



City of Ann Arbor

HISTORIC DISTRICT COMMISSION

Planning & Development Services

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MEMORANDUM

To: Historic District Commission

From: Jill Thacher, City Planner/Historic Preservation Coordinator

Date: April 11, 2024

Re: 808 W Washington HDC application (HDC24-0014)

At the Historic District Commission's March 14 meeting, a portion of an application for 808 W Washington was postponed to the April 11, 2024 meeting. The HDC requested updated drawings for a proposed driveway that accurately reflect the location of a landmark tree and the driveway's width and placement on the lot. That drawing is attached, along with the March 14 staff report. Standards, guidelines and comments that relate to this portion of the original application are shown below.

APPLICABLE REGULATIONS:

From the Secretary of the Interior's Standards for Rehabilitation:

- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property will be unimpaired.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):

Building Site

Recommended: Designing new exterior additions to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserve the historic relationship between a building or buildings, landscape features, and open space.

Retaining the historic relationship between buildings, landscape features, and open space.

Preserving important landscape features, including ongoing maintenance of historic plant material.

Not Recommended: Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color and texture or which destroys historic relationships on the site.

Locating any new construction on the building site where important landscape features will be damaged or destroyed.

Placing parking facilities directly adjacent to historic buildings where automobiles may cause damage to the buildings or to important landscape features.

Introducing heavy machinery into areas where they may disturb or damage important landscape features or archeological resources.

District or Neighborhood Setting

Not Recommended: Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

Destroying the relationship between the buildings and landscape features within the setting by widening existing streets, changing landscape materials or constructing inappropriately located new street or parking.

From the Ann Arbor Historic District Design Guidelines (other Guidelines may apply):

All New Construction

Appropriate: Retaining the historic relationship between buildings, landscape features and open space.

Designing new features so they are compatible with the historic character of the site, district, and neighborhood.

Residential Landscape Features

Appropriate: Retaining and maintaining mature trees, hedges, and other historic plantings.

Retaining historic relationships between buildings, landscape features, and open spaces.

Not Appropriate: Introducing any new building, streetscape, or landscape feature that is out of scale or otherwise inappropriate to the district's historic character.

Introducing a new landscape feature or plant material that is visually incompatible with the site or destroys site patterns or vistas.

Paved Areas

Appropriate: Installing new parking areas, which are compatible with the scale, proportion of yard area, and characteristics of the historic district, behind buildings. These shall also be reviewed on a case-by-case basis.

Not Appropriate: Installing driveways or parking areas that are too wide or large for the building site and are out of character for the district.

STAFF FINDINGS:

1. The existing driveway is approximately 9' wide by 18' deep, the size of a typical parking space. The proposed concrete driveway is 10'6" wide and approximately 40' deep, which will hold two cars. The driveway is set back 3' from the side property line and 5' from the trunk of the large tree along the east property line that was present during the period of significance (and is therefore a historic feature of the lot).
2. Staff believes that the change to the side yard from the drive extension is detrimental to the property and neighboring properties by allowing an additional car to be parked in the side yard. By adding cars to the side yard, the driveway extension does not retain the historic relationship between the house, landscape features, and open space. The current single-car parking space is awkwardly located in the front yard, but has been that way since at least 1947. Staff believes that adding another car between this house and the neighboring house doesn't preserve historic relationships or landscapes and is visually incompatible with the site.

POSSIBLE MOTIONS: (Note that the motion is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 808 West Washington Street, a contributing property in the Old West Side Historic District, to widen the driveway from West Washington to 10'6", pave it with concrete and extend the driveway to 40' as proposed. The work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets the *Ann Arbor Historic District Design Guidelines*, especially those for all new construction, residential landscape features, and paved areas, and the *Secretary of the Interior's Standards for Rehabilitation* and *Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 9 and 10 and the guidelines for building site and district or neighborhood setting.

ATTACHMENTS: Updated drawing, March 14, 2024 staff report and application attachments

NEW GARAGE and REVOLUTIONS FOR: 808 WEST WASHINGTON STREET

Charles Buitman
Architect

cbutman • flash.net

734 223 1358
220 south huron street • ypsilanti, mi 48197

GENERAL NOTES

THE CONTRACTOR AND SUB-CONTRACTORS ARE TO PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, AND THE FINAL FINISHED PROJECT AS OUTLINED AND REQUIRED BY THE PLANS, SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS, AND SHALL BE SUPPLIED BY THE CONTRACTOR AS PER GOVERNING AND STATE AND LOCAL CODES AND ANY OTHER REGULATIONS AND CODES HAVING LOCAL JURISDICTION. THE WORK SHALL INCLUDE ALL SITE DEVELOPMENT AND ANY AND ALL WORK REQUIRED BY THE INSPECTION AGENCIES HAVING JURISDICTION.

THE CONTRACTORS ARE TO VERIFY ALL FIELD CONDITIONS BEFORE PROCEEDING WITH WORK. EACH SUB-CONTRACTOR IS TO FIELD VERIFY THE CONDITION OF THE SITE PRIOR TO COMMENCING THAT PORTION OF THE WORK AND IS TO BRING ANY DISCREPANCIES TO THE ATTENTION OF THE GENERAL CONTRACTOR AND THE ARCHITECT BEFORE PROCEEDING. SUB-CONTRACTORS PROCEEDING WITH THEIR PORTION OF THE WORK WITHOUT REPORTING ANY DEFECTS IN PRIOR WORK WILL BE JUDGED TO HAVE ACCEPTED THE WORKING CONDITIONS AND AGREE THAT THEIR NEW WORK CAN ACCEPTABLY BE CONSTRUCTED ON THE WORK THAT HAS PRECEDED THEM.

DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ARCHITECT AND THE OWNER ANY AND ALL EXISTING CONDITIONS THAT APPEARS TO BE SUBSTANDARD. ALL WORK AFFECTED BY SUCH CONDITIONS SHALL STOP UNTIL ALL DISCREPANCIES ARE RESOLVED. SUCH CONDITIONS SHALL NOT BE COVERED OR CONCEALED BY NEW CONSTRUCTION WITHOUT APPROVAL OF THE ARCHITECT.

THE CONTRACTOR, BY COMMENCING THE WORK, ACCEPTS THE CONDITIONS OF THE SITE AND THE COMPLETENESS OF THE CONTRACT DOCUMENTS. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL CONDITIONS SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BEGINNING THE WORK. NO EXTRAS SHALL BE ALLOWED FOR DISCREPANCIES AFTER THE WORK HAS BEGUN.

ALL WORK IS TO BE COORDINATED WITH ALL DRAWINGS AND THE DESIGN-BUILD REQUIREMENTS FOR MECHANICAL, ELECTRICAL AND PLUMBING.

ANY MATERIALS AND / OR LABOR, NEITHER SHOWN ON THE DRAWINGS NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK OR TO COMPLY WITH LOCAL CODES SHALL BE SUPPLIED WITHOUT ADDITIONAL COST TO THE OWNER OR THE ARCHITECT.

THE CONTRACTOR IS RESPONSIBLE TO SECURE ANY AND ALL PERMITS, FEES, LABOR, EQUIPMENT, ETC. REQUIRED TO PROVIDE A COMPLETE PROJECT.

THE CONTRACTOR IS REQUIRED TO PROVIDE THE NECESSARY STEPS TO FULLY PROTECT THE PUBLIC FROM INJURY AS WELL AS ANY DAMAGE TO ADJACENT PROPERTIES DURING CONSTRUCTION AS REQUIRED BY LOCAL CODES. THE CONTRACTOR WILL ALSO PROVIDE FOR THE PROTECTION OF WORK TO DATE, ENSURING THAT NEW TRADES DO NOT DAMAGE FINISHED WORK BY OTHER TRADES.

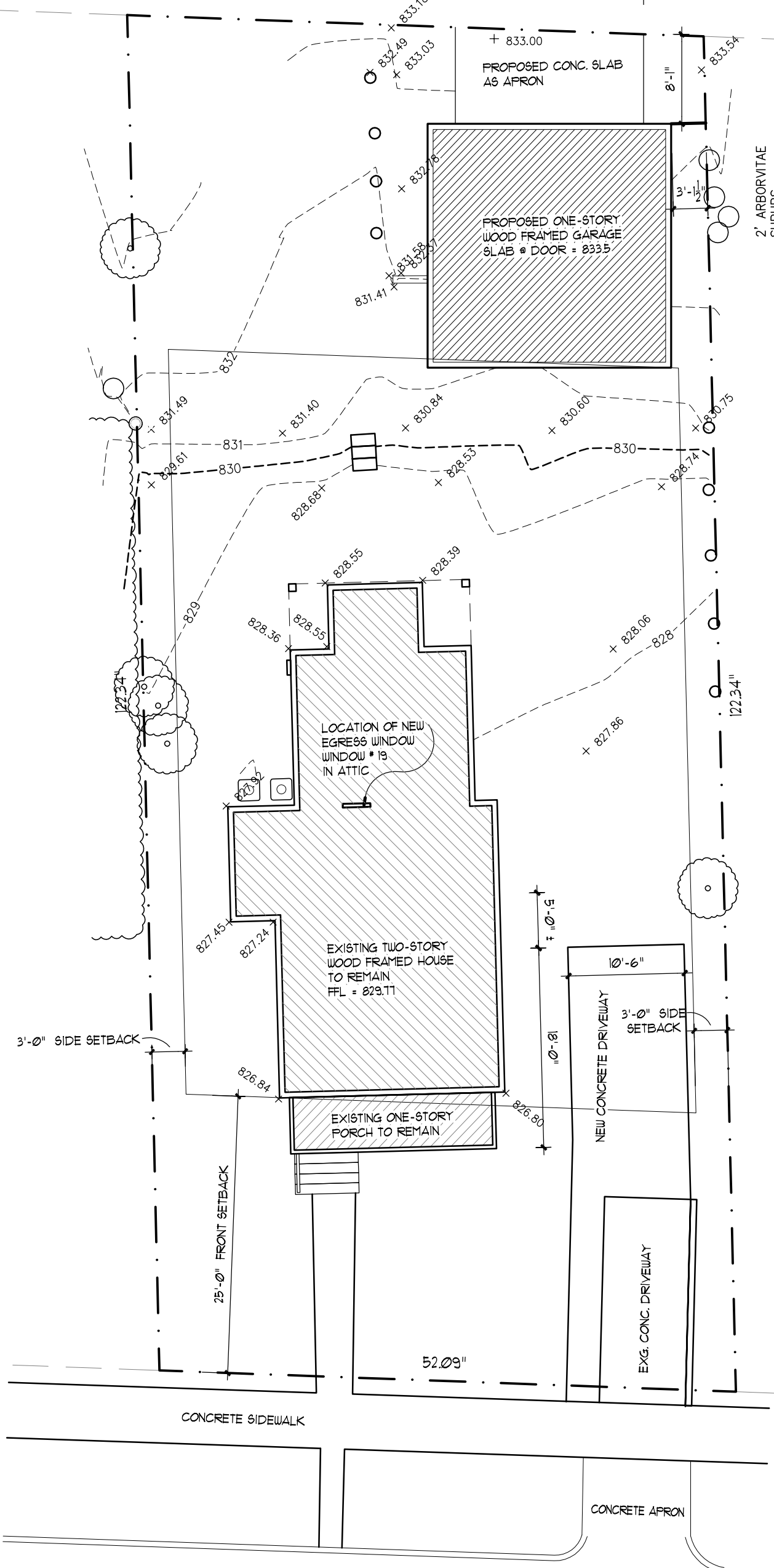
THE OWNER SHALL OBTAIN 'ALL RISK' INSURANCE FOR THE DURATION OF THE PROJECT. THE CONTRACTOR SHALL OBTAIN THE CUSTOMARY STATUTORY INSURANCES, COMPREHENSIVE GENERAL LIABILITY, WORKMAN'S COMPENSATION, ETC. THE ARCHITECT AND THE OWNER SHALL BE NAMED AS AN INSURED PARTY TO THE 'ALL RISK' POLICY.

