

ANN ARBOR HISTORIC DISTRICT COMMISSION

Staff Report

ADDRESS: 517 West William Street, Application HDC14-077

DISTRICT: Old West Side Historic District

REPORT DATE: June 12, 2014

REPORT PREPARED BY: Jill Thacher, Historic Preservation Coordinator

REVIEW COMMITTEE DATE: Monday, June 9, 2014

OWNER

Name: C-3 Partners LLC
Address: 115 Depot Street
 Ann Arbor, MI 48104
Phone: (734) 994-5050

APPLICANT

Cornerstone Design Inc; Rich Henes
 310 Depot Street
 Ann Arbor, MI 48104
 (734) 663-7580

BACKGROUND: The Argus Building was constructed as the Michigan Furniture Company in 1906. The largest section of the building is a four-story, flat-roofed factory with jack-arch windows and brick details at the corner of West William and Fourth Streets. The building also has a three-story red-brick section, and two-story and single-story concrete wings. The concrete sections are believed to have been constructed during the 1940s.

In August, 2013 the HDC approved the installation of six new windows in new openings on the former cafeteria of the building.

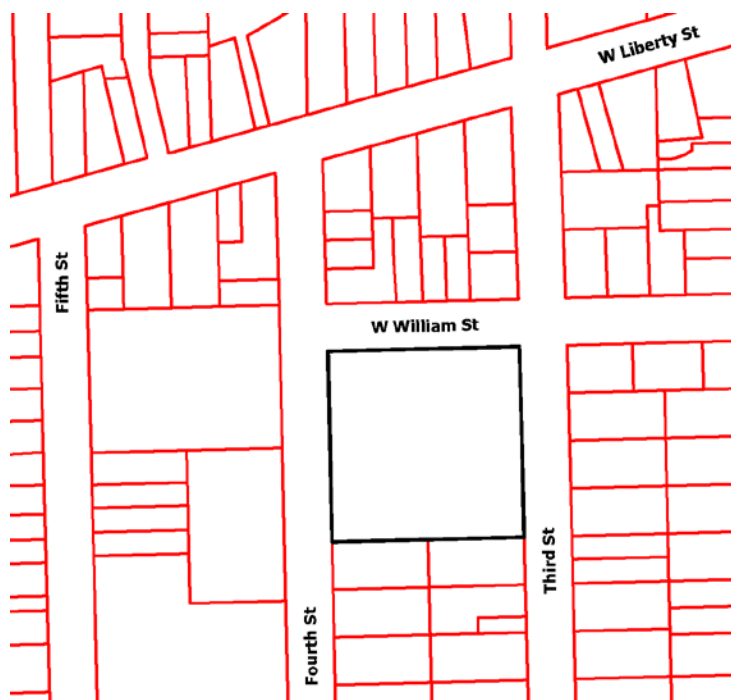
LOCATION: The site is located on the south side of West William Street, east of Fourth Street and west of Third Street.

APPLICATION: The applicant seeks HDC approval to install one 4' x 4' aluminum framed window in an exterior block masonry wall.

APPLICABLE REGULATIONS

From the Secretary of the Interior's Standards for Rehabilitation:

- (1) A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.



- (2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- (9) New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize a property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings:

Windows

Recommended: Designing and installing additional windows on rear or other non-character-defining elevations if required by the new use. New window openings may also be cut into exposed party walls. Such design should be compatible with the overall design of the building, but not duplicate the fenestration pattern and detailing of a character-defining elevation.

Not Recommended: Changing the number, location, size or glazing pattern of windows, through cutting new openings, blocking-in windows, and installing replacement sash which does not fit the historic window opening.

Introducing a new design that is incompatible with the historic character of the building.

STAFF FINDINGS:

1. The portion of the building where the window is proposed to be installed, off Fourth Street, was added to the building in the 1940s as a service area for the Argus cafeteria. The wall is concrete block and does not contain character-defining features. The window to be installed is similar to one around the corner on the same addition. The application is very thorough and provides complete information on the installation.
2. Staff recommends approval. The design and placement of the window are appropriate. The window will not detract from any historic features of the building or the district.

