

PLANNING AND DEVELOPMENT SERVICES STAFF REPORT

For the Planning Commission Meeting of May 5, 2020

**SUBJECT: MMG Plymouth Road Mixed Use Development
(3611-3621 Plymouth Road)
Rezoning – Project no. Z19-007
Site Plan for City Council Approval with Planned Project
Modifications – Project No. SP19-003
Special Exception Use – Project No. SEU19-002**

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission hereby recommends that the Mayor and City Council approve the MMG Plymouth Road Mixed Use Development rezoning from PUD to C3 (Fringe Commercial).

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission hereby recommends that the Mayor and City Council approve the MMG Plymouth Road Mixed Use Development Site Plan and Planned Project Modifications to increase the maximum height to 65 feet 10 inches and eliminate the maximum front setback requirement for new buildings, subject to providing solar orientation and energy conserving design by maintaining solar panels covering a minimum of 45% of the proposed hotel and 25% of the renovated restaurant roof surface, and maintaining a minimum of 30% open space, and Development Agreement.

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission, after hearing all interested persons and reviewing all relevant information, find the petition substantially meets the standards in Chapter 55 (Unified Development Code), Section 5.29.5 (Special Exception Use), and therefore approves MMG Plymouth Road Mixed Use Special Exception Use for one drive-through lane at the freestanding restaurant. This approval is based on the following findings:

1. The proposed use will be consistent with the C3 Fringe Commercial zoning district, which allows commercial activities accessed primarily by personal vehicles.
2. The site is located adjacent to a highway and its access ramps, and the drive-through facility is more appropriate in close proximity to highways.
3. The proposed use will not adversely impact pedestrians, bicyclists, vehicles, and general circulation based on the location. Plymouth Road and the private street network through this site provide adequate access and the proposed facility is consistent with the surrounding uses on and adjacent to the site.

This Special Exception Use approval is based upon the following condition:

1. Approval of the MMG Plymouth Mixed Use Development Rezoning Petition and Site Plan with Planned Project Modifications.

SUMMARY:

Petition Description – Three related applications have been submitted for approval. First, a petition to rezone this 4.5-acre site from PUD to C3 (Fringe Commercial). Second, a proposed site plan to demolish two of the existing buildings and construct a six-story, 76,200-square foot, 127-room hotel and remodel the existing restaurant into a new restaurant. Planned project modifications are requested as part of the site plan to allow increased height and increased front setback. Third and finally, a special exception petition to allow a drive-through facility to be added to the remodeled restaurant.

History – These petitions were tabled after a public hearing and discussion at the Planning Commission's November 19, 2019 meeting. The recommendation to table was primarily to allow the petitioner additional time to respond to outstanding Engineering and Urban Forestry and Natural Resources comments, but two additional issues of

concern were also raised by the Planning Commission: the lack of specific commitments to energy conserving design and the lack of active recreation opportunities.

Existing and Proposed Development – The site currently contains two pairs of two-story Red Roof Inn motel buildings, each pair having a total of 17,244-square feet, and a 5,000-square foot closed Big Boy restaurant. The proposed site plan calls for demolishing the eastern pair of motels, constructing a new six-story, 76,200-square foot, 127 room Hampton Inn hotel, and remodeling the restaurant into a Panera Bread, including adding a drive-through facility. Planned project modifications are requested to increase the maximum height allowed and increase the maximum front setback standard.

Revisions – Revised plans were submitted, and reviewed, that resolved the outstanding comments from Engineering and Urban Forestry and Natural Resources, and reduce the amount of impervious surface while creating a bit of active recreation space. Specific commitments to solar panel coverage on both the hotel and renovated restaurant have been provided.

STAFF RECOMMENDATIONS:

Staff recommends that the **rezoning** petition be **approved** because the proposed district is compatible with the existing and proposed uses and the Master Plan future land use recommendation, and is compatible with the surrounding districts.

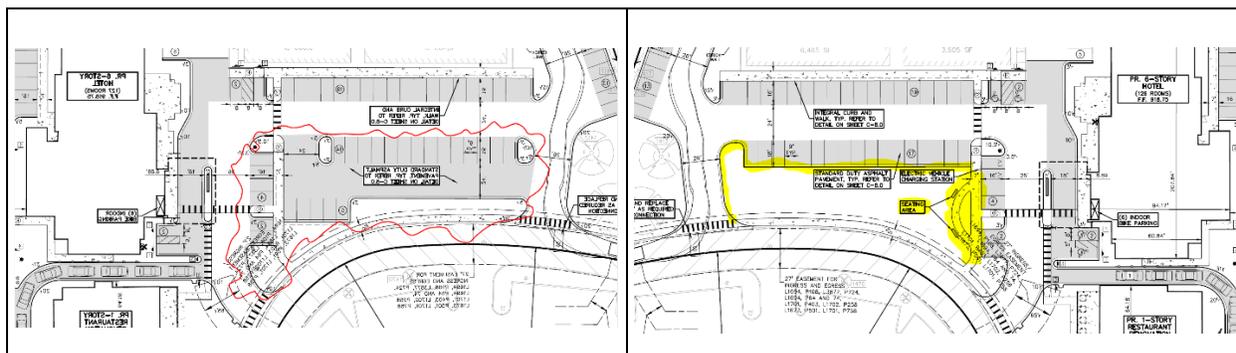
Staff recommends that the **site plan**, including **planned project modifications** to increase the maximum height and maximum front setback standard, be **approved** because, with the modifications, the contemplated development complies with all applicable state, local and federal laws, ordinances, standards and regulations; the development limits the disturbance of natural features to the minimum necessary to allow a reasonable use of the land; and the development does not cause a public or private nuisance and does not have a detrimental effect on the public health, safety or welfare. The planned project modifications will provide open space and solar orientation.

Staff recommends that the **special exception use** be **approved** because the proposed layout and development conditions substantially meets the criteria for approval.

PETITION CHANGES:

Site Plan – A portion of the parking area south of the existing, remaining hotel and west of the proposed hotel, north of the street, has been replaced with lawn and a seating area. See Figure 1.

Figure 1 – Comparison of Site Plan #4 (Previous) and Site Plan #7 (Proposed) Dimensional Layout Sheets:



Solar Details – Approximately 45% of the proposed hotel’s roof area and approximately 25% of the renovated restaurant’s roof area will be covered by solar panels. The current plans call for 272 panels to be installed on the hotel roof and 52 panels on the restaurant roof. Each panel is 3’3” by 6’6”, roughly 21 square feet.

These details have been added to the proposed motion and to the draft development agreement. Upon approval, the developer will be committed to the roof coverage percentages and the quality of panels. These two features were specifically chosen as items which can be enforced in the future if need be.

STAFF COMMENTS:

Staff described and analyzed the **rezoning petition** in our November 19, 2019 Staff Report, linked [here](#), see page 3. It was and remains staff’s opinion that maintaining the existing PUD district does not make sense when the C3 district suits the needs of the applicant, land owner, and community, and provides more flexibility for future uses. The requested rezoning is supported by the future land use recommendations of the Master Plan.

Staff provided a review of the site plan in our November 19, 2019 Staff Report, including a description and analysis of the **planned project modification petition**, beginning on page 5. Staff found the requested modifications (1. Increase maximum height from 4 stories/55’ to 76’; 2. Eliminate maximum 25’ front setback for new buildings) to meet the standards for approval, in particular, providing open space where none is required and solar orientation or energy conserving design. Staff noted that planned project requests need only one justification and either is sufficient. In that November report, staff asked for confirmation of the minimum percentage of open space, and Planning Commission during its meeting asked for commitments to rooftop solar panels. Both data points have been provided and mentioned in this report.

Staff also included a description and analysis of the special exception use petition in the November 19, 2019 Staff Report, see page 7. It was and remains staff’s finding that the drive-through facility substantially meets the criteria for approval. The proposed drive-

through facility design and features have remained the unchanged since November 19th. However, staff have included a more comprehensive proposed motion including findings in this report.

Prepared by Alexis DiLeo
Reviewed by Brett Lenart
4/20/20

Attachments: November 19, 2020 Revised Planning Staff Report
Draft Development Agreement

Links: [Site Plan #7 Sheets 1-8](#), [Site Plan #7 Sheets 9-end](#)

c: Owner and Applicant – Markus Management Group, 251 E. Merrill St, Birmingham, MI 48009 (Doriad Markus, dsmarkus@yahoo.com)
Applicant's Engineer – PEA (jsmith@peainc.com)
Systems Planning
Project Nos. Z19-007, SP19-003, SEU19-002

PLANNING AND DEVELOPMENT SERVICES REVISED STAFF REPORT

For the Planning Commission Meeting of November 19, 2019

**SUBJECT: MMG Plymouth Road Mixed Use Development
(3611-3621 Plymouth Road)
Rezoning – Project no. Z19-007
Site Plan for City Council Approval with Planned Project
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Special Exception Use – Project No. SEU19-002**

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission hereby recommends that the Mayor and City Council approve the MMG Plymouth Road Mixed Use Development rezoning from PUD to C3 (Fringe Commercial).

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission hereby recommends that the Mayor and City Council approve the MMG Plymouth Road Mixed Use Development Site Plan and Planned Project Modifications to increase the maximum height to 65 feet 10 inches and eliminate the maximum front setback requirement for new buildings, subject to providing solar orientation and energy conserving design by using a solar panel array on the roof of the new building and maintaining a minimum of 30% open space.

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission hereby recommends that the Mayor and City Council approve the special exception use request for a drive-through facility at 3611 Plymouth Road.

SUMMARY:

This staff report and recommendations have been revised to reflect outstanding review comments which were mistakenly not taken into consideration. Revisions and new paragraphs are highlighted in light gray.

Three related applications have been submitted for approval. First, a petition to rezone this 4.5-acre site from PUD to C3 (Fringe Commercial). Second, a proposed site plan to demolish two of the existing buildings and construct a six-story, 76,200-square foot, 127-room hotel and remodel the existing restaurant into a new restaurant. Planned project modifications are requested as part of the site plan to allow increased height and increased front setback. Third and finally, a special exception petition to allow a drive-through facility to be added to the remodeled restaurant.

LOCATION:

The site is located on the north side of Plymouth Road between US 23 and Green Road (Ward 2).

REVISED STAFF RECOMMENDATIONS:

Staff recommends that the **rezoning** petition be **postponed** until the outstanding site plan items are resolved.

Staff recommends that the **site plan**, including **planned project modifications** to increase the maximum height and maximum front setback standard, be **postponed** to allow additional time for the applicant to address outstanding items noted by the Engineering and Urban Forestry & Natural Resources staff.

Staff recommends that the **special exception use** be **postponed** until the outstanding site plan items are resolved.

REZONING PETITION:

Description – The site is currently zoned Bolgos PUD (Planned Unit Development), originally approved on December 18, 1973 and revised on May 3, 1982 and July 6, 1986. On February 2, 2015, 3 acres of the PUD district was **rezoned** to C3 (Fringe Commercial). The **Bolgos PUD district** allows two 2-story 17,244-square foot motels, a one-story restaurant, and retail sales except restaurants and single-tenant office use in a 20,300-square foot building. No other uses or building configurations are allowed. The applicant requests that the remaining 4.5-acres of the PUD district be rezoned to C3.

Master Plan Recommendation – The [City Master Plan](#) includes 8 elements, adopted individually between 2009 and 2017, and together by resolution in 2015. Together, the City Master Plan elements seek to guide the City towards sustainability, conservation, and increasing livability, affordability, transportation choices, and dense, mixed uses on vibrant, active, friendly streets. The Land Use Element recommends “mixed uses” for this site.

Standards for Approval – Changes to the text or map of the Unified Development Code (Chapter 55 of the Ann Arbor City Code) may be made pursuant to Section 5.29.9. To assist the Planning Commission and City Council with their decision, applicant [submitted a petition](#) with justifications in support of the request. The petition, available [here](#) and attached, addresses:

1. The extent to which the rezoning is necessary.
2. How the rezoning will affect the public welfare and property rights of persons located in the vicinity.
3. How the rezoning will be advantageous to the City.
4. How this particular location will meet the convenience and service requirements of potential users and occupants.
5. Any changed or changing conditions in any particular area, or in the City generally, which may have bearing on the request.
6. Other circumstances and factors which further justify the request.

Staff Comments – In the past 50 years, the Plymouth Road corridor has evolved from a rural road into a commercial and transit corridor. A PUD that only allows retail uses, to encourage development, is no longer necessary. The C3 district is the most appropriate current zoning designation as it allows all types of commercial uses including hotels and restaurants. It is also found adjacent to this site.

In staff’s opinion, it does not make sense for the existing PUD district to be amended and to adopt modern supplemental regulations when the C3 district suits the needs of the applicant, land owner, and community, and provides more flexibility for future uses.

SITE PLAN APPLICATION:

Description – The site currently contains two pairs of two-story Red Roof Inn motel buildings, each pair having a total of 17,244-square feet, and a 5,000-square foot closed Big Boy restaurant. The proposed site plan calls for demolishing the eastern pair of motels, constructing a new six-story, 76,200-square foot, 127 room Hampton Inn hotel, and remodeling the restaurant into a Panera Bread, including adding a drive-through facility. Planned project modifications are requested to increase the maximum height allowed and increase the maximum front setback standard.

adjacent to U.S. 23 are no longer considered front lot lines. By definition they are now side lot lines.

- Height – The C3 district requires a maximum height of 4 stories and 55 feet. The proposed hotel is 6 stories and 76 feet in height. A planned project modification to increase the maximum height is requested to allow the new building as proposed.
- Landmark Trees – There are nine landmark trees on the site. Four are proposed to be removed, including a 21” red oak and three 15-inch hawthorns. The saved trees include a 32” and 30” red oak, a 16” crabapple, a 26” Austrian pine, and a 20” littleleaf linden. Replacement trees will be planted throughout the site to provide a total of 63 inches of mitigation for the removed landmark trees.

Development Standards Review – Staff has reviewed the site plan for compliance with all applicable development standards of the C3 district provided in Chapter 55 [Unified Development Code](#). A summary of staff findings is provided in the chart below.

		EXISTING	PROPOSED	REQUIRED/ PERMITTED
Zoning		PUD	C3	C3
Lot Area		4.5 ac. (193,895 sq. ft.)	4.5 acres (193,895 sq. ft.)	6,000 sq. ft. MIN
FAR%		12% (23,326 sq. ft.)	47% (90,533 sq. ft.)	200% MAX (393,294 sq. ft. MAX)
Setbacks	Front	212 ft.	212 ft. [A]	10 ft. MIN – 25 ft. MAX
	Side (E)	96 ft.	60 ft.	None
	Side (W)	55 ft.	55 ft.	
	Rear	87 ft.	58 ft.	None
Height		Motels 2 stories, approximately 24 ft. Restaurant 1 story, approximately 12 ft.	Hotel 6 stories, 76 ft. [B]	4 stories, 55 ft. MAX
Vehicle Parking		195 spaces	229 spaces	227 spaces MIN

	EXISTING	PROPOSED	REQUIRED/ PERMITTED
Bicycle Parking	None	6 spaces Class A 3 spaces Class B 3 spaces Class C	6 spaces Class A MIN 3 spaces Class B MIN 3 spaces Class C MIN

[A] Planned Project Modifications requested to allow increased maximum front setback.

[B] Planned Project Modifications requested to allow increased maximum building height.

Planned Project Modification Standards and Analysis -- The Planning Commission may recommend, and City Council may approve, modifications to the area, height and placement regulations of the Unified Development Code in the form of a planned project site plan, as set forth in Section 5.30.1 of the UDC.

As set forth in Section 5.30.1.C Standards for Approval, planned projects must:

- a) Meet the lot size requirement of their zoning district, and
- b) Provide one or more of certain features, and
- c) Not create hazardous traffic to adjacent properties, and
- d) Be consistent with proper development, and
- e) Provide required off-street parking and landscaping and screening, and
- f) Met the density or floor area ratio and open space requirements of their zoning district, and
- g) Have only permitted uses of their zoning district.

The applicant requests a modification to allow an increase in the maximum height permitted in the C3 district, from 4 stories and 55 feet, to 6 stories and 76 feet. The applicant also requests a modification eliminate the 25-foot maximum front setback standard for new buildings in the C3 district.

As stated by the applicant in [their petition](#), the request modifications “will allow a project with greater density, being able to maximize the development footprint [will] allow for the installation of a solar panel array on the top of the proposed hotel.”

Planning Staff Comments -- Staff finds the requested planned project modifications meet the standards for approval provided in Section 5.30.1.C, and in particular, the proposed modifications will provide open space where none is required (Section 5.30.1.C.1.b.i) and solar orientation or energy conserving design (Section 5.30.1.C.1.b.v). Any one of these three features is sufficient per Section 5:70(1)(b). It appears the development has 30% open space. The applicant must confirm the percentage of open space in the development, and that percentage should be a specific condition of planned project modification approval.

The complete planned project modification petition is available [here](#) and is attached.

Review Staff Comments – Reviews staff have noted the following outstanding items that must be addressed to meet applicable development standards and regulations.

- *Engineering* – Several revisions and corrections are needed to the dimensional & paving plan sheet and utility sheet of the site plan. Among the necessary corrections, location and size of water and sanitary sewer leads must be shown, proposed easements must be shown and legal descriptions must be prepared, and the sanitary sewer mitigation calculations must be redone.
- *Urban Forestry and Natural Resources* – The proposed landmark tree mitigation species must be changed to straight species native to Michigan. Additional comments may result after the necessary changes are done, as well.

SPECIAL EXCEPTION USE PETITION:

The Planning Commission may approve, with or without conditions, a special exception for certain uses in certain zoning district, as set forth in Section 5.29.5 of the UDC. The Planning Commission must find that the following criteria has been substantially met in arriving at its decision, as provided in Section 5.29.5.D:

1. Consistency with the general objectives of the Master Plan.
2. Compatible with the general vicinity.
3. Consistent with the neighborhood and not detrimental.
4. Not detrimental to the natural environment.
5. Adequate off-street parking.
6. Safe pedestrian circulation.
7. Adequate vehicle movement and traffic.
8. Compliance with other development standards.

In addition, drive-through facilities in the C3 district must meet the use specific criteria of Section 5.16.6.C.3.

The complete special exception use petition is available [here](#) and attached.

Staff Comments – The proposed drive-through facility substantially meets the criteria for approval. The drive-through facility has been placed to minimize inconvenience for pedestrians while providing adequate vehicle movement through the site.

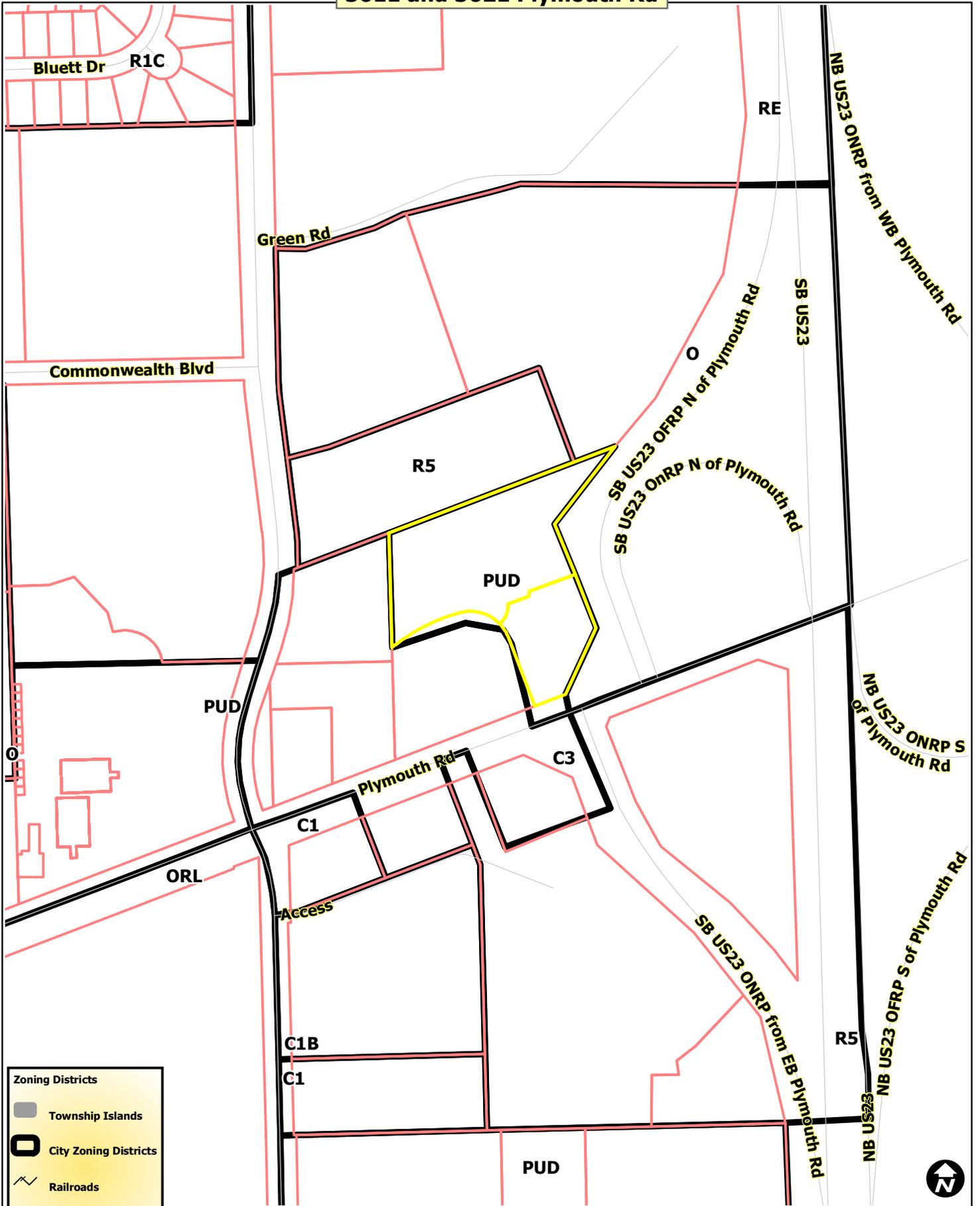
Prepared by Alexis DiLeo
Reviewed by Brett Lenart
11/15/19; Revised 11/18/19

Attachments: Zoning Map
Aerial Photo
Planned Project Petition
Special Exception Use Petition

Links: [Site Plan #4](#)
[October 29, 2019 Engineering Review](#)
[October 28, 2019 Natural Resources Review](#)

c: Owner and Applicant – Markus Management Group, 251 E. Merrill St, Birmingham,
MI 48009 (Doriad Markus, dsmarkus@yahoo.com)
Applicant's Engineer – PEA (jsmith@peainc.com)
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3611 and 3621 Plymouth Rd



Zoning Districts

- Township Islands
- City Zoning Districts
- Railroads
- Huron River
- Tax Parcels



Map date: 2/5/2019
 Any aerial imagery is circa 2018 unless otherwise noted
 Terms of use: www.a2gov.org/terms



3611 and 3621 Plymouth Rd



- Railroads
- Huron River
- Tax Parcels



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City of Ann Arbor
PLANNING & DEVELOPMENT SERVICES — PLANNING SERVICES
 301 East Huron Street | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647
 p. 734.794.6265 | f. 734.994.8312 | planning@a2gov.org

APPLICATION FOR PLANNED PROJECTS

TO: Ann Arbor City Planning Commission

We, the undersigned, respectfully petition the City Planning Commission to approve this planned project request as it relates to the property hereinafter described.