DIMENSIONS SHOWN OUTSIDE OF BUILDING ARE FROM FACE OF FINISH TO ROUGH OPENINGS, UNLESS NOTED OTHERWISE.

DIMENSIONS SHOWN INSIDE OF BUILDING ARE FROM FACE OF FINISH TO FACE OF FINISH, UNLESS NOTED OTHERWISE

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DESCRIPTION:

E 38.28 FT TO S 122.34 FT LOT 59 & W 13.86 FT OF S 122.34 FT LOT 60 JEWETT'S ADDITION FT LOT 60 JEWETT'S ADDITION

DESIGN CRITERIA

BUILDING CODE - 2015 INTERNATIONAL RESIDENTIAL CODE & MICHIGN REHABILITATION SUBCODE

OCCUPANCY - RESIDENTIAL GROUP R-3

CONSTRUCTION TYPE - TYPE 5B

FIRE PROTECTION - NO SPRINKLER

SITE PLAN and NOTES

808 WEST WASHINGTON STREET
ANN ARBOR, MICHIGAN

W. WASHINGTON ST. - (66' WIDE, PUBLIC)

DATE 4 APRIL 2024

SCALE 3/32" = 1'-0"

ANN ARBOR HISTORIC DISTRICT COMMISSION

Staff Report

ADDRESS: 808 W Washington Street, Application Number HDC24-0014

DISTRICT: Old West Side Historic District

REPORT DATE: March 14, 2024

REPORT PREPARED BY: Jill Thacher, Historic Preservation Coordinator

REVIEW COMMITTEE DATE: Monday, March 11, 2024

OWNER	APPLICANT
Name: Kevin Fuqua Blue Wolverine Properties, LLC	Charles Bultman Charles Bultman Architect
Address: 1212 Waterways Drive Ann Arbor, MI 48108	220 S Huron St Ypsilanti, MI 48197
Phone: (734) 223-1358	(734) 845-6951

BACKGROUND: This house first appears in city directories in 1900 as the home of butcher Wilhelm Seyfried. This house and its two neighbors to the west (812 and 818, also built in 1900) are extremely similar in design, detailing and fenestration pattern. 808 features a cut stone foundation, full-width front porch (with non-original turned posts and ornate brackets: see survey photos at end of report), a steeply-pitched roof with corner returns, one-over-one windows, and a first floor bump out near the rear of the west elevation.

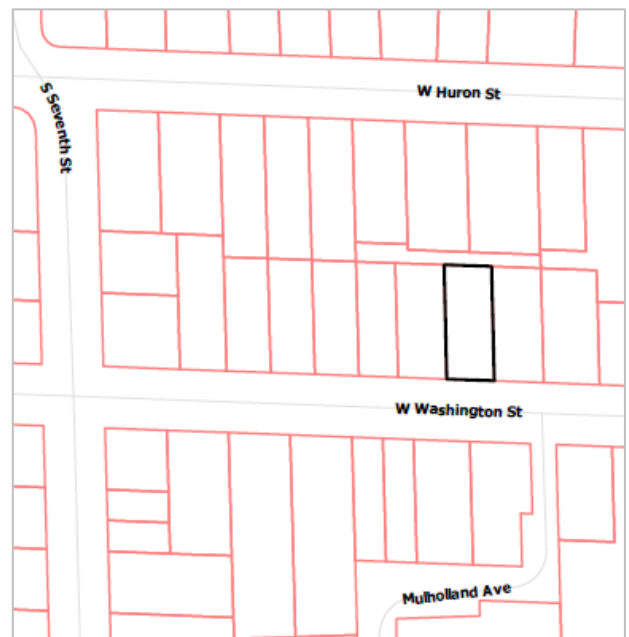
LOCATION: The site is located on the north side of West Washington, between Mulholland and South Seventh Streets.

APPLICATION: The applicant seeks HDC approval to construct a new garage with a concrete apron, install a casement window with a false muntin in the rear-facing attic gable to meet egress requirements, and extend the West Washington Driveway to the back of the house.

APPLICABLE REGULATIONS:

From the Secretary of the Interior's Standards for Rehabilitation:

- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.



- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property will be unimpaired.

**From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings
(other SOI Guidelines may also apply):**

Building Site

Recommended: Designing new exterior additions to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserve the historic relationship between a building or buildings, landscape features, and open space.

Retaining the historic relationship between buildings, landscape features, and open space.

Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character.

Not Recommended: Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color and texture or which destroys historic relationships on the site.

Removing or radically changing buildings and their features or site features which are important in defining the overall historic character of the building site so that, as a result, the character is diminished.

Windows

Recommended: Designing and installing additional windows on rear or other non-character-defining elevations if required by the new use. New window openings may also be cut into exposed party walls. Such design should be compatible with the overall design of the building, but not duplicate the fenestration pattern and detailing of a character-defining elevation.

Not Recommended: Introducing a new design that is incompatible with the historic character of the building.

District or Neighborhood Setting

Not Recommended: Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

Health and Safety

Recommended: Identifying the historic building's character-defining spaces, features, and finishes so that code-required work will not result in their damage or loss.

Complying with health and safety codes, including seismic code requirements, in such a manner that character-defining spaces, features, and finishes are preserved.

Not Recommended: Altering, damaging, or destroying character-defining spaces, features, and finishes while making modifications to a building or site to comply with safety codes.

From the Ann Arbor Historic District Design Guidelines (other Guidelines may apply):

Residential Accessory Structures

Not Appropriate: Introducing new structures or site features that are out of scale with the property or the district or are otherwise inappropriate.

Windows

Not Appropriate: Changing the number, location, and size or glazing pattern of windows by cutting new openings, blocking-in, or installing replacement sash which does not fit the historic opening.

Safety Codes

Not Appropriate: Altering, damaging or destroying character-defining spaces, features, and finishes.

STAFF FINDINGS:

1. The proposed garage is at the rear of the lot. An unpaved shared drive provides access from West Huron Street; the property owner is responsible for obtaining any required easements or permission to use the drive. Sanborn maps and aerial photos going back to 1931 do not show a garage behind this house, though several neighbors have them from the period of significance. The location is very appropriate since the lot drops steeply between the proposed garage location and the back of the house, which would prevent a driveway from W Washington to the back of the yard. The design of the garage is simple and compatible with the neighborhood and historic structures.
2. The two-car garage is 22'1" x 22'1" with a person door on the west elevation and an overhead door on the north elevation. The south elevation facing the house has a pair of 2' 1 1/2" square windows. A 17' x 8'1" concrete slab serves as a driveway apron. Siding is vinyl. Window and person door materials are not specified. The overhead door is wood.
3. A driveway extension was added on to the last iteration of the plan to be submitted. Staff had not discussed this driveway with the applicants. The current driveway off West Washington is approximately 9' wide x 18' deep (the size of a single parking space). The new driveway is 10'6" wide by approximately 70' deep. It extends to the back corner of

the house. Near the east lot line, Google Street View shows a very large maple tree that is in the way of the driveway and appears to be a landmark tree.

The driveway extension is problematic. The driveway in its current extent is shown on the 1947 city aerial, as is the maple tree. The applicant is requesting three driveway parking spaces where one exists now, plus two garage parking spaces. Staff believes that the change to the side yard from the drive extension is more visible and detrimental to the property and neighboring properties and the landmark tree than the construction of the garage. By adding cars to the sideyard, the driveway extension does not retain the historic relationship between the house, landscape features, and open space.

4. The attic window is in an appropriate location, has a false muntin across the center to make it appear like a one-over-one sash instead of a casement, and the trim is half the width of the historic trim to distinguish this as a new opening. The proposed window is an all-wood Weathershield that is 2'5 1/2" x 3'5 1/2". Staff supports the additional window since it is on the rear elevation and allows the utilization of attic space.
5. Staff has suggested two motions below. The first is for the garage and attic window, and staff recommends approval. The second is for the driveway extension, which staff does not support for the reasons stated above.