POSSIBLE MOTIONS: (Note that the motion is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission approve the application at 517-535 West William Street, a contributing property in the Old West Side Historic District, to install a window as proposed. The proposed work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 1, 2, and 9, and the guidelines for windows.

MOTION WORKSHEET:

I move that the Commission issue a Certificate of Appropriateness for the work at 517-535 West William Street in the Old West Side Historic District

_____ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

ATTACHMENTS: application, photos, drawings.



City of Ann Arbor
PLANNING & DEVELOPMENT SERVICES — PLANNING
SERVICES

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ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION

Section 1: Property Being Reviewed and Ownership Information

Address of Property: 517-535 W. William

Historic District: Old West Side

Name of Property Owner (If different than the applicant):

C-3 Partners LLC

Address of Property Owner: 115 Depot Street, Ann Arbor, MI 48104

Daytime Phone and E-mail of Property Owner: 734-994-5050

Signature of Property Owner: _____

Date: 5/21/14

Section 2: Applicant Information

Name of Applicant: Cornerstone Design Inc; Rich Henes

Address of Applicant: 310 Depot Street, Ann Arbor, MI

Daytime Phone: (734) 663-7580 Fax: (734) 663-1180

E-mail: rhenes@cdiarchitects.com

Applicant's Relationship to Property: owner ☒ architect ☐ contractor ☐ other

Signature of applicant: _____

Date: 5/21/14

Section 3: Building Use (check all that apply)

☐ Residential ☐ Single Family ☐ Multiple Family ☐ Rental

☒ Commercial ☐ Institutional

Section 4: Stille-DeRossett-Hale Single State Construction Code Act

(This item **MUST BE INITIALED** for your application to be **PROCESSED**)

Public Act 169, Michigan's Local Historic Districts Act, was amended April 2004 to include the following language: "...the applicant has certified in the application that the property where the work will be undertaken has, or will have before the proposed completion date, a a fire alarm or smoke alarm complying with the requirements of the Stille-DeRossett-Hale Single State Construction Code Act, 1972 PA 230, MCL 125.1501 to 125.1531."

Please initial here: _____

Section 5: Description of Proposed Changes (attach additional sheets as necessary)

1. Provide a brief summary of proposed changes. Install one 4' x 4' aluminum frame window
in an exterior block masonry wall.

2. Provide a description of existing conditions. The existing block wall is windowless. The
closest window, in the adjacent west wall, is also aluminum framed and will be matched
in color (dark bronze). The portion of the building in question was constructed in the
1940's. This area was originally a service area for the Argus Camera Company
cafeteria.

3. What are the reasons for the proposed changes? To provide natural light and a view for
the occupants of the new office.

4. Attach any additional information that will further explain or clarify the proposal, and indicate
these attachments here.

Site plan (map); key plan; aerial view; photographs of the window location (2);
window/wall section; interior elevation; building floor plan of project area.

Picture of new window frame.

5. Attach photographs of the existing property, including at least one general photo and detailed
photos of proposed work area.

