

## ANN ARBOR HISTORIC DISTRICT COMMISSION

### Staff Report

**ADDRESS:** 530 S. Seventh Street, Application Number HDC16-009

**DISTRICT:** Old West Side Historic District

**REPORT DATE:** February 11, 2016

**REPORT PREPARED BY:** Jill Thacher, Historic Preservation Coordinator

**REVIEW COMMITTEE DATE:** Monday, February 8, 2016

	<b>OWNER</b>	<b>APPLICANT</b>
<b>Name:</b>	Latania Faliz	Dexter Builders
<b>Address:</b>	530 S. Seventh Ann Arbor, MI	8820 Jackson Road Ann Arbor, MI
<b>Phone:</b>	(734) 926-9614	(734) 426-3852

**BACKGROUND:** This two-story gable-fronter appears in the 1892 Polk City Directory as 64 Seventh Street, the home of teacher Carl Leutwein, and boarder Victoria T. Leutwein. Steamfitter John Weber and his wife Lydia rented the house in 1903, and by 1910 John and Josephine Gauss lived there, where members of the Gauss family stayed until at least 1940. The first Sanborn Fire Insurance map that the property is shown on is from 1925, when the lot was approximately six times as large as it is today. The 1925 form of the house, with a two-story main house block with a narrower, tall one-story addition behind, and a lower one-story addition behind that. Those forms are still readily visible, though the southwest corner between the two rear additions has been filled in (where the garden window projects out). The house features both Italianate (wide board trim in the eaves) and Queen Ann (gable and porch spindle work) detailing. It has a cut stone foundation and one-over-one double hung windows.

**LOCATION:** The site is located on the west side of S. Seventh Street, south of Jefferson Court and north of Lutz (northwest corner S. Seventh and Lutz intersection).

**APPLICATION:** The applicant seeks HDC approval to raise the roof on a rear wing to renovate an existing bathroom with angled ceiling into a master bathroom and laundry room with more usable floor area.

#### **APPLICABLE REGULATIONS:**

#### **From the Secretary of the Interior's Standards for Rehabilitation:**

- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):**

**Additions**

*Recommended:* Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.

Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building.

Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Designing new additions in a manner that makes clear what is historic and what is new.

*Not Recommended:* Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

Designing a new addition so that its size and scale in relation to the historic building are out of proportion, thus diminishing the historic character.

**Building Site**

*Recommended:* Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character.

Retaining the historic relationship between buildings and the landscape.

*Not Recommended:* Removing or radically changing buildings and their features or site features which are important in defining the overall historic character of the property so that, as a result, the character is diminished.

**From the Ann Arbor Historic District Design Guidelines (other guidelines may apply):**

## Guidelines for All Additions

Appropriate: Placing a new addition on a non-character-defining or inconspicuous elevation and limiting the size and scale in relationship to the historic property.

Placing new walls in a different plane from the historic structure in a subordinate position to the historic fabric.

Designing a new addition in a manner that makes clear what is historic and what is new.

Limiting the size and scale of the addition in relationship to the historic building so that it does not diminish or visually overpower the building or the district. The addition's footprint should exceed neither half of the original building's footprint nor half of the original building's total floor area.

Not Appropriate: Designing an addition that overpowers or dramatically alters the original building through size or height.

## STAFF FINDINGS:

1. The homeowner would like to raise the roof over the existing bathroom to renovate the area into a second-story master bathroom and laundry room. It would considerably expand the usable floor area by replacing the existing knee-walls with full height walls.
2. Materials include wood lap siding and architectural shingles to match the existing, and one-over-one Pella wood or aluminum clad windows (the narrative says the windows match the existing, but the Pella cut sheets specifies aluminum clad). The window proportions are what best distinguish the heightened addition from older additions and the main house – they are considerably smaller and squarer than the tall, narrow double-hungs of original proportion on the remainder of the house. Staff has slight reservations about duplicating the wide board trim beneath the eaves, but feels the window proportions are adequate to make the heightened second floor read as a change to the structure.
3. Staff believes the work is sensitive to the neighborhood and generally meets the Ann Arbor Historic District Design Guidelines and the Secretary of the Interior's Guidelines and Standards for Rehabilitation.

**POSSIBLE MOTIONS:** (Note that the motion is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 530 South Seventh Street, a contributing property in the Old West Side Historic District, to raise the roof height on the first rear addition, as proposed. The work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation* and *Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 5, 9 and 10 and the guidelines for additions and building site; and the *Ann Arbor*

*Historic District Design Guidelines* for additions.