POSSIBLE MOTIONS: (Note that the motion is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

For the garage and egress attic window:

I move that the Commission issue a certificate of appropriateness for the application at 808 West Washington Street, a contributing property in the Old West Side Historic District, to construct a garage with a concrete apron and install a casement window with a false muntin in the rear-facing attic gable to meet egress requirements, as proposed. The work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets the *Ann Arbor Historic District Design Guidelines*, especially those for windows, safety codes and residential accessory structures, and the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 9 and 10 and the guidelines for windows, neighborhood setting, and health and safety codes.

For the driveway extension:

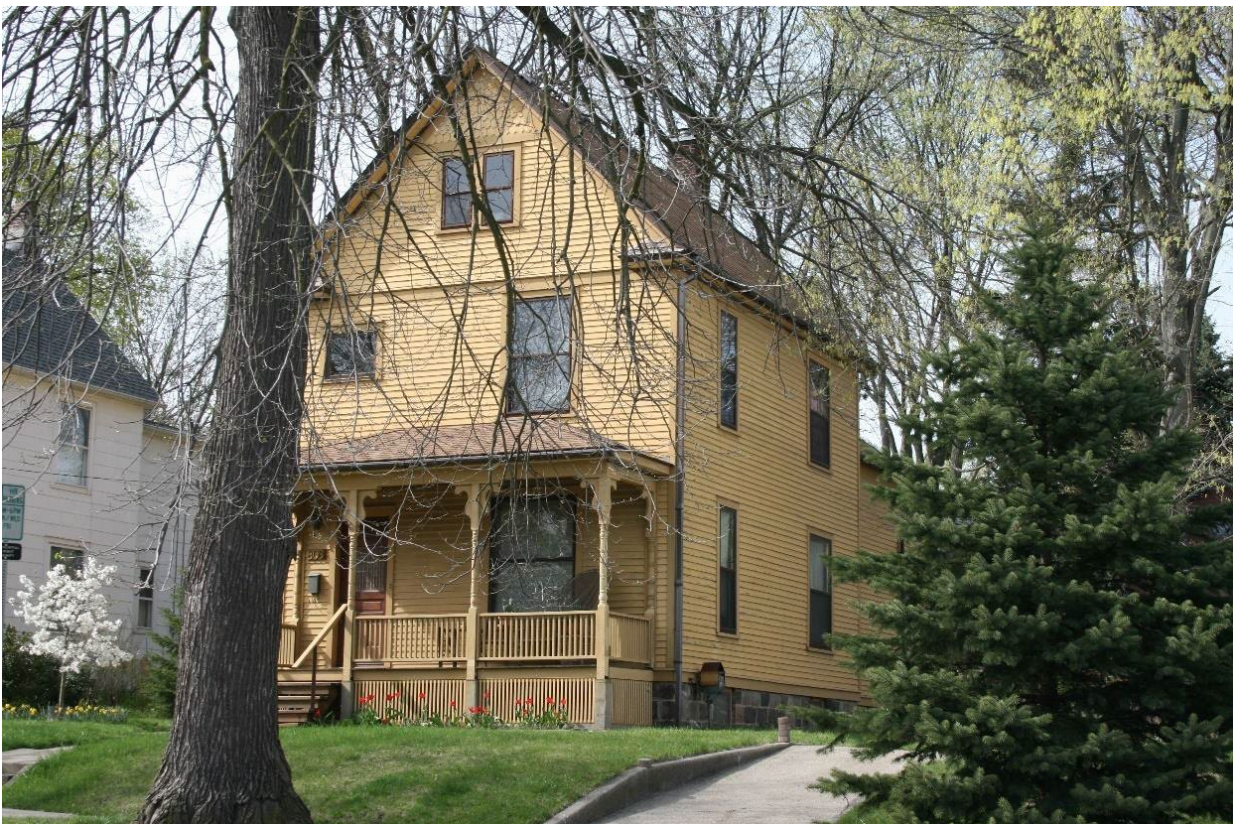
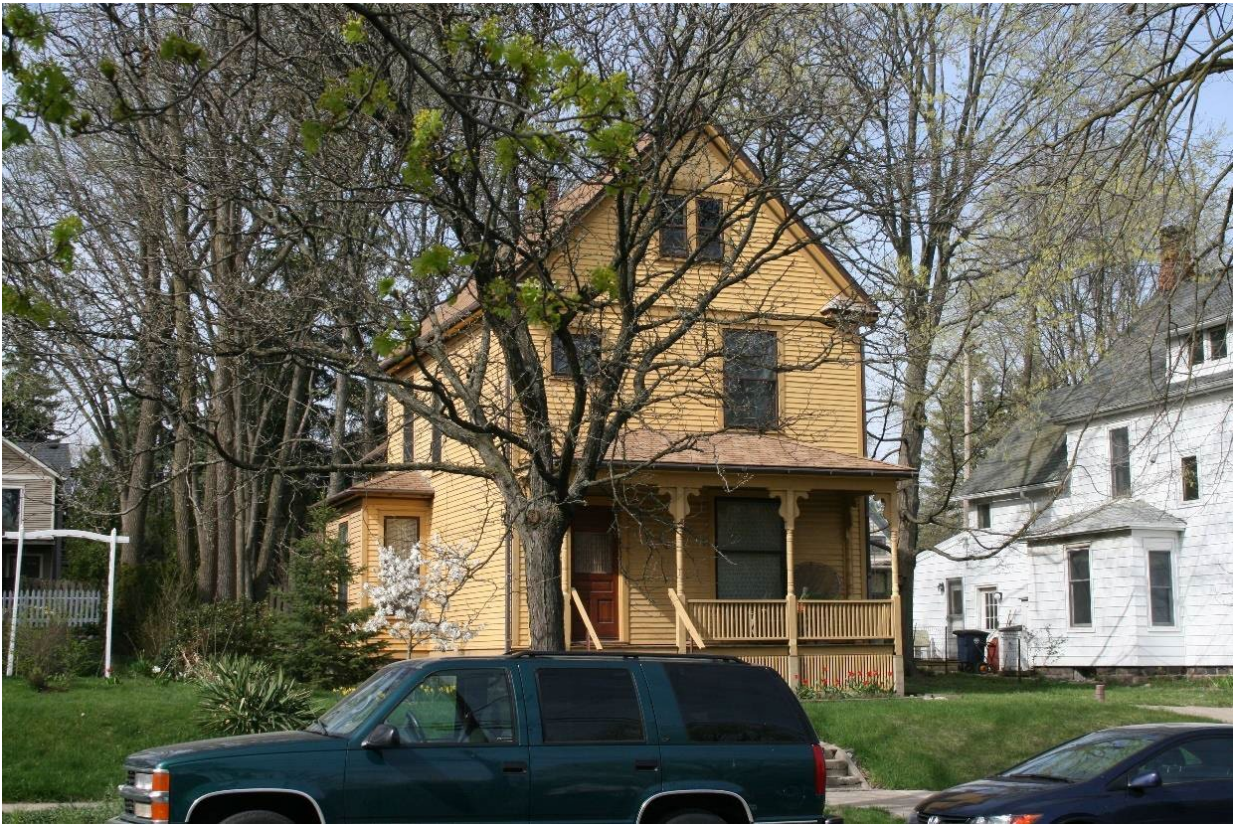
I move that the Commission issue a certificate of appropriateness for the application at 808 West Washington Street, a contributing property in the Old West Side Historic District, to widen the driveway from West Washington to 10'6", pave it with concrete and extend the driveway to the rear corner of the house, and remove a landmark tree as proposed. The work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets the *Ann Arbor Historic District Design Guidelines*, especially those for windows, safety codes and residential accessory structures, and the *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 9 and 10 and the guidelines for windows, neighborhood setting, and health and safety codes.

ATTACHMENTS: photos, drawings, casement window information

1981 City Survey photos



808 W Washington (2007 OWS Survey Photos)











NEW GARAGE FOR: 808 WEST WASHINGTON STREET

Charles Bultman
Architect

cbutman • flash.net
734 223 1358
220 south huron street • ypsilanti, mi 48197

2' ARBORVITAE
SHRUBS

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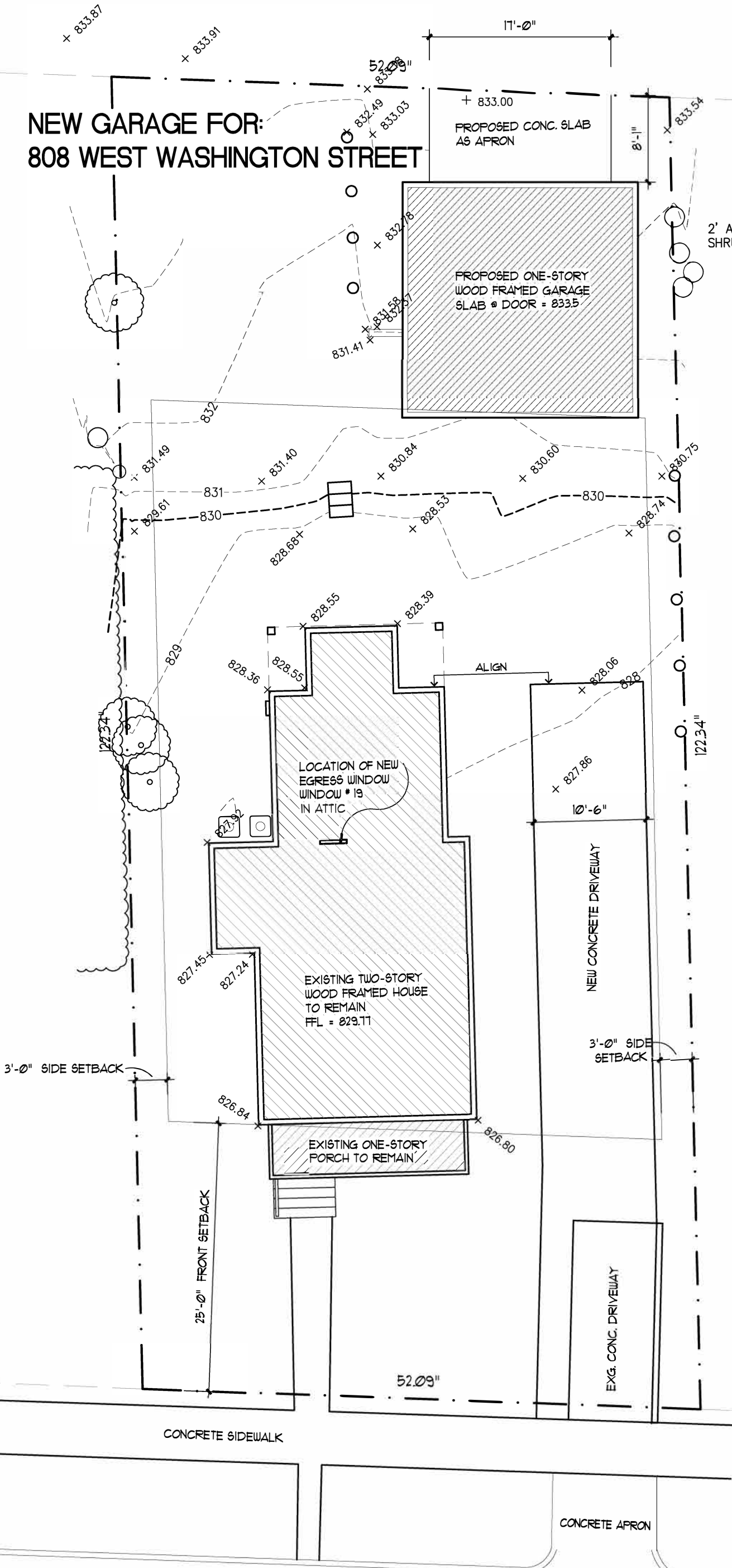
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- 3 FLOOR PLAN and BUILDING SECTION
- 4 BUILDING ELEVATIONS and TYPICAL WALL SECTION
- 5 BUILDING ELEVATIONS
- 6 ATTIC PLAN FOR NEW WINDOW
- 7 REAR ELEVATION FOR NEW WINDOW