A. Legal Description

(Give or attach legal description and include address of property)

3611 and 3621 Plymouth Road, Ann Arbor, Michigan 48105

Legal Attached

B. Petitioner Information

The petitioner(s) requesting the planned project are:

(List petitioners' name, address, telephone number, and interest in the land, i.e., owner, land contract, option to purchase, etc.)

Doraid Markus (Markus Management Group, LLC)

251 East Merrill Street, Suite: 205, Birmingham, Michigan 48009; (248) 892-2222

Land Owner

Also interested in the petition are:

(List others with legal or equitable interest)

None

C. Modification(s) Request

The applicant requests the following area, height and placement modifications of the following section(s) of the Zoning Ordinance:

For this project the applicant is requesting a modification of the building height to be 65'-10".

For this project the applicant is requesting a modification to Section 5.17-.4 Table 5:17-4 to allow for the building to placed beyond the maximum 25' setback requirement.

Please explain how these modifications will help achieve the objectives of the development program and the standards listed in Section D below (add attachment if necessary):

The increase in building height will allow a project with greater density. Being able to maximize the developable footprint allow for the installation of a solar panel array on the topo of the proposed hotel.

D. Standards for Approval

Based upon compliance with the following standards, the Planning Commission may recommend approval, and City Council may approve modifications of the area, height and placement regulations of the Zoning Chapter in the form of a planned project site plan. Please explain how and to what extent these standards are met by the proposal:

1. The lot or lots included in the planned project must meet the minimum gross lot size requirement of the zoning district in which they are located. In residential zoning districts, the minimum gross lot size shall be the combined total of the minimum gross lot sizes for each dwelling on a parcel. However, the following exceptions may apply:
 - a. For purposes of this section, zero lot line duplex or townhouse development shall mean a development containing attached single-family units on individual lots. If a planned project for a zero lot line duplex or townhouse development provides affordable housing for lower income households, the minimum gross lot size and width requirements may be reduced. The number of dwelling units permitted shall not exceed the maximum permitted density in the zoning district in which the proposed development is located.
 - b. In any residential zoning district allowing 3 or fewer dwelling units per acre, when 20 percent or more of the total area of a development is set aside for permanent open space preservation, the gross lot size may be reduced below the minimum lot area per dwelling unit and width requirements for the zoning district in which it is located, as provided in this section.

2. The proposed modifications of zoning requirements must provide one or more of the following:
- a. Usable open space in excess of the minimum requirement for the zoning district. Where no minimum usable open space standard is required by the zoning district, a minimum usable open space standard shall be established by the approval of the planned project.
 - b. Building or parking setback(s) in excess of the minimum requirement for the zoning district. Where no minimum building or parking setback is required by the zoning district, a minimum setback standard shall be established by the approval of the planned project.
 - c. Preservation of natural features that exceeds ordinance requirements, especially for those existing features prioritized in the land development regulations as being of highest and mid-level concern.
 - d. Preservation of historical or architectural features.
 - e. Solar orientation or energy conserving design.
 - f. An arrangement of buildings which provides a public benefit, such as transit access, pedestrian orientation, or a reduced need for infrastructure or impervious surface.
 - g. Affordable housing for lower income households.
 - h. A recorded conservation easement or similar binding instrument providing for permanent open space of 20 percent or more of the planned project, in any residential zoning district allowing 3 or fewer dwelling units per acre.

The project is proposing the installation of a solar panel array on the top of the building.

3. The planned project shall be designed in such a manner that traffic to and from the site will not be hazardous to adjacent properties.
Access to the development will be provided via an existing ingress-egress easement

4. The proposed modifications shall be consistent with the proper development and use of adjacent land and buildings.

The proposed uses will serve and support the surrounding businesses and properties by providing a hospitality and restaurant use for the Ann Arbor travelers. The proposed uses will be harmonous with adjacent land uses.

5. Required off-street parking and landscaping must be provided in accordance with the provisions of Chapters 59 (Off-Street Parking) and Chapter 62 (Landscape and Screening).

The standards for off-street parking for cars and bicycles are provided for on-site.

Parking and landscape requirements are both met.

6. The standards of density, allowable floor area and required usable open space for the zoning district(s) in which the project is located must be met.

The standards have all been met or exceeded.

7. There shall be no uses within the proposed project which are not permitted uses in the zoning district(s) in which the proposed project is to be located.

The proposed uses are consistent with the C-3 Zoning District. (Note: Applicant is requesting a rezoning to a C-3 Zoning District).

8. In any residential zoning district allowing 3 or fewer dwelling units per acre and where 20 percent or more of the total area is proposed for permanent open space, projects shall meet the following standards:

- a. The minimum gross lot size of the parcel proposed for the planned project shall be 2 acres. The size and shape of the portions of the planned project designated for open space preservation shall be reviewed and approved in conjunction with a planned project site plan, a planned unit development site plan, or a plat, in relation to natural features or characteristics specific to that site.
- b. The area of each residential building lot or limited common area of a condominium development shall be 10,000 square feet or greater, exclusive of the permanent open space. Minimum lot width and setback requirements shall meet or exceed standards of the R1B residential zoning district.
- c. Permanent open space area shall be in, and shall continue to be in, an undeveloped, natural state preserving and conserving natural resources, natural features, scenic or wooded condition, or naturally occurring water surfaces. It may also provide an undeveloped greenway of contiguous or linear open space that includes habitats or corridors for wildlife, or links parks, nature reserves, cultural features or historic sites with each other for passive recreation or for conservation purposes.
- d. Land in permanent open space may be, but is not required to be, dedicated to the use of the public.
- e. Prior to the issuance of any permit, the permanent open space shall be protected by a recorded conservation easement or similar binding instrument containing provisions for ownership and ongoing maintenance of the permanent open space by a responsible party such as, but not limited to, a homeowner's association, an independent agency or trust established for such purposes, or a municipality for open space preservation. Such permanent open space shall constitute 20 percent or more of the total area of a development.

- f. The option of utilizing a conservation easement or plat dedication for open space preservation for not less than 20 percent of the total area may be exercised only one time on a parcel of land.

N/A

The Commission or Council may add conditions to the approval of the planned project to achieve conformity to these standards.

E. Supporting Plans

Attach a site plan and building elevations of the property proposed for planned project approval, showing the boundaries of the property, the buildings, vehicular use areas, and all requirements set forth in Chapter 57 (Subdivision and Land Use Controls) and the Land Development Regulations.

The undersigned states he/she is interested in the property as aforesaid and that the foregoing statements are true and correct to the best of his/her knowledge and belief.

Dated: 1/31/19

Signature: [Signature]

DORIED MARTEL
251 Emerald #205
Birmingham MA 08009
(Print name and address of petitioner)

STATE OF MICHIGAN

COUNTY OF WASHTENAW

On this 31st day of JAN, 2019, before me personally appeared the above named petitioner(s), who being duly sworn, say that they have read the foregoing petition and by them signed, and know the contents thereof, and that the same is true of their knowledge, except as to the matter therein stated to be upon their information and belief, and as to those matters they believe it to be true.

Signature: [Signature]

DENISE L. KECK
(Print name of Notary Public)

My Commission Expires: 11/9/22

DENISE L. KECK
Notary Public, Macomb County, MI
My Commission Expires: 11/09/2022
Acting in the County of OAKLAND

LEGAL DESCRIPTIONS

PARCEL 09-09-14-400-009

(Per Reputation First Title Agency (First American Title Insurance Company)
Commitment No. 26857, Commitment Date January 22, 2018.

The land referred to in this Commitment is described as follows:

Situated in the City of Ann Arbor, County of Washtenaw, State of Michigan.

Commencing at the South 1/4 corner of Section 14, T2S, R6E, City of Ann Arbor, Michigan; thence N 00 degrees 05' 50" E 810.08 feet along the North and South 1/4 line of said Section; thence N 70 degrees 54' 30" E 759.87 feet along the centerline of Plymouth Road for a PLACE OF BEGINNING; thence N 19 degrees 05' 30" W 243.0 feet; thence 43.57 feet along the arc of a tangential curve to the left, radius 108.0 feet, chord N 30 degrees 39' W 43.29 feet; thence Northeasterly 59.62 feet along the arc of a non-tangential circular curve to the left, radius 65.0 feet, chord N 23 degrees 38' E 57.37 feet; thence N 70 degrees 53' 40" E 58.86 feet; thence N 19 degrees 06' 20" W 13.0 feet; thence N 70 degrees 53' 40" E 129.33 feet; thence S 19 degrees 06' 20" E 152.16 feet; thence S 25 degrees 53' 40" W 266.60 feet; thence S 70 degrees 54' 30" W 30.26 feet along the centerline of Plymouth Road to the Place of Beginning, being part of the Southeast 1/4 of said Section.

PARCEL 09-09-14-400-008

(Per First American Title Insurance Company Commitment File No.
NCS-881874-HOU1, Commitment Date November 28, 2017.

The land referred to in this Commitment, situated in the County of Washtenaw, City of Ann Arbor, State of Michigan, is described as follows:

Commencing at the South 1/4 corner of Section 14, Town 2 South, Range 6 East, City of Ann Arbor, Michigan; thence North 00 degrees 05 minutes 50 seconds East 810.08 feet along the North and South 1/4 line of said Section; thence North 70 degrees 54 minutes 30 seconds East, 349.47 feet along the centerline of Plymouth Road; thence North 00 degrees 05 minutes 30 seconds East, 347.77 feet for a place of beginning; thence continuing North 00 degrees 05 minutes 30 seconds East, 299.23 feet; thence North 70 degrees 54 minutes 30 seconds East, 641.13 feet; thence South 41 degrees 20 minutes 20 seconds West, 258.60 feet; thence South 19 degrees 06 minutes 20 seconds East, 142.85 feet; thence South 70 degrees 53 minutes 40 seconds West, 129.33 feet; thence South 19 degrees 06 minutes 20 seconds East, 13.0 feet; thence South 70 degrees 53 minutes 40 seconds West, 58.86 feet; thence 59.62 feet along the arc of a nontangential circular curve to the right, radius 65.0 feet; chord South 23 degrees 38 minutes West, 57.37 feet, thence 116.47 feet along the arc of a nontangential circular curve to the left, radius 108.00 feet, chord North 73 degrees 06 minutes 20 seconds West, 110.91 feet; thence 200.28 feet along the arc of a circular curve to the left, radius 500.0 feet, chord South 64 degrees 30 minutes 30 seconds West, 198.94 feet to the place of beginning, being a part of the Southeast 1/4 of said Section 14.

Together with and subject to the rights of others in a Non-exclusive 27 foot wide easement, the centerline of which is described as: Commencing at the South 1/4 corner of Section 14; Town 2 South, Range 6 East, City of Ann Arbor, Michigan; thence North 00 degrees 05 minutes 50 seconds East, 810.08 feet along the North and South 1/4 line of said Section; thence North 70 degrees 54 minutes 30 seconds East, 349.47 feet along the centerline of Plymouth Road; thence North 00 degrees 05 minutes 30 seconds East, 347.77 feet for a place of beginning; thence 200.28 feet along the arc of a nontangential circular curve to the right; radius 500.00 feet, chord North 64 degrees 30 minutes 30 seconds East, 198.94 feet; thence 160.05 feet along the arc of a circular curve to the right, radius 108.0 feet; chord South 61 degrees 32 minutes 45 seconds East, 145.80 feet; thence South 19 degrees 05 minutes 30 seconds East, 243.0 feet to the place of ending, being a part of the Southeast 1/4 of said section, for the purpose of ingress and egress from Parcel II above as created by Development and Easement Agreement recorded in Liber 1673, page 501, Washtenaw County Records, as amended by document recorded in Liber 3877, Page 724 Washtenaw County Records.

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City of Ann Arbor

PLANNING & DEVELOPMENT SERVICES — PLANNING SERVICES

100 North Fifth Avenue | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647

p. 734.794.6265 | f. 734.994.8312 | planning@a2gov.org

APPLICATION FOR SPECIAL EXCEPTION USE

See www.a2gov.org/planning/petitions for submittal requirements.

TO: Ann Arbor City Planning Commission

We, the undersigned, respectfully petition the City Planning Commission to approve this special exception use request as it relates to the property hereinafter described.

A. Legal Description

(Give or attach legal description and include address of property)

See Attached

B. Petitioner Information

The petitioner(s) requesting the special exception use are: *(List petitioners' name; address; telephone number; and interest in the land; i.e., owner, land contract, option to purchase, etc.)*

Doraid Markus, Markus Management Group, 251 East Merrill, Suite: 255. Birmingham, Mi 48009
248-892-2222; Owner

Also interested in the petition are: *(List others with legal or equitable interest)*

Owner

C. Use Request

The applicant requests special exception use approval to permit the following use(s): *(state intended use)*

The special exception request is for the construction of a drive thru for the proposed Panera Restaurant

D. Specific Standards

The proposed use is allowed in accordance with the Schedule of Use Regulations, Chapter 55 (Zoning Ordinance), Section 15.166, Paragraph C3. Specify how the project meets all standards cited. Add attachment if necessary.

The proposed drive thru has been designed to not impair general vehicle circulation on site.

The proposed drive thru is located between two building and does not directly impact traffic flow.

The one (1) pedestrian crossing is to be signed and will have pavement markings denoting the crossing.

E. General Standards

The proposed use or uses shall be of such location, size and character as to be compatible with the appropriate and orderly development of the zoning district and adjacent zoning districts in which the site is situated. Please explain how and to what extent the following standards are met by the proposal:

1. Will be consistent with the general objectives of the City Master Plan.

Yes, the project will be consistent with the general objectives of the City Master Plan

2. Will be designed, constructed, operated and maintained in a manner that is compatible with the existing and planned character of the general vicinity.

Yes, the project will be designed, constructed, operated and maintained in a manner that is compatible with the existing and planned character of the general vicinity.

3. Will be consistent with the general character of the neighborhood considering population density, design, scale and bulk; and the intensity and character of activity.

Yes, the project will be generally consistent with the character of the neighborhood related to scale and bulk.

4. Will not be detrimental to the use, peaceful enjoyment, economic value or development of neighboring property, or the neighborhood area in general.

Yes, the project will not detrimental to the surrounding | neighboring properties.

The current site has a restaurant and hotel use. The proposed project is planning the same uses.

5. Will not have a detrimental effect on the natural environment.

The proposed project will not have any detrimental effects on the natural environment.

For this project we are preserving the existing landmarked trees

The location and size of the proposed use or uses, the nature and intensity of the principal use and all accessory uses, the site layout and its relation to streets giving access to it, shall be such that traffic to and from the use or uses, the assembly of persons in connection therewith, and the effect of the proposed use on public services and facilities, will not be hazardous or inconvenient to the neighborhood nor unduly conflict with the normal traffic of the neighborhood. Please explain how and to what extent the following standards are met by the proposal:

6. The location of and access to off-street parking and the safe provision for pedestrian traffic.
The proposed drive thru is located along the side wna dbehind the proposed Panera. There is one pedrestrian crossing at the southwest coner of the building. At this location, pedrestrian crossing signs and pavement marking are proposed to protect pedrestrians making this crossing.

7. The relationship of the proposed use to main traffic thoroughfares and to streets and road intersections.
The drive thru is located away from the private access drive which will allow for traffic circulation without the potential for drive thru backs. The amount of drive thru for a typical Panera is low volume, it is mainly for customer convenience.

8. Vehicular turning movements in relationship to traffic flow routes.
The turning movements for vehicles are generally 90 degree turns, which allow for maximum visibility and orderly traffic flow

9. The intensity and character of traffic and parking conditions on the site and in the general area.
The site is design to provide for sufficent parking fields in and around the proposed uses. Traffic will enter the site from a private access drive from Plymouth Road. The existing parking area around the site have a similar type design.

10. The requirements for additional public services and facilities which will be created by the proposed use will not be detrimental to the social and economic welfare of the community.
The proposed uses will not require additional public services or facilities. The proposed uses will not be detrimental to the social and economic welfare of Ann Arbor. The new uses will provide for additional employment opportunities and increase the property values in the area since it replacing an outdated hotel and and closed restaurant.

F. Variance Information

In addition to the granting of the special exception use, the following variances from City regulations will be requested:

No variances are being requested.

Attached is a site plan of the property proposed for special exception use approval, showing the

boundaries of the property, the buildings, vehicular use areas, and all requirements set forth in Chapter 57 (Subdivision and Land Use Controls).

The undersigned states he/she is interested in the property as aforesaid and that the foregoing statements are true and correct to the best of his/her knowledge and belief.

Dated: _____

Signature: _____

(Print name and address of petitioner)

STATE OF MICHIGAN

COUNTY OF WASHTENAW

On this _____ day of _____, 19____, before me personally appeared the above named petitioner(s), who being duly sworn, say that they have read the foregoing petition and by them signed, and know the contents thereof, and that the same is true of their knowledge, except as to the matter therein stated to be upon their information and belief, and as to those matters they believe it to be true.

Signature: _____

My Commission Expires: _____

boundaries of the property, the buildings, vehicular use areas, and all requirements set forth in Chapter 57 (Subdivision and Land Use Controls).

The undersigned states he/she is interested in the property as aforesaid and that the foregoing statements are true and correct to the best of his/her knowledge and belief.

Dated: 5/9/19

Signature: *[Handwritten Signature]*

251 E MARSHALL St # 205
BIRMINGHAM MI 48009

(Print name and address of petitioner)

STATE OF MICHIGAN
o Oakland
COUNTY OF ~~WASHTENAW~~

On this 9th day of May, 192019, before me personally appeared the above named petitioner(s), who being duly sworn, say that they have read the foregoing petition and by them signed, and know the contents thereof, and that the same is true of their knowledge, except as to the matter therein stated to be upon their information and belief, and as to those matters they believe it to be true.

Signature: *[Handwritten Signature]*

NATASHA OURO
NOTARY PUBLIC, STATE OF MI
COUNTY OF OAKLAND
MY COMMISSION EXPIRES Apr 18, 2024
ACTING IN COUNTY OF Oakland

My Commission Expires: 4-18-2024

LEGAL DESCRIPTIONS

PARCEL 09-09-14-400-009

Per Reputation First Title Agency (First American Title Insurance Company)
Commitment No. 26857, Commitment Date January 22, 2018.

The land referred to in this Commitment is described as follows:

Situated in the City of Ann Arbor, County of Washtenaw, State of Michigan.