**MOTION WORKSHEET:**

I move that the Commission issue a Certificate of Appropriateness for the work at 530 S. Seventh Street in the Old West Side Historic District

\_\_\_\_\_ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

**ATTACHMENTS:** Application, drawings, window schedule, photos.

530 S. Seventh Street



**City of Ann Arbor**  
**PLANNING & DEVELOPMENT SERVICES — PLANNING SERVICES**  
 100 North Fifth Avenue P O Box 8647 Ann Arbor, Michigan 48107-8647  
 734 794 6265 734 994 8312 planning@a2gov.org

**ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION**

**Section 1: Property Being Reviewed and Ownership Information**

Address of Property 530 S 7th ST

Historic District \_\_\_\_\_

Name of Property Owner (if different than the applicant)

LATANIA FAIR

Address of Property Owner 530 S. 7th ST

Daytime Phone and E-mail of Property Owner 734-926-9614

Signature of Property Owner L. Seden Date 1-13-16

**Section 2: Applicant Information**

Name of Applicant Dexter Builders

Address of Applicant 8820 Jackson

Daytime Phone (734) 426 3852 Fax (\_\_\_\_) \_\_\_\_\_

E-mail \_\_\_\_\_

Applicant's Relationship to Property \_\_\_\_\_ owner \_\_\_\_\_ architect  contractor \_\_\_\_\_ other

Signature of applicant [Signature] Date 1/13/16

**Section 3: Building Use (check all that apply)**

Residential  Single Family \_\_\_\_\_ Multiple Family \_\_\_\_\_ Rental

\_\_\_\_\_ Commercial \_\_\_\_\_ Institutional

**Section 4: Stille-DeRossett-Hale Single State Construction Code Act**

(This item **MUST BE INITIALED** for your application to be **PROCESSED**)

Public Act 169, Michigan's Local Historic Districts Act, was amended April 2004 to include the following language: "the applicant has certified in the application that the property where the work will be undertaken has, or will have before the proposed completion date, a fire alarm or smoke alarm complying with the requirements of the Stille-DeRossett-Hale Single State Construction Code Act 1972 PA 230 MCL 125.1501 to 125.1531"

Please initial here: [Initials]

**Section 5: Description of Proposed Changes (attach additional sheets as necessary)**

1. Provide a brief summary of proposed changes. Add roof addition  
and create room for master BATH  
ADD TWO WINDOWS, MATCH ALL EXTERIOR  
TRIM & SIDING TO MATCH HOUSE

2. Provide a description of existing conditions. THIS IS A EXSISTING  
BATH WITH  WITH ANGLED CEILING

3. What are the reasons for the proposed changes? TO create a 8'  
ceiling and add a master bath & Laundry

4. Attach any additional information that will further explain or clarify the proposal, and indicate these attachments here.

5. Attach photographs of the existing property, including at least one general photo and detailed photos of proposed work area.

**STAFF USE ONLY**

Date Submitted: 1/22/16, Application to \_\_\_\_\_ Staff or  HDC

Project No.: HDC 16-009 Fee Paid: \_\_\_\_\_

Pre-filing Staff Reviewer & Date: (BA) 1/22/16. Date of Public Hearing: \_\_\_\_\_

Application Filing Date: \_\_\_\_\_ Action: \_\_\_\_\_ HDC COA \_\_\_\_\_ HDC Denial

Staff signature: \_\_\_\_\_ \_\_\_\_\_ HDC NTP \_\_\_\_\_ Staff COA

Comments:



DOUBLE-HUNG

## GLAZING PERFORMANCE - TOTAL UNIT

### Aluminum-Clad Exterior



Glazing Thickness	Type of Glazing	NFRC Certified Product #	Glass (mm)		Gap Fill	Performance Values <sup>1</sup>				Shaded Areas Meet ENERGY STAR® Performance Criteria in Zones Shown									
			Ext.	Int.		U-Factor	SHGC	VLT %	CR	U. S.				Canada <sup>2</sup>					
										Zone				ER	Zone				
										N	NC	SC	S				1	2	3
<b>VENT</b>																			
11/16"	Clear IG	PEL-N-179-01101-00001	2.5	2.5	air	0.46	0.60	63	44										
	with grilles-between-the-glass	PEL-N-179-01102-00001				0.46	0.54	56	44										
	with integral grilles	PEL-N-179-01103-00001				0.46	0.54	56	44										
11/16"	Advanced Low-E IG	PEL-N-179-01137-00001	2.5	2.5	argon	0.29	0.28	53	60										
	with grilles-between-the-glass	PEL-N-179-01138-00001				0.29	0.25	47	60										
	with integral grilles	PEL-N-179-01139-00001				0.30	0.25	47	60										
11/16"	SunDefense™ Low-E IG	PEL-N-179-01185-00001	2.5	2.5	argon	0.29	0.21	49	60										
	with grilles-between-the-glass	PEL-N-179-01186-00001				0.29	0.19	44	60										
	with integral grilles	PEL-N-179-01187-00001				0.29	0.19	44	60										
11/16"	AdvancedComfort Low-E IG	PEL-N-179-01161-00001	2.5	2.5	argon	0.25	0.28	52	49								25		
	with grilles-between-the-glass	PEL-N-179-01162-00001				0.25	0.25	46	49								23		
	with integral grilles	PEL-N-179-01163-00001				0.26	0.25	46	48								22		
11/16"	NaturalSun Low-E IG	PEL-N-179-01113-00001	2.5	2.5	argon	0.30	0.53	60	59								33		
	with grilles-between-the-glass	PEL-N-179-01114-00001				0.30	0.47	54	59								30		
	with integral grilles	PEL-N-179-01115-00001				0.30	0.47	54	59								30		
<b>TINTED GLAZING</b>																			
11/16"	Bronze Advanced Low-E IG	PEL-N-179-01209-00001	5	3	argon	0.30	0.25	34	58										
	with grilles-between-the-glass	PEL-N-179-01210-00001				0.31	0.23	30	58										
	with integral grilles	PEL-N-179-01211-00001				0.31	0.23	30	58										
11/16"	Gray Advanced Low-E IG	PEL-N-179-01217-00001	5	3	argon	0.30	0.23	29	58										
	with grilles-between-the-glass	PEL-N-179-01218-00001				0.31	0.21	26	58										
	with integral grilles	PEL-N-179-01219-00001				0.31	0.21	26	58										
11/16"	Green Advanced Low-E IG	PEL-N-179-01225-00001	5	3	argon	0.30	0.28	46	58										
	with grilles-between-the-glass	PEL-N-179-01226-00001				0.31	0.26	41	58										
	with integral grilles	PEL-N-179-01227-00001				0.31	0.26	41	58										
<b>HIGH ALTITUDE GLAZING</b>																			
11/16"	Advanced Low-E IG	PEL-N-179-01149-00001	2.5	2.5	air	0.32	0.28	53	56										
	with grilles-between-the-glass	PEL-N-179-01150-00001				0.32	0.26	47	56										
	with integral grilles	PEL-N-179-01151-00001				0.33	0.26	47	56										
11/16"	SunDefense Low-E IG	PEL-N-179-01197-00001	2.5	2.5	air	0.32	0.21	49	56										
	with grilles-between-the-glass	PEL-N-179-01198-00001				0.32	0.19	44	56										
	with integral grilles	PEL-N-179-01199-00001				0.33	0.19	44	56										
11/16"	AdvancedComfort Low-E IG	PEL-N-179-01173-00001	2.5	2.5	air	0.28	0.28	52	44								21		
	with grilles-between-the-glass	PEL-N-179-01174-00001				0.28	0.25	46	44								19		
	with integral grilles	PEL-N-179-01175-00001				0.28	0.25	46	44										
11/16"	NaturalSun Low-E IG	PEL-N-179-01125-00001	2.5	2.5	air	0.33	0.53	60	56								29		
	with grilles-between-the-glass	PEL-N-179-01126-00001				0.33	0.47	54	56								26		
	with integral grilles	PEL-N-179-01127-00001				0.34	0.47	54	56								25		

