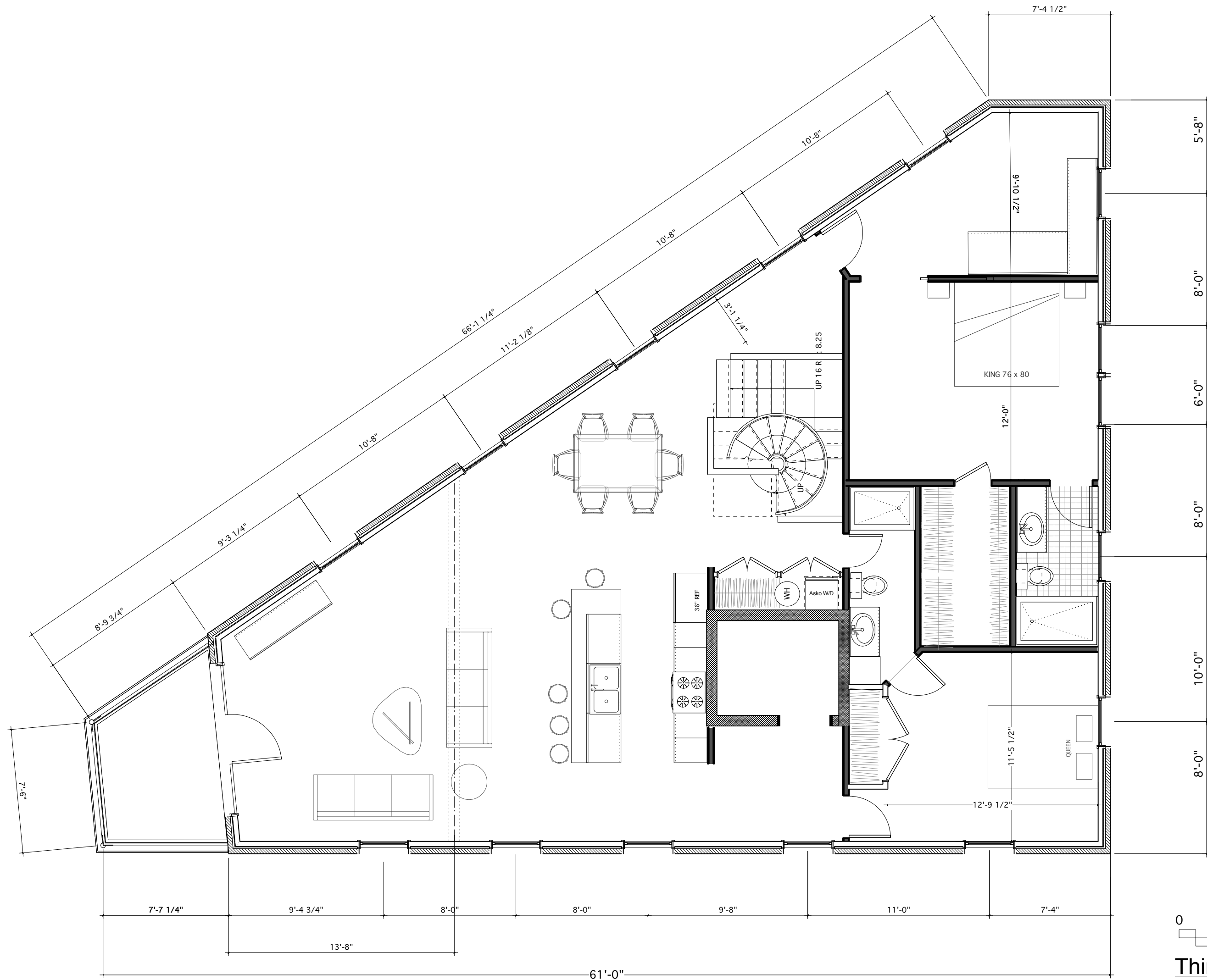
A1



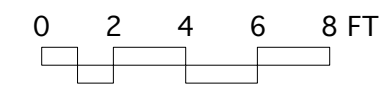
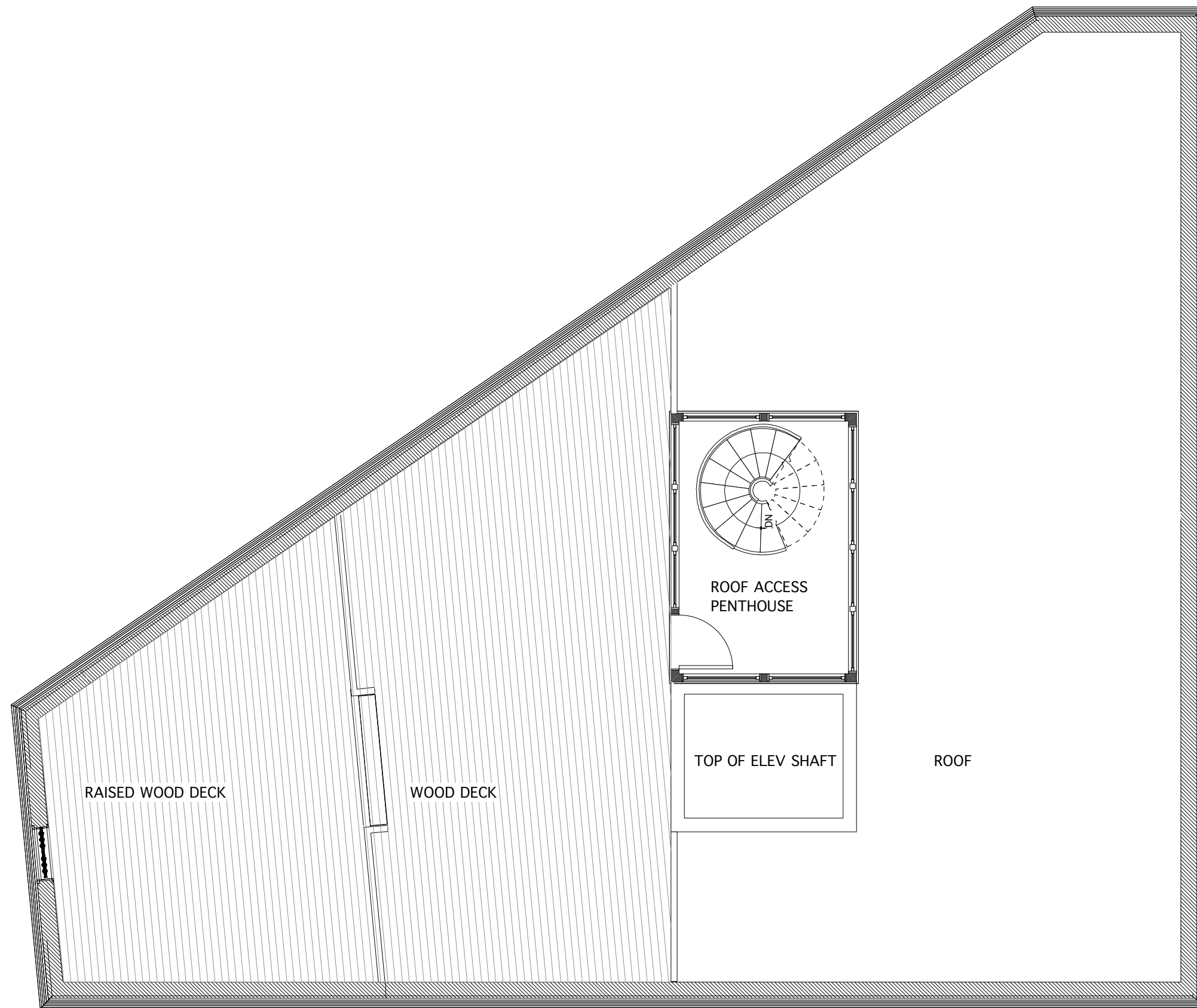
Basement Plan



Second Floor Plan
GROSS AREA 1677 SF



Third Floor Plan
GROSS AREA 1677 SF



Roof Plan



NEW MATERIAL DESCRIPTION:

PARAPET
brick

PARAPET COPING
4" mtl coping with color to match limesone sills

CORNICE
brick three stretcher courses corbeled 1"

WINDOW LINTLES
8" brick soldier course

WINDOW SILLS
5-3/8" limestone

BASE RUSTICATION
brick course recessed 3/4" every 10 th course

CANOPIES
8" x 1-1/2" steel channel perimeter rail with wood porch ceiling on soffit and epdm roofing membrane

BALCONIES
columns: 5" x 3/8" steel plate welded to 2" steel pipe with 8"x 3/8" diam top and btm bearing plates.

roof structure: 8" x 1-1/2" steel channel perimeter with wood porch ceiling

railings: 1/2" x 2" stl bars spaced 4" apart. See detail page A10 for guard details.

WINDOW SCHEDULE

Mark	Type	Unit Size*	Notes
(DH 1)	Double hung	36 x 72	
(FS 1)	Fixed sash	106 x 132	fixed 30 lite glazing above mtl spandrel panels
(FS 2)	Fixed sash	106 x 82	fixed x lite glazing
(FS 3)	Fixed sash	44 x 48	fixed 9 lite glazing

WINDOW NOTES:

Windows shall be wood with alum or vinyl cladding. Glazing shall be double glazed low e. Cladding shall be dark standard color. Screens shall be supplied with all windows.