Commencing at the South 1/4 corner of Section 14, T2S, R6E, City of Ann Arbor, Michigan; thence N 00 degrees 05' 50" E 810.08 feet along the North and South 1/4 line of said Section; thence N 70 degrees 54' 30" E 759.87 feet along the centerline of Plymouth Road for a PLACE OF BEGINNING; thence N 19 degrees 05' 30" W 243.0 feet; thence 43.57 feet along the arc of a tangential curve to the left, radius 108.0 feet, chord N 30 degrees 39' W 43.29 feet; thence Northeasterly 59.62 feet along the arc of a non-tangential circular curve to the left, radius 65.0 feet, chord N 23 degrees 38' E 57.37 feet; thence N 70 degrees 53' 40" E 58.86 feet; thence N 19 degrees 06' 20" W 13.0 feet; thence N 70 degrees 53' 40" E 129.33 feet; thence S 19 degrees 06' 20" E 152.16 feet; thence S 25 degrees 53' 40" W 266.60 feet; thence S 70 degrees 54' 30" W 30.26 feet along the centerline of Plymouth Road to the Place of Beginning, being part of the Southeast 1/4 of said Section.

PARCEL 09-09-14-400-008

(Per First American Title Insurance Company Commitment File No. NCS-881874-HOU1,
Commitment Date November 28, 2017.

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PRELIMINARY SITE PLANS FOR

MMG-PLYMOUTH MIXED USE DEVELOPMENT

3621 PLYMOUTH ROAD

CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

OWNER:

MARKUS MANAGEMENT GROUP, LLC
 251 E. MERRILL STREET
 BIRMINGHAM, MI 48009
 CONTACT: DORAID MARKUS
 PHONE: (248) 892-2222
 EMAIL: DSMARKUS@YAHOO.COM

ARCHITECT:

NORR
 150 W. JEFFERSON AVE, SUITE 1300
 DETROIT, MI 48226
 CONTACT: BRAD SMITH
 PHONE: (313) 426-8888
 FAX: (313) 324-3111
 EMAIL: BRAD.SMITH@NORR.COM

LEGAL DESCRIPTIONS

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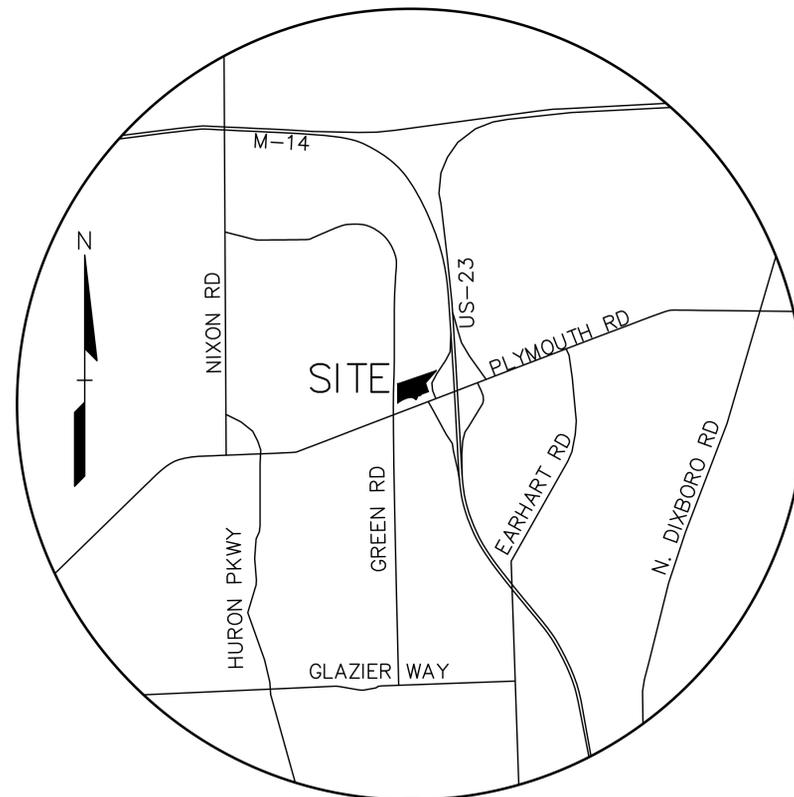
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CIVIL ENGINEER:

PEA, INC.
 2430 ROCHESTER CT, SUITE 100
 TROY, MI 48083
 CONTACT: GREGORY BONO, PE
 PHONE: (248) 689-9090 EXT. 1148
 FAX: (248) 689-1044
 EMAIL: GBONO@PEAINC.COM

LANDSCAPE ARCHITECT:

PEA, INC.
 7927 NEMCO WAY, SUITE 115
 BRIGHTON, MI 48116
 CONTACT: JEFF SMITH, R.L.A., LEED AP
 PHONE: (517) 546-8583
 FAX: (517) 546-8973
 EMAIL: JSMITH@PEAINC.COM



LOCATION MAP
NO SCALE

COMPARISON CHART:

	EXISTING	PROPOSED	PERMITTED/REQUIRED
ZONING	PUD	C3	C3
GROSS LOT AREA (EXCLUDING R.O.W.)	193,895 SF	193,895 SF	6,000 SF MIN.
BUILDING FLOOR AREA	2-STORY HOTEL	6,465 SF	EX. BLDG TO REMAIN
	2-STORY HOTEL	3,505 SF	EX. BLDG TO REMAIN
	2-STORY HOTEL	4,665 SF	-
	2-STORY HOTEL	3,510 SF	-
	6-STORY HOTEL	-	76,208 SF
RESTAURANT	5,181 SF	4,355 SF	
MAX. USABLE FLOOR AREA IN % OF LOT AREA	23,326 SF (12%)	90,533 SF (47%)	393,294 SF MAX (200%)
SETBACKS	FRONT (SOUTH)	212.71'	212.73'*
	REAR (NORTH)	86.96'	58.02'
	SIDE (EAST)	78.28'	60.59'
	SIDE (WEST)	55.87'	67.60'
BUILDING HEIGHT	2 STORIES	76' (6 STORIES)*	55' (4 STORIES) MAX
PARKING - AUTOMOBILES	195 SPACES INC. 7 ADA SPACES	229 SPACES INC. 7 ADA SPACES	227 SPACES (MINIMUM) INC. 7 ADA SPACES
PARKING - BICYCLES	NONE	6 SPACES - CLASS A 3 SPACES - CLASS B 3 SPACES - CLASS C	6 SPACES - CLASS A 3 SPACES - CLASS B 3 SPACES - CLASS C

* PLANNED PROJECT MODIFICATIONS REQUESTED

DEVELOPMENT PROGRAM:

THE SITE IS COMPRISED OF TWO PARCELS INTENDED TO BE COMBINED INTO ONE. THE PARCELS ARE CURRENTLY ZONED PUD AND HAS 4 RED ROOF INN PLUS+ BUILDINGS AND ONE BIG BOY RESTAURANT. THE PROPOSED DEVELOPMENT INCLUDES DEMOLITION AND REPLACEMENT OF THE TWO EASTERLY RED ROOF INN PLUS+ BUILDINGS WITH A HOTEL AND RENOVATION OF THE BIG BOY RESTAURANT INTO A PANERA RESTAURANT. THE HOTEL IS A 76,208 SF, 6-STORY BUILDING. THE PANERA IS A 4,355 SF BUILDING WITH A DRIVE THRU AND A PATIO. THE PROPOSED DEVELOPMENT CONTAINS 257 PARKING SPACES.

- SITE AREA IS APPROXIMATELY 4.51 ACRES (GROSS) AND 4.45 ACRES (NET)
- PROBABLE SITE CONSTRUCTION COST = T.B.D.
- THE SITE WILL BE ACCESSED VIA AN EXISTING PRIVATE DRIVE CONNECTING PLYMOUTH ROAD AND GREEN ROAD. ADA ACCESSIBLE PARKING WILL BE PROVIDED TO ALLOW ACCESS TO THE BUILDINGS.
- PUBLIC WATER AND SEWER ARE AVAILABLE AT THE SITE.
- THE PARCEL WILL BE DRAINED THROUGH UNDERGROUND DETENTION AND RETENTION FACILITIES TO THE PUBLIC STORM DRAINAGE WAY.
- THE PROPOSED HOTEL CONTAINS 127 ROOMS.

COMMUNITY ANALYSIS:

- DUE TO SIMILAR EXISTING USE AND SITE LOCATION, THE PROPOSED DEVELOPMENT IS NOT EXPECTED TO SIGNIFICANTLY IMPACT LOCAL SCHOOLS. THE SURROUNDING USES ARE RETAIL, BUSINESS AND HOTEL.
- THE BUILDINGS ARE SET BACK OVER 200 FEET FROM TO PLYMOUTH ROAD.
- NO SIGNIFICANT IMPACT ON THE PUBLIC THOROUGHFARES IS EXPECTED.
- NO NEGATIVE EFFECT ON AIR QUALITY IS EXPECTED. THE PROPOSED UNDERGROUND DETENTION AND INFILTRATION SYSTEM IS EXPECTED TO REDUCE POLLUTANTS AND SEDIMENT LEAVING THIS SITE THROUGH THE STORM SEWER SYSTEM.
- NO SIGNIFICANT NATURAL FEATURE IMPACTS ARE EXPECTED.
- THERE ARE NO KNOWN HISTORIC SITES OR STRUCTURES ON THE PROPERTY.
- REFER TO THE TRAFFIC IMPACT STUDY BY BERGMANN FOR TRAFFIC VOLUME ANALYSIS.

INDEX OF DRAWINGS:

- C-0.0 COVER SHEET
- C-1.0 TOPOGRAPHIC SURVEY
- C-1.1 ALTA NSPS LAND TITLE SURVEY
- C-1.2 ALTA NSPS LAND TITLE SURVEY
- C-2.0 DIMENSION AND PAVING PLAN
- C-3.0 PRELIMINARY GRADING PLAN
- C-3.1 SITE CROSS SECTIONS
- C-4.0 SOIL EROSION CONTROL PLAN
- C-4.1 SOIL EROSION CONTROL DETAILS
- C-5.0 UTILITY PLAN
- C-6.1 EXISTING SITE DRAINAGE PLAN
- C-6.2 PROPOSED SITE DRAINAGE PLAN
- C-6.3 DRAINAGE CALCULATIONS
- C-7.0 STORMWATER MAINTENANCE PLAN
- C-8.0 NOTES AND DETAILS
- C-8.1 NOTES AND DETAILS
- L-1.0 PRELIMINARY LANDSCAPE PLAN
- L-1.1 PRELIMINARY LANDSCAPE DETAILS
- T-1.0 NATURAL FEATURES PLAN
- SL-1.1 SITE PHOTOMETRIC PLAN
- SL-1.2 SITE PHOTOMETRIC DETAILS

RESTAURANT ARCHITECTURAL SHEETS:

- PP-1 PRELIMINARY FLOOR PLAN AND ELEVATIONS

HOTEL DEVELOPMENT ARCHITECTURAL SHEETS:

- 01 COVER SHEET
- 02 FIRST FLOOR PLAN
- 03 SECOND FLOOR PLAN
- 04 THIRD FLOOR PLAN
- 05 FOURTH FLOOR PLAN
- 06 FIFTH FLOOR PLAN
- 07 SIXTH FLOOR PLAN
- 08 ROOF PLAN
- 09 WEST & SOUTH ELEVATIONS
- 10 EAST & NORTH ELEVATIONS
- 11 MATERIAL BOARD
- 12 PERSPECTIVE RENDERING

GENERAL DESCRIPTION OF NATURAL FEATURES:

- SOIL TYPES ON SITE ARE MmB MIAMI LOAM PER THE WASHTENAW COUNTY SOIL SURVEY.
- SITE VEGETATION CONSISTS PRIMARILY OF GRASSES, SHRUBS AND A FEW TREES
- DISBURSED THROUGHOUT THE SITE.
- REFER TO SHEET C-1.0, TOPOGRAPHIC SURVEY FOR SITE TOPOGRAPHY.

NATURAL FEATURES STATEMENT OF IMPACT:

- THERE IS NO KNOWN ENDANGERED SPECIES HABITAT ON SITE.
- THE SITE IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.
- THE SITE SLOPES FROM AN ELEVATION OF APPROXIMATELY 710 AT PLYMOUTH ROAD UP TO AN ELEVATION OF APPROXIMATELY 917 AT THE NORTH END.
- THERE ARE NO WATERCOURSES ON THE PROPERTY.
- THERE ARE NO WETLANDS ON THE PROPERTY.
- THERE ARE NO WOODLANDS ON THE PROPERTY.

NO.	DATE	DESCRIPTION
1	10/23/19	ISSUED PER CITY COMMENTS
2	06/01/20	REVISED PER CITY COMMENTS
3	06/01/20	REVISED PER CITY COMMENTS
4	06/01/20	REVISED PER CITY COMMENTS
5	06/01/20	REVISED PER CITY COMMENTS



CAUTION!
 THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS GIVEN FOR THE ACCURACY OR COMPLETENESS OF THIS INFORMATION. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL ACCESS TO RECORDS ACT, CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THE REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFINE, MAINTAIN AND RECORD DESIGN PROFESSIONAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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MARKUS MANAGEMENT GROUP, LLC
 3001 PLYMOUTH ROAD, SUITE 100, ANN ARBOR, MI 48106

COVER SHEET
 MMG-PLYMOUTH MIXED USE DEVELOPMENT
 PART OF THESE SHEETS IS SECTION 14, T2S, R6E, B1C, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

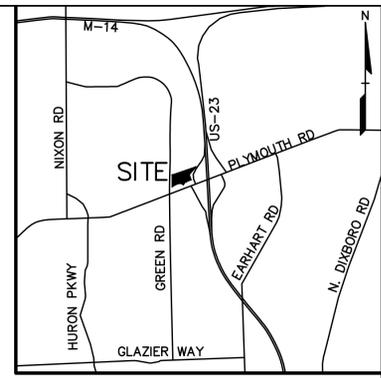
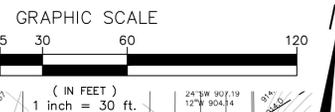
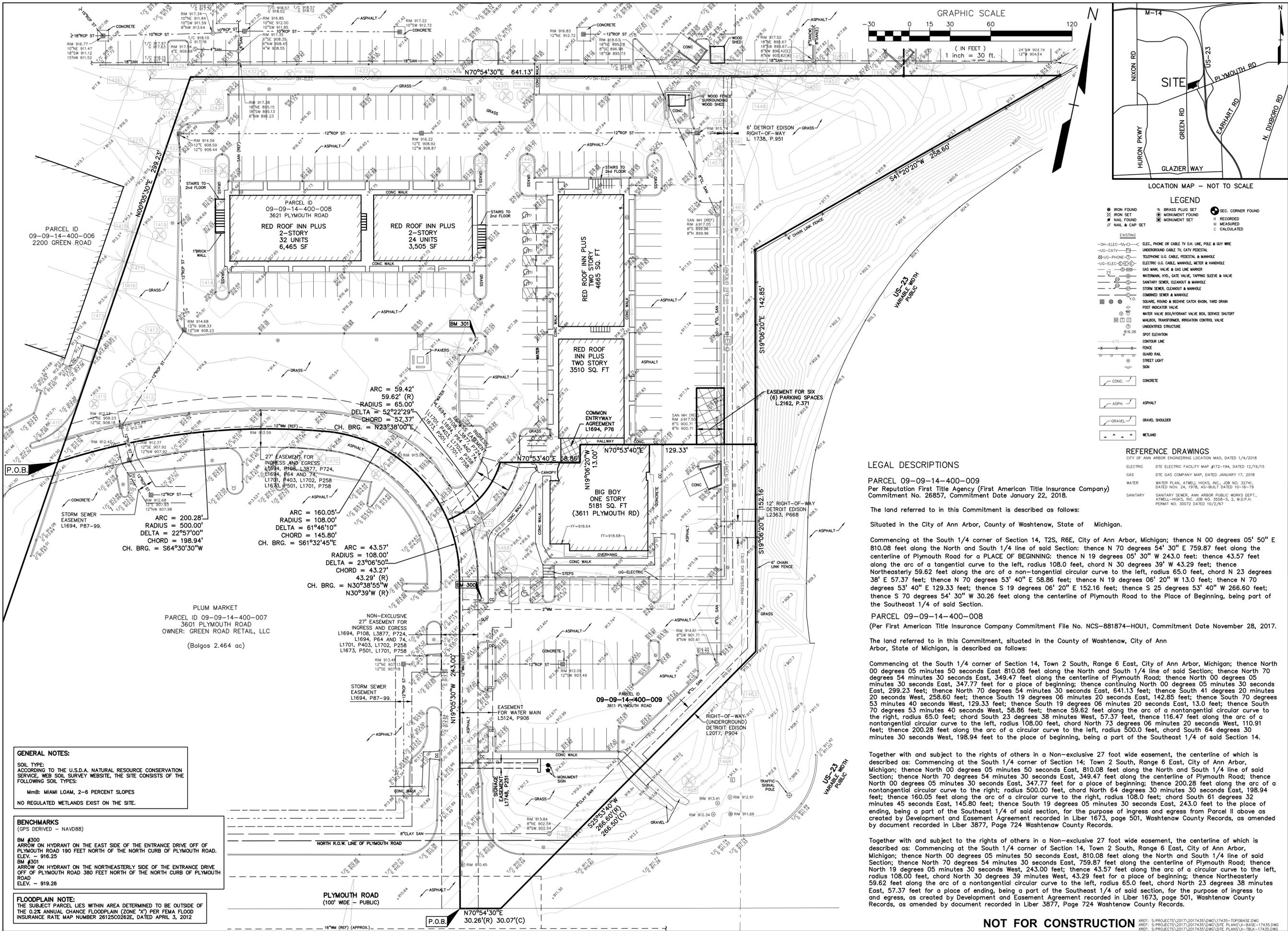
DES: GMB DN GMB SUR GWC P/M JPB
 DATE: 01/31/2019

ORIGINAL ISSUE DATE:
 JANUARY 31, 2019

PEA JOB NO. 2017-435

SCALE: N.T.S.

DRAWING NUMBER:
C-0.0



NO.	DATE	REVISIONS
1	10/21/16	ISSUED FOR PER CITY COMMENTS
2	10/21/16	REVISED PER CITY COMMENTS
3	10/21/16	REVISED PER CITY COMMENTS
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99	10/21/16	REVISED PER CITY COMMENTS
100	10/21/16	REVISED PER CITY COMMENTS

LEGEND

● IRON FOUND	○ BRASS PLUG SET	○ SEC. CORNER FOUND
○ IRON SET	○ MONUMENT FOUND	○ RECORDED
● NAIL FOUND	○ MONUMENT SET	○ MEASURED
○ NAIL & CAP SET		○ CALCULATED

EXISTING

—ELEC—	ELEC. PHONE OR CABLE TV CH. LINE, POLE & GUY WIRE
—UG-CATV—	UNDERGROUND CABLE TV, CATV FEESTAL
—ELEC—	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
—ELEC—	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
—ELEC—	GAS MAN, VALVE & GAS LINE MARKER
—ELEC—	WATERMAN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
—ELEC—	SEWER, CLEANOUT & MANHOLE
—ELEC—	COMMON SEWER & MANHOLE
—ELEC—	SQUARE, ROUND & BEDDING CATCH BASIN, YARD DRAIN
—ELEC—	POST INDICATOR VALVE
—ELEC—	WATER VALVE, BACKFLOW VALVE, BOG, SERVICE SHUTOFF
—ELEC—	WALKER, TRANSFORMER, PROTECTION CONTROL VALVE
—ELEC—	UNIDENTIFIED STRUCTURE
—ELEC—	SPOT ELEVATION
—ELEC—	CONTOUR LINE
—ELEC—	FENCE
—ELEC—	GUARD RAIL
—ELEC—	STREET LIGHT
—ELEC—	SIGN
—ELEC—	CONC.
—ELEC—	ASPH.
—ELEC—	GRAVEL SHOULDER
—ELEC—	METLAND



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CONSTRUCTION CONTRACTOR AGREES THAT IN CONNECTION WITH GENERAL ACCEPTANCE OF CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR SHALL BE RESPONSIBLE FOR THE SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THE CONTRACTOR SHALL BE MADE TO APPLY CONTRACTORS AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFINE, INDICATE AND NOTIFY DESIGN PROFESSIONALS OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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MARKUS MANAGEMENT GROUP, LLC
221 E. MERRILL STREET
BIRMINGHAM, MICHIGAN 48009

TOPOGRAPHIC SURVEY
MMG-PLYMOUTH MIXED USE DEVELOPMENT
PART OF THE SE 1/4 OF SECTION 14, T. 2S., R. 6E.,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

DES: GMB
SUR: GWC
P.M: JPB

ORIGINAL ISSUE DATE:
JANUARY 31, 2019

PEA JOB NO. 2017-435

SCALE: 1" = 30'

DRAWING NUMBER:
C-1.0

LEGAL DESCRIPTIONS

PARCEL 09-09-14-400-009
Per Reputation First Title Agency (First American Title Insurance Company)
Commitment No. 26857, Commitment Date January 22, 2018.