DATE 4 MARCH 2024

SCALE 3/32" = 1'-0"



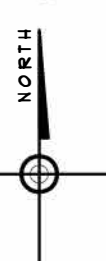
DESCRIPTION:
E 38.28 FT TO S 122.34 FT LOT 59 & W 13.86 FT OF S 122.34 FT
LOT 60 JEWETT'S ADDITION FT LOT 60 JEWETT'S ADDITION

DESIGN CRITERIA
BUILDING CODE - 2015 INTERNATIONAL
RESIDENTIAL CODE & MICHIGN
REHABILITATION SUBCODE
OCCUPANCY - RESIDENTIAL GROUP R-3
CONSTRUCTION TYPE - TYPE 5B
FIRE PROTECTION - NO SPRINKLER

BASEMENT PLAN - DEMOLITION

808 WEST WASHINGTON STREET
ANN ARBOR, MICHIGAN

W. WASHINGTON ST. - (66' WIDE, PUBLIC)



STRUCTURAL NOTES - GENERAL

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE SHORING AND BRACING DURING CONSTRUCTION TO ACCOUNT FOR ALL FORCES, INCLUDING BUT NOT LIMITED TO FORCES FROM GRAVITY, EARTH, WIND, AND UNBALANCED FORCES DUE TO CONSTRUCTION SEQUENCE.

THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-BRACING AND SHALL BE SHORED AND/OR BRACED BY THE CONTRACTOR AS NECESSARY UNTIL STABILIZED BY VIRTUE OF COMPLETED CONNECTIONS.

GENERAL REQUIREMENTS

FOOTINGS:
3000 PSI POURED CONCRETE 20" WIDE x 10" DEEP
w/ 2 - #4 REBAR CONT. THROUGH LENGTH OF FOOTING.

STEPPED FOOTINGS:
3000 PSI POURED CONCRETE 20" WIDE x 10" DEEP
w/ 2 - #4 REBAR CONTINUOUS THROUGH STEPPED FOOTING. STEP
FOOTING 24" (MAX) VERTICALLY & 2x VERTICAL (MIN)
HORIZONTALLY.

PADS FOR STEEL PIPE COLUMNS (INTERIOR):
3000 PSI POURED CONCRETE 2'-6" x 2'-6" x 12" DEEP w/ #4
REBAR @ 6" o. c. BOTH WAYS.

PIER FOOTINGS (EXTERIOR):
3000 PSI POURED CONCRETE 2'-0" x 2'-0" x 12" DEEP w/#4 REBAR
@ 6" o. c. BOTH WAY w/ 10" ϕ CONCRETE PIERS w/ 4 - #4 REBAR
VERT.

FOUNDATION WALLS:
3000 PSI POURED CONCRETE 10'-0" HIGH x 10" THICK w/ 4" BRICK
LEDGE AS REQ'D w/ 1/2" ANCHOR BOLTS @ 32" o. c. (MAX) & WITHIN
12" OF ALL CORNERS #4 REBAR @ 16" o. c. - HORIZ. (MAX) @ INSIDE
FACE #4 REBAR @ 16" o. c. - VERT. (MAX) @ INSIDE FACE #4 FTG
DOWELS @ 16" o. c. (MAX).

SLABS:
3000 PSI POURED CONCRETE
4" MINIMUM THICKNESS w/ 6 x 6 - W1.4 x W1.4 WELDED WIRE FABRIC
ON 6 MIL VAPOR BARRIER ON 4" (MIN) GRAVEL BASE.

SOILS & BACK FILL:
VERIFY SOIL BEARING OF 3000 PSF (MIN) ON UNDISTURBED SOIL
FOR ALL FOOTINGS & SLABS OR PROVIDE ENGINEERED FILL ON
UNDISTURBED SOIL.
COMPACT GRAVEL & SAND BACK FILL IN 12" LIFTS (MAX). PROVIDE
CRUSHED STONE @ FOOTING DRAINS.
ALL BACK FILL ADJACENT TO WALL IS TO BE FREE DRAINING
GRANULAR MATERIAL. WALLS ARE TO BE BACK FILLED AFTER
FLOOR DECK IS SECURED.

STEEL BEAMS:
SHIM & GROUT SOLID ALL BEAM POCKETS. ALL STEEL BEAMS &
BEARING PLATES ARE TO HAVE HOLES FOR 1/2" THROUGH-BOLTS @
32" o.c. (MAX) STAGGERED SIDE TO SIDE FOR PRESSURE TREATED
SILLS

FOUNDATIONS

THE SLAB ON GRADE SHALL REST ON A MINIMUM OF 4" OF
COMPACTED FILL.

ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL, HAVING A
MINIMUM BEARING CAPACITY OF 3000 PSF.

THE BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE 4'-0"
MINIMUM BELOW FINISHED GRADE. IF THE BUILDING WILL BE UNDER
CONSTRUCTION DURING FREEZING WEATHER, ALL INTERIOR
FOUNDATIONS SHALL BE DEPRESSED 4'-0" BELOW CONSTRUCTION
GRADE FOR FROST PROTECTION. IF SUCH ADDITIONAL FOOTING
DEPTH WILL CAUSE UNDERMINING OF ADJACENT EXISTING FOOTINGS
OR STRUCTURES, PROVIDE APPROPRIATE SHORING, BRACING, OR
UNDERPINNING AS REQUIRED OR LEAVE FOOTING ELEVATION AS
DESIGNED AND PROVIDE CONTINUED PROTECTION AND HEAT TO
PREVENT FORMATION OF FROST BELOW FOOTING AND ADJACENT
TO FOOTING.

CONCRETE

CONCRETE TO BE 3000 PSI AT 28 DAYS, WITH ASTM A-615 GRADE
60 REINFORCING BAR AND ASTM A-185 WELDED WIRE FABRIC.

ALL SLABS ON GRADE WHERE NOT OTHERWISE SPECIFIED, ARE TO
BE 4" THICK WITH 6 x 6 - W1.4 x W1.4 WWF.