STAFF USE ONLY

Date Submitted: 5/21-2014 Application to _____ Staff or _____ HDC

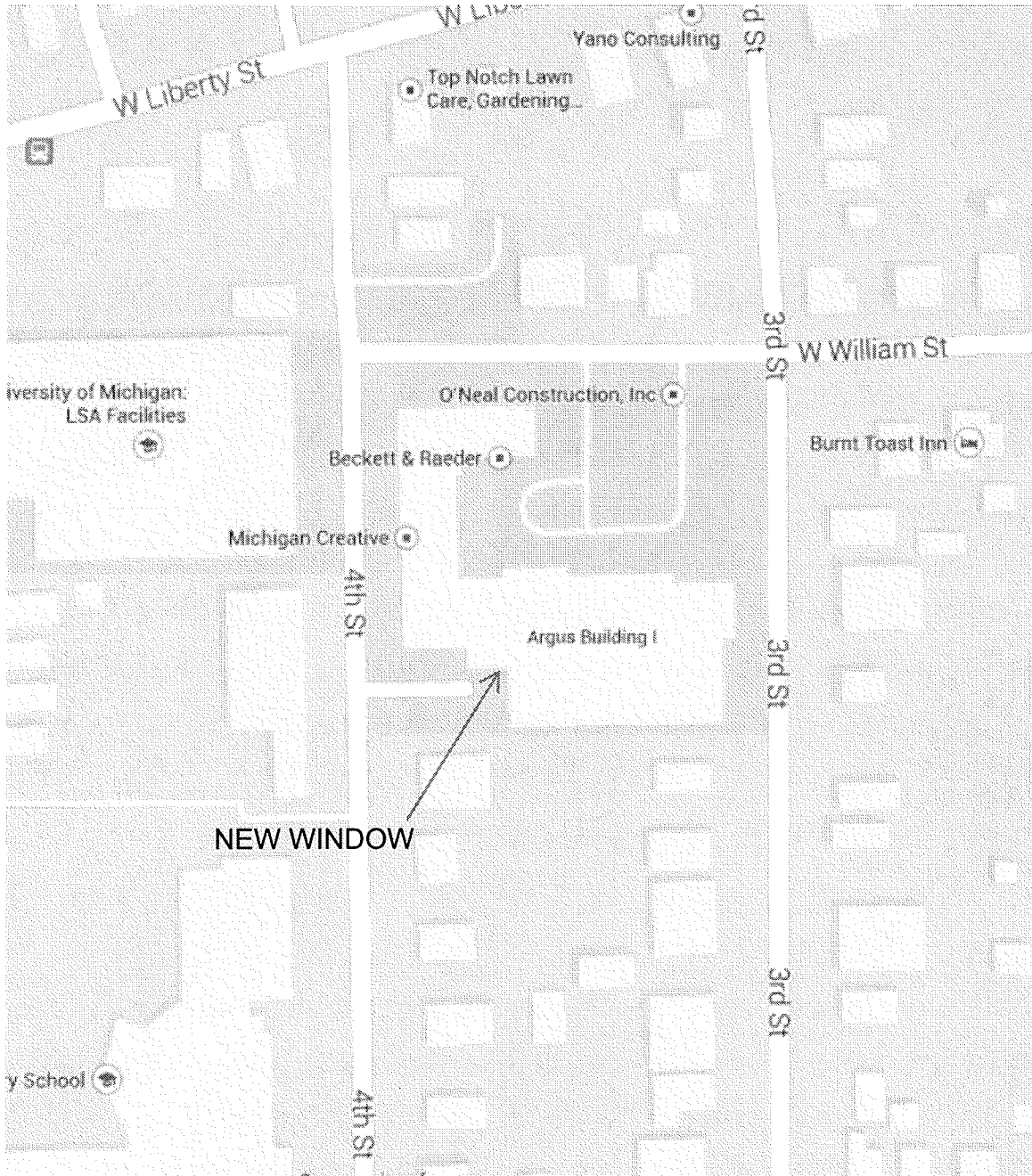
Project No.: HDC 14-077 Fee Paid: 100⁰⁰

Pre-filing Staff Reviewer & Date: _____ Date of Public Hearing: 6/12-14

Application Filing Date: _____ Action: _____ HDC COA _____ HDC Denial

Staff signature: _____ HDC NTP _____ Staff COA

Comments:

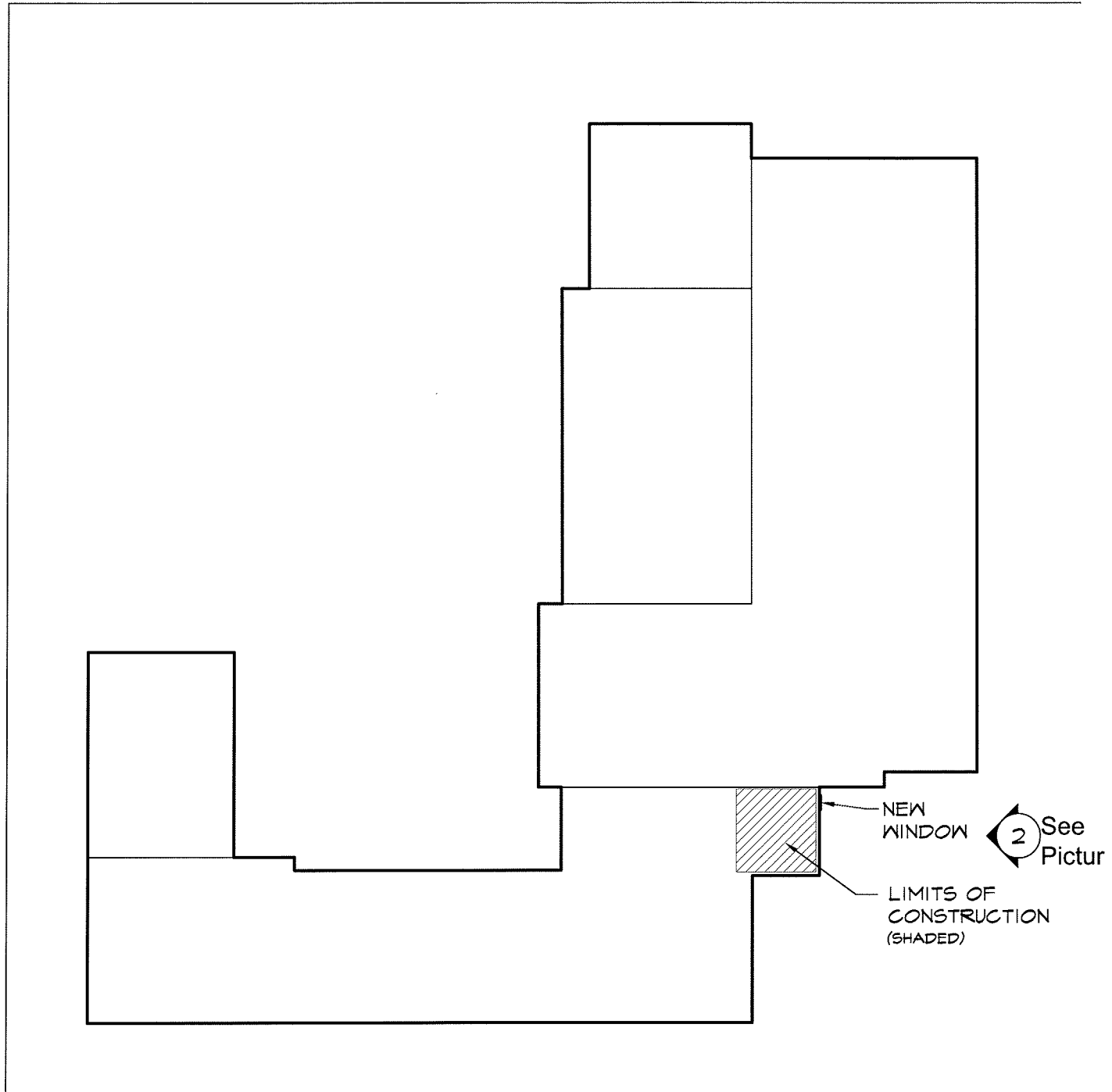


MICHIGAN CREATIVE
SOCIAL MEDIA OFFICE
5-15-14

THIRD ST.

Exhibit B

W. WILLIAM ST.



FOURTH ST.