The land referred to in this Commitment is described as follows:
Situating in the City of Ann Arbor, County of Washtenaw, State of Michigan.

Commencing at the South 1/4 corner of Section 14, T2S, R6E, City of Ann Arbor, Michigan; thence N 00 degrees 05' 50" E 810.08 feet along the North and South 1/4 line of said Section; thence N 70 degrees 54' 30" E 759.87 feet along the centerline of Plymouth Road for a PLACE OF BEGINNING; thence N 19 degrees 05' 30" W 243.0 feet; thence 43.57 feet along the arc of a tangential curve to the left, radius 108.0 feet, chord N 30 degrees 39' W 43.29 feet; thence Northeastly 59.62 feet along the arc of a non-tangential circular curve to the left, radius 65.0 feet, chord N 23 degrees 38' E 57.37 feet; thence N 70 degrees 53' 40" E 58.86 feet; thence N 19 degrees 06' 20" W 13.0 feet; thence N 70 degrees 53' 40" E 129.33 feet; thence S 19 degrees 06' 20" E 152.16 feet; thence S 25 degrees 53' 40" W 266.60 feet; thence S 70 degrees 54' 30" W 30.26 feet along the centerline of Plymouth Road to the Place of Beginning, being part of the Southeast 1/4 of said Section.

PARCEL 09-09-14-400-008
(Per First American Title Insurance Company Commitment File No. NCS-881874-HOU1, Commitment Date November 28, 2017.

The land referred to in this Commitment, situated in the County of Washtenaw, City of Ann Arbor, State of Michigan, is described as follows:
Commencing at the South 1/4 corner of Section 14, Town 2 South, Range 6 East, City of Ann Arbor, Michigan; thence North 00 degrees 05 minutes 50 seconds East 810.08 feet along the North and South 1/4 line of said Section; thence North 70 degrees 54 minutes 30 seconds East, 349.47 feet along the centerline of Plymouth Road; thence North 00 degrees 05 minutes 30 seconds East, 347.77 feet for a place of beginning; thence continuing North 00 degrees 05 minutes 30 seconds East, 299.23 feet; thence North 70 degrees 54 minutes 30 seconds East, 641.13 feet; thence South 41 degrees 20 minutes 20 seconds East, 258.60 feet; thence South 19 degrees 06 minutes 20 seconds East, 142.85 feet; thence South 70 degrees 53 minutes 40 seconds West, 129.33 feet; thence South 19 degrees 06 minutes 20 seconds East, 13.0 feet; thence South 70 degrees 53 minutes 40 seconds West, 58.86 feet; thence 59.62 feet along the arc of a non-tangential circular curve to the right, radius 65.0 feet; chord South 23 degrees 38 minutes West, 57.37 feet, thence 116.47 feet along the arc of a non-tangential circular curve to the left, radius 108.0 feet, chord North 23 degrees 38 minutes West, 43.29 feet; thence N 70 degrees 53' 40" E 58.86 feet; thence South 19 degrees 05 minutes 30 seconds East, 243.0 feet to the place of ending, being a part of the Southeast 1/4 of said section, for the purpose of ingress and egress from Parcel II above as created by Development and Easement Agreement recorded in Liber 1673, page 501, Washtenaw County Records, as amended by document recorded in Liber 3877, Page 724 Washtenaw County Records.

Together with and subject to the rights of others in a Non-exclusive 27 foot wide easement, the centerline of which is described as: Commencing at the South 1/4 corner of Section 14, Town 2 South, Range 6 East, City of Ann Arbor, Michigan; thence North 00 degrees 05 minutes 50 seconds East, 810.08 feet along the North and South 1/4 line of said Section; thence North 70 degrees 54 minutes 30 seconds East, 349.47 feet along the centerline of Plymouth Road; thence North 00 degrees 05 minutes 30 seconds East, 347.77 feet for a place of beginning; thence 200.28 feet along the arc of a non-tangential circular curve to the right; radius 500.00 feet, chord North 64 degrees 30 minutes 30 seconds East, 198.94 feet; thence 160.05 feet along the arc of a circular curve to the right, radius 108.0 feet; chord South 51 degrees 32 minutes 45 seconds East, 145.80 feet; thence South 19 degrees 05 minutes 30 seconds East, 243.0 feet to the place of ending, being a part of the Southeast 1/4 of said section, for the purpose of ingress and egress from Parcel II above as created by Development and Easement Agreement recorded in Liber 1673, page 501, Washtenaw County Records, as amended by document recorded in Liber 3877, Page 724 Washtenaw County Records.

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GENERAL NOTES:
SOIL TYPE:
ACCORDING TO THE U.S.D.A. NATURAL RESOURCE CONSERVATION SERVICE, WEB SOIL SURVEY WEBSITE, THE SITE CONSISTS OF THE FOLLOWING SOIL TYPES:
MmB: MIAMI LOAM, 2-6 PERCENT SLOPES
NO REGULATED WETLANDS EXIST ON THE SITE.

BENCHMARKS
(GPS DERIVED - NAVD88)
BM #300
ARROW ON HYDRANT ON THE EAST SIDE OF THE ENTRANCE DRIVE OFF OF PLYMOUTH ROAD 190 FEET NORTH OF THE NORTH CURB OF PLYMOUTH ROAD.
ELEV. - 916.25
BM #301
ARROW ON HYDRANT ON THE NORTHEASTERLY SIDE OF THE ENTRANCE DRIVE OFF OF PLYMOUTH ROAD 380 FEET NORTH OF THE NORTH CURB OF PLYMOUTH ROAD.
ELEV. - 919.26

FLOODPLAIN NOTE:
THE SUBJECT PARCEL LIES WITHIN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE "X") PER FEMA FLOOD INSURANCE RATE MAP NUMBER 26125C0262E, DATED APRIL 3, 2012

NOT FOR CONSTRUCTION

LEGAL DESCRIPTION
 (Per First American Title Insurance Company Commitment File No. NCS-881874-HOU1, Commitment Date November 28, 2017.

The land referred to in this Commitment, situated in the County of Washtenaw, City of Ann Arbor, State of Michigan, is described as follows:

Parcel II:
 Commencing at the South 1/4 corner of Section 14, Town 2 South, Range 6 East, City of Ann Arbor, Michigan; thence North 00 degrees 05 minutes 50 seconds East 810.08 feet along the North and South 1/4 line of said Section; thence North 70 degrees 54 minutes 30 seconds East, 349.47 feet along the centerline of Plymouth Road; thence North 00 degrees 05 minutes 30 seconds East, 347.77 feet for a place of beginning; thence continuing North 00 degrees 05 minutes 30 seconds East, 299.23 feet; thence North 70 degrees 54 minutes 30 seconds East, 641.13 feet; thence South 41 degrees 20 minutes 20 seconds West, 258.60 feet; thence South 19 degrees 06 minutes 20 seconds East, 142.85 feet; thence South 70 degrees 53 minutes 40 seconds West, 129.33 feet; thence South 19 degrees 06 minutes 20 seconds East, 13.0 feet; thence South 70 degrees 53 minutes 40 seconds West, 58.86 feet; thence 59.62 feet along the arc of a nontangential circular curve to the right, radius 65.0 feet; chord South 23 degrees 38 minutes West, 57.37 feet; thence 116.47 feet along the arc of a nontangential circular curve to the left, radius 108.00 feet, chord North 73 degrees 06 minutes 20 seconds West, 110.91 feet; thence 200.28 feet along the arc of a circular curve to the left, radius 500.0 feet, chord South 64 degrees 30 minutes 30 seconds West, 198.94 feet to the place of beginning, being a part of the Southeast 1/4 of said Section 14.

Parcel IV:
 Non-exclusive 27 foot wide easement, the centerline of which is described as: Commencing at the South 1/4 corner of Section 14, Town 2 South, Range 6 East, City of Ann Arbor, Michigan; thence North 00 degrees 05 minutes 50 seconds East, 810.08 feet along the North and South 1/4 line of said Section; thence North 70 degrees 54 minutes 30 seconds East, 349.47 feet along the centerline of Plymouth Road; thence North 00 degrees 05 minutes 30 seconds East, 347.77 feet for a place of beginning; thence continuing North 00 degrees 05 minutes 30 seconds East, 299.23 feet; thence North 70 degrees 54 minutes 30 seconds East, 641.13 feet; thence South 41 degrees 20 minutes 20 seconds West, 258.60 feet; thence South 19 degrees 06 minutes 20 seconds East, 142.85 feet; thence South 70 degrees 53 minutes 40 seconds West, 129.33 feet; thence South 19 degrees 06 minutes 20 seconds East, 13.0 feet; thence South 70 degrees 53 minutes 40 seconds West, 58.86 feet; thence 59.62 feet along the arc of a nontangential circular curve to the right, radius 65.0 feet; chord South 23 degrees 38 minutes West, 57.37 feet; thence 116.47 feet along the arc of a nontangential circular curve to the left, radius 108.00 feet, chord North 73 degrees 06 minutes 20 seconds West, 110.91 feet; thence 200.28 feet along the arc of a circular curve to the left, radius 500.0 feet, chord South 64 degrees 30 minutes 30 seconds West, 198.94 feet to the place of beginning, being a part of the Southeast 1/4 of said section, for the purpose of ingress and egress from Parcel II above as created by Development and Easement Agreement recorded in Liber 1673, page 501, Washtenaw County Records.

Parcel V:
 Non-exclusive 27 foot wide easement, the centerline of which is described as: Commencing at the South 1/4 corner of Section 14, Town 2 South, Range 6 East, City of Ann Arbor, Michigan; thence North 00 degrees 05 minutes 50 seconds East, 810.08 feet along the North and South 1/4 line of said Section; thence North 70 degrees 54 minutes 30 seconds East, 349.47 feet along the centerline of Plymouth Road; thence North 00 degrees 05 minutes 30 seconds East, 347.77 feet for a place of beginning; thence continuing North 00 degrees 05 minutes 30 seconds East, 299.23 feet; thence North 70 degrees 54 minutes 30 seconds East, 641.13 feet; thence South 41 degrees 20 minutes 20 seconds West, 258.60 feet; thence South 19 degrees 06 minutes 20 seconds East, 142.85 feet; thence South 70 degrees 53 minutes 40 seconds West, 129.33 feet; thence South 19 degrees 06 minutes 20 seconds East, 13.0 feet; thence South 70 degrees 53 minutes 40 seconds West, 58.86 feet; thence 59.62 feet along the arc of a nontangential circular curve to the right, radius 65.0 feet; chord South 23 degrees 38 minutes West, 57.37 feet for a place of ending, being a part of the Southeast 1/4 of said section, for the purpose of ingress to and egress from Parcel II above as created by Development and Easement Agreement recorded in Liber 1673, page 501, Washtenaw County Records.

SURVEYOR'S CERTIFICATE:

TO: First American Title Insurance Company
 American Title of Washtenaw
 Bank of Ann Arbor
 Markus Associates, LLC
 Doraid Markus
 Nason Kossab

This is to certify that this map or plot and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2016, and includes Items 2, 3, 4, 7(a), 8, 11, 13, 16-18 and 19 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further states that in my professional opinion, as a land surveyor registered in the State of Michigan, the Relative Positional Accuracy of this survey does not exceed that which is specified therein. The field work was completed on January 31, 2018.

02-14-18

Todd D. Shelly, PS
 Michigan Professional Surveyor No. 41111
 Agent for PEA, Inc.

SCHEDULE B-II (EXCEPTIONS)

(Per First American Title Insurance Company Commitment File No. NCS-881874-HOU1 Commitment Date November 28, 2017.

Items 1-5 and 12-15 are not plottable survey items.

6 All of the terms and provisions set forth and contained in that certain Lease between RRI I LLC, a Delaware limited liability company, Lessor, and RRI OPCO LLC, a Delaware limited liability company, Lessee, a memorandum of which is recorded in Liber 4844, Page 704. [AFFECTS ALL OF THE SUBJECT PROPERTY AS PLOTTED]

As affected by Amendment to Memorandum of Lease dated July 9, 2013, recorded August 5, 2013 in Liber 4992, Page 876, of Official Records. [AFFECTS ALL OF THE SUBJECT PROPERTY AS PLOTTED]

7 The terms, provisions and easement(s) contained in the document entitled "Utilities Development and Easement Agreement" recorded as Liber 1694, Page 87 of Official Records. [EXTENDS OVER ENTIRE PARCELS NOTED "RED ROOF", "ELIAS", AND "BOLGOS" AS NOTED]

8 The terms, provisions and easement(s) contained in the document entitled "Development and Easement Agreement" recorded as Liber 1673, Page 501, Liber 1694, Page 50, which is rerecorded in Liber 1701, Page 758, and clarified by Agreement recorded in Liber 1694, Page 108. Amendment to Development and Easement Agreement recorded in Liber 3877, Page 724 of Official Records. [AS PLOTTED]

9 Right of Way granted to Detroit Edison Company disclosed by instrument recorded in Liber 1738, Page 951, Washtenaw County Records. [AS PLOTTED]

10 Easement for parking spaces as recorded in Liber 2162, Page 371. [AS PLOTTED]

11 The terms, provisions and easement(s) contained in the document entitled "Grant of Easement" recorded July 8, 2016 as Liber 5158, Page 974 of Official Records. [AS PLOTTED]

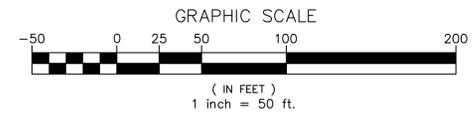
SURVEYORS NOTES:

- A At the time of survey there was no evidence observed of any tanks, drainage fields, or use as a solid waste dump or sanitary landfill.
- B There is no visual evidence of earth moving or construction on the subject parcel at some point in the past.
- C There is no evidence of potential wetlands observed on the subject property at the time the survey was conducted. No wetland delineation report was provided to the surveyor.
- D Potential water main and sanitary sewer easement crossing subject property- no easement document provided.

FLOODPLAIN NOTE:
 THE SUBJECT PARCEL LIES WITHIN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE "X") PER FEMA FLOOD INSURANCE RATE MAP NUMBER 26125C0262E, DATED APRIL 3, 2012

PARKING SPACES

ON SITE
 134 REGULAR
 6 HANDICAP



CAUTION!
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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL PRACTICES OF THE CONSTRUCTION INDUSTRY, THE CONTRACTOR SHALL BE SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL BE MADE TO APPLY CONTRACTORS AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFINE, IDENTIFY AND MARK EXISTING UTILITIES, AND ALLIED, IN CONNECTION WITH THE PERFORMANCE OF THIS PROJECT. CONTRACTOR'S LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

3 FULL WORKING DAYS BEFORE YOU DIG CALL

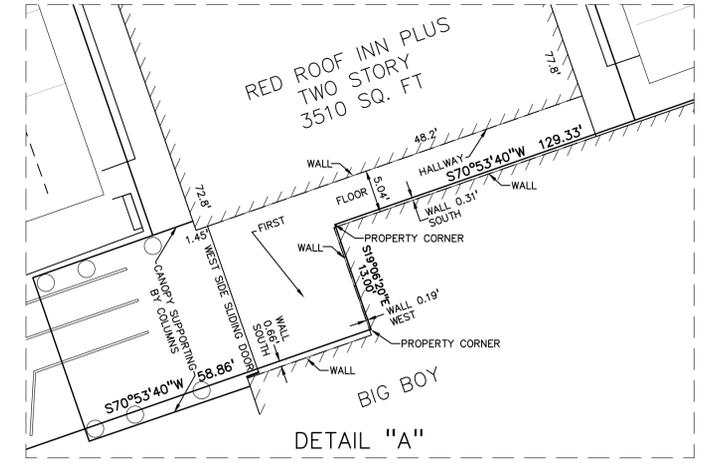
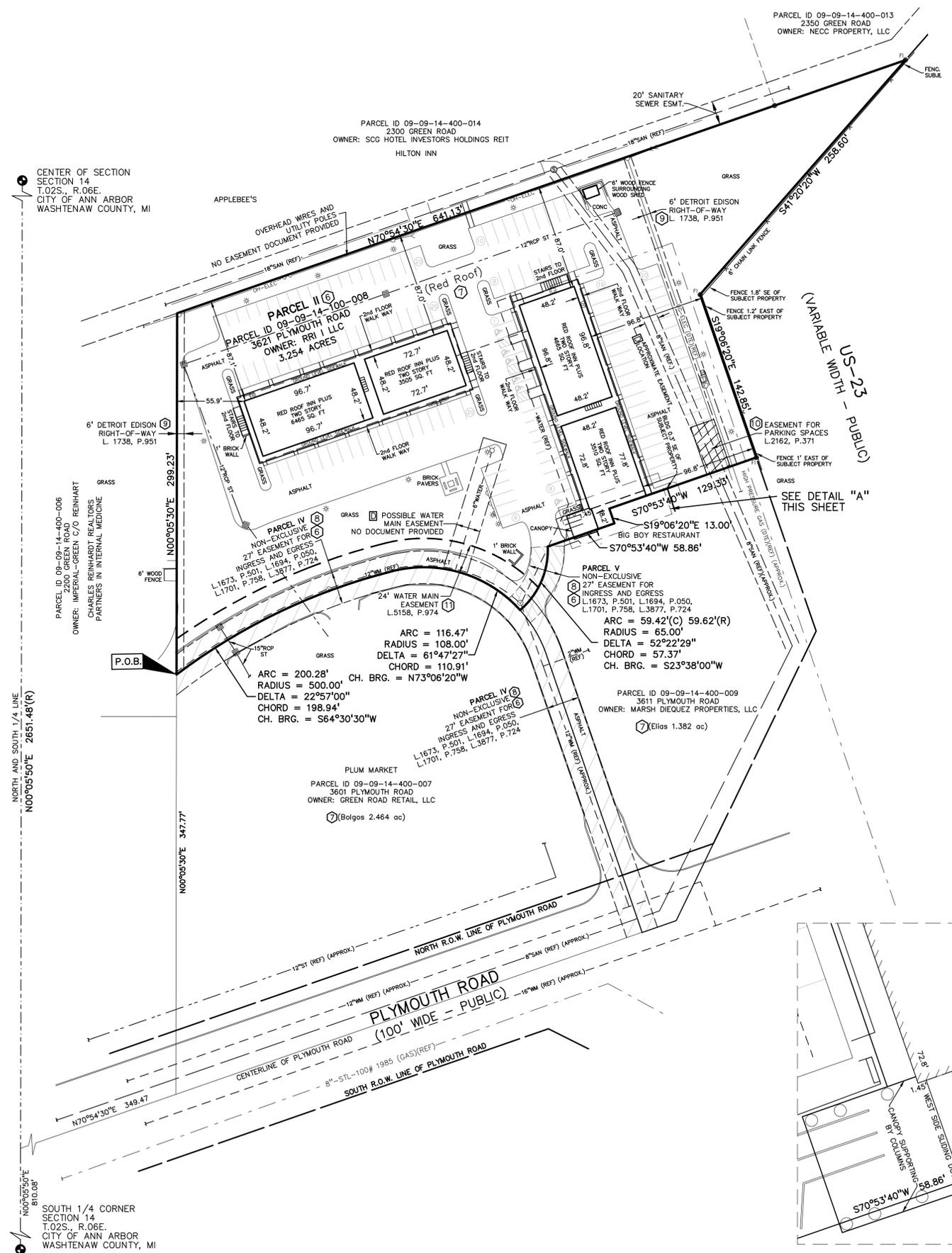
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MARKUS ASSOCIATES, LLC
 351E MERRILL SUITE 205
 BIRMINGHAM, MICHIGAN 48009
ALTANSPS LAND TITLE SURVEY
3621 PLYMOUTH ROAD
 PART OF THE SE 1/4 OF SECTION 14, T.02S., R.06E.
 CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN
 DES. DN. GWC SUR. ROISE P.M. JPB
 S:\PROJECTS\2017\2017-436-3621 PLYMOUTH ROAD-105\WMSITE PLANS\VC-111 ALTA - 17AS-01m

ORIGINAL ISSUE DATE:
 JANUARY 30, 2018
 PEA JOB NO. 2017-435
 SCALE: 1" = 50'
 DRAWING NUMBER:
C-1.1



LEGAL DESCRIPTION
 (Per Reputation First Title Agency (First American Title Insurance Company) Commitment No. 26857, Commitment Date January 22, 2018.)

The land referred to in this Commitment is described as follows:

Situated in the City of Ann Arbor, County of Washtenaw, State of Michigan.