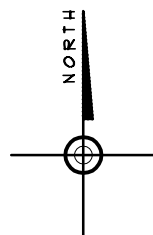
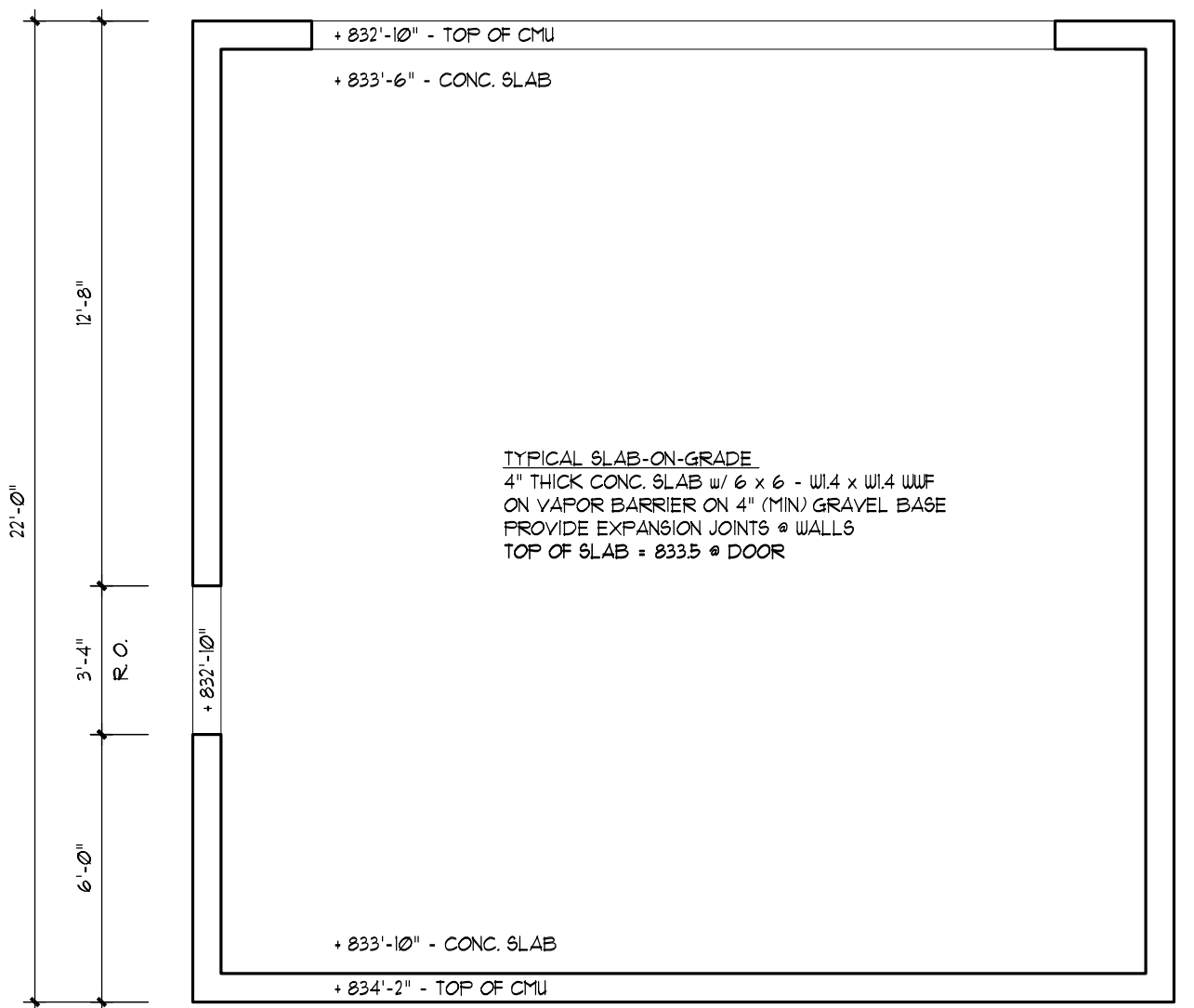
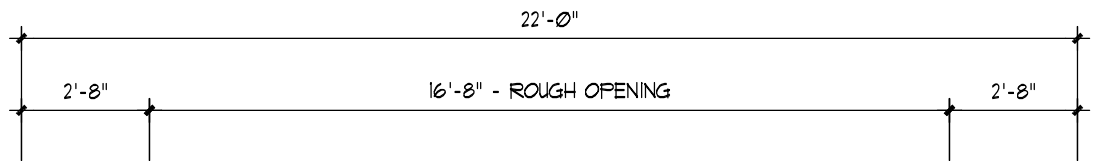
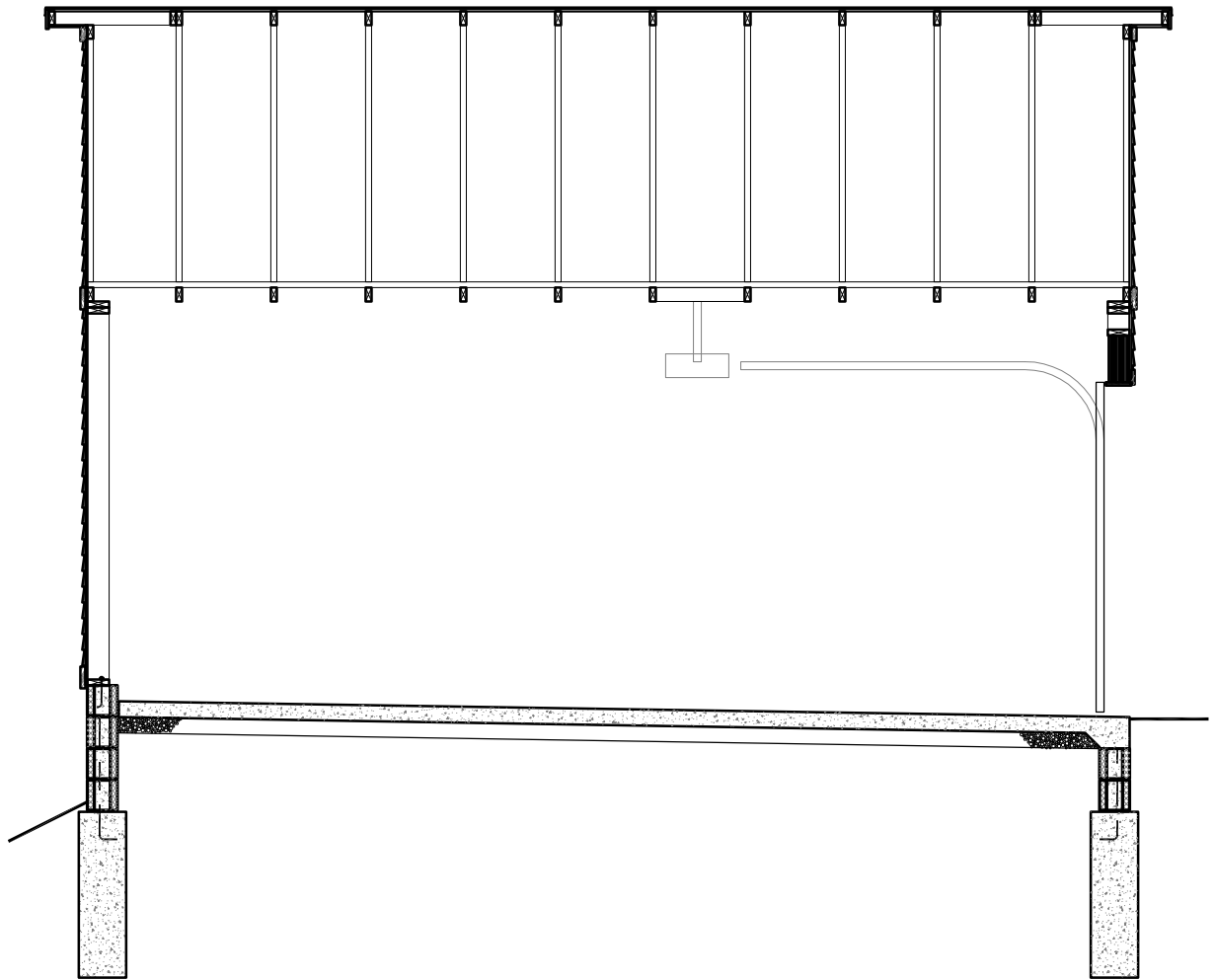
PROVIDE AIR-ENTRAINMENT (6% ± 1%) FOR CONCRETE EXPOSED TO
WEATHER.

STEEL FRAMING

TYPICAL STRUCTURAL STEEL TO BE ASTM A36-36 KSI AND STEEL
TUBES ASTM A500-46 KSI. BOLTS TO BE ASTM A325. WELDING
ELECTRODES TO BE ASTM A233, E-70 SERIES. ANCHOR BOLTS TO
BE ASTM A307 THREADED RODS, AND GROUT BELOW PLATES TO
BE NON-SHRINK, NON-METALLIC GROUT (5000 PSI)

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FOUNDATION PLAN and BUILDING SECTION

808 WEST WASHINGTON STREET
ANN ARBOR, MICHIGAN

DATE 4 MARCH 2024

SCALE 1/4" = 1'-0"

GENERAL NOTES - WOOD FRAMING

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE SHORING AND BRACING DURING CONSTRUCTION TO ACCOUNT FOR ALL FORCES, INCLUDING BUT NOT LIMITED TO FORCES FROM GRAVITY, EARTH, WIND, AND UNBALANCED FORCES DUE TO CONSTRUCTION SEQUENCE.

THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-BRACING AND SHALL BE SHORED AND/OR BRACED BY THE CONTRACTOR AS NECESSARY UNTIL STABILIZED BY VIRTUE OF COMPLETED CONNECTIONS.

CONTRACTOR IS TO USE AND FOLLOW ALL STANDARD USES, DETAILS, ETC. AS PROVIDED BY THE SPECIFIC MANUFACTURER OF THE FLOOR TRUSS SYSTEM. IF THESE DRAWINGS CONFLICT w/ ANY INFORMATION PROVIDED BY THE FLOOR TRUSS MANUFACTURER THE MORE STRINGENT SPECIFICATION WILL BE FOLLOWED.

GENERAL REQUIREMENTS

SILLS @ STEEL BEAMS & BEARING PLATES:
ALL STEEL BEAMS & BEARING PLATES ARE TO HAVE PRESSURE TREATED SILLS w/ 1/2" THROUGH-BOLTS @ 32" o.c. (MAX) STAGGERED SIDE TO SIDE.

FRAMING UNDER PARTITIONS:
PROVIDE 2 WOOD 1" JOISTS UNDER ALL PARTITIONS PARALLEL w/ JOISTS OR PROVIDE BLOCKING PANELS ACROSS JOIST BAY @ 16" o.c. (MAX). (THIS ITEM IS NOT SHOWN IN THE PLAN FOR CLARITY)

FLOOR FRAMING:
PROVIDE WOOD 1" JOISTS (TJI/PRO 150) FOR ALL SPANS UP TO 17'-0".
FOR ALL SPANS GREATER, PROVIDE WOOD 1" JOISTS (TJI/PRO 350).
PROVIDE SOLID BLOCKING @ 4'-0" o.c. IN THE FIRST THREE (3) JOIST BAYS FOR LOCATIONS WHERE THE JOISTS AREA PARALLEL TO THE FOUNDATION WALL. (THIS ITEM IS NOT SHOWN IN THE PLAN FOR CLARITY)

WOOD FRAMING

WOOD FRAMING TO BE HEM-FIR NO. 2 OR BETTER FOR 2x8 AND LARGER MEMBERS, AND SPF NO. 2 OR BETTER FOR 2x4 AND 2x6 MEMBERS.

ALL LUMBER IN CONTACT WITH MASONRY OR STEEL TO BE CCA TREATED.