MICHIGAN CREATIVE
SOCIAL MEDIA OFFICE
ARGUS BUILDING 5-16-14
NO SCALE



See Picture



MICHIGAN CREATIVE • ARGOS BUILDING
SOCAL MEDIA OFFICE 5/15/14

NEW
WINDOW

MICHIGAN CREATIVE
SOCIAL MEDIA OFFICE
ARGUS BUILDING 5-16-14
NO SCALE

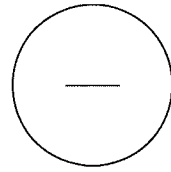
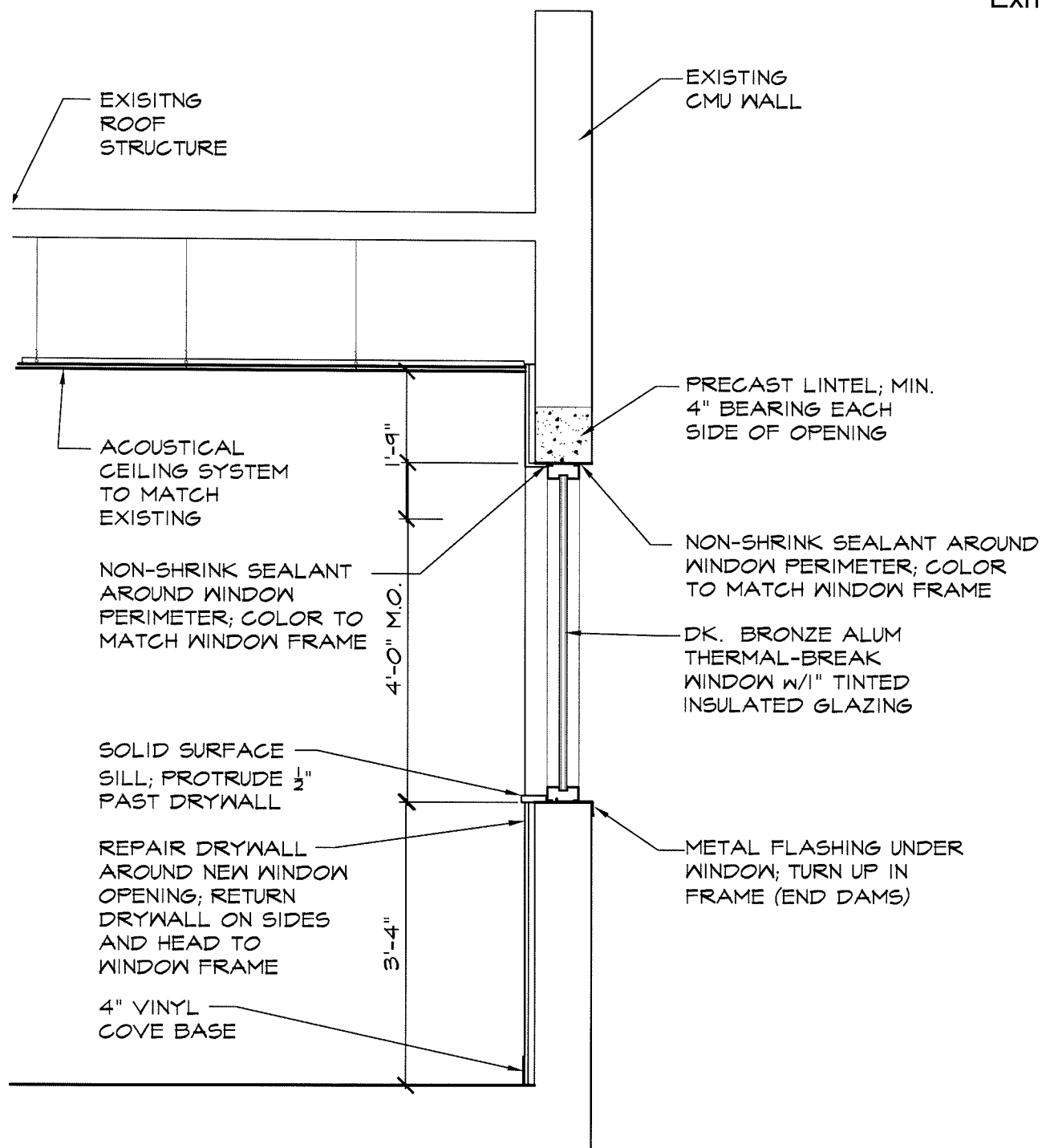




