

ANN ARBOR HISTORIC DISTRICT COMMISSION

Staff Report

ADDRESS: 419 N State Street, Application Number HDC21-334

DISTRICT: Old Fourth Ward Historic District

REPORT DATE: December 9, 2021

REPORT PREPARED BY: Jill Thacher, Historic Preservation Coordinator

REVIEW COMMITTEE DATE: Monday, December 6, 2021

OWNER

Name: 419 N State LLC
Address: 419 N State St
 Ann Arbor, MI 48104
Phone:

APPLICANT

Gordon C Winther
 1993 W Liberty St
 Ann Arbor, MI 48103
 (810) 287-0354

BACKGROUND: This imposing 2 ¾ story house was built c. 1868 by the mother-daughter team of Honora and Ellen Morse as a boarding house. The Morse's built many rooming houses for students on North State Street, including Minnie's Co-Op at 307 N State. Before Ellen died at the age of 87, she donated 419 N State to the Sisters of mercy who started St. Joseph Mercy Hospital there. In 1919 the house became the Anna Botsford Bach Home for Old Ladies until it moved to 1422 W Liberty in 1927 (where it remained until 2003). After that, the house was converted to apartments, which it remains today.



LOCATION: The site is located at the southwest corner of North State Street and East Kingsley Street.

APPLICATION: The applicant seeks HDC approval to remove and rebuild the front porch while reusing the round tapered porch columns. Non-original materials would be removed and replaced with wood, and original wood features that are deteriorated beyond repair will be replaced with matching materials in matching dimensions. An existing side-roof over a basement stairwell next to the front porch would be replaced with one more compatible with the historic porch configuration.

APPLICABLE REGULATIONS:

From the Secretary of the Interior's Standards for Rehabilitation:

- (1) A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):

Entrances and Porches

Recommended: Designing and constructing additional entrances or porches on secondary elevations when required for the new use in a manner that preserves the historic character of the building (i.e., ensuring that the new entrance or porch is clearly subordinate to historic primary entrances or porches).

Not Recommended: Constructing secondary or service entrances and porches that are incompatible in size and scale or detailing with the historic building or that obscure, damage, or destroy character-defining features.

Additions

Recommended: Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Designing new additions in a manner that makes clear what is historic and what is new.

Not Recommended: Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

Designing and constructing new additions that result in the diminution or loss of the historic character of the resource, including its design, materials, workmanship, location, or setting.

Building Site

Not Recommended: Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color and texture or which destroys historic relationships on the site.

STAFF FINDINGS:

1. This porch currently has a number of non-original materials, including aluminum-wrapped rails, trim and skirting, one missing porch column, concrete steps, and an aluminum porch

ceiling. Water infiltration has compromised the roof structure and the porch decking has deteriorated. Next to the porch is a metal pipe and corrugated panel roof covering a stair to enter a basement apartment beneath the front porch. The application proposes to replace the front porch with a new front porch using wood in dimensions to match the historic. The porch columns would be reused and the missing one replicated in wood. The guardrails are proposed to be reused if possible once the aluminum siding is stripped away. Otherwise, they would be replicated. A more compatible shed roof is proposed over the stair enclosure, along with new guardrails that match the porch guardrails.

2. A stairwell at the front of the house, leading to the basement, would not be considered appropriate to install today. Since this one already exists, the HDC must determine whether a new canopy is appropriate. The Secretary of the Interior Guideline that seems the most applicable says:

Not Recommended: Constructing secondary or service entrances and porches that are incompatible in size and scale or detailing with the historic building or that obscure, damage, or destroy character-defining features.

Staff believes that since the stair already exists, the new roof structure is more compatible than the current one. The design is simple and complimentary and does not destroy character-defining features of the house.

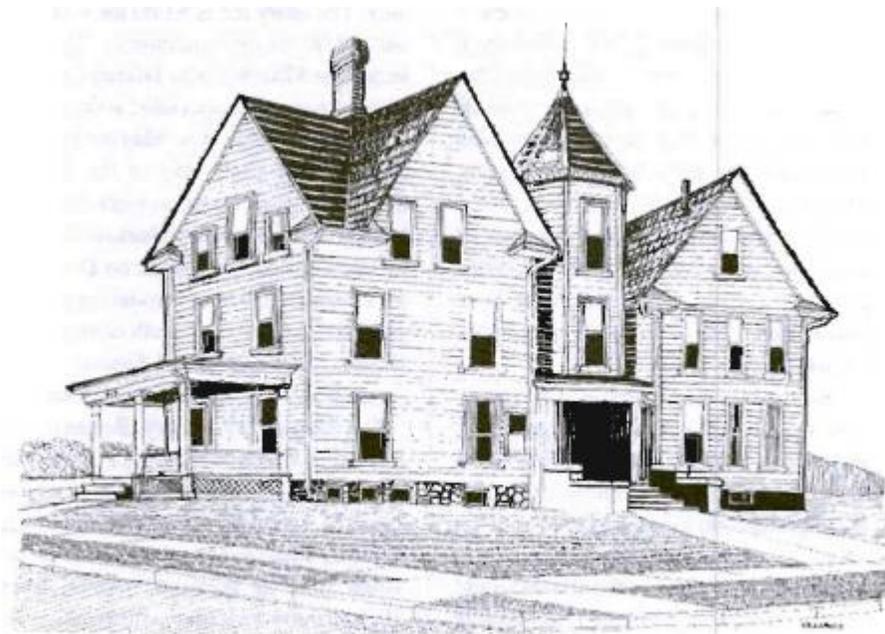
3. The work is more extensive than most porch rehabilitation projects, but staff believes a rebuild using the historic design and materials is appropriate and that the new stair roof is complementary to the house.

POSSIBLE MOTIONS: (Note that the motion supports staff findings and is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 419 North State Street, a contributing property in the Old Fourth Ward Historic District, to remove and rebuild the front porch and stair roof, as proposed. The work is compatible in exterior design, arrangement, and material to the building and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 9 and 10 and the guidelines for entrances and porches, additions and building.