R-Value = 1/U-Factor  
 SHGC = Solar Heat Gain Coefficient  
 VLT % = Visible Light Transmission  
 CR = Condensation Resistance  
 ER = Canadian Energy Rating

(1) Glazing performance values are calculated based on NFRC 100, NFRC 200 and NFRC 500. ENERGY STAR® values are updated to 2016 (Version 6) criteria.  
 (2) The values shown are based on Canada's updated ENERGY STAR® 2015 initiative.  
 See the Product Performance section for more detailed information or visit [www.energystar.gov](http://www.energystar.gov) for Energy Star guidelines.  
 Non Rectangular Unit thermal values will vary slightly.

Climate Zones



**GENERAL NOTES**

All work shall conform to the latest applicable codes. In addition construction shall comply with procedures, specifications and standard details of manufacturers of building components, systems and assemblies.

Dexter Builders is to obtain all permits required for building and arrange for all inspections correlated with such permits, and supply project with all licensed subcontractors to complete scope of work.

All subcontractors are to complete required work detailed in scope of work for the project unless otherwise directed by the project manager or qualified representative of Dexter Builders.

Any deviations from the outlined scope of work and estimate are subject to an additional charge which the client will be notified of and agree to prior to work commencing.

Contract documents include the construction agreement, and all associated documents including the proposal, construction plans, change orders etc.

All new construction dimensions are from face of stud to face of stud, dimensions from existing structure are from face of finished surface unless otherwise noted. All dimensions shall have preference over scale and if discrepancies should occur contact architect or project manager.

Contractors shall provide project manager with regular updates of construction schedule and any unforeseen problems that arise in the field and construction progress.

Details shown are intended to describe scope and profile, where details have not been provided the work is intended to be similar in character to those areas detailed.

Where specific dimensions, details, or design intent cannot be determined consult project manager before commencing work

The site shall remain weather tight and secure at the end of each workday, and during any periods in which the facility is unoccupied by a representative of Dexter Builders.