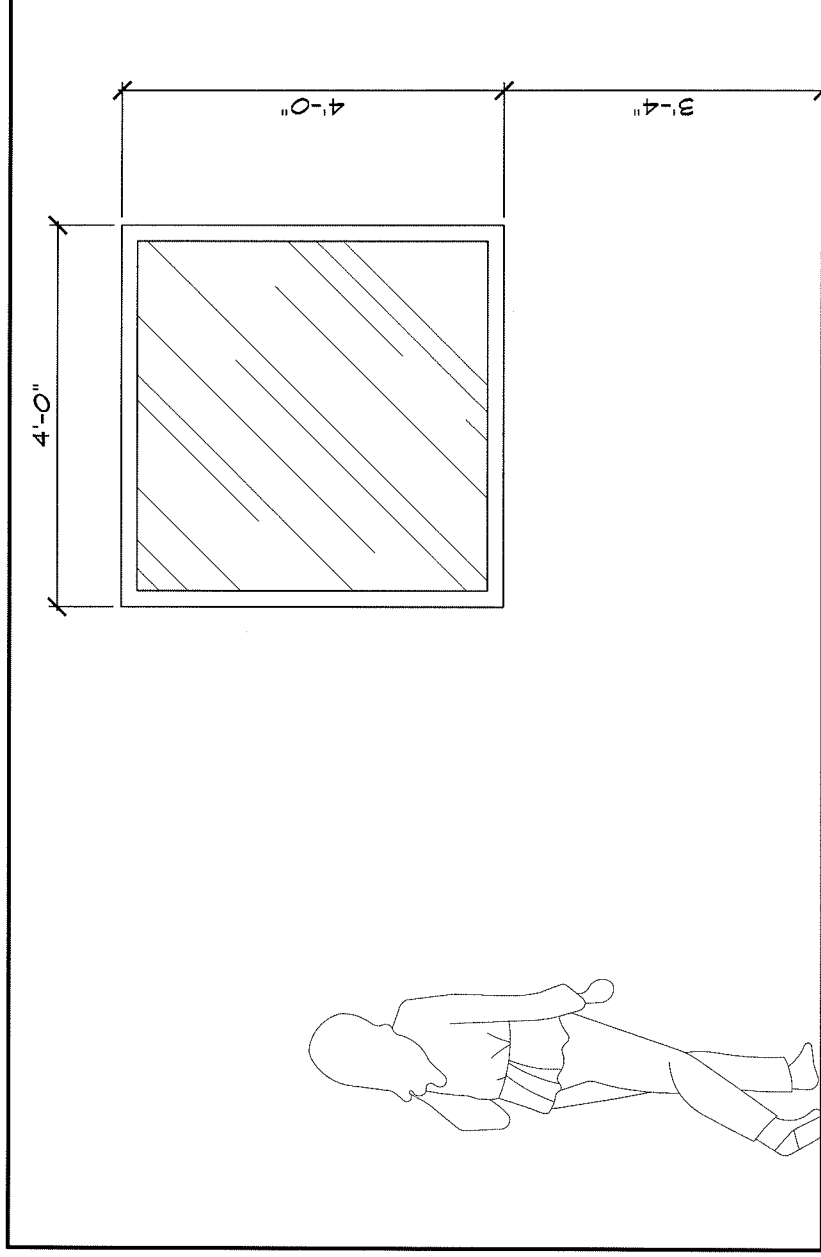
Exhibit E

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