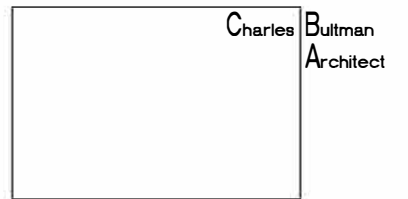
ALL FLUSH FRAMED CONNECTIONS ARE TO BE MADE USING JOIST HANGERS DESIGNED FOR THE SPECIFIC CONDITION UNLESS OTHER CONNECTIONS ARE PROVIDED. ANGLE BRACKETS ARE NOT ACCEPTABLE WITHOUT PRIOR APPROVAL. ALL JOIST HANGERS ARE TO BE INSTALLED PER MANUFACTURE'S RECOMMENDATIONS WITH MANUFACTURER RECOMMENDED NAILS.

WOOD TRUSSES SHALL BE SHOP FABRICATED TO THE REQUIREMENTS OF THE TRUSS PLATE INSTITUTE AND SHALL BE CAPABLE OF SUPPORTING THE LOADS INDICATED ON THE DRAWINGS. SHOP DRAWINGS SHALL INCLUDE ALL HEADERS AND GIRDER TRUSSES AND THEIR ASSOCIATED CONNECTIONS AND SHALL BEAR THE SEAL OF A P.E. REGISTERED IN MICHIGAN.

WOOD TRUSSES SHALL BE INSTALLED IN ACCORDANCE WITH THE HANDLING, INSTALLING & BRACING GUIDE HIB-91 BY THE TRUSS PLATE INSTITUTE.

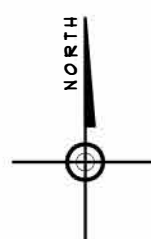
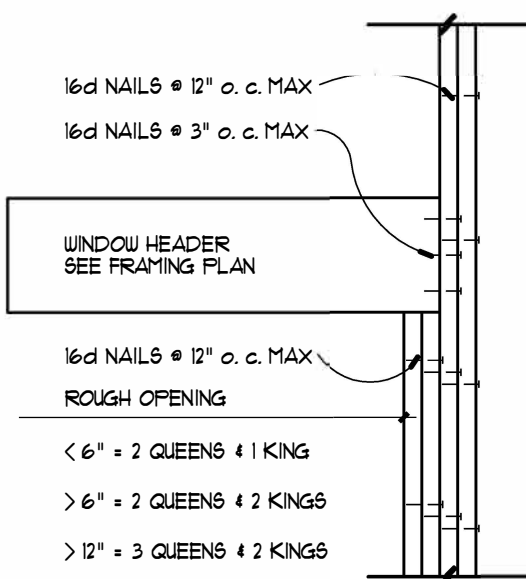
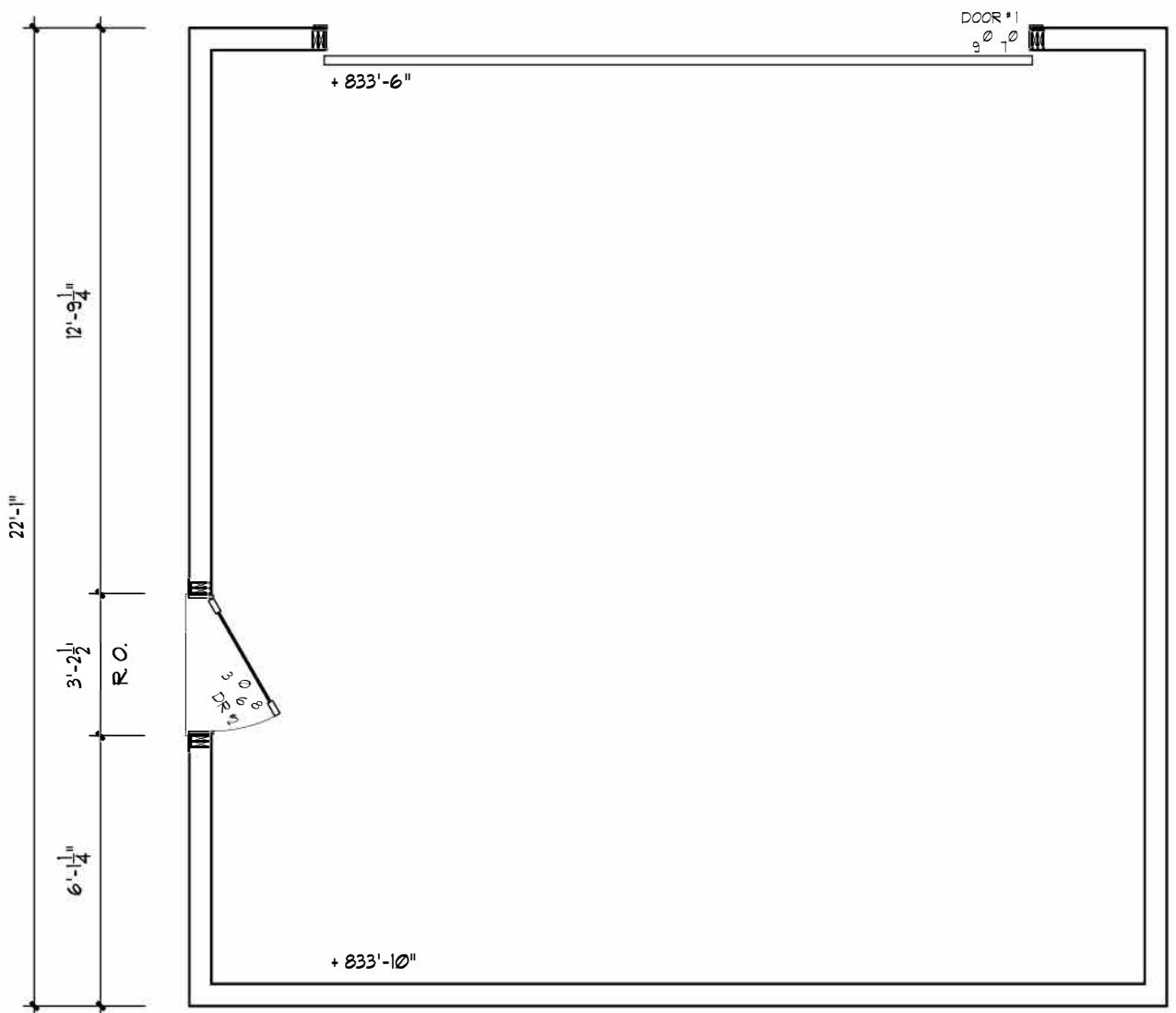
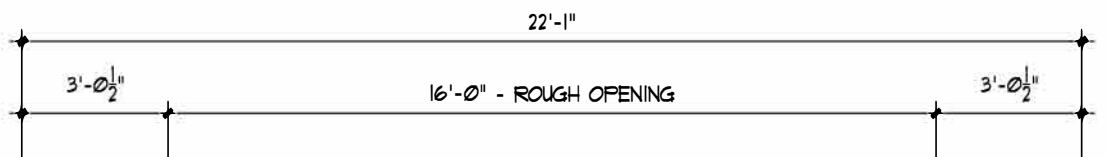
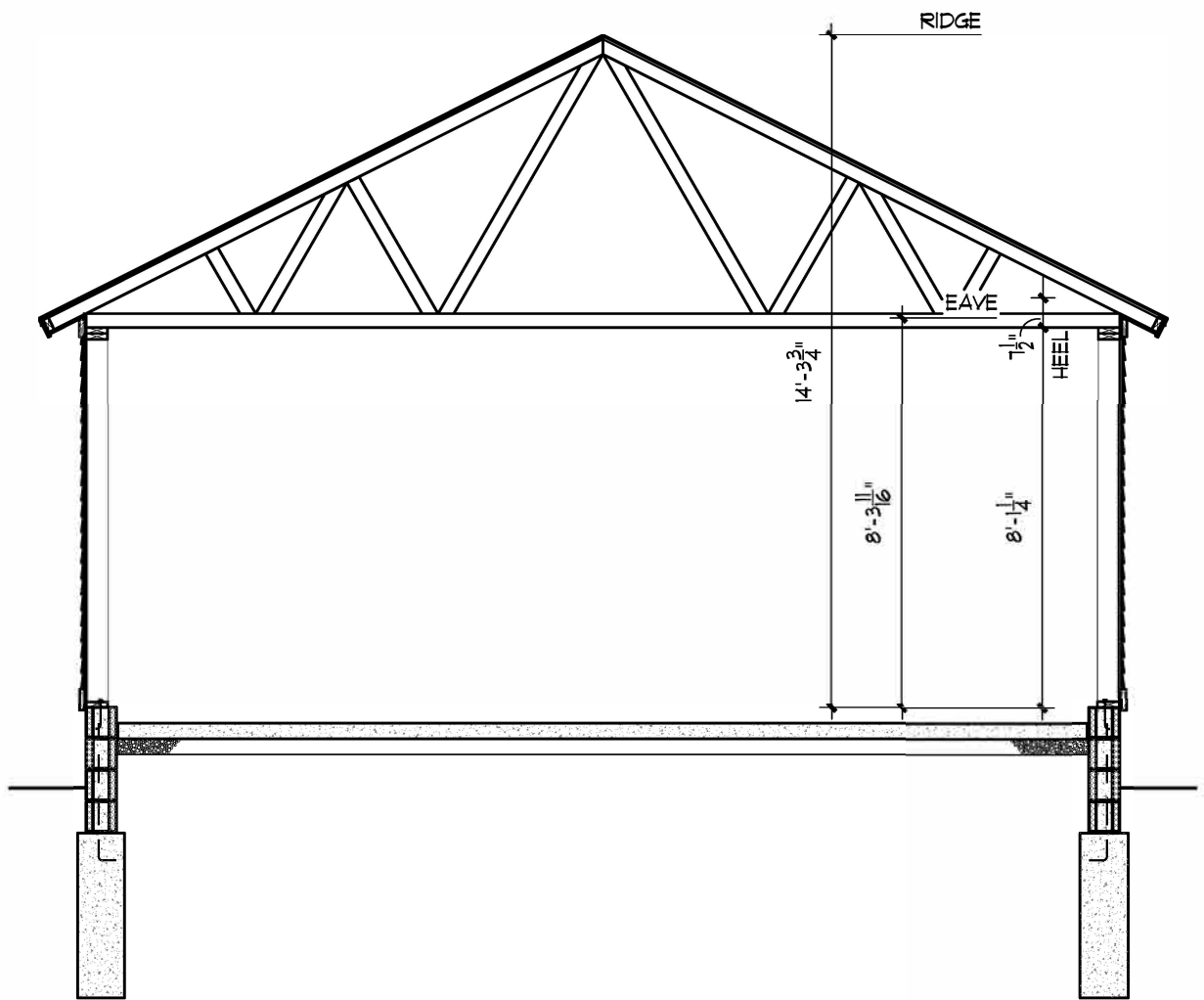
LAMINATED VENEER LUMBER AND PLYWOOD JOIST CHORDS ARE TO VALUES OF Fb NOT LESS THAN 2800 PSI AND Fc PERPENDICULAR OF NOT LESS THAN 150 PSI AND Fc PARALLEL OF NOT LESS THAN 2800 PSI.