Commencing at the South 1/4 corner of Section 14, T2S, R6E, City of Ann Arbor, Michigan; thence N 00 degrees 05' 50" E 810.08 feet along the North and South 1/4 line of said Section; thence N 70 degrees 54' 30" E 759.87 feet along the centerline of Plymouth Road for a PLACE OF BEGINNING; thence N 19 degrees 05' 30" W 243.0 feet; thence 43.57 feet along the arc of a tangential curve to the left, radius 108.0 feet, chord N 30 degrees 39' W 43.29 feet; thence Northeastly 59.62 feet along the arc of a non-tangential circular curve to the left, radius 65.0 feet, chord N 23 degrees 38' E 57.37 feet; thence N 70 degrees 53' 40" E 58.86 feet; thence N 19 degrees 06' 20" W 13.0 feet; thence N 70 degrees 53' 40" E 129.33 feet; thence S 19 degrees 06' 20" E 152.16 feet; thence S 25 degrees 53' 40" W 266.60 feet; thence S 70 degrees 54' 30" W 30.26 feet along the centerline of Plymouth Road to the Place of Beginning, being part of the Southeast 1/4 of said Section.

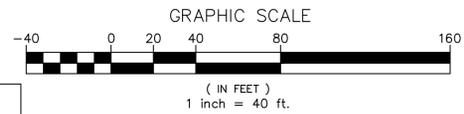
Together with and subject to the rights of others in a Non-exclusive 27 foot wide easement, the centerline of which is described as: Commencing at the South 1/4 corner of Section 14, Town 2 South, Range 6 East, City of Ann Arbor, Michigan; thence North 00 degrees 05 minutes 50 seconds East, 810.08 feet along the North and South 1/4 line of said Section; thence North 70 degrees 54 minutes 30 seconds East, 349.47 feet along the centerline of Plymouth Road; thence North 00 degrees 05 minutes 30 seconds East, 347.77 feet for a place of beginning; thence 200.28 feet along the arc of a nontangential circular curve to the right, radius 500.00 feet, chord North 64 degrees 30 minutes 30 seconds East, 198.94 feet; thence 160.05 feet along the arc of a circular curve to the right, radius 108.0 feet; chord South 61 degrees 32 minutes 45 seconds East, 145.80 feet; thence South 19 degrees 05 minutes 30 seconds East, 243.0 feet to the place of ending, being a part of the Southeast 1/4 of said section, for the purpose of ingress and egress from Parcel II above as created by Development and Easement Agreement recorded in Liber 1673, page 501, Washtenaw County Records, as amended by document recorded in Liber 3877, Page 724 Washtenaw County Records.

Together with and subject to the rights of others in a Non-exclusive 27 foot wide easement, the centerline of which is described as: Commencing at the South 1/4 corner of Section 14, Town 2 South, Range 6 East, City of Ann Arbor, Michigan; thence North 00 degrees 05 minutes 50 seconds East, 810.08 feet along the North and South 1/4 line of said Section; thence North 70 degrees 54 minutes 30 seconds East, 759.87 feet along the centerline of Plymouth Road; thence North 19 degrees 05 minutes 30 seconds West, 243.00 feet; thence 43.57 feet along the arc of a circular curve to the left, radius 108.00 feet, chord North 30 degrees 39 minutes West, 43.29 feet for a place of beginning; thence Northeastly 59.62 feet along the arc of a nontangential circular curve to the left, radius 65.0 feet, chord North 23 degrees 38 minutes East, 57.37 feet for a place of ending, being a part of the Southeast 1/4 of said section, for the purpose of ingress to and egress, as created by Development and Easement Agreement recorded in Liber 1673, page 501, Washtenaw County Records, as amended by document recorded in Liber 3877, Page 724 Washtenaw County Records.

SCHEDULE B-II (EXCEPTIONS)
 (Per Reputation First Title Agency (First American Title Insurance Company) Commitment No. 26857, Commitment Date January 22, 2018.)

Items 1-9 and 27-35 are not plottable survey items.

- 10 Affidavit of Notice of Energy Assessment Agreement between Marsh Diequez Properties, LLC and the City of Ann Arbor as recorded in Liber 4976, page 36. [AFFECTS ALL OF THE SUBJECT PROPERTY]
- 11 Terms and Conditions contained in the Grant of Easement for Water Mains as disclosed by instrument recorded in Liber 5124, page 906. [AS PLOTTED]
- 12 Non-exclusive Easements for ingress and egress crossing the subject property and neighboring property as disclosed by legal description and documents as recorded in Liber 1673, page 501, as amended by documents as recorded in Liber 1694, page 108, Liber 3877, page 724, and as disclosed by documents as recorded in Liber 1694, pages 64 and 74, Liber 1701, page 403, Liber 1702, page 258 and Liber 4072, page 370. [AS PLOTTED]
- 13 Terms and Conditions contained in the Releases of Right of Way in favor of the State Highway Commissioner of the State of Michigan as disclosed by instrument recorded in Liber 261, page 178 and 179, as to Plymouth Road. [AS PLOTTED]
- 14 Terms and Conditions contained in the Determination of Necessity by the State Highway Commissioner of the State of Michigan as disclosed by instrument recorded in Liber 946, page 341, as to State Trunkline Highway US-23. [NOT PROVIDED]
- 15 Terms and Conditions contained in the Common Entryway Agreement as disclosed by instrument recorded in Liber 1694, page 76. [AS PLOTTED]
- 16 Party wall with adjacent property as disclosed by Common Entryway Agreement as recorded in Liber 1694, page 76. [AS PLOTTED]
- 17 Terms and Conditions contained in the Development and Easement Agreement as disclosed by instrument recorded in Liber 1673, page 501, re recorded in Liber 1694, page 108 and Liber 3877, page 724. [AS PLOTTED]
- 18 Terms and Conditions contained in the Utilities Development and Easement Agreement as disclosed by instrument recorded in Liber 1694, page 87. [AS PLOTTED]
- 19 Terms and Conditions contained in the Site Preparation Agreement as disclosed by instrument recorded in Liber 1694, page 100. [AFFECTS ALL OF THE SUBJECT PROPERTY]
- 20 Terms and Conditions contained in the Development and Easement Agreement as disclosed by instrument recorded in Liber 1694, page 50, re-recorded in Liber 1701, page 758 and further amended in Liber 3877, page 724. [AS PLOTTED]
- 21 Terms and Conditions contained in the Signage Easement as disclosed by instrument recorded in Liber 1748, page 251. [AS PLOTTED]
- 22 Right of Way (Underground) in favor of The Detroit Edison Company and the Covenants, Conditions and Restrictions contained in the instrument recorded in Liber 1800, page 481. [AS PLOTTED]
- 23 Terms and Conditions contained in the Agreement for Water Service as disclosed by instrument recorded in Liber 1813, page 724. [NOT PLOTTABLE. NO SPECIFIC LOCATION DESCRIBED]
- 24 Right of Way (Underground) in favor of The Detroit Edison Company and the Covenants, Conditions and Restrictions contained in the instrument recorded in Liber 2017, page 904. [AS PLOTTED]
- 25 Easement for joint use of parking spaces with neighboring property and the right to enter upon paved areas of the neighboring property to allow access to and from the parking spaces as recorded in Liber 2162, page 371. [AS PLOTTED]
- 26 Terms and Conditions contained in the Underground Right of Way Agreement in favor of The Detroit Edison Company as disclosed by instrument recorded in Liber 2363, page 668. [AS PLOTTED]
- 29 Mortgage in the original amount of \$1,100,000.00 executed by Elias Brothers Restaurants, Inc., to MANUFACTURERS NATIONAL BANK OF DETROIT, dated April 27, 1990, recorded May 4, 1990, in Liber 2402, page 871; Amended and Restated Real Estate Mortgage dated November 22, 1996 and recorded December 16, 1996 in Liber 3359, page 212; now being held by Standard Federal Bank, a Federal Savings Bank, by Assignment as recorded in Liber 3671, page 536. Said Mortgage was further amended by First Amendment dated May 14, 1998, and recorded May 29, 1998 in Liber 3671, page 538. [NOT PROVIDED]



PARKING SPACES
 ON SITE
 53 REGULAR
 6 REGULAR IN EASEMENT
 2 HANDICAP

SURVEYOR'S CERTIFICATE:

TO: First American Title Insurance Company
 Reputation First Title Agency
 Markus Associates, LLC
 Doraid Markus
 Nason Kassab

This is to certify that this map or plat and the survey on which it is based were made in accordance with the "Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys," jointly established and adopted by ALTA and NSPS in 2016, and includes Items 2, 3, 4, 7(a), 8, 11, 13, 16-18 and 19 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further states that in my professional opinion, as a land surveyor registered in the State of Michigan, the Relative Positional Accuracy of this survey does not exceed that which is specified therein. The field work was completed on March 13, 2018.

Todd D. Shelly, PS
 Michigan Professional Surveyor No. 41111
 Agent for PEA, Inc.

LOCATION MAP - NOT TO SCALE



NO.	BY	CHK DESCRIPTION	DATE

REVISIONS

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THIS DRAWING AND DESIGN ARE THE PROPERTY OF PEA, INC. THEY ARE SEPARATE FROM THE CONTRACT DOCUMENTS AND SHALL BE RETURNED TO PEA, INC. IMMEDIATELY UPON COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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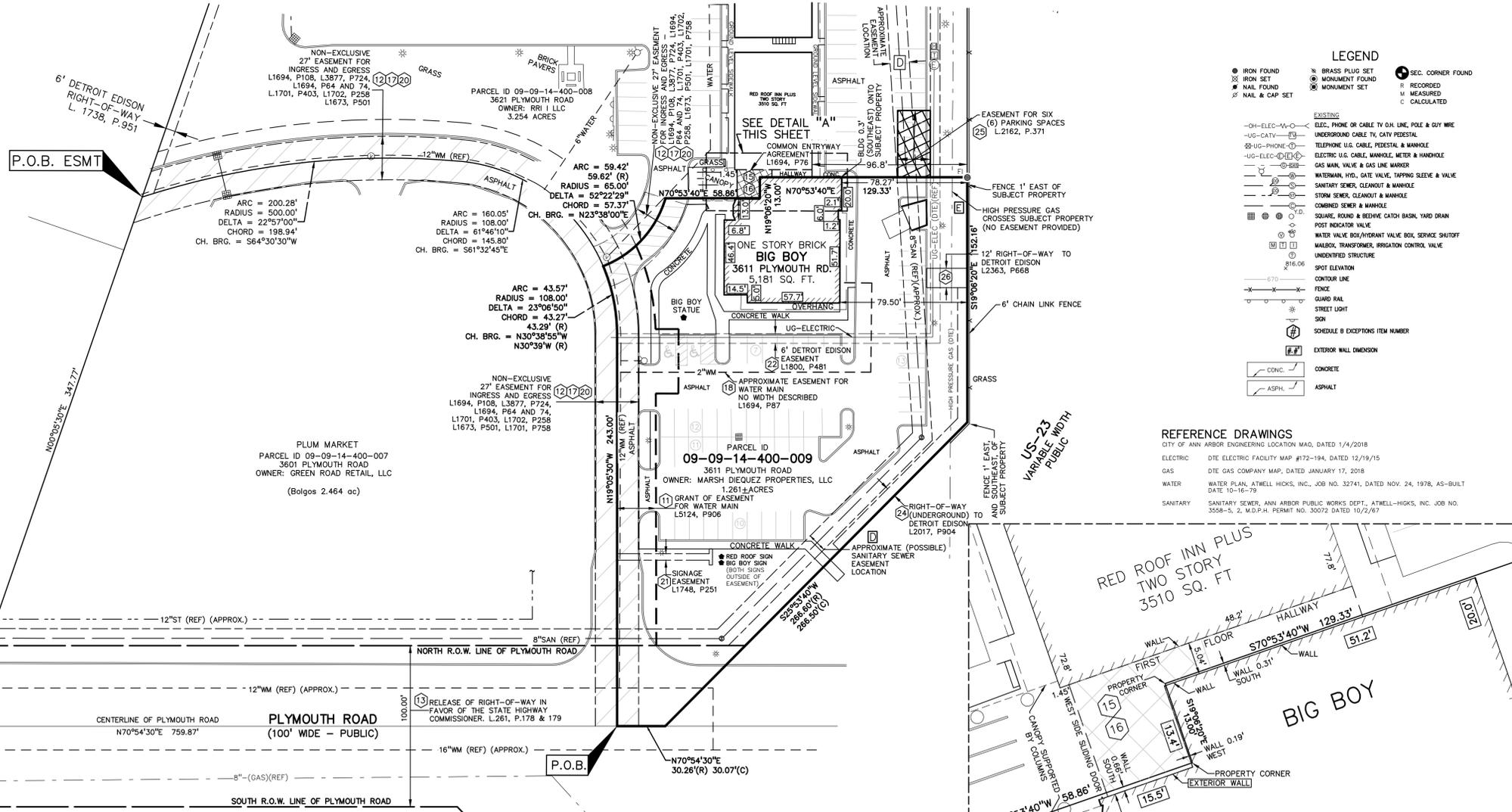


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ALTA/NSPS LAND TITLE SURVEY
3611 PLYMOUTH ROAD
 PART OF THE SE 1/4 OF SECTION 14, T.02S. R.06E. CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

ORIGINAL ISSUE DATE:
 MARCH 22, 2018
 PEA JOB NO. 2017-435
 SCALE: 1" = 50'
 DRAWING NUMBER:
C-1.2

CENTER OF SECTION SECTION 14 T.02S., R.06E. CITY OF ANN ARBOR WASHTENAW COUNTY, MI FOUND MON IN MON BOX



- SURVEYORS NOTES:**
- A At the time of survey there was no evidence observed of any tanks, drainage fields, or use as a solid waste dump or sanitary landfill.
 - B There is no visual evidence of earth moving or construction on the subject parcel at some point in the past.
 - C There is no evidence of potential wetlands observed on the subject property at the time the survey was conducted. No wetland delineation report was provided to the surveyor.
 - D Potential sanitary sewer easement crossing subject property. No easement document provided.
 - E High pressure natural gas line crosses subject property. No easement document provided.

LEGEND

● IRON FOUND	⊗ BRASS PLUG SET	⊙ SEC. CORNER FOUND
⊗ IRON SET	⊙ MONUMENT FOUND	⊙ RECORDED
⊙ NAIL FOUND	⊙ MONUMENT SET	⊙ MEASURED
⊙ NAIL & CAP SET		⊙ CALCULATED

EXISTING

-O-ELEC-W-C	ELEC. PHONE OR CABLE TV OR LINE, POLE & GUY WIRE
-U-CATV	UNDERGROUND CABLE TV, CATV FEEDLINE
-U-C-PHONE	TELEPHONE U.G. CABLE, FEEDLINE & MANHOLE
-U-ELEC	ELECTRIC U.G. CABLE, MANHOLE, METER & MANHOLE
⊙-GAS	GAS MAN. VALVE & GAS LINE MARKER
⊙-WATER	WATERMAN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
⊙-SEWER	SANITARY SEWER, CLEANOUT & MANHOLE
⊙-STORM	STORM SEWER, CLEANOUT & MANHOLE
⊙-SEWER & MANHOLE	COMBINED SEWER & MANHOLE
⊙-SQUARE, ROUND & BEEHIVE CATCH BASIN, YARD DRAIN	POST INDICATOR VALVE
⊙-WATER VALVE BOX, HYDRANT VALVE BOX, SERVICE SHUTOFF	MAJOR, TRANSFORMER, IRRIGATION CONTROL, VALVE
⊙-UNIDENTIFIED STRUCTURE	SPOT ELEVATION
⊙-CONTOUR LINE	FENCE
⊙-GUARD RAIL	STREET LIGHT
⊙-SIGN	SIGN
⊙-SCHEDULE B EXCEPTIONS ITEM NUMBER	

EXTERIOR WALL DIMENSION

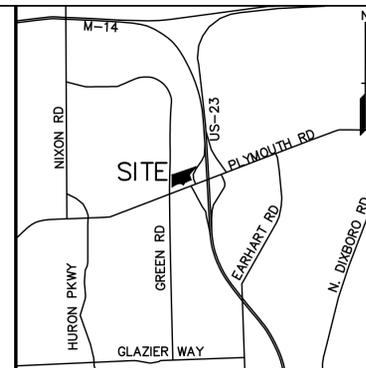
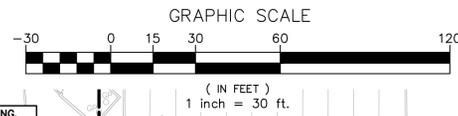
CONC.	CONCRETE
ASPH.	ASPHALT

REFERENCE DRAWINGS
 CITY OF ANN ARBOR ENGINEERING LOCATION MAP, DATED 1/4/2018
 ELECTRIC DTE ELECTRIC FACILITY MAP #172-194, DATED 12/19/15
 GAS DTE GAS COMPANY MAP, DATED JANUARY 17, 2018
 WATER WATER PLAN, ATWELL HICKS, INC., JOB NO. 32741, DATED NOV. 24, 1978, AS-BUILT DATE 10-16-79
 SANITARY SANITARY SEWER, ANN ARBOR PUBLIC WORKS DEPT., ATWELL-HICKS, INC. JOB NO. 3558-5, 2, M.D.P.H. PERMIT NO. 30072 DATED 10/2/67

FLOODPLAIN NOTE:
 THE SUBJECT PARCEL LIES WITHIN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE "X") PER FEMA FLOOD INSURANCE RATE MAP NUMBER 26125C0262E, DATED APRIL 3, 2012

DETAIL "A"

SOUTH 1/4 CORNER SECTION 14 T.02S., R.06E. CITY OF ANN ARBOR WASHTENAW COUNTY, MI FOUND REMON



NO.	DATE	REVISIONS
1	10/22/15	ISSUED FOR PERMITS
2	04/06/16	REVISED PER CITY COMMENTS
3	04/06/16	REVISED PER CITY COMMENTS
4	04/06/16	REVISED PER CITY COMMENTS
5	04/06/16	REVISED PER CITY COMMENTS
6	04/06/16	REVISED PER CITY COMMENTS
7	04/06/16	REVISED PER CITY COMMENTS
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99	04/06/16	REVISED PER CITY COMMENTS
100	04/06/16	REVISED PER CITY COMMENTS



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MARKUS MANAGEMENT GROUP, LLC
221 E. MERRILL STREET
BIRMINGHAM, MICHIGAN 48009

DIMENSION AND PAVING PLAN
MMG-PLYMOUTH MIXED USE DEVELOPMENT
PART OF THE SE 1/4 OF SECTION 14, T. 25, R. 6E,
CITY OF ANN ARBOR, WASHINGTON COUNTY, MICHIGAN

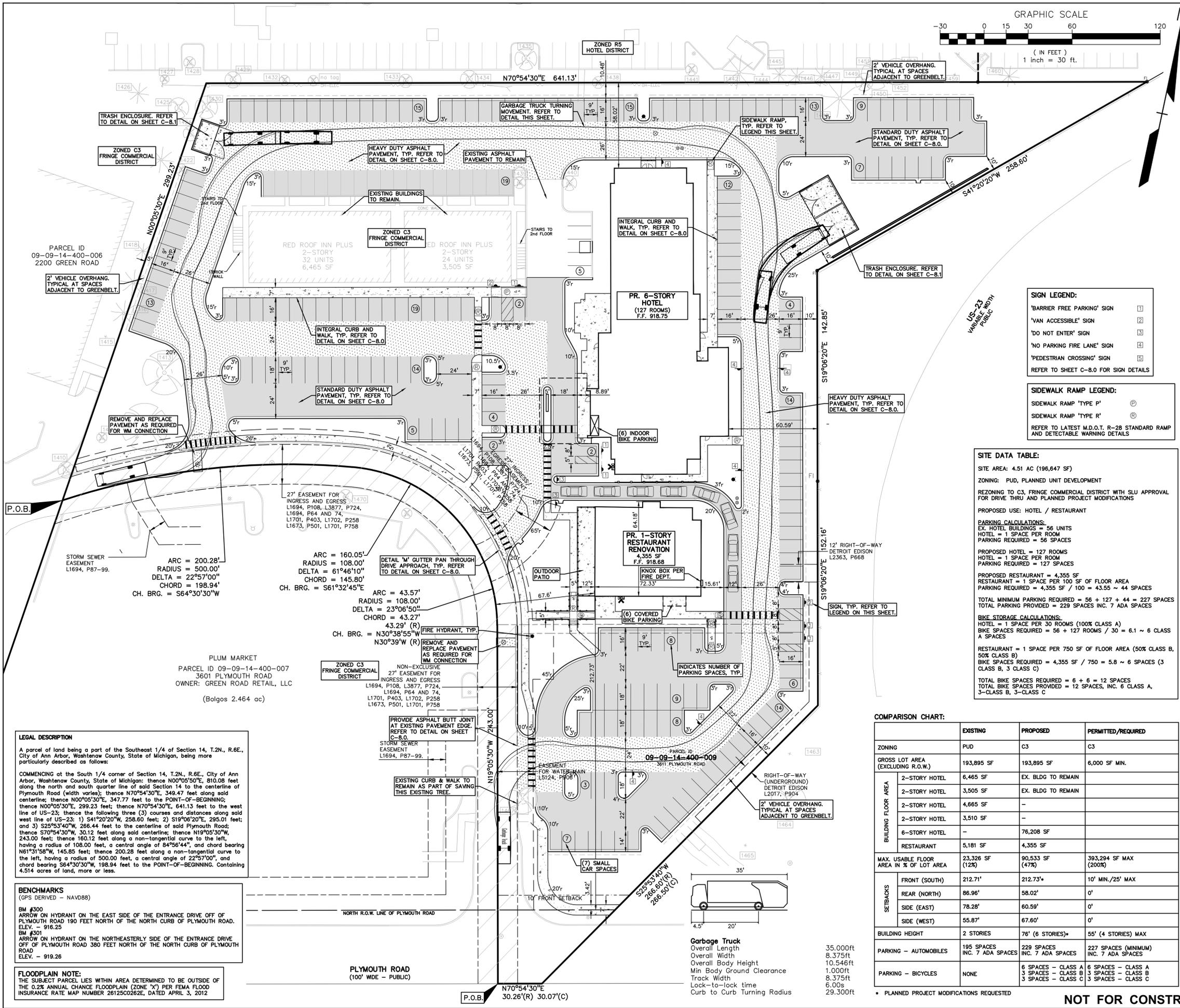
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ORIGINAL ISSUE DATE:
JANUARY 31, 2019