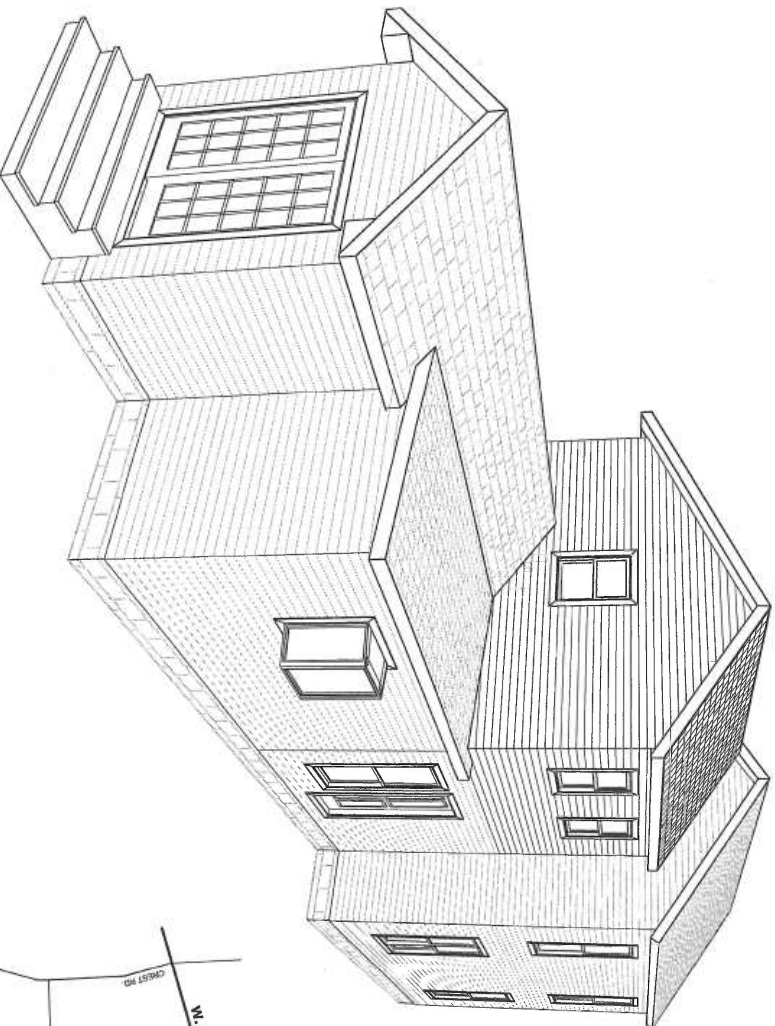
The job site shall be left clean and all debris shall be disposed of properly at the end of each work day.

Install complete fire blocking and draft stopping as required by code.

No procedures, products, or processes shall be permitted to be used in the project which are prohibited by law or show cause of harmful effect to the natural environment or to the health of any person on or offsite during construction of the project.

During the construction process reasonable care should be taken to protect, preserve and maintain all existing property and vegetation not part of the scope of work.

If work is delayed by owner requested changes, or delays over which Dexter Builders has not control, the time for completion shall be extended accordingly and amended in the contract.



**PROJECT SUMMARY:**

Project Description:	Modification Of Existing Structure
Building Use:	Single Family Residential
Lot size (Acres) :	0.16 Acres
Allowable Lot Coverage:	N/A
County:	Washtenaw
Township:	City of Ann Arbor
Zoning Classification:	R2A
Original Gross sqft:	1360 sqft Footprint
Project sqft:	N/A
New Gross sqft:	N/A
Applicable codes:	2012 Michigan Residential Building Code, 2009 Michigan Uniform Energy Code, And 2012 Michigan Rehabilitation Code

**MICHIGAN ENERGY CODE STANDARDS**

A. Per 2009 Michigan Uniform Energy Code Installation Requirements for Climate Zone 5, by Component

Fenestration U-Factor	0.35
Skylight (a) U-Factor	0.60
Roofing R-Value	38
Wood Frame Wall R-Value	20 or 13+5 (e)
Mass Wall (f) R-Value	13+17 (g)
Floor R-Value	10+13 (h)
Basement Slab R-Value Depth	10+21
Crawl Space (i) R-Value	10+13

a. The fenestration U-factor column excludes skylights.  
b. The first R-value applies to continuous insulation, the second to framing cavity insulation; either insulation meets the requirement.  
c. R-5 shall be added to the required slab edge R-values for heated slabs. Insulation depth shall be the depth of the footing or 2', whichever is less. In zones 1-3 for heated slabs.  
d. R-5 shall be added to the required ceiling R-values for heated slabs. Insulation depth shall be the depth of the ceiling or 2', whichever is less. In zones 1-3 for heated slabs.  
e. 13+17 means R-13 cavity insulation and R-17 exterior insulation. If structural sheathing is used, 25% or less of the exterior, R-5 sheathing is not required where structural sheathing is supplemented with insulated sheathing of at least R-2.  
f. The second R-value applies when more than half the insulation is on the interior.

**PROJECT#:**

150834

**PROJECT MANAGER:**

Tony Push

**SHEET INDEX**

Number	Title
A-100	Cover Pages
G-101	Site Plan
A-101	Main Floor Plan
A-102	Roof Plan and Wall Section
A-201	Elevation
A-202	Elevation

**DRAWING SET INDEX**

Revision	Date
Bid Set	11/11/15



**DEXTER BUILDERS**  
dexterbuilders.com  
8820 JACKSON RD., DEXTER, MI 48130  
PH: (734) 426-3652 FAX: (734) 426-4368  
**COVER SHEET**  
**G-001**





820 JACOBSON RD. DEXTER, MI 48130  
 PH: 734/426-3882 FAX: 734/426-4538

PROJECT: 160954

PROJECT MANAGER: Tony Palm

REVISION: DATE

Bid Set 1/4/15

**LATANIA FAIR**  
 530 S. 7TH ST., ANN ARBOR, MI 48103  
**BATHROOM RENOVATION**

CLIENT/PROJECT:

CHECKED BY:	Joe Palmer
DRAWN BY:	Joe Palmer
TRAINING:	
SHEET:	C-101

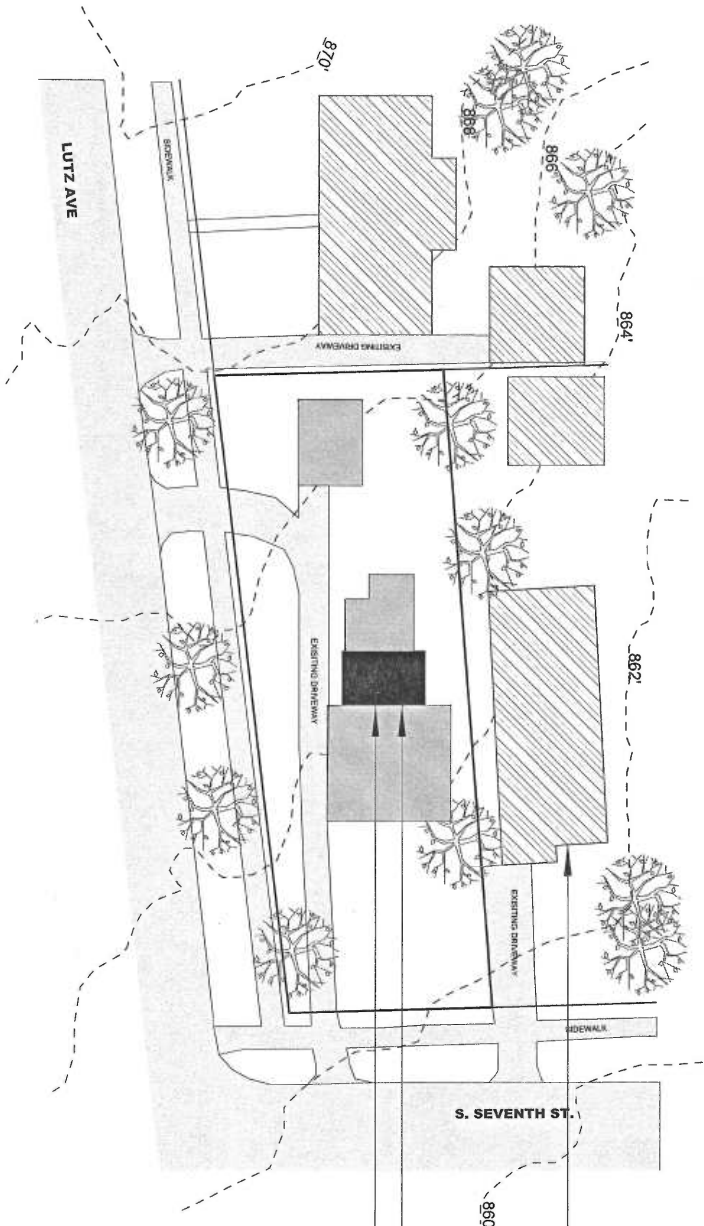
**SITE PLAN GENERAL NOTES:**  
 New construction is in accordance with all applicable codes and local ordinances.  
 All site information taken from the Washtenaw County GIS, website and the owner is only equal to that of the website information.  
 If vegetation needs to be removed that is not part of the scope of work, the P/M should be contacted before commencing work.  
 Removal of all plants and trees to be done by homeowner unless agreed upon and outlined in scope of work.  
 No additional landscaping beyond grading and seeding/mulching to be done after the construction process.  
 All landscaping and storm water management systems are to be installed by the homeowner after the construction process is complete.  
 Current storm water management system and proposed storm water management system consist of seeding and mulching only, unless otherwise annotated.  
 Easement of each disturbance not to exceed the designated area annotated on the site plan.  
 All excavated soil from new foundation to be removed from site and dry fill, if required, to be stockpiled in the designated location.  
 Site fence, if required, to be installed per Washtenaw County specification and remain in place until final soil erosion and sedimentation control is in place.

**SITE PLAN LEGEND**

- Proposed Renovation Structures
- Existing Site Structures
- Existing Impervious Surfaces
- Existing Adjacent Structures
- Existing topography in 2' intervals
- Existing major vegetation on project site

PORTION OF EXISTING SECOND FLOOR TO BE DEMOLISHED. EXISTING FINISHES ARE TO BE MATCHED DURING NEW CONSTRUCTION IN BOTH MATERIAL, COMPOSITION AND COLOR