ALL FLOOR, ROOF, AND WALL SHEATHING TO BE STRUCTURAL 1 PLYWOOD OR OSB, WITH MINIMUM CHARACTERISTICS AND ATTACHMENT AS FOLLOWS: FLOORS- 3/4" T&G, GLUED AND NAILED w/ 10d @ 6". WALLS- 7/16" NAILED w/ 10d @ 6". ROOFS- 5/8" w/ H-CLIPS AND NAILED w/ 10d @ 6".



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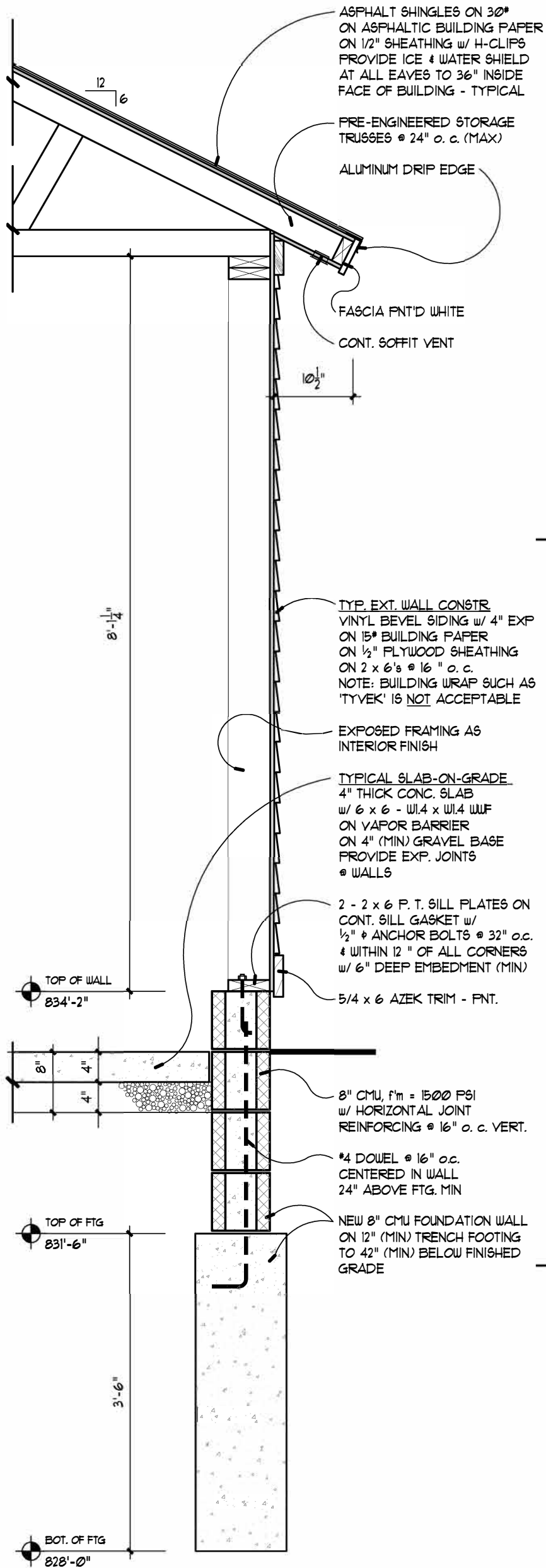


FLOOR PLAN and BUILDING SECTION

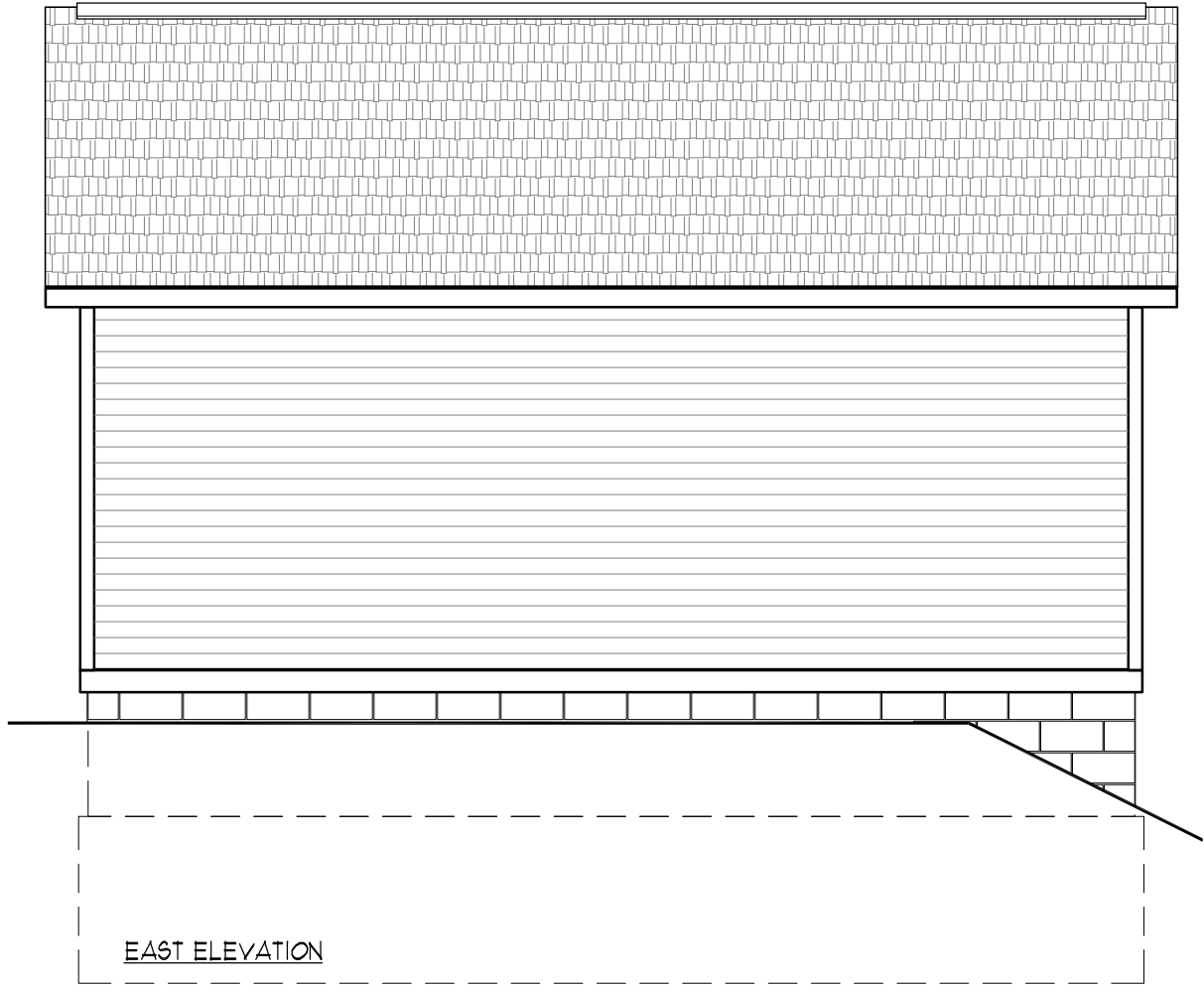
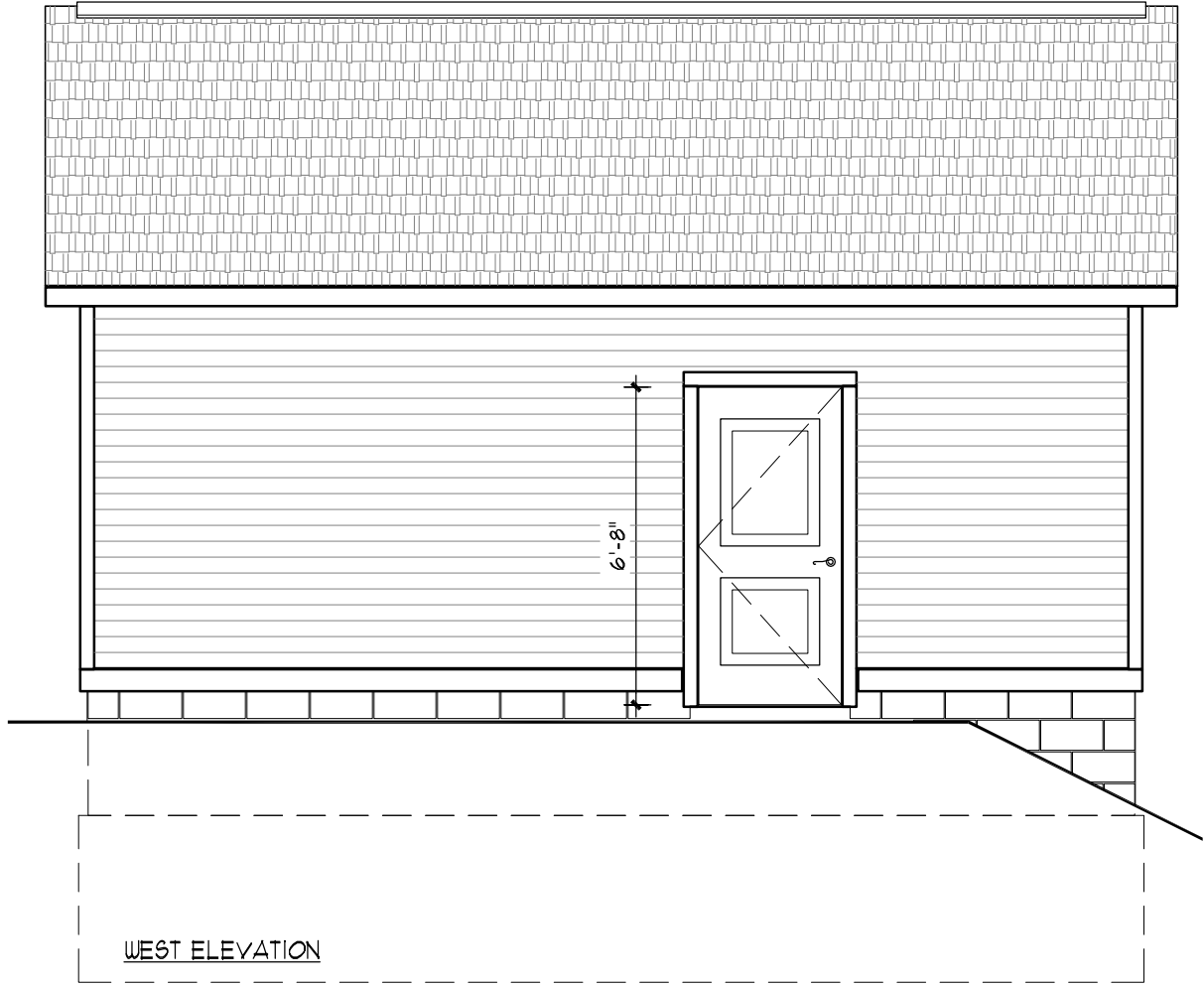
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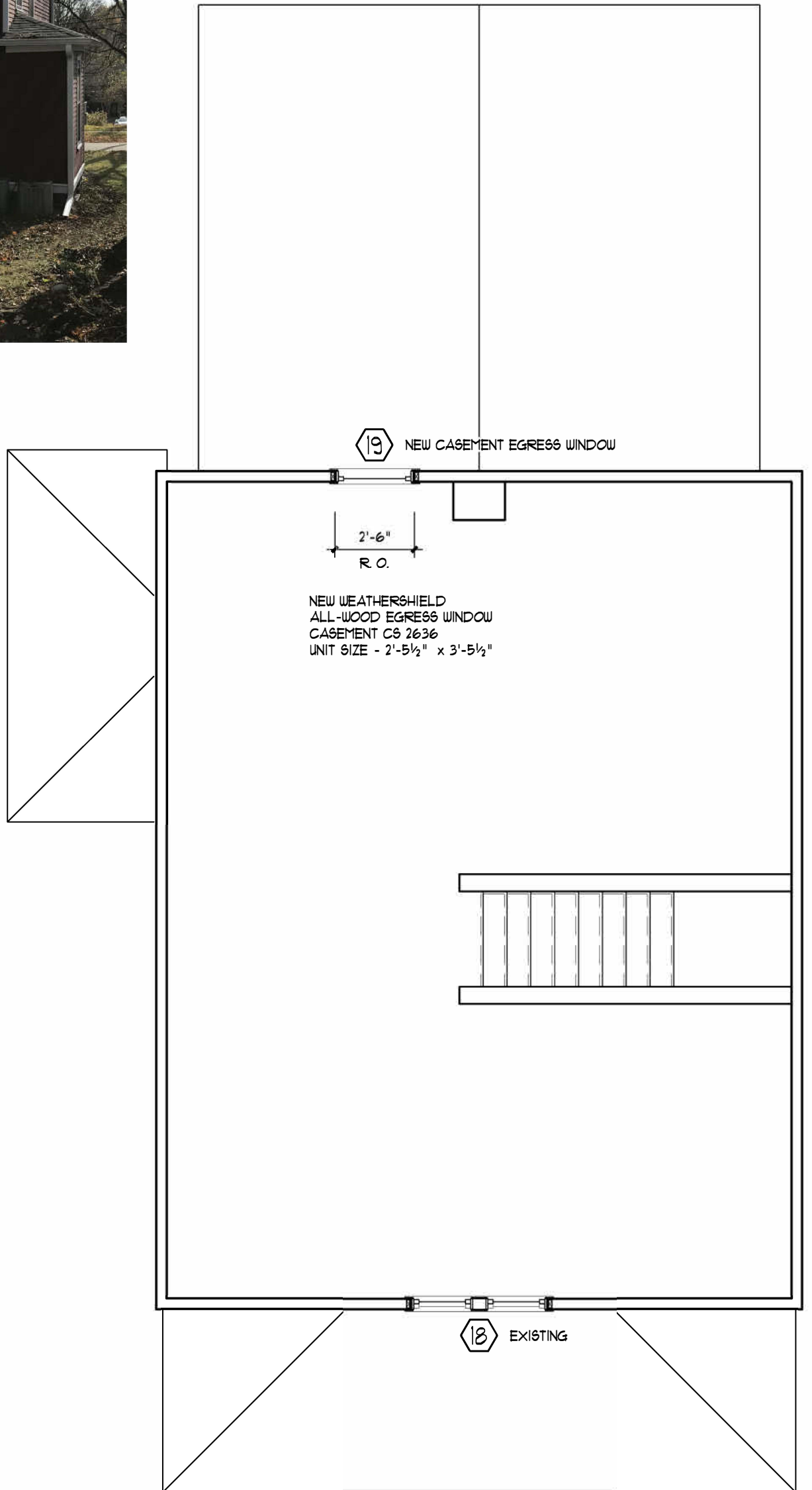
BUILDING ELEVATIONS and TYPICAL WALL SECTION