PEA JOB NO. 2017-435

SCALE: 1" = 30'

DRAWING NUMBER:
C-2.0



LEGEND

EXISTING	PROPOSED
IRON FOUND	SEC. CORNER FOUND
IRON SET	RECORDED
NAIL FOUND	MEASURED
NAIL & CAP SET	CALCULATED
01-04-ELEC-114-C	ELEC. PHONE OR CABLE TV CH. LINE, FILE & GUY WIRE
02-04-CATV	UNDERGROUND CABLE TV, CATV FEEDLINE
03-04-PHONE	TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
04-04-ELEC	ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
05-04-GAS	GAS MAN. VALVE & GAS LINE MARKER
06-04-WATER	WATERMAN. HYS. GATE VALVE, TAPPING SLEEVE & VALVE
07-04-SANITARY	SANITARY SEWER, CLEANOUT & MANHOLE
08-04-STORM	STORM SEWER, CLEANOUT & MANHOLE
09-04-COMB	COMBINED SEWER & MANHOLE
10-04-SQ	SQUARE, ROUND & BEDDIE CATCH BASIN, YARD DRAIN
11-04-POST	POST INDICATOR VALVE
12-04-WATER	WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
13-04-MAN	MANHOLE, TRANSFORMER, HYDRANT CONTROL VALVE
14-04-UNID	UNIDENTIFIED STRUCTURE
15-04-SPOT	SPOT ELEVATION
16-04-CONTOUR	CONTOUR LINE
17-04-FENCE	FENCE
18-04-GUARD	GUARD RAIL
19-04-STREET	STREET LIGHT
20-04-SIGN	SIGN
21-04-CONC.	CONCRETE
22-04-ASPH.	ASPHALT
23-04-GRAVEL	GRAVEL SHOULDER
24-04-METALD	METALD
25-04-3RD	3RD HEAVY R.O.W. DUTY ONLY
26-04-3RD	3RD HEAVY BEEP DUTY ONLY

SIGN LEGEND:

'BARRIER FREE PARKING' SIGN	1
'VAN ACCESSIBLE' SIGN	2
'DO NOT ENTER' SIGN	3
'NO PARKING FIRE LANE' SIGN	4
'PEDESTRIAN CROSSING' SIGN	5

REFER TO SHEET C-8.0 FOR SIGN DETAILS

SIDEWALK RAMP LEGEND:

SIDEWALK RAMP 'TYPE P'	P
SIDEWALK RAMP 'TYPE R'	R

REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS

SITE DATA TABLE:

SITE AREA: 4.51 AC (196,647 SF)
ZONING: PUD, PLANNED UNIT DEVELOPMENT
REZONING TO C3, FRINGE COMMERCIAL DISTRICT WITH SLU APPROVAL FOR DRIVE THRU AND PLANNED PROJECT MODIFICATIONS

PROPOSED USE: HOTEL / RESTAURANT

PARKING CALCULATIONS:
EX. HOTEL BUILDINGS = 56 UNITS
HOTEL = 1 SPACE PER ROOM
PARKING REQUIRED = 56 SPACES

PROPOSED HOTEL = 127 ROOMS
HOTEL = 1 SPACE PER ROOM
PARKING REQUIRED = 127 SPACES

PROPOSED RESTAURANT = 4,355 SF
RESTAURANT = 1 SPACE PER 100 SF OF FLOOR AREA
PARKING REQUIRED = 4,355 SF / 100 = 43.55 ~ 44 SPACES

TOTAL MINIMUM PARKING REQUIRED = 56 + 127 + 44 = 227 SPACES
TOTAL PARKING PROVIDED = 229 SPACES INC. 7 ADA SPACES

BIKE STORAGE CALCULATIONS:
HOTEL = 1 SPACE PER 30 ROOMS (100% CLASS A)
BIKE SPACES REQUIRED = 56 + 127 ROOMS / 30 = 6.1 ~ 6 CLASS A SPACES

RESTAURANT = 1 SPACE PER 750 SF OF FLOOR AREA (50% CLASS B, 50% CLASS C)
BIKE SPACES REQUIRED = 4,355 SF / 750 = 5.8 ~ 6 SPACES (3 CLASS B, 3 CLASS C)

TOTAL BIKE SPACES REQUIRED = 6 + 6 = 12 SPACES
TOTAL BIKE SPACES PROVIDED = 12 SPACES, INC. 6 CLASS A, 3-CLASS B, 3-CLASS C

COMPARISON CHART:

	EXISTING	PROPOSED	PERMITTED/REQUIRED
ZONING	PUD	C3	C3
GROSS LOT AREA (EXCLUDING R.O.W.)	193,895 SF	193,895 SF	6,000 SF MIN.
BUILDING FLOOR AREA	2-STORY HOTEL, 6,465 SF	EX. BLDG TO REMAIN	
	2-STORY HOTEL, 3,505 SF	EX. BLDG TO REMAIN	
	2-STORY HOTEL, 4,665 SF	-	
	2-STORY HOTEL, 3,510 SF	-	
	6-STORY HOTEL -	76,208 SF	
	RESTAURANT, 5,181 SF	4,355 SF	
MAX. USABLE FLOOR AREA IN % OF LOT AREA	23,326 SF (12%)	90,533 SF (47%)	393,294 SF MAX (200%)
SETBACKS	FRONT (SOUTH) 212.71'	212.73*	10' MIN./25' MAX
	REAR (NORTH) 86.96'	58.02'	0'
	SIDE (EAST) 78.28'	60.59'	0'
	SIDE (WEST) 55.87'	67.60'	0'
BUILDING HEIGHT	2 STORIES	76' (6 STORIES)*	55' (4 STORIES) MAX
PARKING - AUTOMOBILES	195 SPACES INC. 7 ADA SPACES	229 SPACES INC. 7 ADA SPACES	227 SPACES (MINIMUM) INC. 7 ADA SPACES
PARKING - BICYCLES	NONE	6 SPACES - CLASS A 3 SPACES - CLASS B 3 SPACES - CLASS C	6 SPACES - CLASS A 3 SPACES - CLASS B 3 SPACES - CLASS C

* PLANNED PROJECT MODIFICATIONS REQUESTED

LEGAL DESCRIPTION
A parcel of land being a part of the Southeast 1/4 of Section 14, T.2N., R.6E., City of Ann Arbor, Washtenaw County, State of Michigan, being more particularly described as follows:

COMMENCING at the South 1/4 corner of Section 14, T.2N., R.6E., City of Ann Arbor, Washtenaw County, State of Michigan; thence N00°05'50"E, 810.08 feet along the north and south quarter line of said Section 14 to the centerline of Plymouth Road (width varies); thence N70°54'30"E, 348.47 feet along said centerline; thence N00°05'30"E, 347.77 feet to the POINT-OF-BEGINNING; thence N00°05'30"E, 299.23 feet; thence N70°54'30"E, 641.13 feet to the west line of US-23; thence the following three (3) courses and distances along said west line of US-23: 1) S41°20'20"W, 258.00 feet; 2) S19°06'20"E, 295.01 feet; and 3) S25°53'40"W, 286.44 feet to the centerline of said Plymouth Road; thence S70°54'30"W, 30.12 feet along said centerline; thence N19°05'30"W, 243.00 feet; thence 180.12 feet along a non-tangential curve to the left, having a radius of 108.00 feet, a central angle of 84°56'44", and chord bearing N51°31'58"W, 145.85 feet; thence 200.28 feet along a non-tangential curve to the left, having a radius of 500.00 feet, a central angle of 22°57'00", and chord bearing S64°30'30"W, 198.94 feet to the POINT-OF-BEGINNING. Containing 4.514 acres of land, more or less.

BENCHMARKS
(GPS DERIVED - NAVD88)

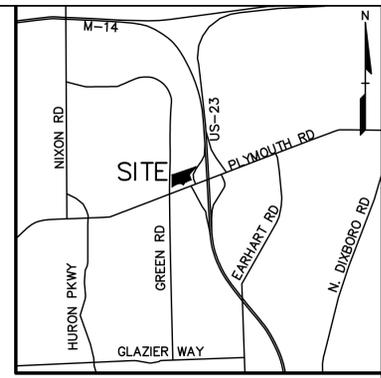
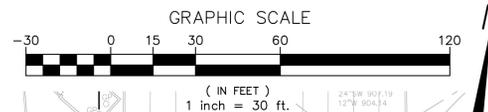
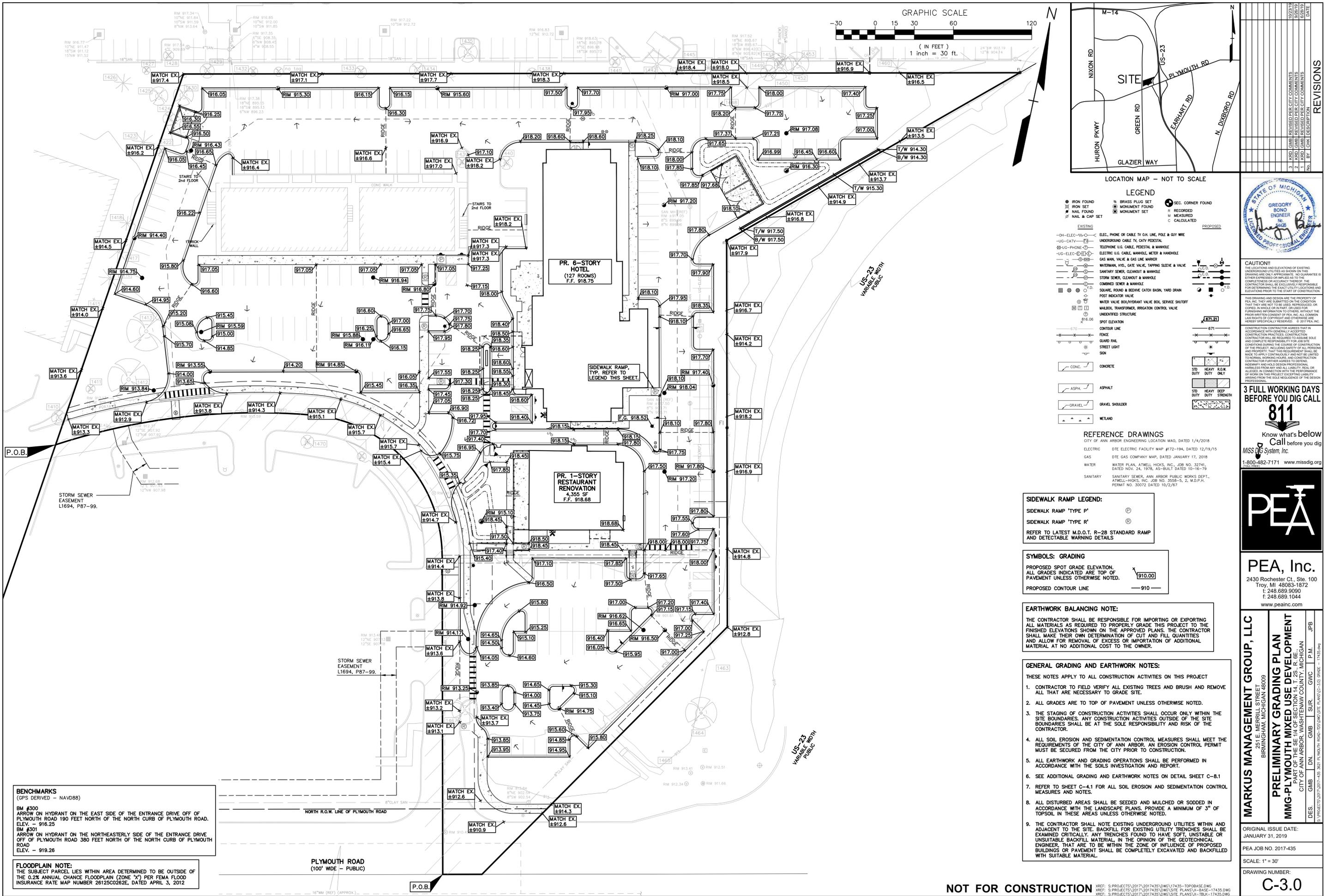
BM #300
ARROW ON HYDRANT ON THE EAST SIDE OF THE ENTRANCE DRIVE OFF OF PLYMOUTH ROAD 190 FEET NORTH OF THE NORTH CURB OF PLYMOUTH ROAD.
ELEV. - 916.25

BM #301
ARROW ON HYDRANT ON THE NORTHEASTERLY SIDE OF THE ENTRANCE DRIVE OFF OF PLYMOUTH ROAD 380 FEET NORTH OF THE NORTH CURB OF PLYMOUTH ROAD.
ELEV. - 919.26

FLOODPLAIN NOTE:
THE SUBJECT PARCEL LIES WITHIN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE 'X') PER FEMA FLOOD INSURANCE RATE MAP NUMBER 261250C262E, DATED APRIL 3, 2012

Garbage Truck
Overall Length 35.00ft
Overall Width 8.375ft
Overall Body Height 10.546ft
Min Body Ground Clearance 1.000ft
Track Width 8.375ft
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 29.300ft

NOT FOR CONSTRUCTION



NO.	DATE	DESCRIPTION
1	10/22/15	ISSUED FOR PERMITS
2	08/01/15	REVISED PER CITY COMMENTS
3	06/01/15	REVISED PER CITY COMMENTS
4	05/01/15	REVISED PER CITY COMMENTS
5	04/01/15	REVISED PER CITY COMMENTS



CAUTION!
 THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THESE UTILITIES. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERAL ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION SHALL BE COMPLETED WITHIN THE SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT. INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THE CONTRACTOR SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONSTRUCTION.

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MARKUS MANAGEMENT GROUP, LLC
 221 E. MERRILL STREET
 BIRMINGHAM, MICHIGAN 48009

PRELIMINARY GRADING PLAN
MMG-PLYMOUTH MIXED USE DEVELOPMENT
 PART OF THE SE 1/4 OF SECTION 14, T. 25, R. 6E,
 CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

DES. GMB DN. GMB SUR. GWC P.M. JPB
 S:\PROJECTS\2017\2017435\DWG\SITE PLANS\VA-BASE-17435-01.DWG

ORIGINAL ISSUE DATE:
 JANUARY 31, 2019

PEA JOB NO. 2017-435

SCALE: 1" = 30'

DRAWING NUMBER:
C-3.0

EXISTING	PROPOSED
IRON FOUND	SEC. CORNER FOUND
IRON SET	RECORDED
NAIL FOUND	MEASURED
NAIL & CAP SET	CALCULATED
BRASS PLUG SET	
MONUMENT FOUND	
MONUMENT SET	
EXISTING UNDERGROUND CABLE TV, CATV FEESTAL	PROPOSED UNDERGROUND CABLE TV, CATV FEESTAL
EXISTING TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE	PROPOSED TELEPHONE U.G. CABLE, PEDESTAL & MANHOLE
EXISTING ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE	PROPOSED ELECTRIC U.G. CABLE, MANHOLE, METER & HANDHOLE
EXISTING GAS MAN, VALVE & GAS LINE MARKER	PROPOSED GAS MAN, VALVE & GAS LINE MARKER
EXISTING WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE	PROPOSED WATERMAIN, HYD. GATE VALVE, TAPPING SLEEVE & VALVE
EXISTING SANITARY SEWER, CLEANOUT & MANHOLE	PROPOSED SANITARY SEWER, CLEANOUT & MANHOLE
EXISTING STORM SEWER, CLEANOUT & MANHOLE	PROPOSED STORM SEWER, CLEANOUT & MANHOLE
EXISTING COMBINED SEWER & MANHOLE	PROPOSED COMBINED SEWER & MANHOLE
EXISTING SQUARE, ROUND & BEDDIE CATCH BASIN, YARD DRAIN	PROPOSED SQUARE, ROUND & BEDDIE CATCH BASIN, YARD DRAIN
EXISTING POST INDICATOR VALVE	PROPOSED POST INDICATOR VALVE
EXISTING WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF	PROPOSED WATER VALVE BOX/HYDRANT VALVE BOX, SERVICE SHUTOFF
EXISTING MANHOLE TRANSFORMER, HYDRANT CONTROL VALVE	PROPOSED MANHOLE TRANSFORMER, HYDRANT CONTROL VALVE
EXISTING UNIDENTIFIED STRUCTURE	PROPOSED UNIDENTIFIED STRUCTURE
EXISTING SPOT ELEVATION	PROPOSED SPOT ELEVATION
EXISTING CONTOUR LINE	PROPOSED CONTOUR LINE
EXISTING FENCE	PROPOSED FENCE
EXISTING GUARD RAIL	PROPOSED GUARD RAIL
EXISTING STREET LIGHT	PROPOSED STREET LIGHT
EXISTING SIGN	PROPOSED SIGN
EXISTING CONC.	PROPOSED CONC.
EXISTING ASPH.	PROPOSED ASPH.
EXISTING GRAVEL SHOULDER	PROPOSED GRAVEL SHOULDER
EXISTING METALD	PROPOSED METALD
EXISTING 671	PROPOSED 671
EXISTING 3/4" STB. HEAVY R&W DUTY	PROPOSED 3/4" STB. HEAVY R&W DUTY
EXISTING 1/2" STB. HEAVY DEEP DUTY	PROPOSED 1/2" STB. HEAVY DEEP DUTY

REFERENCE DRAWINGS
CITY OF ANN ARBOR ENGINEERING LOCATION MAP, DATED 1/4/2018
ELECTRIC DTE ELECTRIC FACILITY MAP #172-194, DATED 12/9/15
GAS DTE GAS COMPANY MAP, DATED JANUARY 17, 2018
WATER WATER PLAN, ATWELL-HIGGS, INC., JOB NO. 32741, DATED NOV. 24, 1978, AS-BUILT DATED 10-16-79
SANITARY SANITARY SEWER, ANN ARBOR PUBLIC WORKS DEPT., ATWELL-HIGGS, INC., JOB NO. 3558-5, 2, M.D.P.H., PERMIT NO. 35072 DATED 10/2/67

SIDEWALK RAMP LEGEND:	
SIDEWALK RAMP 'TYPE P'	(P)
SIDEWALK RAMP 'TYPE R'	(R)
REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS	

SYMBOLS: GRADING	
PROPOSED SPOT GRADE ELEVATION, ALL GRADES INDICATED ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.	(910.00)
PROPOSED CONTOUR LINE	—910—

EARTHWORK BALANCING NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF CUT AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

- GENERAL GRADING AND EARTHWORK NOTES:**
 THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT
- CONTRACTOR TO FIELD VERIFY ALL EXISTING TREES AND BRUSH AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
 - ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
 - THE STAGING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
 - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE CITY OF ANN ARBOR. AN EROSION CONTROL PERMIT MUST BE SECURED FROM THE CITY PRIOR TO CONSTRUCTION.
 - ALL EARTHWORK AND GRADING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE SOILS INVESTIGATION AND REPORT.
 - SEE ADDITIONAL GRADING AND EARTHWORK NOTES ON DETAIL SHEET C-8.1
 - REFER TO SHEET C-4.1 FOR ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND NOTES.
 - ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED OR SODED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3" OF TOPSOIL IN THESE AREAS UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE EXAMINED CRITICALLY. ANY TRENCHES FOUND TO HAVE SOFT, UNSTABLE OR UNSUITABLE BACKFILL MATERIAL, IN THE OPINION OF THE GEOTECHNICAL ENGINEER, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.