ATTACHMENTS: application, photos, drawings

419 N State Street (November 2020 Google Streetview)



419 N. State Street, drawing by Milt Kelmnitz in *Ann Arbor Now and Then*, 1972.



HISTORIC DISTRICT COMMISSION

PLANNING AND DEVELOPMENT SERVICES

City Hall: 301 E. Huron St. Ann Arbor, MI 48104-6120
 Mailing: P.O. Box 8647, Ann Arbor, MI 48107-8647
 Phone: 734.794.6265 ext. 42608 jthacher@a2gov.org
 Fax: 734.994.8460

OFFICE USE ONLY	
Permit Number	HDC# _____
	BLDG# _____
DATE STAMP	

APPLICATION MUST BE FILLED OUT COMPLETELY

PROPERTY LOCATION/OWNER INFORMATION

NAME OF PROPERTY OWNER <i>419 N. STATE ST., LLC</i>		HISTORIC DISTRICT <i>4TH WARD</i>	
PROPERTY ADDRESS <i>419 N. STATE ST</i>			CITY ANN ARBOR
ZIPCODE <i>48104</i>	DAYTIME PHONE NUMBER <i>(810) 287-1354</i>	EMAIL ADDRESS <i>GC.WINTHER@GMAIL.COM</i>	
PROPERTY OWNER'S ADDRESS (IF DIFFERENT FROM ABOVE) <i>2150 W. LIBERTY ST</i>			CITY <i>ANN ARBOR</i> STATE, ZIP <i>48103</i>

PROPERTY OWNER'S SIGNATURE

SIGN HERE <i>Linda J. Winther</i>	PRINT NAME <i>Linda J. Winther</i>	DATE <i>11/19/21</i>
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APPLICANT INFORMATION

NAME OF APPLICANT (IF DIFFERENT FROM ABO/LE) <i>GORDON C. WINTHER</i>			
ADDRESS OF APPLICANT <i>1493 W. LIBERTY ST.</i>			CITY <i>ANN ARBOR</i>
STATE <i>MI</i>	ZIPCODE <i>48103</i>	PHONE / CELL # <i>(810) 287-1354</i>	FAX No <i>()</i>
EMAIL ADDRESS			

APPLICANT'S SIGNATURE (if different from Property Owner)

SIGN HERE <i>Gordon C. Winther</i>	PRINT NAME <i>GORDON C WINTHER</i>	DATE <i>11/19/21</i>
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BUILDING USE - CHECK ALL THAT APPLY

<input type="checkbox"/> SINGLE FAMILY	<input type="checkbox"/> DUPLEX	<input checked="" type="checkbox"/> RENTAL	<input checked="" type="checkbox"/> MULTIPLE FAMILY	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> INSTITUTIONAL
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PROPOSED WORK

Describe in detail each proposed exterior alteration, improvement and/or repair (use additional paper, if necessary).

REMOVE OLD PORCH (STATE ST. SIDE). REBUILD NEW PORCH ACCORDING TO SUBMITTED PLANS.

DESCRIBE CONDITIONS THAT JUSTIFY THE PROPOSED CHANGES:

PORCH IS IN DISREPAIR AND DOES NOT REFLECT ORIGINAL STRUCTURE.

For further Assistance With Required Attachments, please visit www.a2gov.org/hdc





419

Kingsley



419







419





Porch Reconstruction at
 419 North State Street
 Ann Arbor, MI 48104



210 N. Mill St
 Plymouth, MI 48170
 Adam@WagnerEngineer.com
 734-392-7034

419 N State, LLC
 Apartments

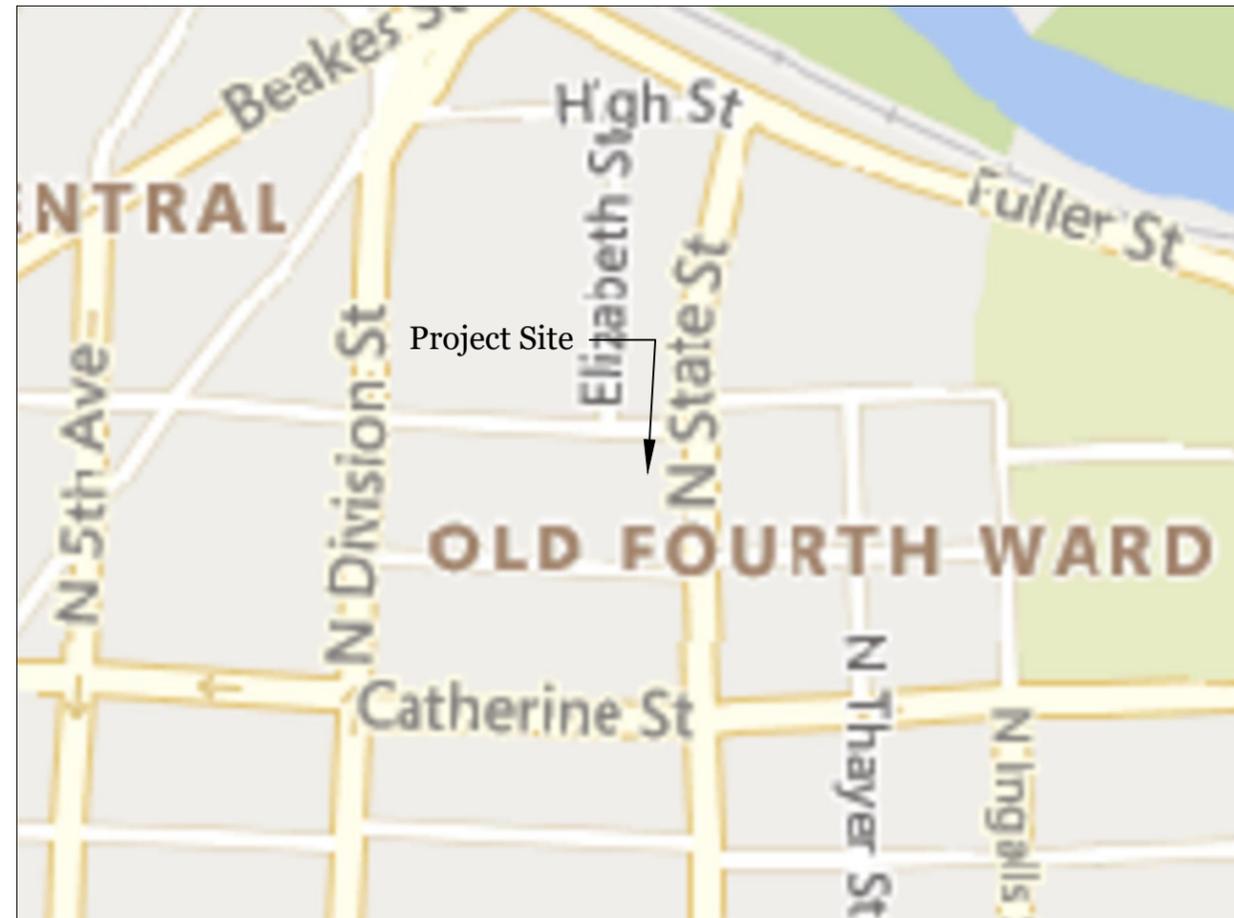
419 North State Street
 Ann Arbor, MI 48104

Project Number: 2021-075

Designed By: ACW Drawn By: ACW

Scale: As Shown Sheet Size: 11"x 17"

Issued For:	Date:
Client Review	09/24/2021
Client Review #2	11/01/2021
Permit & Construction	11/08/2021



 **Location Map**
 North Scale: Not to Scale

Sheet Index

- G.01 Sheet Index, Location Map, and General Notes
- G.02 Specifications and Historic Photo
- C.01 Site Plan
- A.01 Proposed Porch East Elevation
- A.02 Proposed Porch North and South Elevations
- A.03 Porch Cross Section
- D.01 Demolition and Roof Plans
- S.01 Porch Foundation and Floor Framing Plans
- S.02 Porch Ceiling and Roof Framing Plans

Applicable Building Codes

- 1. 2015 Michigan Building Code

General Notes

1. Project scope involves the reconstruction of the existing front porch and side entrance cover to meet current code requirements and match historic look.
2. Work beyond the porch and side entrance cover is outside the scope of this project.
3. Intent is to match existing dimensions of porch.
4. Contractor is responsible for field measuring all items. Dimensions shown are approximate.
5. Contact the Engineer immediately if the drawings and specifications contain insufficient or conflicting information.
6. Deviation from these drawings and specifications provided by the Engineer shall not be the responsibility of the Engineer.