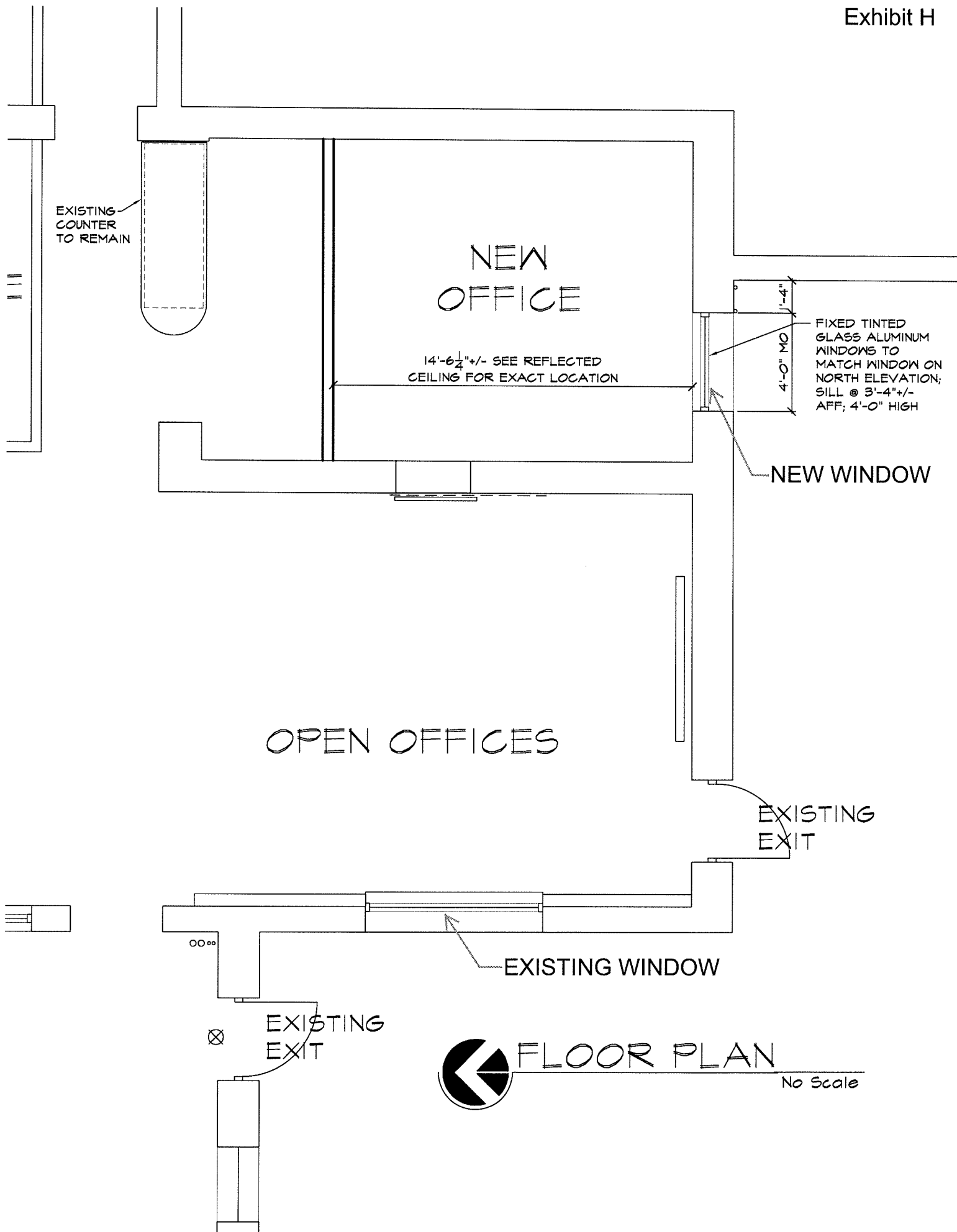
MICHIGAN CREATIVE
SOCIAL MEDIA OFFICE
ARGUS BUILDING 5-16-14
NO SCALE