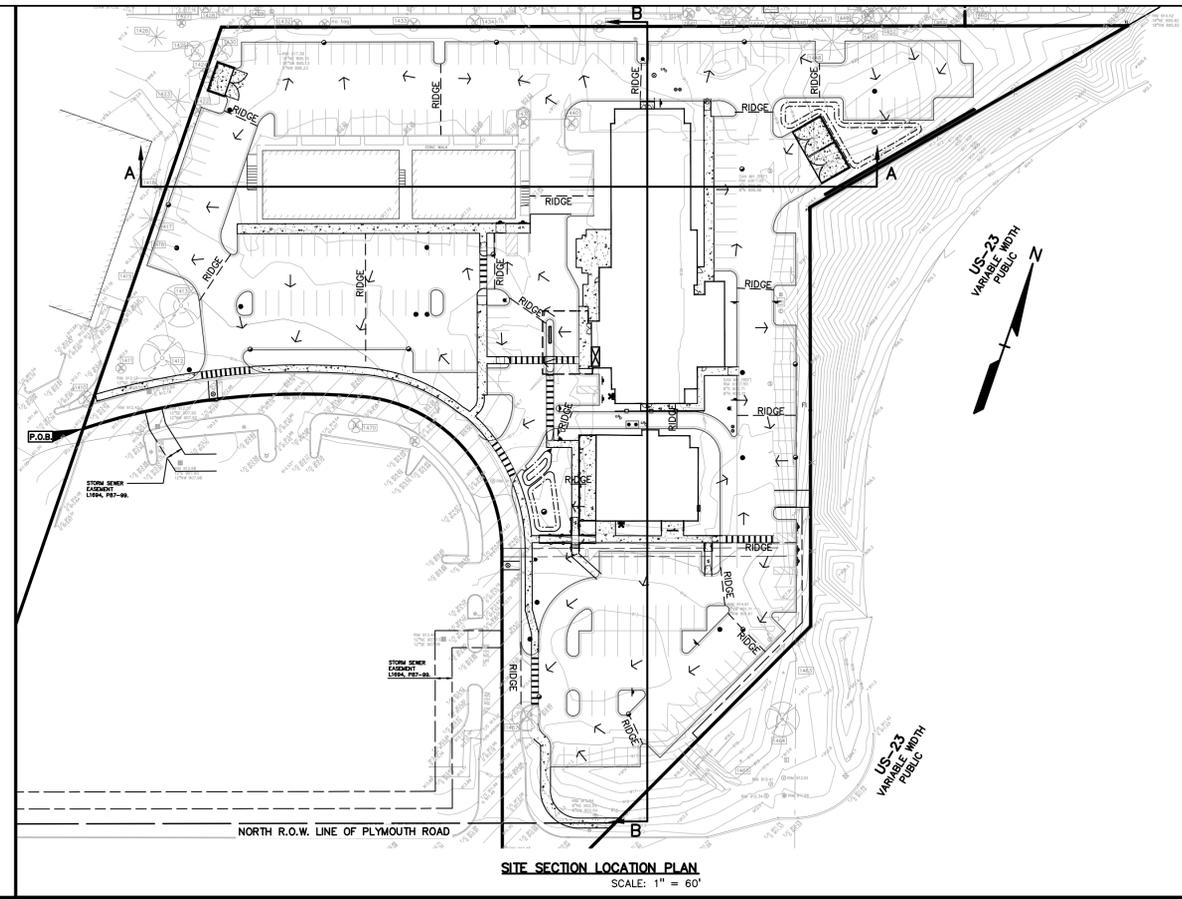
BENCHMARKS
 (GPS DERIVED - NAVD88)

BM #300
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 ELEV. - 916.25

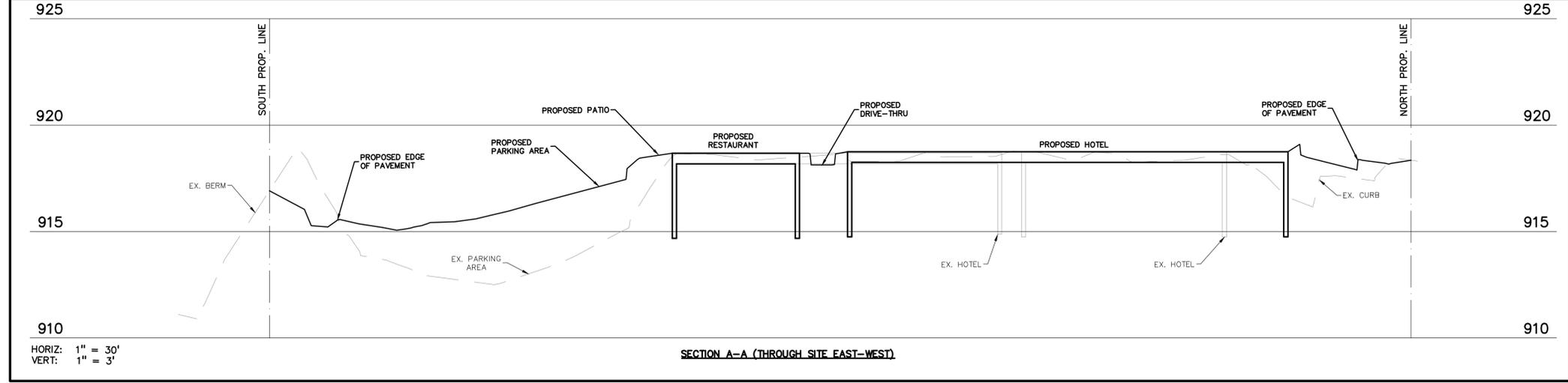
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 ELEV. - 919.26

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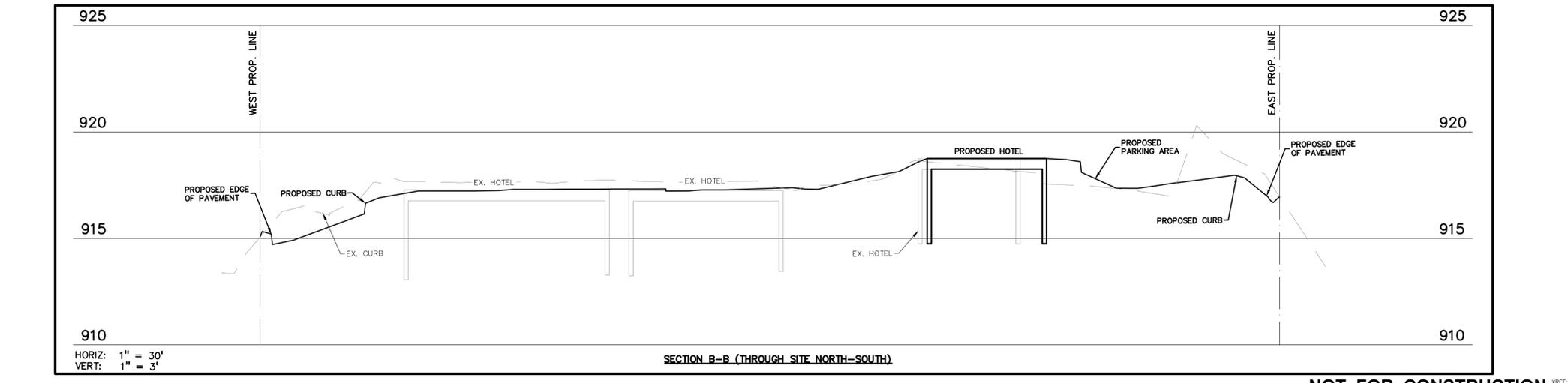
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SITE SECTION LOCATION PLAN
SCALE: 1" = 60'



SECTION A-A (THROUGH SITE EAST-WEST)



SECTION B-B (THROUGH SITE NORTH-SOUTH)

NO.	DATE	DESCRIPTION
1	10/23/19	REVISED PEER CITY COMMENTS
2	0/26/19	REVISED PEER CITY COMMENTS
3	0/26/19	REVISED PEER CITY COMMENTS



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MARKUS MANAGEMENT GROUP, LLC		DESIGNER	
221 E. MERRILL STREET BIRMINGHAM, MICHIGAN 48009		GMB SUR GWC P.M. JPB	
SITE CROSS SECTIONS			
MMG-PLYMOUTH MIXED USE DEVELOPMENT			
PART OF THE SE 1/4 OF SECTION 14, T. 2S., R. 6E., CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN			
DES.	GMB	DN.	GMB

ORIGINAL ISSUE DATE:
JANUARY 31, 2019

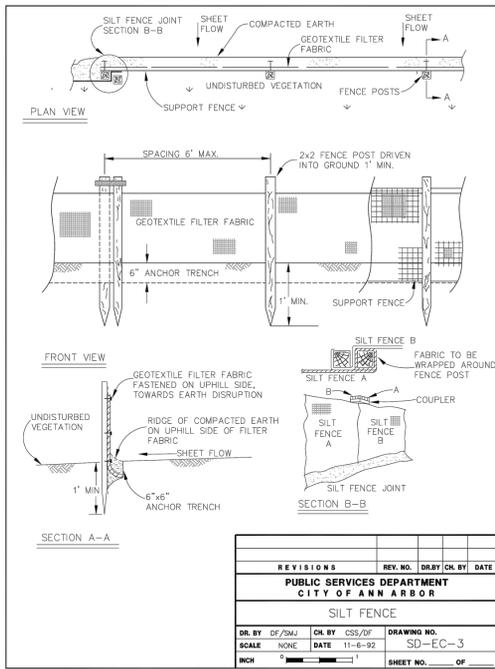
PEA JOB NO. 2017-435

SCALE: N.T.S.

DRAWING NUMBER:
C-3.1

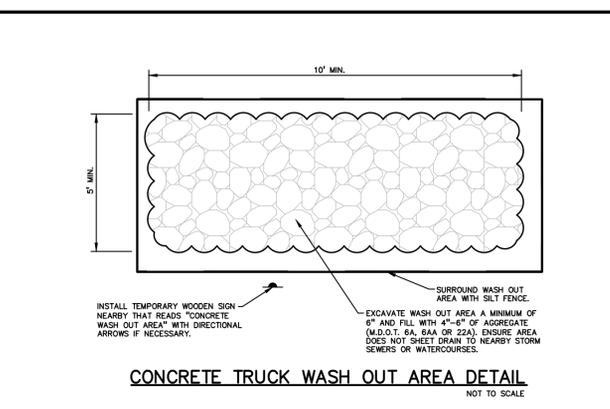
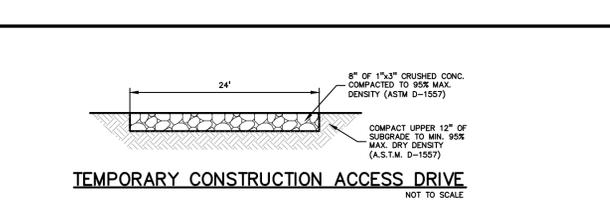
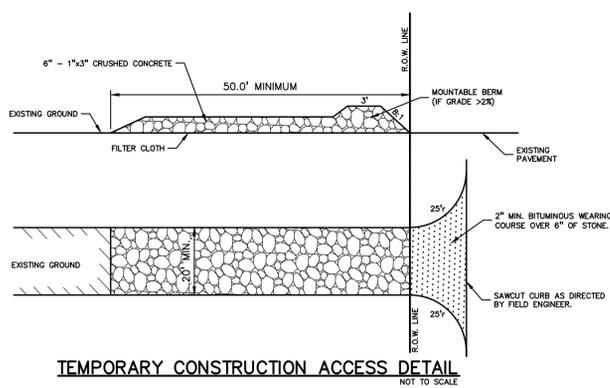
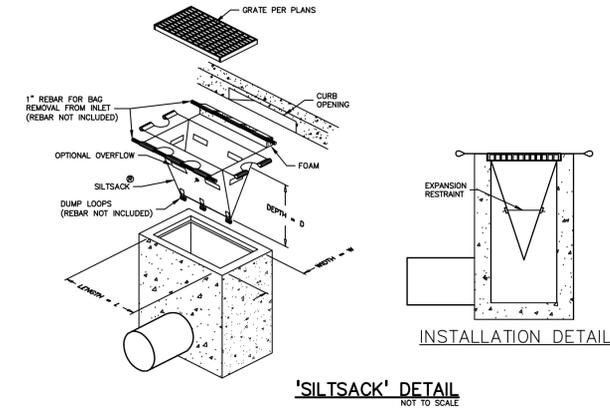
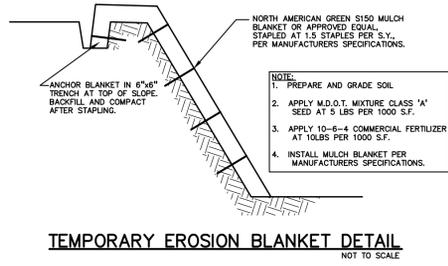
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XREF: S:\PROJECTS\2017\2017435\DWG\17435- TOP\BASE.DWG
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XREF: S:\PROJECTS\2017\2017435\DWG\SITE PLANS\VB-TBK-17435.DWG



REV. NO.	DATE	BY	CHK. BY
1	11-6-92	CSB/DF	CSB/DF

REV. NO.	DATE	BY	CHK. BY
1	11-6-92	CSB/DF	CSB/DF



REV. NO.	DATE	BY	CHK. BY
1	10/23/19	GMB	CSB/DF
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97	0/26/19	GMB	CSB/DF
98	0/26/19	GMB	CSB/DF
99	0/26/19	GMB	CSB/DF
100	0/26/19	GMB	CSB/DF

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MARKUS MANAGEMENT GROUP, LLC 2211 E. MERRILL STREET BIRMINGHAM, MICHIGAN 48009							
SOIL EROSION CONTROL DETAILS							
MMG-PLYMOUTH MIXED USE DEVELOPMENT							
PART OF THE SE 1/4 OF SECTION 14, T. 2S, R. 6E, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN							

ORIGINAL ISSUE DATE:
JANUARY 31, 2019

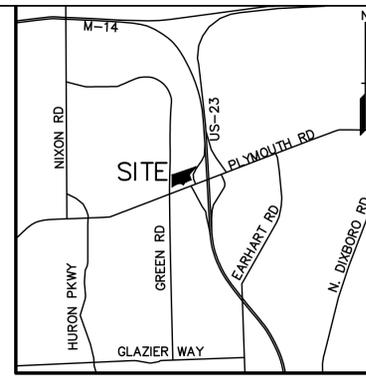
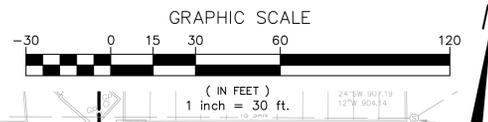
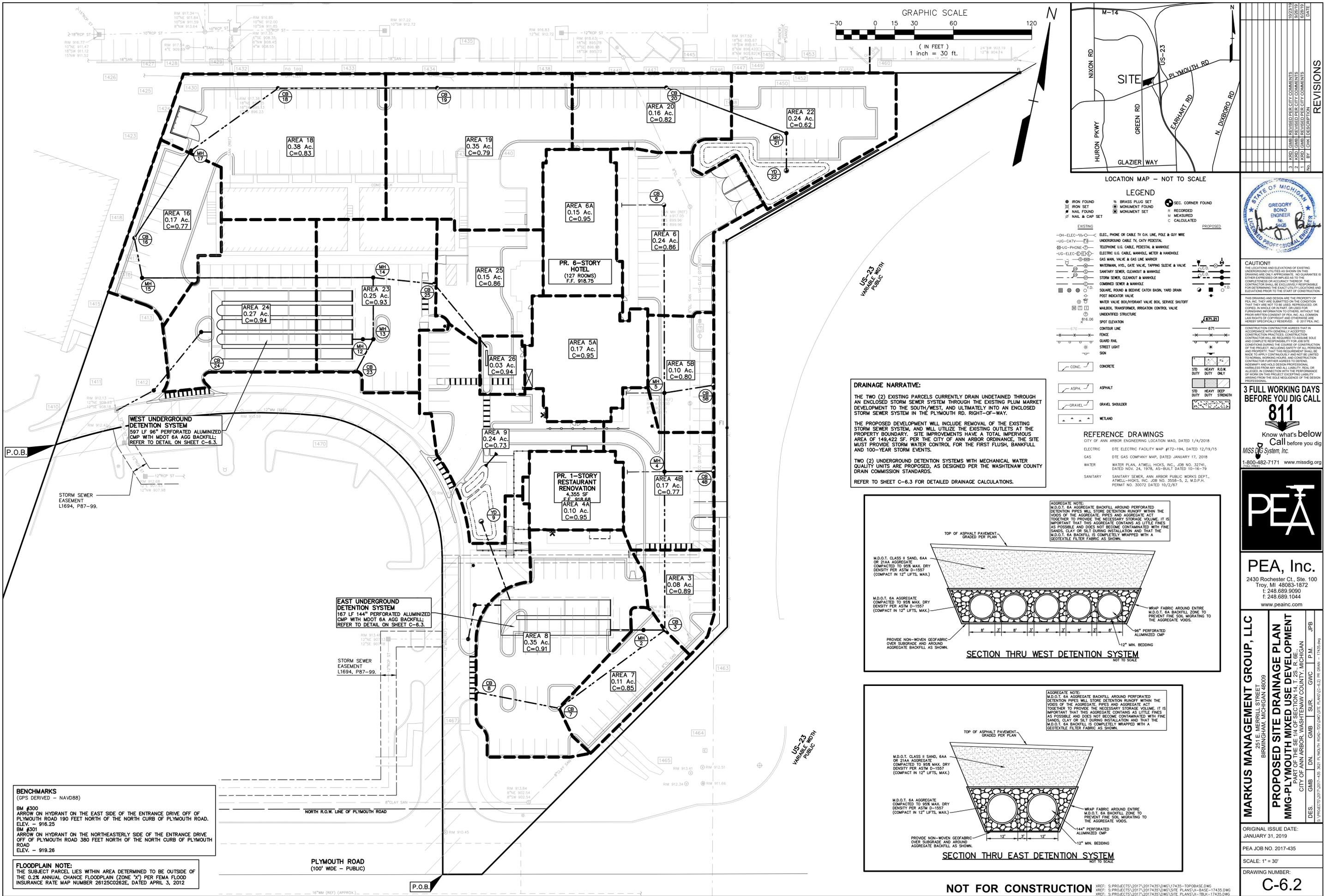
PEA JOB NO. 2017-435

SCALE: N.T.S.

DRAWING NUMBER:
C-4.1

NOT FOR CONSTRUCTION

XREF: S:\PROJECTS\2017\2017435\DWG\17435-TOP0BASE.DWG
XREF: S:\PROJECTS\2017\2017435\DWG\SITE PLANS\VA-BASE-17435.DWG
XREF: S:\PROJECTS\2017\2017435\DWG\SITE PLANS\VA-TBLK-17435.DWG



NO.	DATE	DESCRIPTION
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100	10/21/18	REVISED PER CITY COMMENTS



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PROPOSED SITE DRAINAGE PLAN
MMG-PLYMOUTH MIXED USE DEVELOPMENT
PART OF THE SE 1/4 OF SECTION 14, T. 2S., R. 6E.
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

DES. GMB DN. GMB SUR. GWC P.M. JPB
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S:\PROJECTS\2017\2017435\DWG\SITE PLANS\V-TLBK-17435.DWG

ORIGINAL ISSUE DATE:
JANUARY 31, 2019

PEA JOB NO. 2017-435

SCALE: 1" = 30'

DRAWING NUMBER:
C-6.2

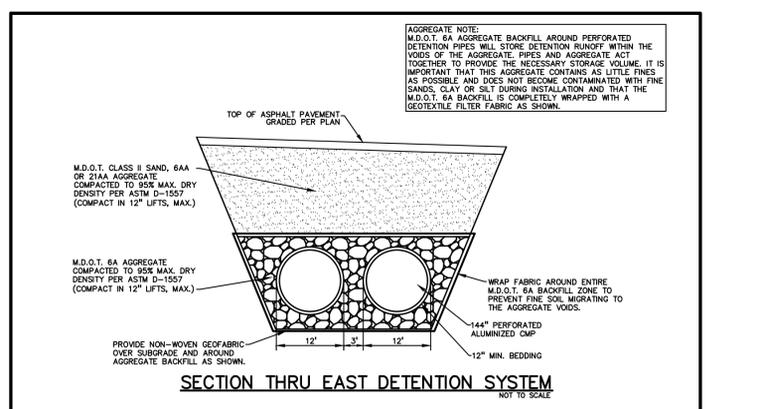
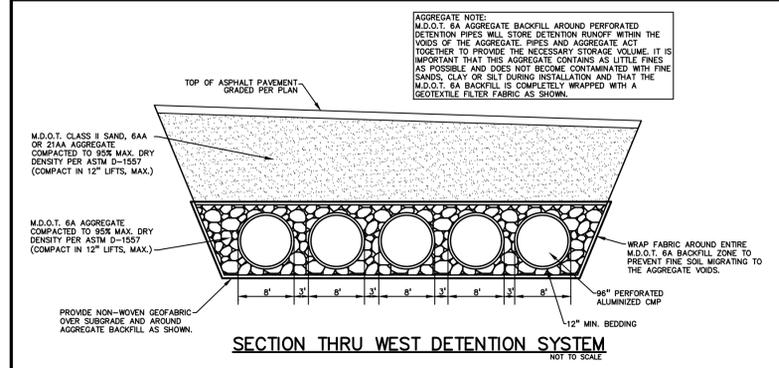
DRAINAGE NARRATIVE:

THE TWO (2) EXISTING PARCELS CURRENTLY DRAIN UNDETAILED THROUGH AN ENCLOSED STORM SEWER SYSTEM THROUGH THE EXISTING PLUM MARKET DEVELOPMENT TO THE SOUTH/WEST, AND ULTIMATELY INTO AN ENCLOSED STORM SEWER SYSTEM IN THE PLYMOUTH RD. RIGHT-OF-WAY.