Designer:

Wagner Engineering, LLC
 210 N. Mill St, Plymouth, MI 48170
 734-392-7034

Owner:

419 N. State, LLC
 2150 W. Liberty, Ann Arbor, MI 48103
 810-287-0354

Contractor:

Russel Renovations
 734-730-7372



Adam C. Wagner

Sheet Index, Location Map,
 and General Notes

G.01

Structural Specifications

1. Laminated Veneer Lumber (LVL) shall be 2.0E or better.
2. Dimensional lumber 2x8 and larger shall be Southern Yellow Pine #2 or better.
3. Dimensional lumber 2x6 and smaller shall be Spruce Pine Fir (SPF) #2 or better.
4. Pressure treated lumber shall be Southern Yellow Pine #2 or better.
5. All built up beam plys shall be nailed with 3 rows of 10D nails 12" O/C.
6. All nails shall be common in the penny weight shown unless otherwise specified.
7. All fasteners, brackets, and other metal items in contact with pressure treated lumber shall be hot dipped galvanized or stainless steel.
8. All hangers shall be Simpson Strong Tie brand or approved equivalent.
9. Fasten all hangers with manufacturer specified fastener type, size, and quantity.
10. Concrete shall be a minimum 3,000 PSI 30-day compressive strength.

Finish Specifications

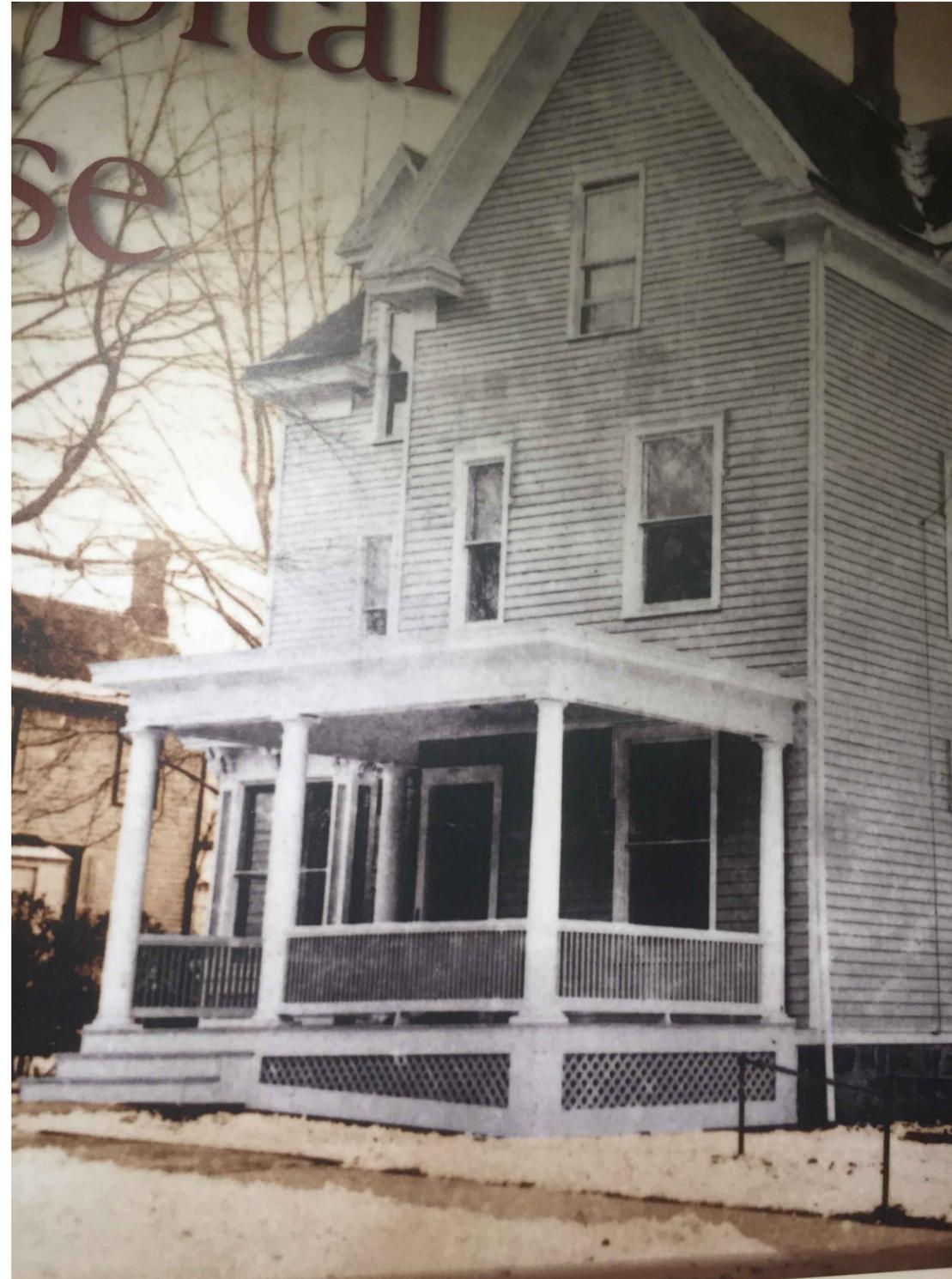
1. All trim shall be pre-primed 1x lumber. Finish paint color to be selected by Owner.
2. Porch decking shall be 3/4" x 3/4" tongue and grooved Clear Douglas Fir.
3. Porch decking shall be painted. Color to be selected by owner.
4. Porch ceiling shall be pre-primed beadboard. Finish paint color to be selected by Owner.
5. Existing porch columns shall be refurbished if possible. New porch columns shall match existing porch column profiles and dimensions.
6. Existing railing and balusters shall be reused if possible.
7. Lattice shall match existing on side entry.
8. Finish details shall match the porch as shown in the historic photo shown on this sheet as much as possible.

EPDM Roofing Specifications

1. EPDM roofing shall be installed according to the manufacturers specifications.
2. Roof sheathing shall be a minimum of 7/16" plywood or OSB.
3. Roof shall be flashed as necessary.
4. Roof pitch shall match existing roof. Field Verify.