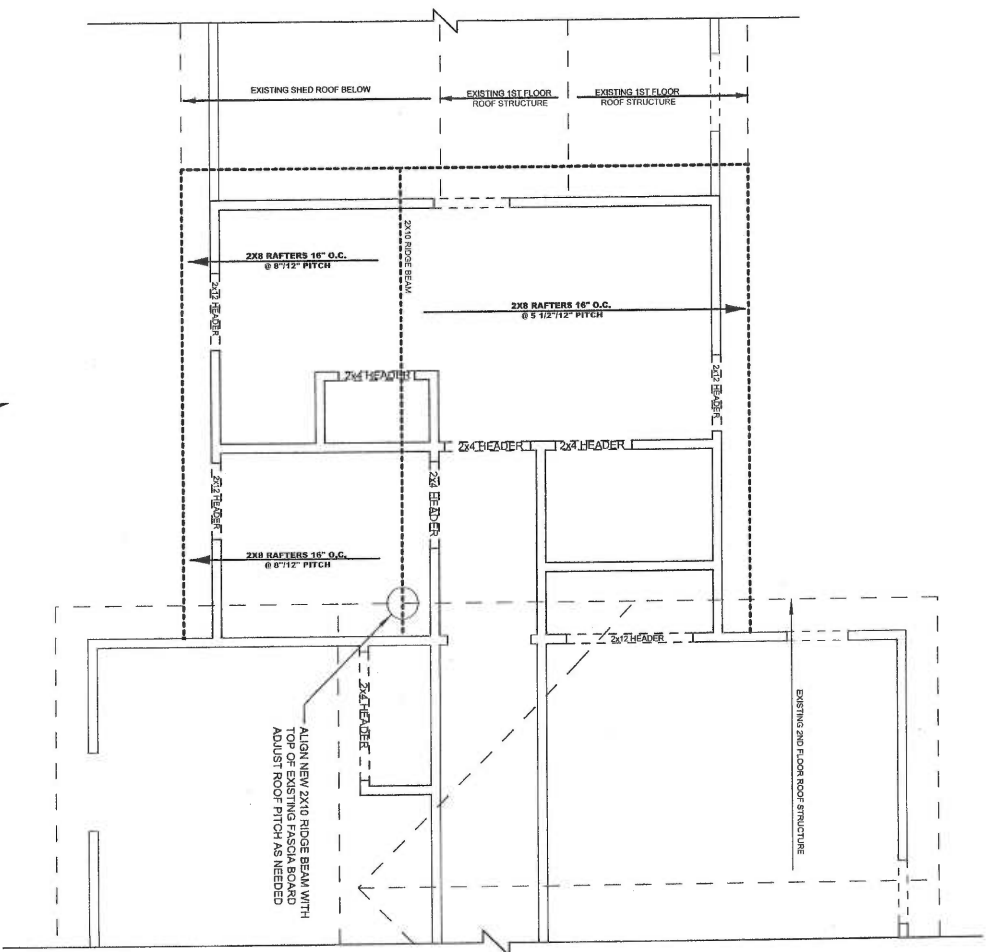
EXISTING ADJACENT STRUCTURES



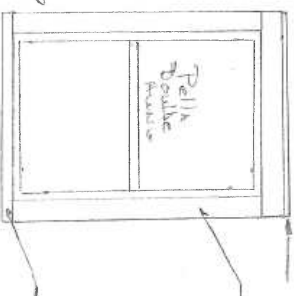
1 SITE PLAN  
 Scale: 1" = 30'



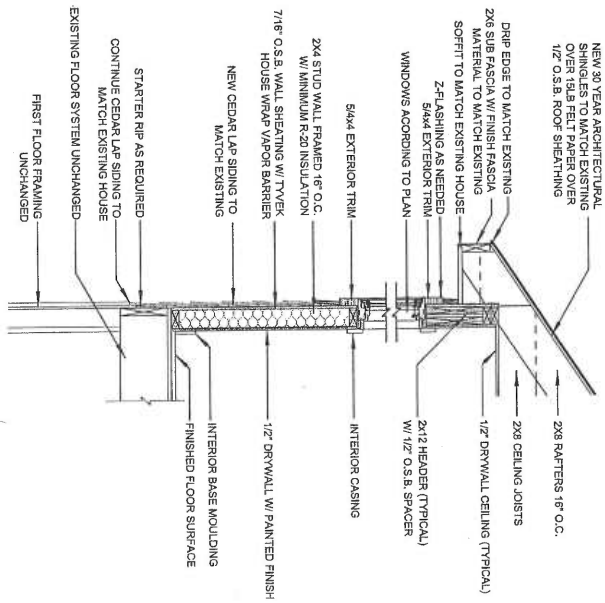
1 ROOF PLAN  
Scale: 1/4" = 1' - 0"



Window Trim  
Detail



1 DETAIL WALL SECTION  
Scale: 1/2" = 1' - 0"



5/4 X 4 EXTERIOR TRIM

2x3 Sill Exterior Trim  
ALL TRIM TO MATCH  
EXISTING HOUSE DETAIL

CHECKED BY:	Joe Palmer
DRAWN BY:	Joe Palmer
DATE:	1/4/15
SCALE:	1/4" = 1' - 0"
SHEET:	A-102