Windows shall be supplied with 2" brick moulding

* window size may vary (+-2")

DOOR SCHEDULE

Mark	Type	Unit Size	Notes
(D1)	Flush Mtl	36 x 84	Painted galv stl
(D2)	French dr+transom	96 x 108	Hinged alum clad patio w/24" 9 lite transom w/ 9 lite doors.
(D3)	Cased opening + transom	36 x 106	Steel frame with mtl transom lites
(D4)	French dr w / sidelite	72 x 106	French dr with sidelite + transom 9 lite door and sidelite with 3 lite transom sections
(D5)	French dr	32 X 90	9 lite

DOOR NOTES:

Doors except (D1) shall be wood clad
Glazing shall be double glazed low e.

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544 DETROIT STREET
Ann Arbor MI

... 20, 2012

View from Northwest



View from Southwest

HDC SEPT.20 ,2012

544 DETROIT STREET
Ann Arbor MI

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ZONING BUILDING HEIGHT 852.0'

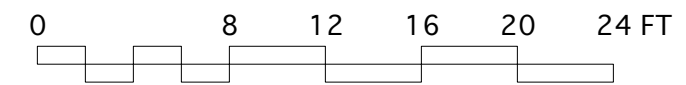
ROOF 847.0'

2ND FLOOR 836.0'

1ST FLOOR 825.0'

AVERAGE GRADE 817.0'

1ST FLOOR 814.0'