Asphalt Shingle Specifications

1. Dimensional Asphalt Shingle shall be installed according to manufactures specifications for low pitch roofs (< 4:12).
2. Install two layers of 36" wide felt shingle underlayment lapped 19" applied over entire roof area or manufacturers recommended assembly.
3. Roof sheathing shall be a minimum of 7/16" plywood or OSB.
4. Roof shall be flashed as necessary



Historic Photo
Scale: NTS



210 N. Mill St
Plymouth, MI 48170
Adam@WagnerEngineer.com
734-392-7034

419 N State, LLC Apartments

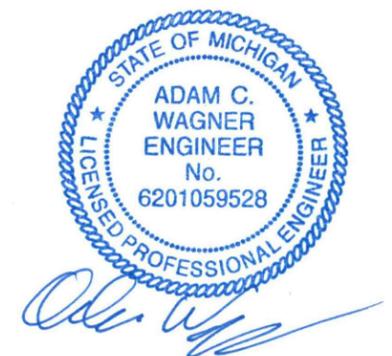
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Specifications and
Historic Photo

G.02



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ENGINEERING, LLC

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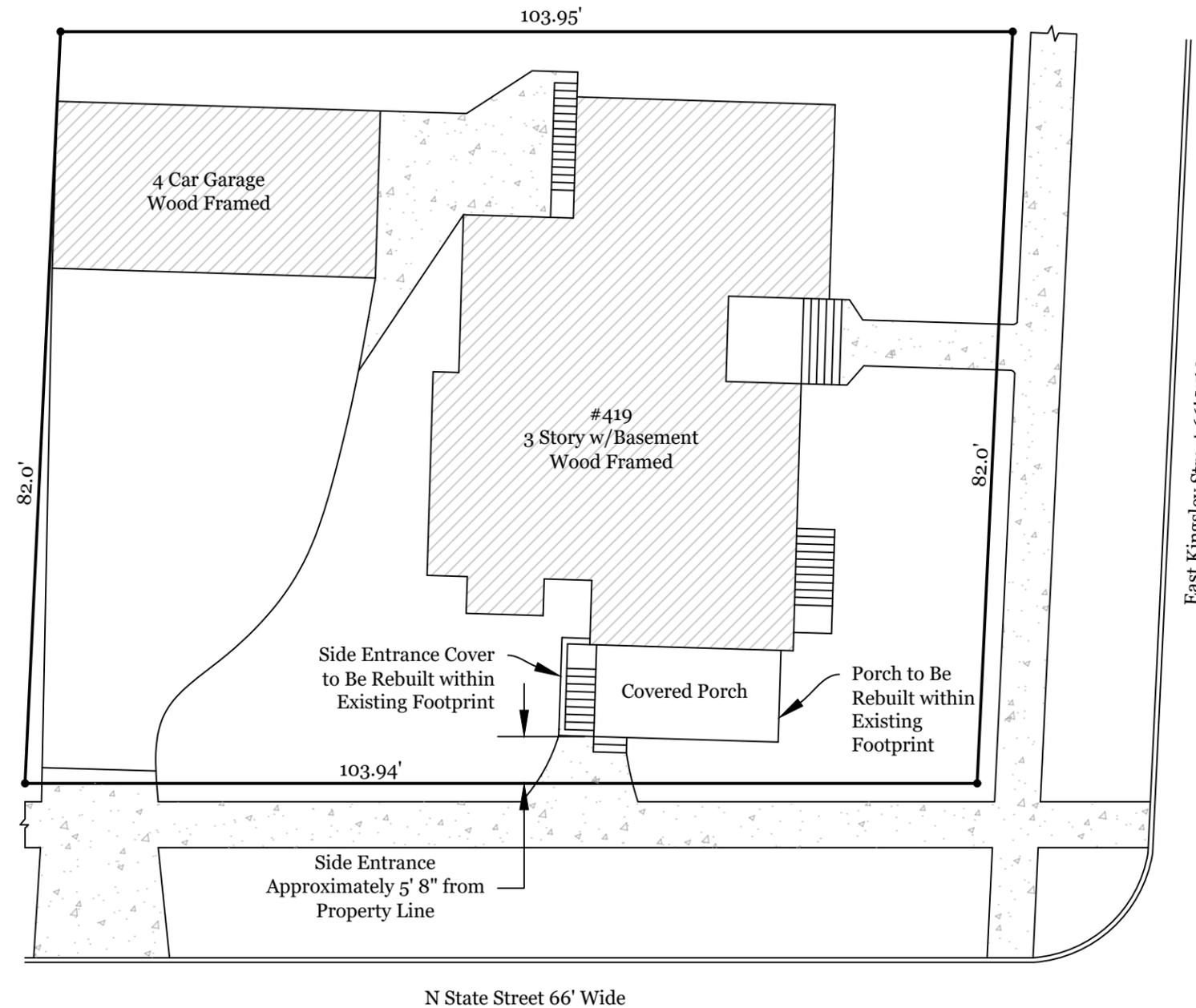


Site Plan

C.01

General Notes

1. Site plan is based on mortgage survey conducted by KEM-TEC on 06/26/12 under Job Number 12-02060.
2. Information depicted is approximate and does not constitute a professional survey of the parcel.



Parcel Number: 09-09-29-103-012

Zoning: R4C

Occupancy: R-2

Property Description:

Land in the City of Ann Arbor, Washtenaw County, Michigan described as: Beginning at the corner formed by the intersection of the West line of State street with the South line of Kingsley Street 82 feet; thence West along the south line of Kingsley Street 82 feet; thence South parallel with the West line of State Street to the North line of land heretofore sold to Ambrose Kearney; thence East parallel to the South line of Kingsley Street, 82 feet to the West line of State Street; thence North along the West line of State Street to the place of beginning, being a part of section 29, City of Ann Arbor, Washtenaw County, Michigan.





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New Shed
Roof Over Side
Entrance.
Shingles to
Match

Reframed Roof with EPDM Roof

Salvage/Repair Existing Wood
Columns and Replace Missing
Column with Matching Wood
Column

Remove siding and
Salvage/Replace Existing
Baluster and Rails

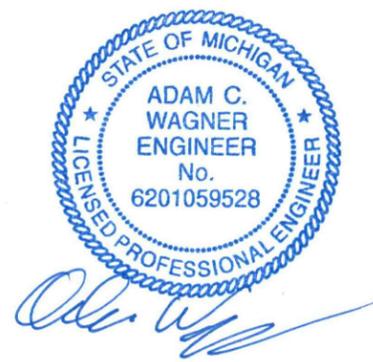
New Foundation, Floor
Framing, and T&G Decking