**LATANIA FAIR**  
530 S. 7TH ST., ANN ARBOR, MI 48103

**BATHROOM RENOVATION**

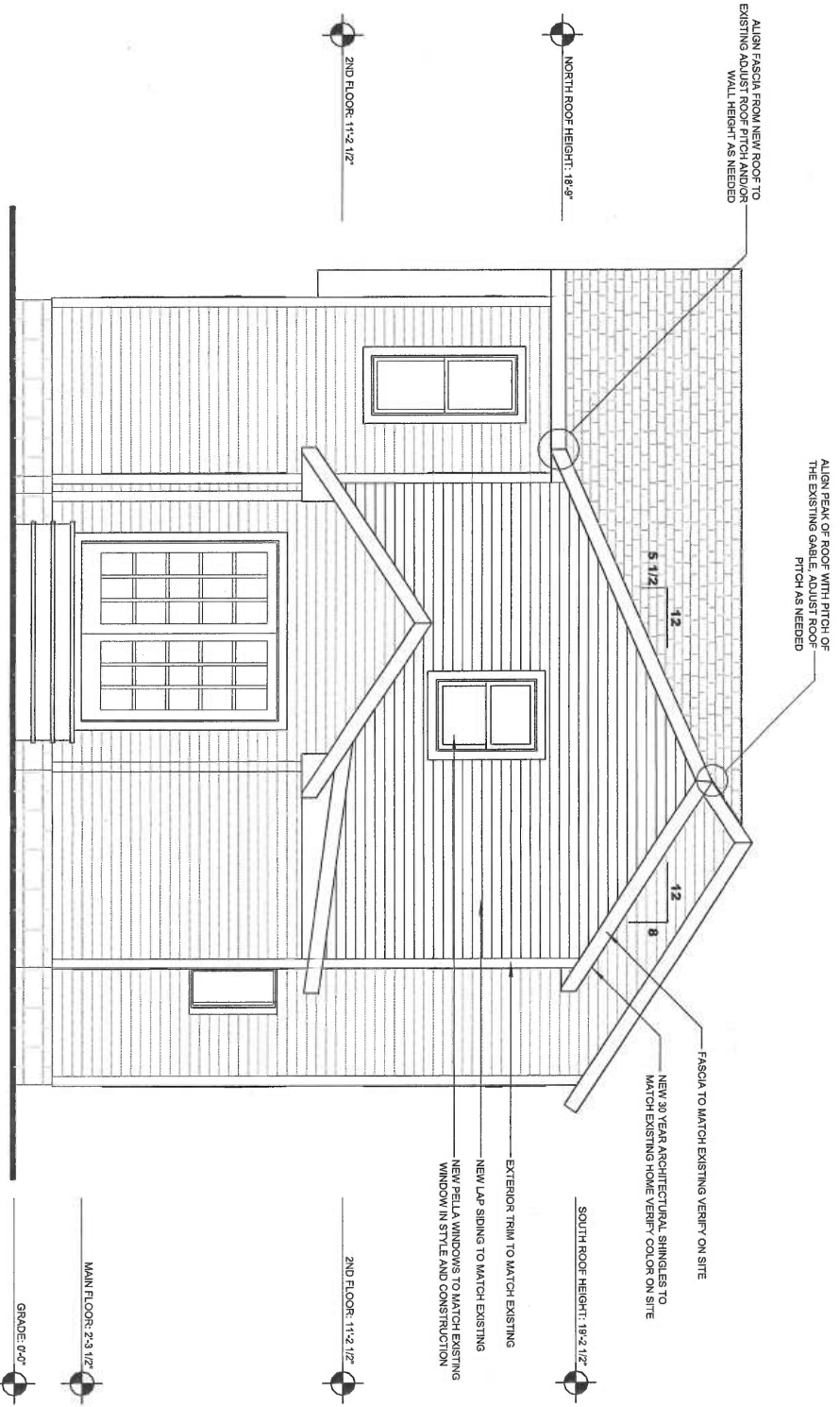
CLIENT/PROJECT:  
Tony Pugh

DESIGNER:	DATE:
BID SET:	1/4/15

PROJECT MANAGER:  
Tony Pugh

820 JACKSON RD., DEXTER, MI 48130  
PH: 734/425-3832 FAX: 734/425-4338  
180534

**DEXTER BUILDERS**  
dexterbuilders.com



**1** WEST ELEVATION  
 scale: 1/4" = 1' - 0"



820 JACKSON RD. DEXTER, MI 48131  
 PH: (734) 426-3882 FAX: (734) 426-4383

PROJECT: 190934  
 PROJECT MANAGER: Tony Pugh

REVISION: DATE: 1/4/15

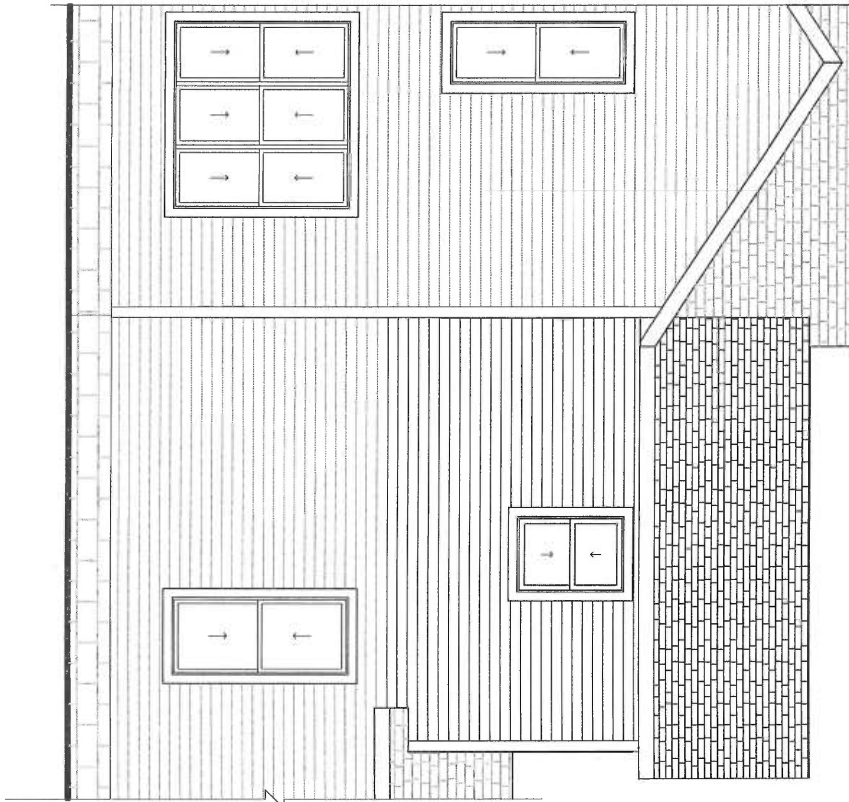
**LATANIA FAIR**  
 530 S. 7TH ST., ANN ARBOR, MI 48103  
**BATHROOM RENOVATION**