MICHIGAN CREATIVE
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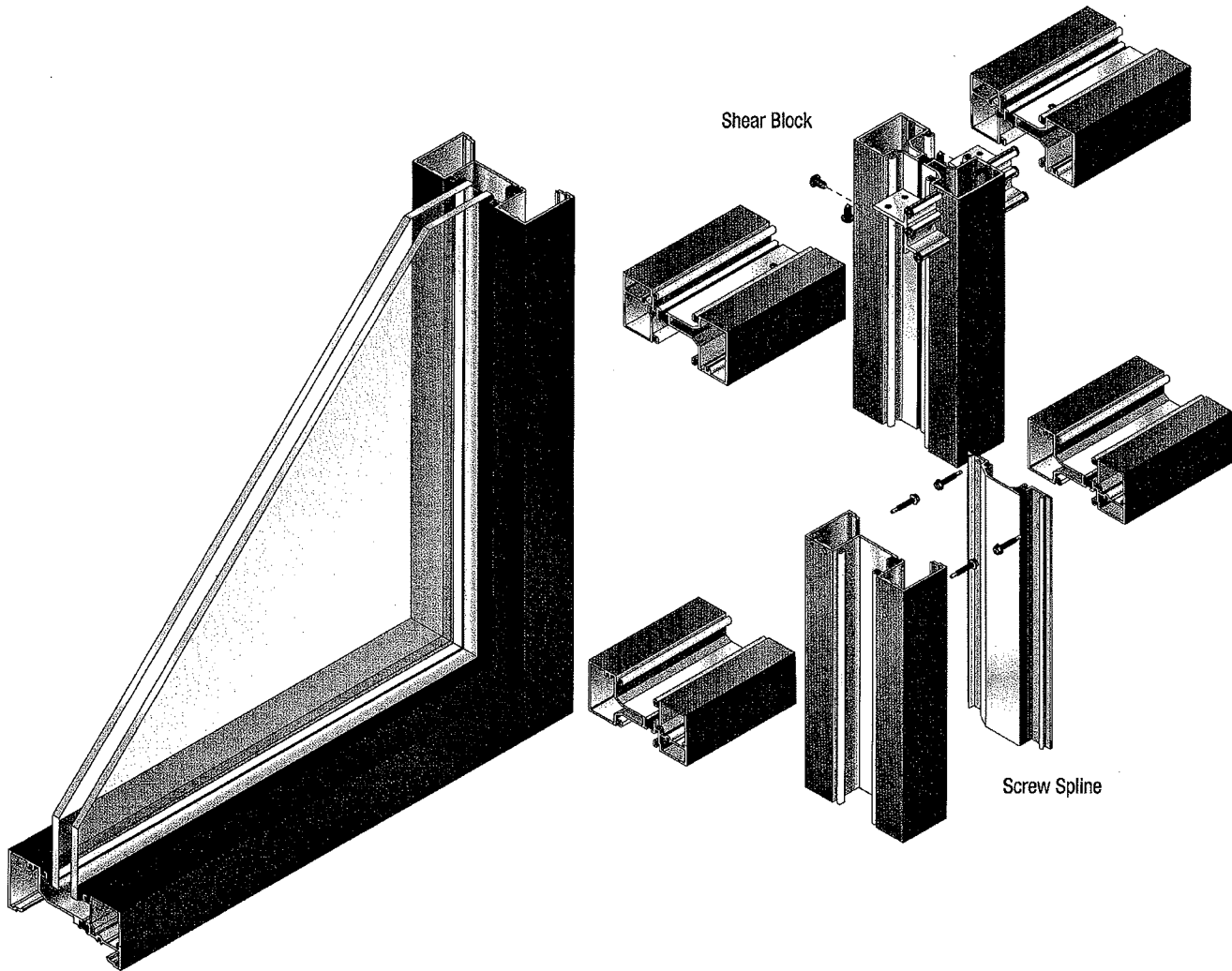
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ARGUS BUILDING 5-16-14
NO SCALE





Series 403 **2" x 4 1/2" Thermal Storefront Framing**

Exhibit I



Performance Data

System 403 Storefront Screw Spline Framing

Air Infiltration	<.06 cfm/sf @ 6.24 psf
Water	No Leakage @ 12.0 psf
Structural	See wind load charts
CRF-Frame (1503-98)	.57 ^A
CRF-Glass (1503-98)	.70 ^F
U-Value (1503-98)	.44 ^E
U-Value (NFRC-102)	.58 ^E

System 403 Storefront Shear Block Framing

Air Infiltration	<.06 cfm/sf @ 6.24 psf
Water	No Leakage @ 12.0 psf
Structural	See wind load charts
CRF-Frame (1503-98)	.57 ^A
CRF-Glass (1503-98)	.70 ^A
U-Value (1503-98)	.44 ^A
U-Value (NFRC-102)	.41 ^A

A = Estimated values and/or designations
B = Non-standard size or configuration
C = Dual glazed
D = 1" Insulated - 1/4" clear, 1/2" air, 1/4" clear
E = 1" Insulated - 1/4" clear (Low Emissivity), 1/2" air, 1/4" clear
F = 1" Insulated - 1/4" clear (Low Emissivity), 1/2" argon, 1/4" clear
G = 1" Insulated - 1/4" clear, 1/2" air, 1/4" clear (Low Emissivity)

Glazing

System 403 can be inside or outside glazed with extruded aluminum, snap-in glazing bead. Glass is "dry glazed" with top load EPDM gasket. Glazings of 3/16" to 1-1/16" infill panels are accommodated. See Glazing Chart below for exact size.

System 403 Glazing Chart	Polycarbonate			Glass or Panel												
	3/16"	1/4"	5/16"	3/16"	1/4"	1/4"***	5/16"	7/16"	1/2"	9/16"	5/8"	3/4"	7/8"	15/16"	1"	1-1/16"
Monolithic Glass	C	C	C	C	C	C	C									
Insulated Glass												C		C	A	C

** - Laminated Glass
Thickness
A - Available Glazing Option
C - Adaptor and/or gasket
required
blank - N/A