New Columns to Match Existing

New Vertical Lattice to Match Side Entry

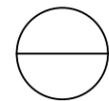
New Wooden Stairs

New Guard Rails to Match Porch. Minimum 36" From Grade



Proposed
Porch East Elevation

A.01

 **Porch East Elevation**
Scale: $\frac{3}{16}'' = 1'$



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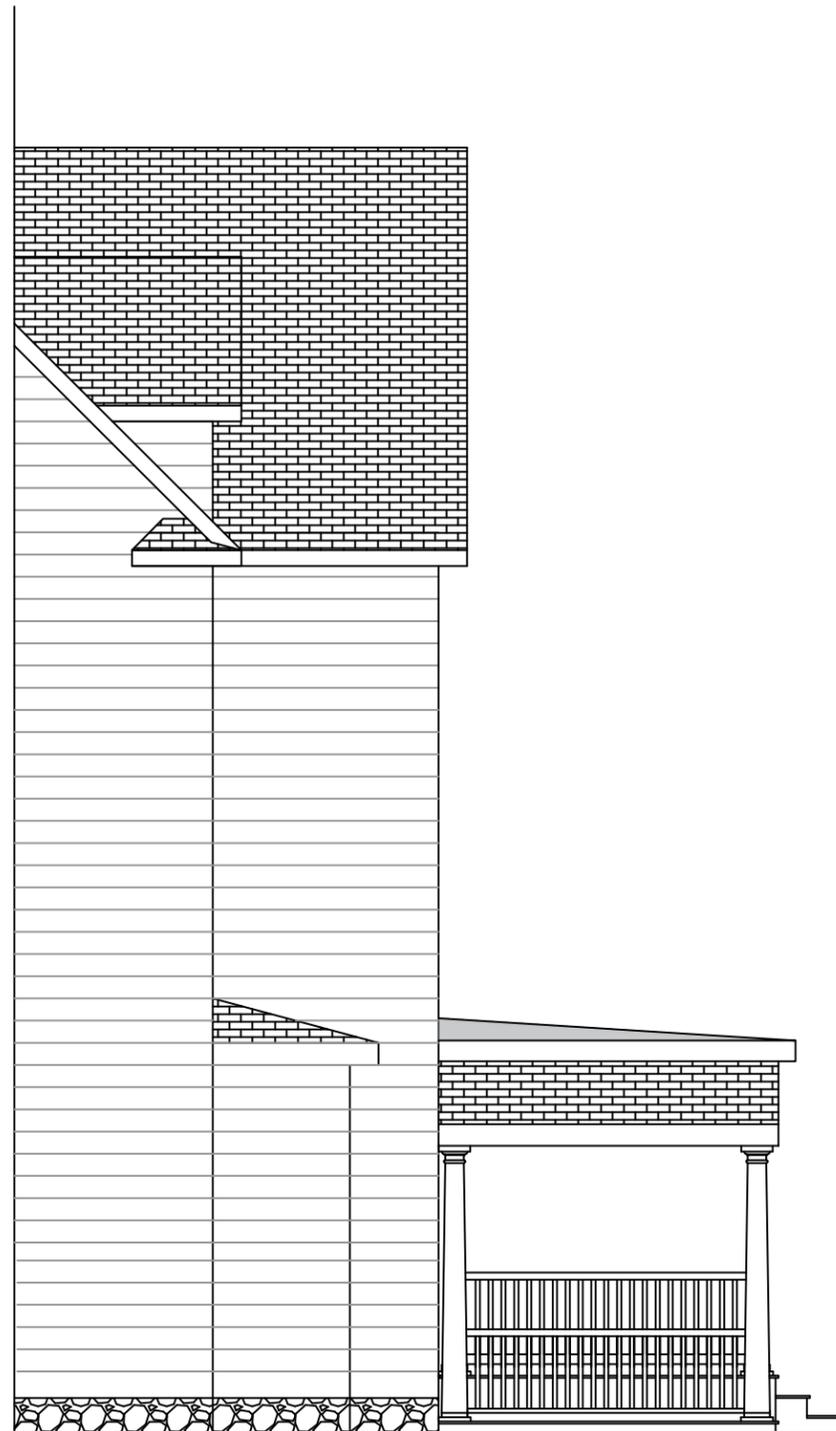
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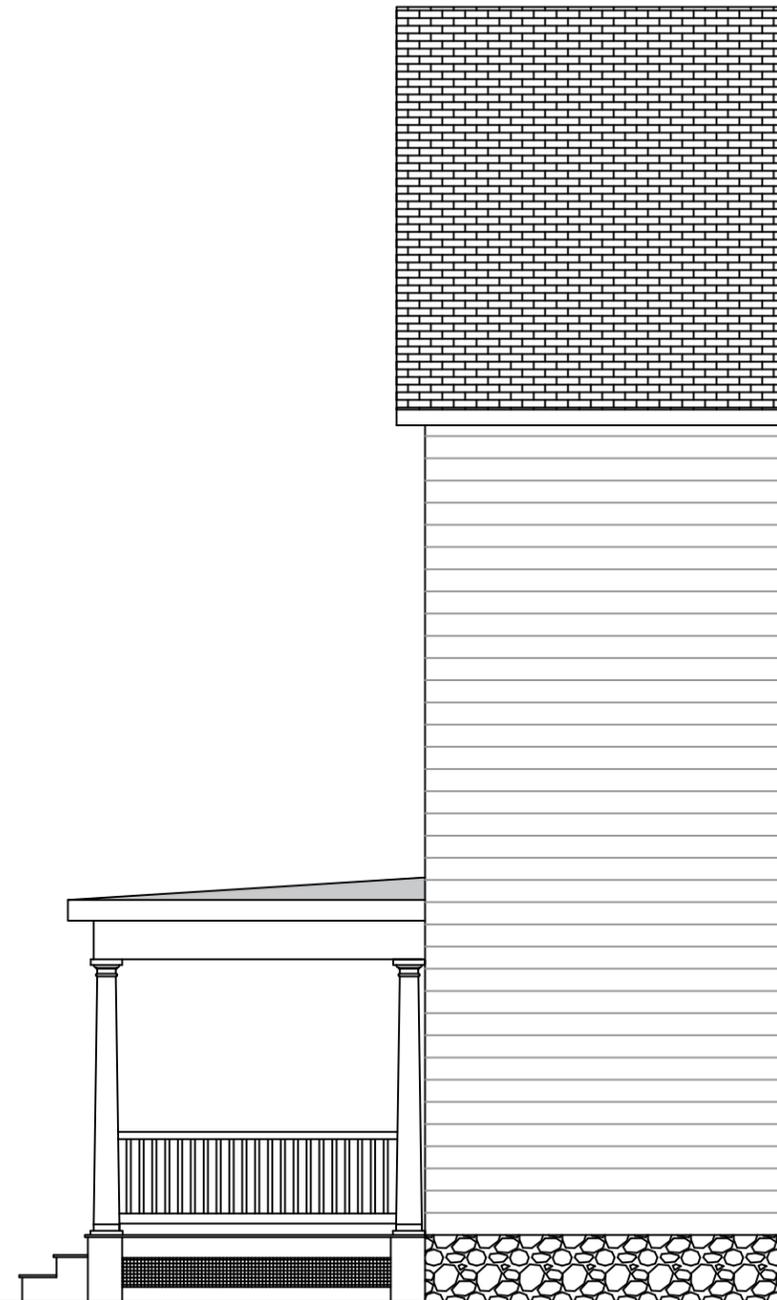