CLIENT/PROJECT:

CHECKED BY:	JOE PARTNER
DRAWN BY:	JOE PARTNER
DESIGNING:	ELEVATIONS
SCALE:	1/4" = 1' - 0"
SHEET:	A-201



1 SOUTH ELEVATION  
scale: 1/4" = 1' - 0"



1 NORTH ELEVATION  
scale: 1/4" = 1' - 0"



850 JACKSON ST. DEXTER, MI 48130  
PH: (734) 426-3882 FAX: (734) 426-4389

PROJECT: 150934

PROJECT MANAGER: Tony Pugh

REVISION: DATE

Bid Set 1/4/15

**LATANIA FAIR**  
530 S. 7TH ST., ANN ARBOR, MI 48103

**BATHROOM RENOVATION**

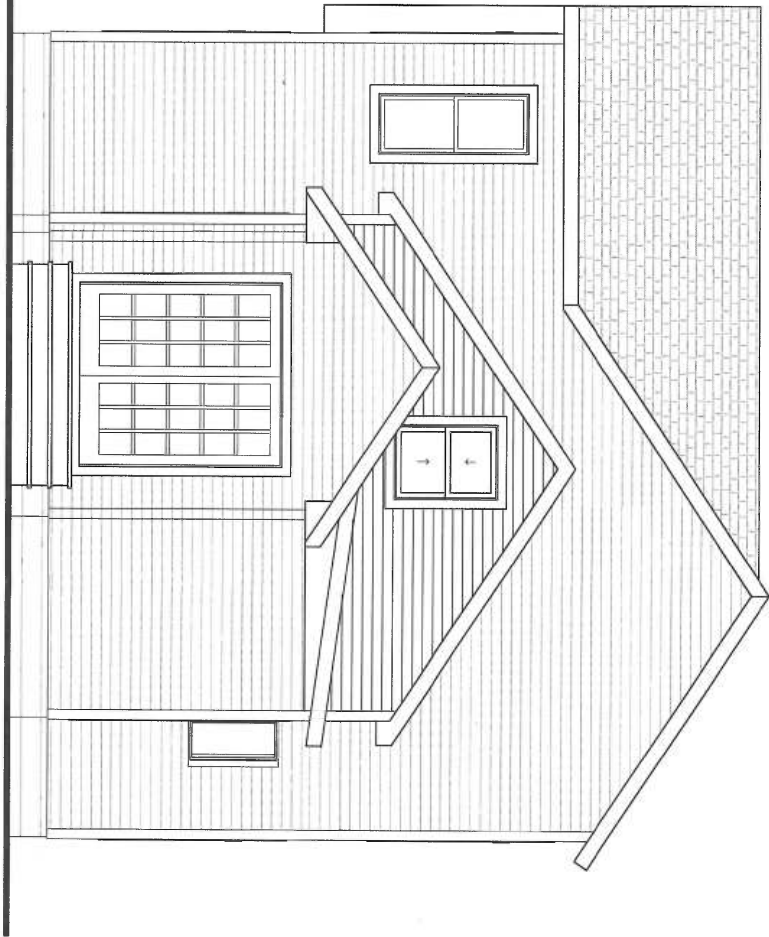
CLIENT/PROJECT:

CHECKED BY: Joe Palmer

DESIGNING: ELEVATIONS

SCALE: 1/4" = 1' - 0"

SHEET: A-202



1 EXISTING WEST ELEVATION  
 scale: 1/4" = 1' - 0"



8620 JACKSON RD., DEXTER, MI 48130  
 PH: (734) 426-3892 FAX: (734) 426-4388

PROJECT # 190634

PROJECT MANAGER  
 ADAM SHELL

REGION: MI DATE: 1/1/15

BUD SET: 1/1/15

**LATANIA FAIR**  
 530 S. 7TH ST., ANN ARBOR, MI 48103  
**BATHROOM RENOVATION**

CLIENT/PROJECT:

CHECKED BY: Jan Palmer  
 DRAWN BY: Jan Palmer  
 ELEVATIONS  
 SCALE: 1/4" = 1' - 0"  
 SHEET: A-203