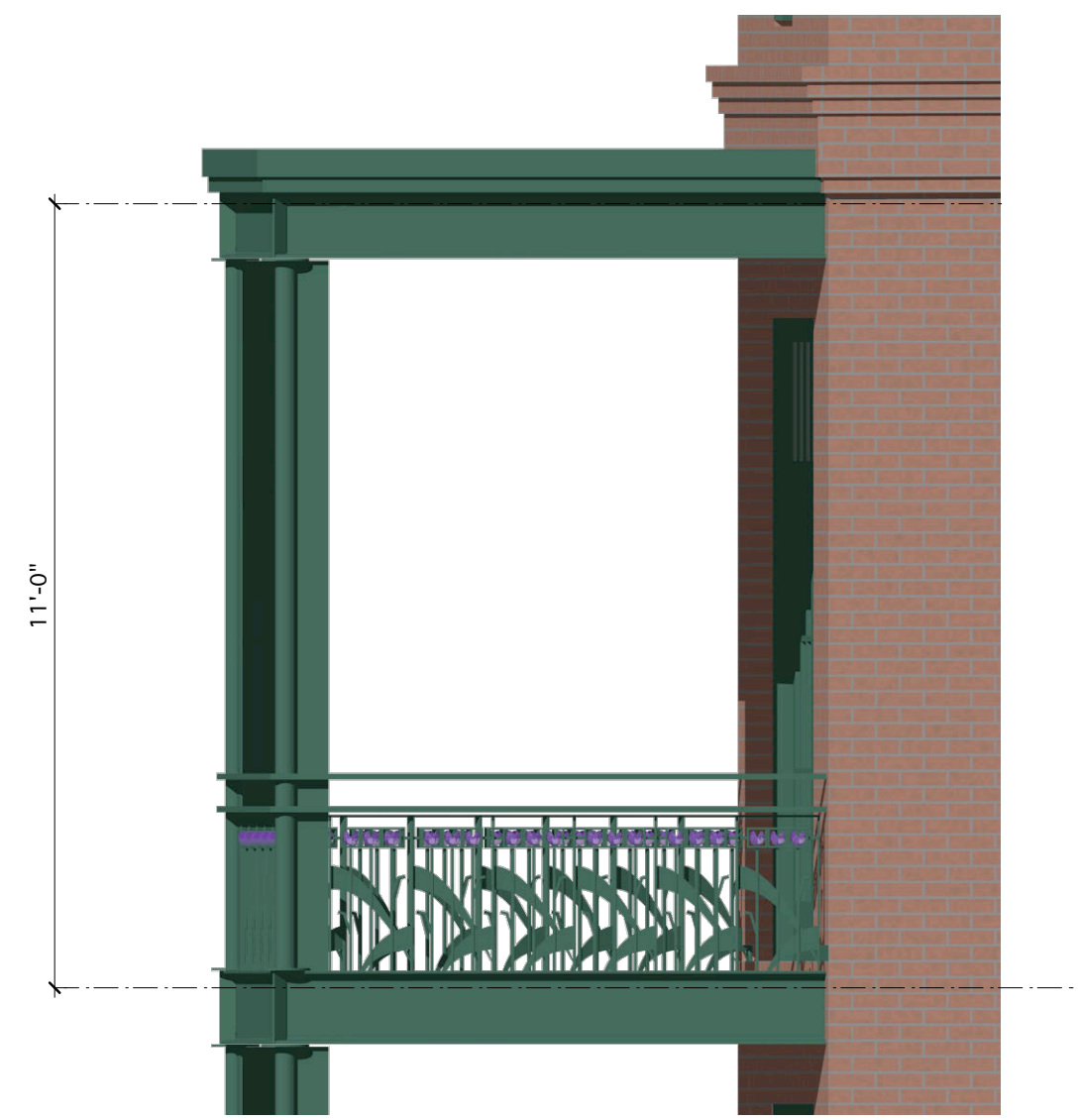
West Elevation



East Elevation

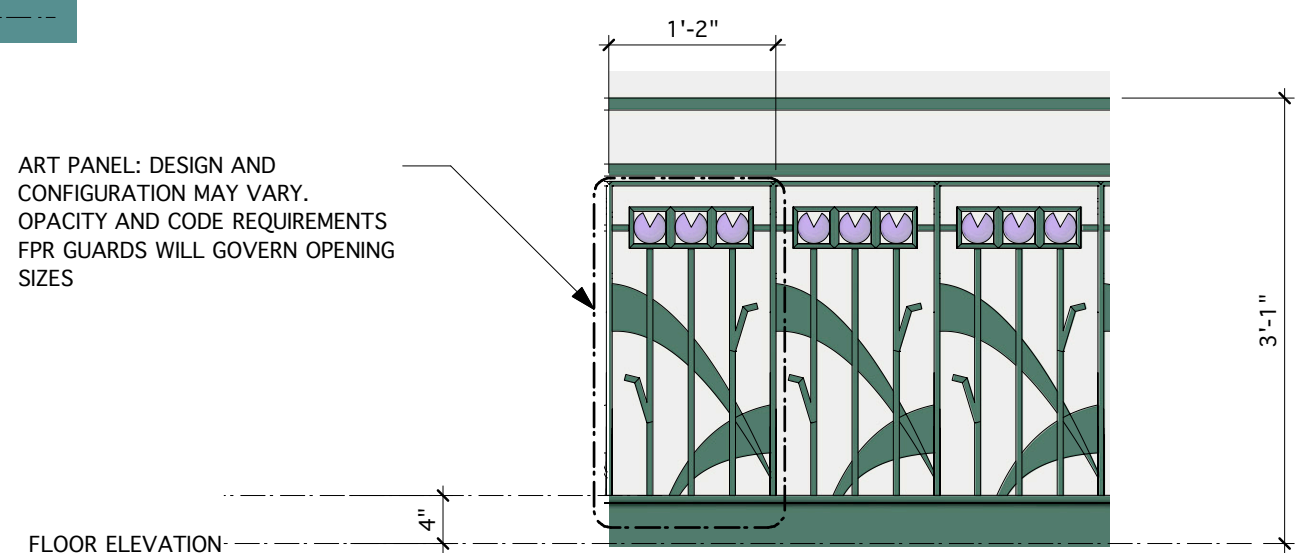


South Elevation
Scale: 3/32" = 1' 0"



Balcony Detail
Scale: 1/4" = 1' 0"

ART PANEL: DESIGN AND CONFIGURATION MAY VARY. OPACITY AND CODE REQUIREMENTS FOR GUARDS WILL GOVERN OPENING SIZES



Guard Detail
Scale: 1/2" = 1' 0"



SITE BUILDING CONTEXT:

Building locations were derived from the Washtenaw County GIS system. Site building elevations were established by using the same data. Building floor plan configurations are from the City of Ann Arbor Assessor's building image file. Building heights were estimated using the Architect's knowledge of historic ceiling heights, structure and roof pitches. Porches, roof overhangs and smaller architectural details have been omitted.

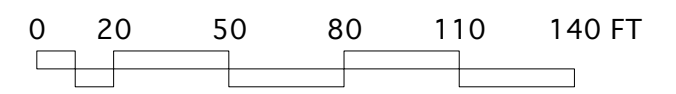
West Context Elevation



Northwest Birdseye-Context



544 DETROIT STREET
PROPOSED FLATIRON
BUILDING



Area Context Plan

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HDC SEPT. 20, 2012