Proposed Porch North and
South Elevations

A.02



○ Porch - South Elevation
Scale: $\frac{3}{16}'' = 1'$



○ Porch - North Elevation
Scale: $\frac{3}{16}'' = 1'$



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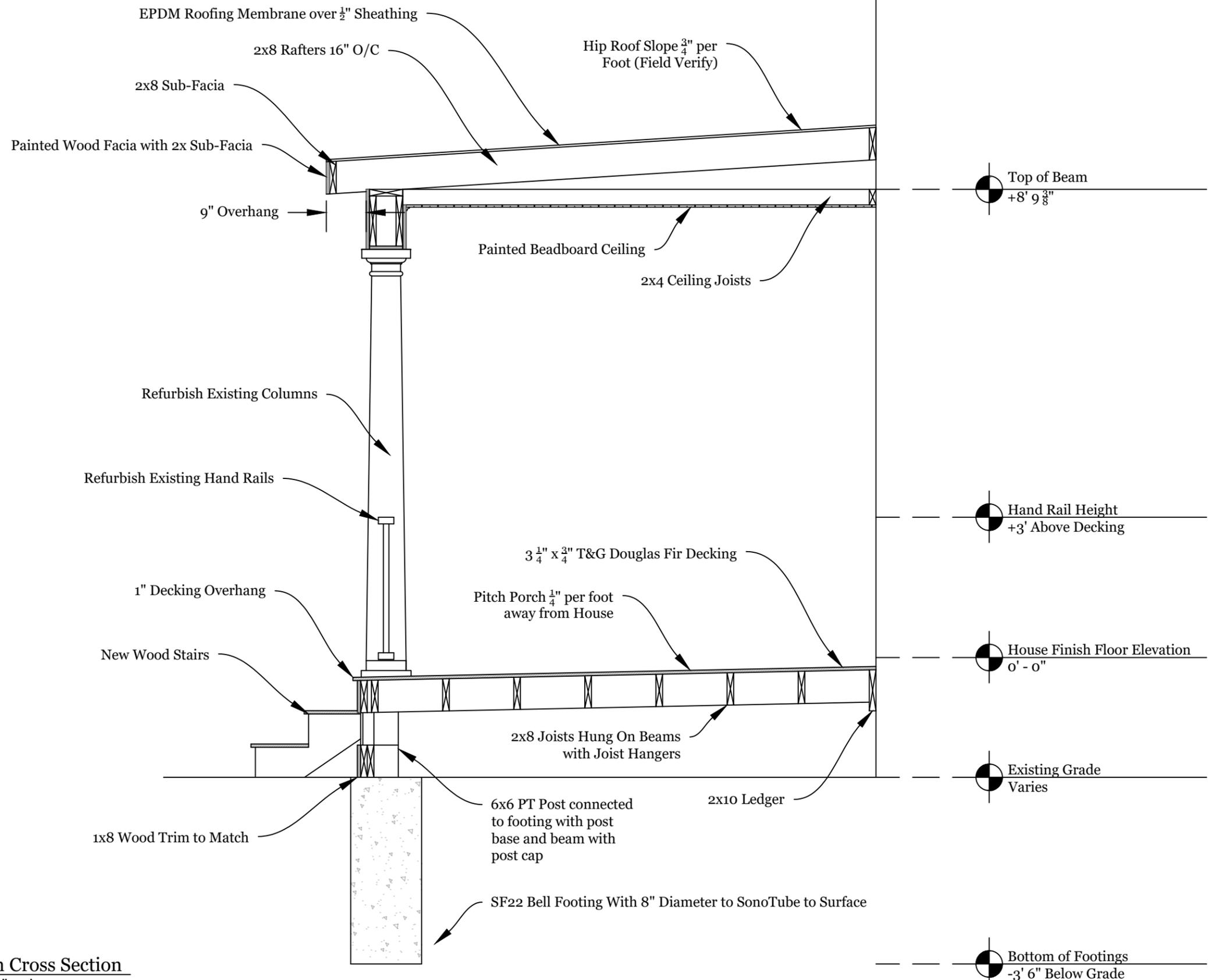
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Adam C. Wagner

Porch Cross Section

A.03



Porch Cross Section
 Scale: 1/2" = 1'



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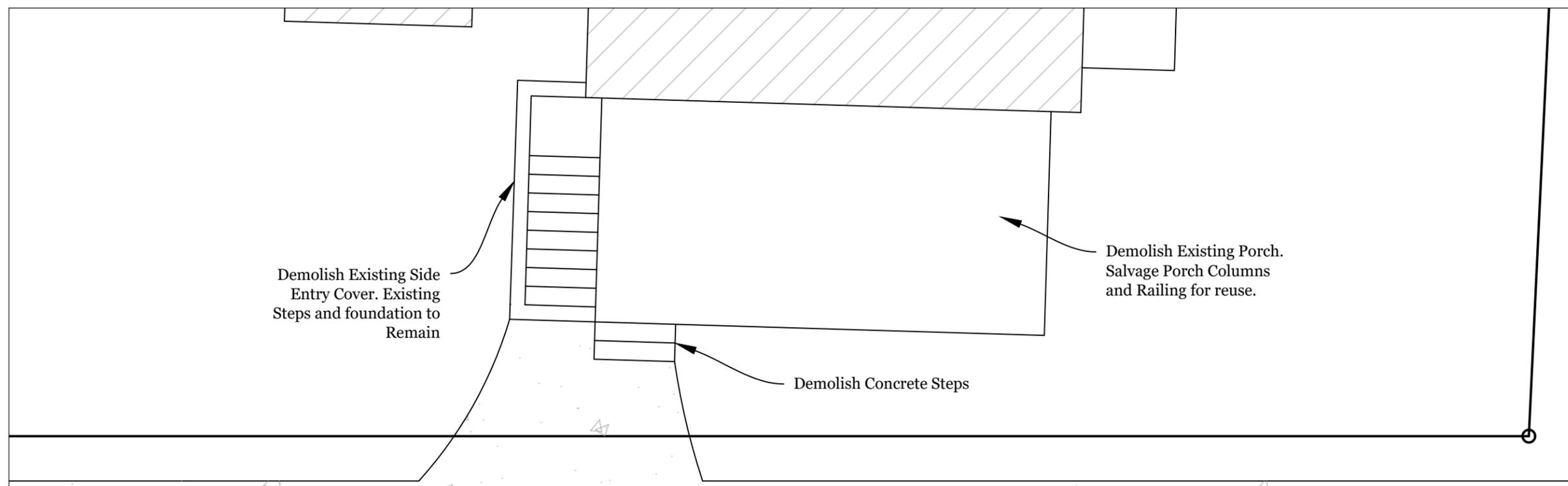
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Demolition and Roof Plan