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Architect

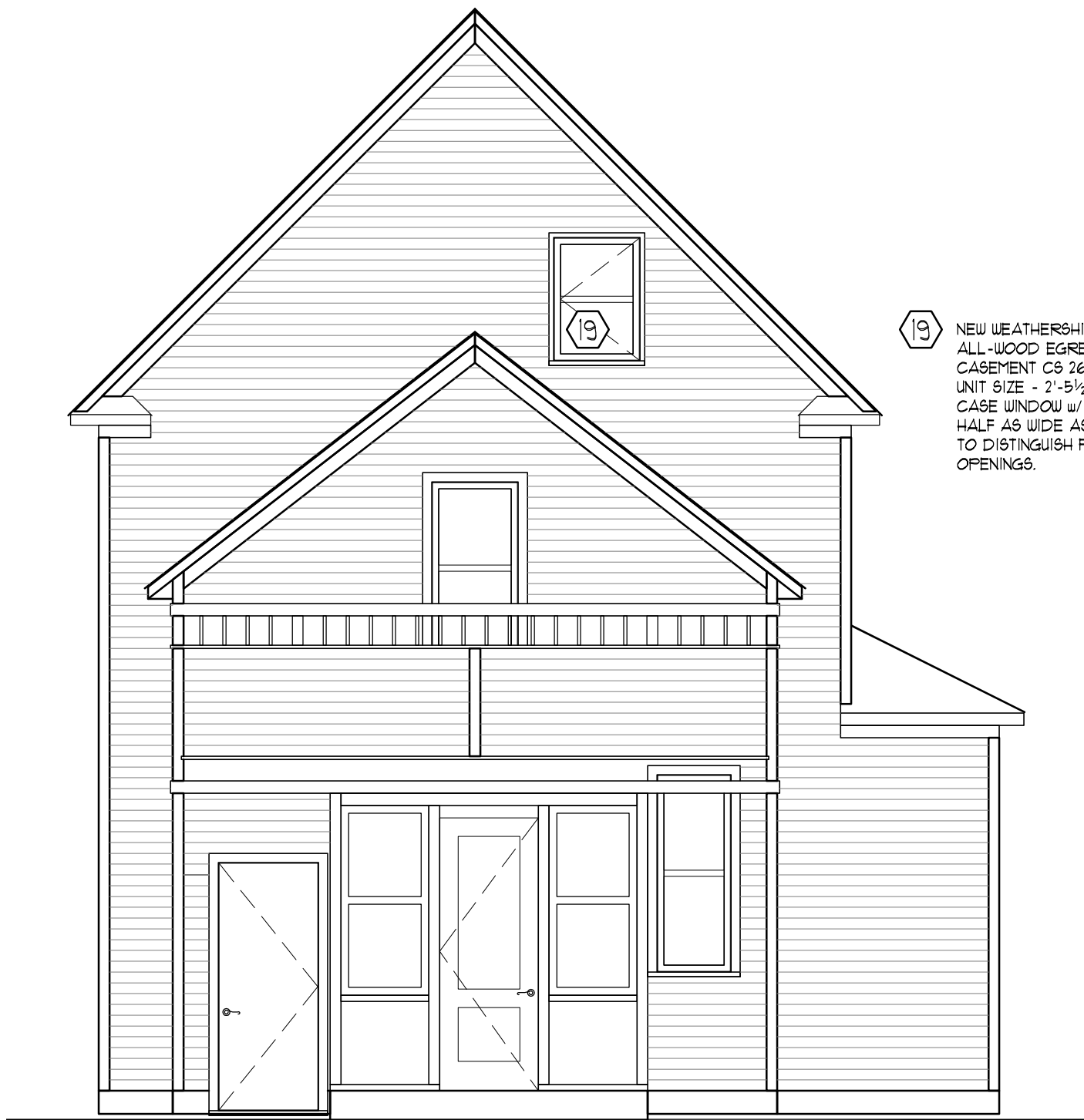
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19 NEW WEATHERSHIELD
ALL-WOOD EGRESS WINDOW
CASEMENT CS 2636
UNIT SIZE - 2'-5½" x 3'-5½"
CASE WINDOW w/ 64S WOOD TRIM
HALF AS WIDE AS EXISTING
TO DISTINGUISH FROM HISTORIC
OPENINGS.

REAR ELEVATION FOR NEW WINDOW

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