D.01



Porch Demo Plan
 Scale: $\frac{3}{16}'' = 1'$



Porch Roof Plan
 Scale: $\frac{3}{16}'' = 1'$



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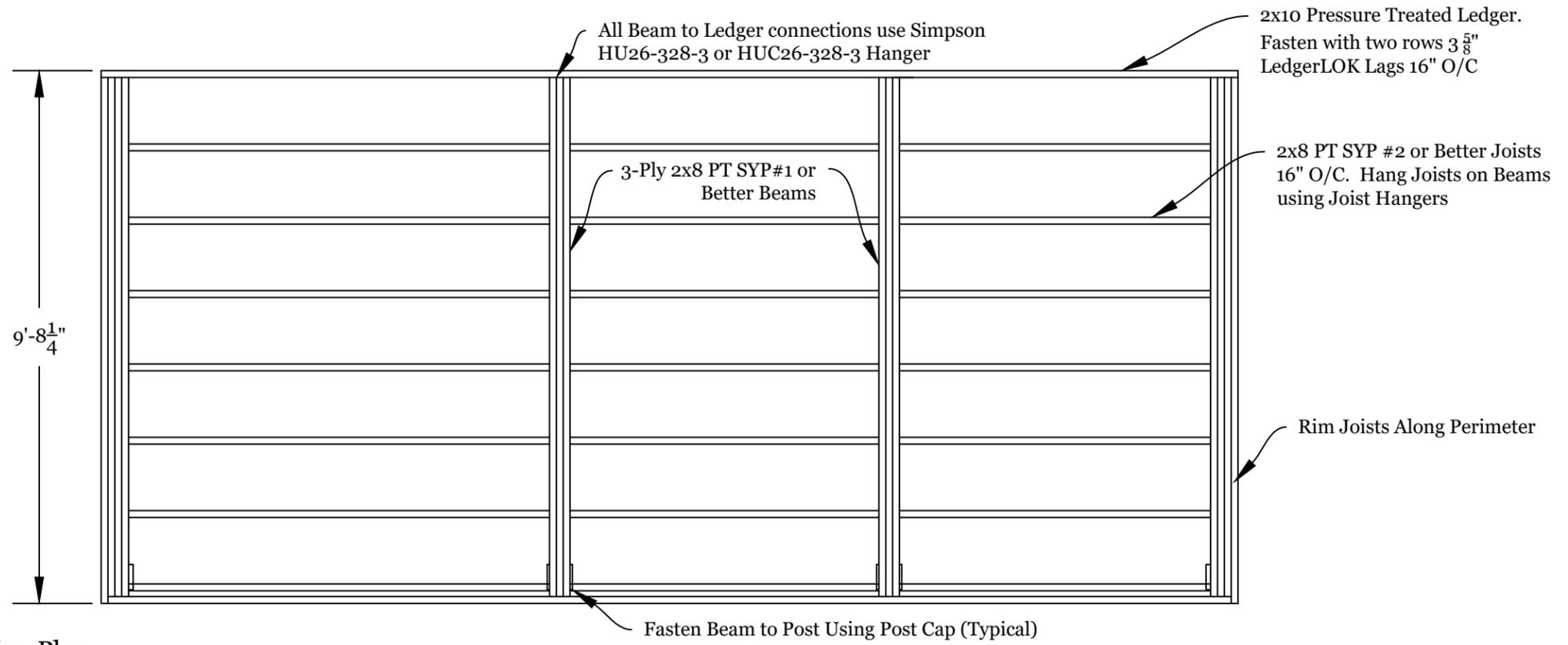
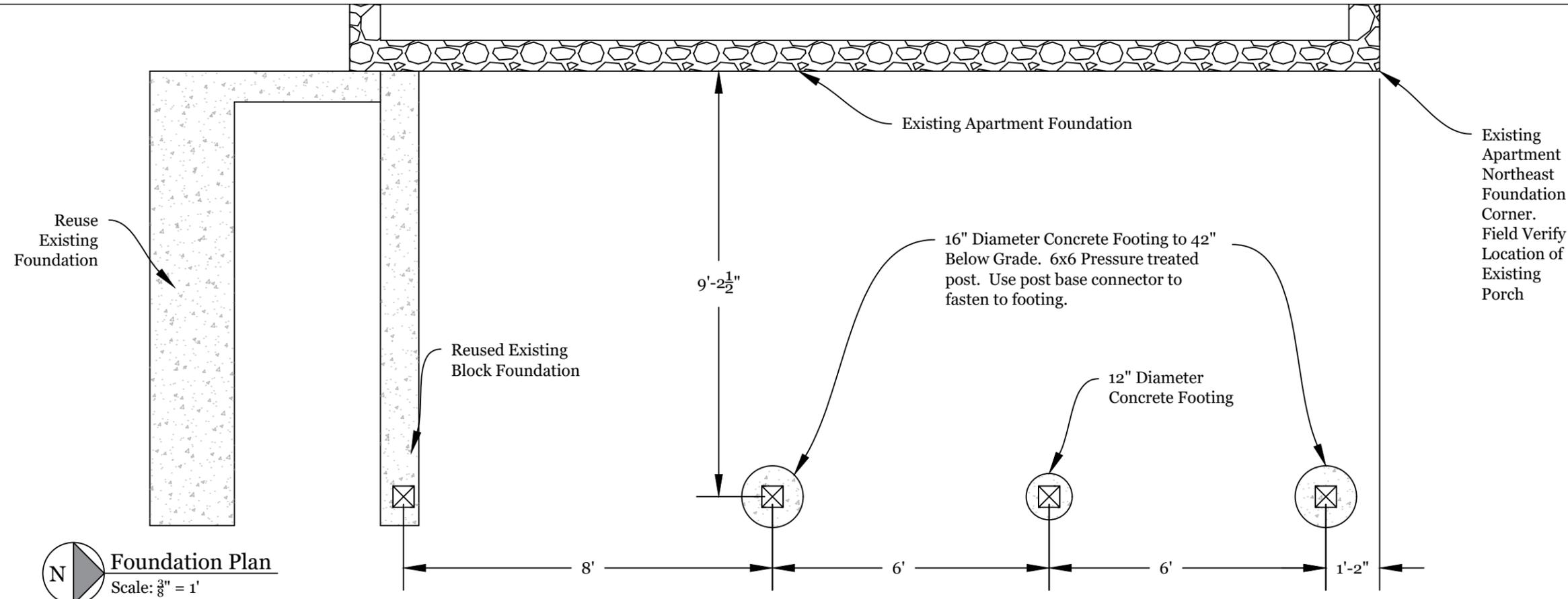
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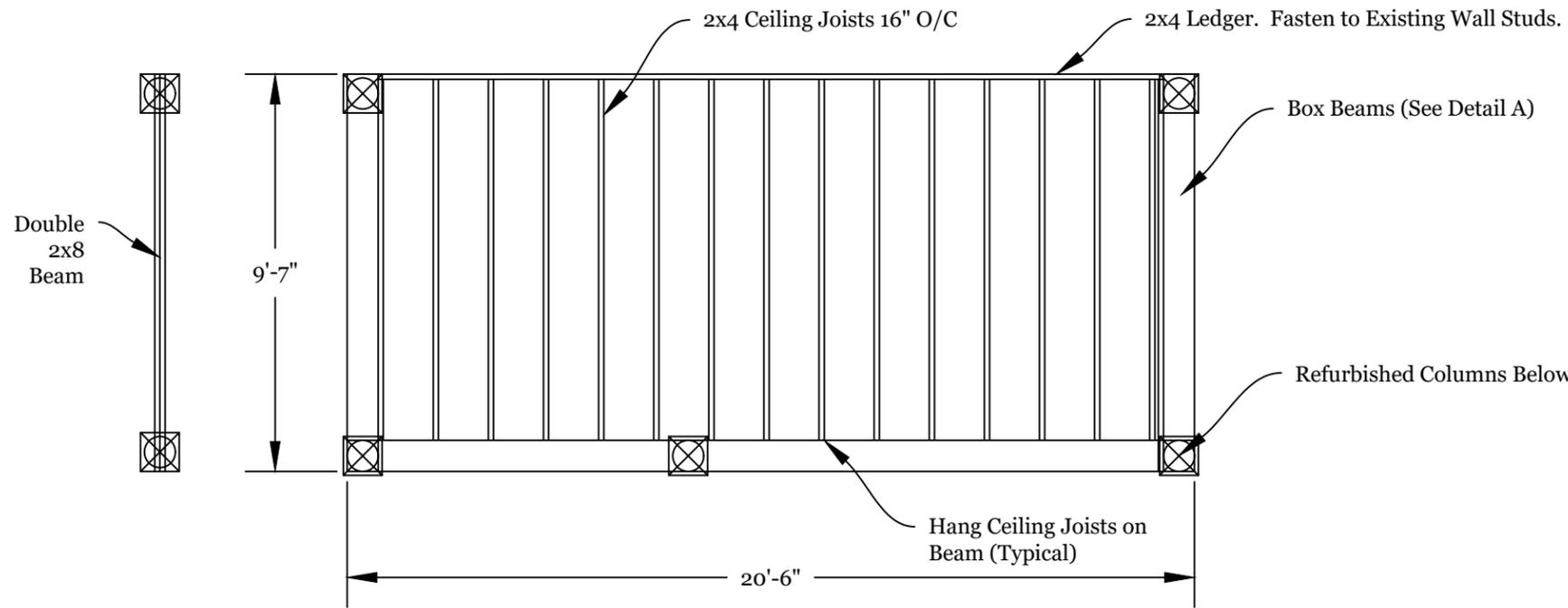
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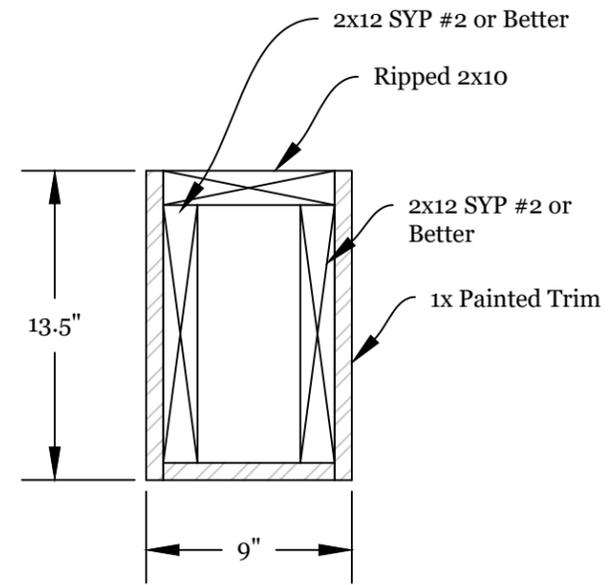
Porch Foundation and Floor Framing Plans

S.01





Ceiling Framing Plan
 Scale: $\frac{1}{4}'' = 1'$



A Box Beam Section
 Scale: $1\frac{1}{2}'' = 1'$



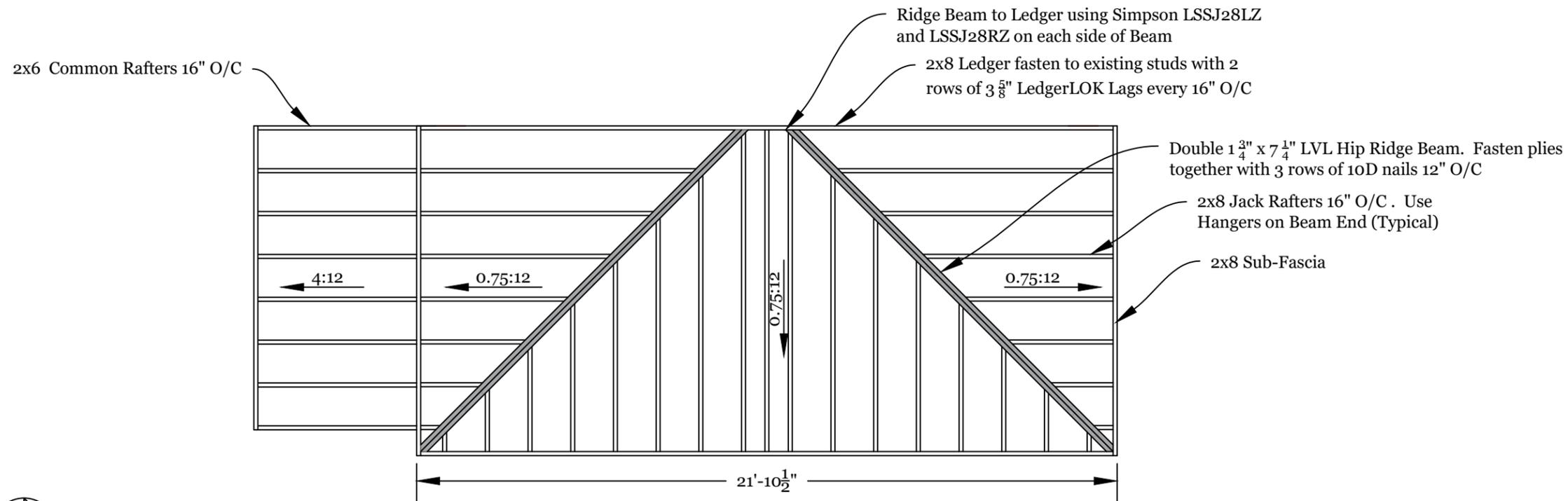
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Roof Framing Plan
 Scale: $\frac{1}{4}'' = 1'$



Adam C. Wagner

Ceiling and Roof
 Framing Plans

S.02