THE PROPOSED DEVELOPMENT WILL INCLUDE REMOVAL OF THE EXISTING STORM SEWER SYSTEM, AND WILL UTILIZE THE EXISTING OUTLETS AT THE PROPERTY BOUNDARY. SITE IMPROVEMENTS HAVE A TOTAL IMPERVIOUS AREA OF 149,422 SF. PER THE CITY OF ANN ARBOR ORDINANCE, THE SITE MUST PROVIDE STORM WATER CONTROL FOR THE FIRST FLUSH, BANKFULL AND 100-YEAR STORM EVENTS.

TWO (2) UNDERGROUND DETENTION SYSTEMS WITH MECHANICAL WATER QUALITY UNITS ARE PROPOSED, AS DESIGNED PER THE WASHTENAW COUNTY DRAIN COMMISSION STANDARDS.

REFER TO SHEET C-6.3 FOR DETAILED DRAINAGE CALCULATIONS.



NOT FOR CONSTRUCTION

BENCHMARKS
(GPS DERIVED - NAVD88)

BM #300
ARROW ON HYDRANT ON THE EAST SIDE OF THE ENTRANCE DRIVE OFF OF PLYMOUTH ROAD 190 FEET NORTH OF THE NORTH CURB OF PLYMOUTH ROAD.
ELEV. - 916.25

BM #301
ARROW ON HYDRANT ON THE NORTHEASTERLY SIDE OF THE ENTRANCE DRIVE OFF OF PLYMOUTH ROAD 380 FEET NORTH OF THE NORTH CURB OF PLYMOUTH ROAD.
ELEV. - 919.26

FLOODPLAIN NOTE:
THE SUBJECT PARCEL LIES WITHIN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE 'X') PER FEMA FLOOD INSURANCE RATE MAP NUMBER 26125C0262E, DATED APRIL 3, 2012

PLYMOUTH ROAD
(100' WIDE - PUBLIC)

P.O.B.

DETENTION CALCULATIONS - EAST DRAINAGE AREA
USING WASHTENAW COUNTY WATER RESOURCE COMMISSIONER
RULES & GUIDELINES FOR STORMWATER MANAGEMENT SYSTEMS

W1 Determining Cover Types, Areas, Curve Numbers and Runoff Coefficients

Proposed Site Conditions:			
Pervious Area:	7,867 sft		
Impervious Area:	55,576 sft		
Total Area:	63,443 sft		
Pervious Runoff Coefficient 'C':	1.456 acres		
Impervious Runoff Coefficient 'C':	0.25		
Pervious Curve Number 'CN':	0.95		
Impervious Curve Number 'CN':	58.00		
Weighted Runoff Coefficient 'C':	98.00		
Weighted Curve Number 'CN':	0.86		
Weighted Curve Number 'CN':	93.04		

Bio-Retention Area 'A'

Surface Storage Volume:			
Elev. (ft)	Area (sft)	Vol. (cft)	Tot. Vol. (cft)
916.33	746	0	0
917.00	1,168	641	641
Storage Bed Depth:			4.0 ft
Storage Bed Area:			746 sft
Storage Bed Volume:			2,984 cft
Storage Bed Percent Voids:			30 %
Storage Bed Soil Void Volume:			895 cft
Total Storage Volume of Bio-Swale 'A':			1,536 cft

W2 First Flush Runoff Calculations (Vff):

A. Vff = (1") x (1/12") x (43560 sft/1 ac.) x A x C = 4,564 cft

Bio-Retention Area 'B'

Surface Storage Volume:			
Elev. (ft)	Area (sft)	Vol. (cft)	Tot. Vol. (cft)
914.33	1,118	0	0
915.00	1,623	918	918
Storage Bed Depth:			4.0 ft
Storage Bed Area:			1,623 sft
Storage Bed Volume:			6,492 cft
Storage Bed Percent Voids:			30 %
Storage Bed Soil Void Volume:			1,948 cft
Total Storage Volume of Bio-Swale 'B':			2,866 cft

W3 Pre-Development Bankfull Runoff Calculations

A. 2 year/24 hours storm event (P): 2.35 in

B. Pre-Development Curve Number (CN): 58.00

C. S = (1000 / CN) - 10: 7.24 in

D. Q = (P - 0.2 * S) / (P + 0.8 * S): 0.10 in

E. Total Site Area excluding Self-Crediting BMPs: 63,443 sft

F. Vbf pre = Q x (1/12) x Area: 528 cft

Underground Detention System

Perf. Pipe Diameter: 144 in

Perf. Pipe Volume per Linear Foot: 113.097 cft

Total Pipe Length: 171 ft

Total Pipe Volume: 19,340 cft

Length of Detention Field: 88 ft

Width of Detention Field: 31 ft

Area of Detention Field: 2728 sft

Height of Detention Field: 12 ft

Volume of Detention Field: 32,736 cft

Volume of Aggregate: 13,396 cft

Volume of Detention Field - Total Pipe Volume: 19,340 cft

Percent Voids of Aggregate: 30 %

Void Volume: 4,019 cft

*Infiltration Rate of Site Soils: 0.1 in/hr

Infiltration Design Rate (1/2 or Infiltration Rate): 0.05 in/hr

Infiltration Volume: 68 cft

= Bottom Area x Infiltration Design Rate x 6 hr x (1/12)

Total Detention Volume: 23,427 cft

Total Pipe Volume + Void Volume: 19,340 cft

Total Detention Volume per L.F. of Pipe: 137.00 cft

Total Storage (Bio-Swales & Detention System): 27,829 cft

W4 Pervious Cover Post-Development Bankfull Runoff Calculations

A. 2 year/24 hours storm event (P): 2.35 in

B. Pervious Cover CN from W1: 58

C. S = (1000 / CN) - 10: 7.24 in

D. Q = (P - 0.2 * S) / (P + 0.8 * S): 0.10 in

E. Total Site Area excluding Self-Crediting BMPs: 7,867 sft

F. Vbf per-post = Q x (1/12) x Area: 65 cft

Underground Detention System

Perf. Pipe Diameter: 144 in

Perf. Pipe Volume per Linear Foot: 113.097 cft

Total Pipe Length: 171 ft

Total Pipe Volume: 19,340 cft

Length of Detention Field: 88 ft

Width of Detention Field: 31 ft

Area of Detention Field: 2728 sft

Height of Detention Field: 12 ft

Volume of Detention Field: 32,736 cft

Volume of Aggregate: 13,396 cft

Volume of Detention Field - Total Pipe Volume: 19,340 cft

Percent Voids of Aggregate: 30 %

Void Volume: 4,019 cft

*Infiltration Rate of Site Soils: 0.1 in/hr

Infiltration Design Rate (1/2 or Infiltration Rate): 0.05 in/hr

Infiltration Volume: 68 cft

= Bottom Area x Infiltration Design Rate x 6 hr x (1/12)

Total Detention Volume: 23,427 cft

Total Pipe Volume + Void Volume: 19,340 cft

Total Detention Volume per L.F. of Pipe: 137.00 cft

Total Storage (Bio-Swales & Detention System): 27,829 cft

W5 Impervious Cover Post-Development Bankfull Runoff Calculations

A. 2 year/24 hours storm event (P): 2.35 in

B. Impervious Cover CN from W1: 98

C. S = (1000 / CN) - 10: 0.20 in

D. Q = (P - 0.2 * S) / (P + 0.8 * S): 2.12 in

E. Total Site Area excluding Self-Crediting BMPs: 55,576 sft

F. Vbf imp-post = Q x (1/12) x Area: 9,826 cft

Underground Detention System

Perf. Pipe Diameter: 144 in

Perf. Pipe Volume per Linear Foot: 113.097 cft

Total Pipe Length: 171 ft

Total Pipe Volume: 19,340 cft

Length of Detention Field: 88 ft

Width of Detention Field: 31 ft

Area of Detention Field: 2728 sft

Height of Detention Field: 12 ft

Volume of Detention Field: 32,736 cft

Volume of Aggregate: 13,396 cft

Volume of Detention Field - Total Pipe Volume: 19,340 cft

Percent Voids of Aggregate: 30 %

Void Volume: 4,019 cft

*Infiltration Rate of Site Soils: 0.1 in/hr

Infiltration Design Rate (1/2 or Infiltration Rate): 0.05 in/hr

Infiltration Volume: 68 cft

= Bottom Area x Infiltration Design Rate x 6 hr x (1/12)

Total Detention Volume: 23,427 cft

Total Pipe Volume + Void Volume: 19,340 cft

Total Detention Volume per L.F. of Pipe: 137.00 cft

Total Storage (Bio-Swales & Detention System): 27,829 cft

W6 Pervious Cover Post-Development 100-year Storm Runoff Calculations

A. 100-year Storm Event (P): 5.11 in

B. Pervious Cover CN from W1: 58

C. S = (1000 / CN) - 10: 7.24 in

D. Q = (P - 0.2 * S) / (P + 0.8 * S): 1.23 in

E. Total Site Area excluding Self-Crediting BMPs: 7,867 sft

F. Vbf 100-per-post = Q x (1/12) x Area: 806 cft

Underground Detention System

Perf. Pipe Diameter: 144 in

Perf. Pipe Volume per Linear Foot: 113.097 cft

Total Pipe Length: 171 ft

Total Pipe Volume: 19,340 cft

Length of Detention Field: 88 ft

Width of Detention Field: 31 ft

Area of Detention Field: 2728 sft

Height of Detention Field: 12 ft

Volume of Detention Field: 32,736 cft

Volume of Aggregate: 13,396 cft

Volume of Detention Field - Total Pipe Volume: 19,340 cft

Percent Voids of Aggregate: 30 %

Void Volume: 4,019 cft

*Infiltration Rate of Site Soils: 0.1 in/hr

Infiltration Design Rate (1/2 or Infiltration Rate): 0.05 in/hr

Infiltration Volume: 68 cft

= Bottom Area x Infiltration Design Rate x 6 hr x (1/12)

Total Detention Volume: 23,427 cft

Total Pipe Volume + Void Volume: 19,340 cft

Total Detention Volume per L.F. of Pipe: 137.00 cft

Total Storage (Bio-Swales & Detention System): 27,829 cft

W7 Impervious Cover Post-Development 100-year Storm Runoff Calculations

A. 100-year Storm Event (P): 5.11 in

B. Pervious Cover CN from W1: 98

C. S = (1000 / CN) - 10: 0.20 in

D. Q = (P - 0.2 * S) / (P + 0.8 * S): 4.87 in

E. Total Site Area excluding Self-Crediting BMPs: 55,576 sft

F. Vbf 100-per-post = Q x (1/12) x Area: 22,568 cft

Underground Detention System

Perf. Pipe Diameter: 144 in

Perf. Pipe Volume per Linear Foot: 113.097 cft

Total Pipe Length: 171 ft

Total Pipe Volume: 19,340 cft

Length of Detention Field: 88 ft

Width of Detention Field: 31 ft

Area of Detention Field: 2728 sft

Height of Detention Field: 12 ft

Volume of Detention Field: 32,736 cft

Volume of Aggregate: 13,396 cft

Volume of Detention Field - Total Pipe Volume: 19,340 cft

Percent Voids of Aggregate: 30 %

Void Volume: 4,019 cft

*Infiltration Rate of Site Soils: 0.1 in/hr

Infiltration Design Rate (1/2 or Infiltration Rate): 0.05 in/hr

Infiltration Volume: 68 cft

= Bottom Area x Infiltration Design Rate x 6 hr x (1/12)

Total Detention Volume: 23,427 cft

Total Pipe Volume + Void Volume: 19,340 cft

Total Detention Volume per L.F. of Pipe: 137.00 cft

Total Storage (Bio-Swales & Detention System): 27,829 cft

W8 Determine Time of Concentration for Applicable Flow Types

Time of Concentration (Tc): 0.25 hr

Underground Detention System

Perf. Pipe Diameter: 144 in

Perf. Pipe Volume per Linear Foot: 113.097 cft

Total Pipe Length: 171 ft

Total Pipe Volume: 19,340 cft

Length of Detention Field: 88 ft

Width of Detention Field: 31 ft

Area of Detention Field: 2728 sft

Height of Detention Field: 12 ft

Volume of Detention Field: 32,736 cft

Volume of Aggregate: 13,396 cft

Volume of Detention Field - Total Pipe Volume: 19,340 cft

Percent Voids of Aggregate: 30 %

Void Volume: 4,019 cft

*Infiltration Rate of Site Soils: 0.1 in/hr

Infiltration Design Rate (1/2 or Infiltration Rate): 0.05 in/hr

Infiltration Volume: 68 cft

= Bottom Area x Infiltration Design Rate x 6 hr x (1/12)

Total Detention Volume: 23,427 cft

Total Pipe Volume + Void Volume: 19,340 cft

Total Detention Volume per L.F. of Pipe: 137.00 cft

Total Storage (Bio-Swales & Detention System): 27,829 cft

W9 Runoff Summary & Onsite Infiltration Requirement

A. Runoff Summary from Previous Worksheets

First Flush Volume (Vff): 4,564 cft

Pre-Development Bankfull Runoff Volume (Vbf-pre): 528 cft

Pervious Cover Post-Development Bankfull Runoff Volume (Vbf-per-post): 65 cft

Impervious Cover Post-Development Bankfull Runoff Volume (Vbf-imp-post): 9,826 cft

Total BF Volume (Vbf-post): 9,892 cft

Pervious Cover Post-Development 100-year Volume (V100-per-post): 806 cft

Impervious Cover Post-Development 100-year Volume (V100-imp-post): 22,568 cft

Total 100-year Volume (V100): 23,375 cft

B. Determine Onsite Infiltration Requirement

Total Post-Development Bankfull Runoff Volume (Vbf-post): 9,892 cft

Pre-Development Bankfull Runoff Volume (Vbf-pre): 528 cft

Bankfull Volume Difference: 9,364 cft

Greater of First Flush Volume & Bankfull Volume Difference (Vinf): 9,364 cft

Underground Detention System

Perf. Pipe Diameter: 144 in

Perf. Pipe Volume per Linear Foot: 113.097 cft

Total Pipe Length: 171 ft

Total Pipe Volume: 19,340 cft

Length of Detention Field: 88 ft

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Volume of Detention Field - Total Pipe Volume: 19,340 cft

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*Infiltration Rate of Site Soils: 0.1 in/hr

Infiltration Design Rate (1/2 or Infiltration Rate): 0.05 in/hr

Infiltration Volume: 68 cft

= Bottom Area x Infiltration Design Rate x 6 hr x (1/12)

Total Detention Volume: 23,427 cft

Total Pipe Volume + Void Volume: 19,340 cft

Total Detention Volume per L.F. of Pipe: 137.00 cft

Total Storage (Bio-Swales & Detention System): 27,829 cft

W10 Detention/Retention Requirement

A. Qp = 238.6 x Tc^0.82: 744 cfs/in-mi^2

B. Total Site Area excluding Self-Crediting BMPs: 1.456 acre

C. Q100 = Q100-per + Q100-imp: 6.10 in

D. Peak Flow (PF) = (Qp x Q100 x A) / 640: 10.33 cfs

E. Delta = PF - 0.15 x A: 10.11 cfs

F. Vdet = (Delta / PF) x V100 - Vinf: 13,516 cft

Vdet = (Delta / PF) x V100 - Vinf (no infiltration): 22,880 cft

Underground Detention System

Perf. Pipe Diameter: 144 in

Perf. Pipe Volume per Linear Foot: 113.097 cft

Total Pipe Length: 171 ft

Total Pipe Volume: 19,340 cft

Length of Detention Field: 88 ft

Width of Detention Field: 31 ft

Area of Detention Field: 2728 sft

Height of Detention Field: 12 ft

Volume of Detention Field: 32,736 cft

Volume of Aggregate: 13,396 cft

Volume of Detention Field - Total Pipe Volume: 19,340 cft

Percent Voids of Aggregate: 30 %

Void Volume: 4,019 cft

*Infiltration Rate of Site Soils: 0.1 in/hr

Infiltration Design Rate (1/2 or Infiltration Rate): 0.05 in/hr

Infiltration Volume: 68 cft

= Bottom Area x Infiltration Design Rate x 6 hr x (1/12)

Total Detention Volume: 23,427 cft

Total Pipe Volume + Void Volume: 19,340 cft

Total Detention Volume per L.F. of Pipe: 137.00 cft

Total Storage (Bio-Swales & Detention System): 27,829 cft

W11 BMP Volume Credits

Proposed BMP	Area (ft ²)	Storage Depth (ft)	Storage Volume (ft ³)	Avg. Design Infil. Rate (in/hr)	Infil. Vol. During Storm (ft ³)	Total Vol. Reduction (ft ³)
Subsurface Infiltration Bed	2,741	0.5	411	0.1	137	548
Bioretention Area A	746	3	1,536	0.1	37	1,574
Bioretention Area B	1,623	3	2,866	0.1	81	2,947

Note: In the infiltration testing report, the geotechnical engineer identifies a range of infiltration rates for clayey soils between 0.04 - 0.2 in/hr. An infiltration rate of 0.1 in/hr was determined to be acceptable for this application. Refer to the Infiltration Testing Report prepared by PEA, Inc. dated 7/2/18.

Total Volume Reduction Credit by Proposed Structural BMP's (Vinf) = 5,069 cft

Underground Detention System

Perf. Pipe Diameter: 144 in

Perf. Pipe Volume per Linear Foot: 113.097 cft

Total Pipe Length: 171 ft

Total Pipe Volume: 19,340 cft

Length of Detention Field: 88 ft

Width of Detention Field: 31 ft

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Total Pipe Volume + Void Volume: 19,340 cft

Total Detention Volume per L.F. of Pipe: 137.00 cft

Total Storage (Bio-Swales & Detention System): 27,829 cft

W13 Infiltration / Detention Summary

Total Infiltration Required per WCRC standards: 9,364 cft

Total Infiltration Provided: 5,069 cft

Difference: 4,295 cft

% Deficiency: 45.87%

Pro-Rated 20% Detention Penalty: 9.17%

Total Detention Required: 22,880 cft

Total Detention Required w/Pro-Rated Penalty: 24,979 cft

Total Detention Provided: 24,982 cft

Underground Detention System

Perf. Pipe Diameter: 144 in

Perf. Pipe Volume per Linear Foot: 113.097 cft

Total Pipe Length: 171 ft

Total Pipe Volume: 19,340 cft

Length of Detention Field: 88 ft

Width of Detention Field: 31 ft

Area of Detention Field: 2728 sft

Height of Detention Field: 12 ft

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Infiltration Volume: 68 cft

= Bottom Area x Infiltration Design Rate x 6 hr x (1/12)

Total Detention Volume: 23,427 cft

Total Pipe Volume + Void Volume: 19,340 cft

Total Detention Volume per L.F. of Pipe: 137.00 cft

Total Storage (Bio-Swales & Detention System): 27,829 cft

DETENTION CALCULATIONS - WEST DRAINAGE AREA
USING WASHTENAW COUNTY WATER RESOURCE COMMISSIONER
RULES & GUIDELINES FOR STORMWATER MANAGEMENT SYSTEMS

W1 Determining Cover Types, Areas, Curve Numbers and Runoff Coefficients

Proposed Site Conditions:			
Pervious Area:	10,803 sft		
Impervious Area:	81,582 sft		
Total Area:	92,385 sft		
Pervious Runoff Coefficient 'C':	0.25		
Impervious Runoff Coefficient 'C':	0.95		
Pervious Curve Number 'CN':	58.00		
Impervious Curve Number 'CN':	98.00		
Weighted Runoff Coefficient 'C':	0.87		
Weighted Curve Number 'CN':	93.32		

W2 First Flush Runoff Calculations (Vff):

A. Vff = (1") x (1/12") x (43560 sft/1 ac.) x A x C = 6,684 cft

W11 Determine Applicable BMP's and Associated Volume Credits

Proposed BMP	Area (ft ²)	Storage Depth (ft)	Storage Volume (ft ³)	Avg. Design Infil. Rate (in/hr)	Infil. Vol. During Storm (ft ³)	Total Vol. Reduction (ft ³)
Subsurface Infiltration Bed	6,281	0.5	942	0.1	314	1,256

Total Volume Reduction Credit by Proposed Structural BMP's (Vinf) = 1,256 cft

W13 Infiltration / Detention Summary

Total Infiltration Required per WCRC standards: 13,745 cft

Total Infiltration Provided: 1,256 cft

Difference: 12,489 cft

% Deficiency: 90.86%

Pro-Rated 20% Detention Penalty: 18.17%

Total Detention Required: 33,512 cft

Total Detention Required w/Pro-Rated Penalty: 39,602 cft

Total Detention Provided: 40,267 cft

STORM SEWER SYSTEM DESIGN

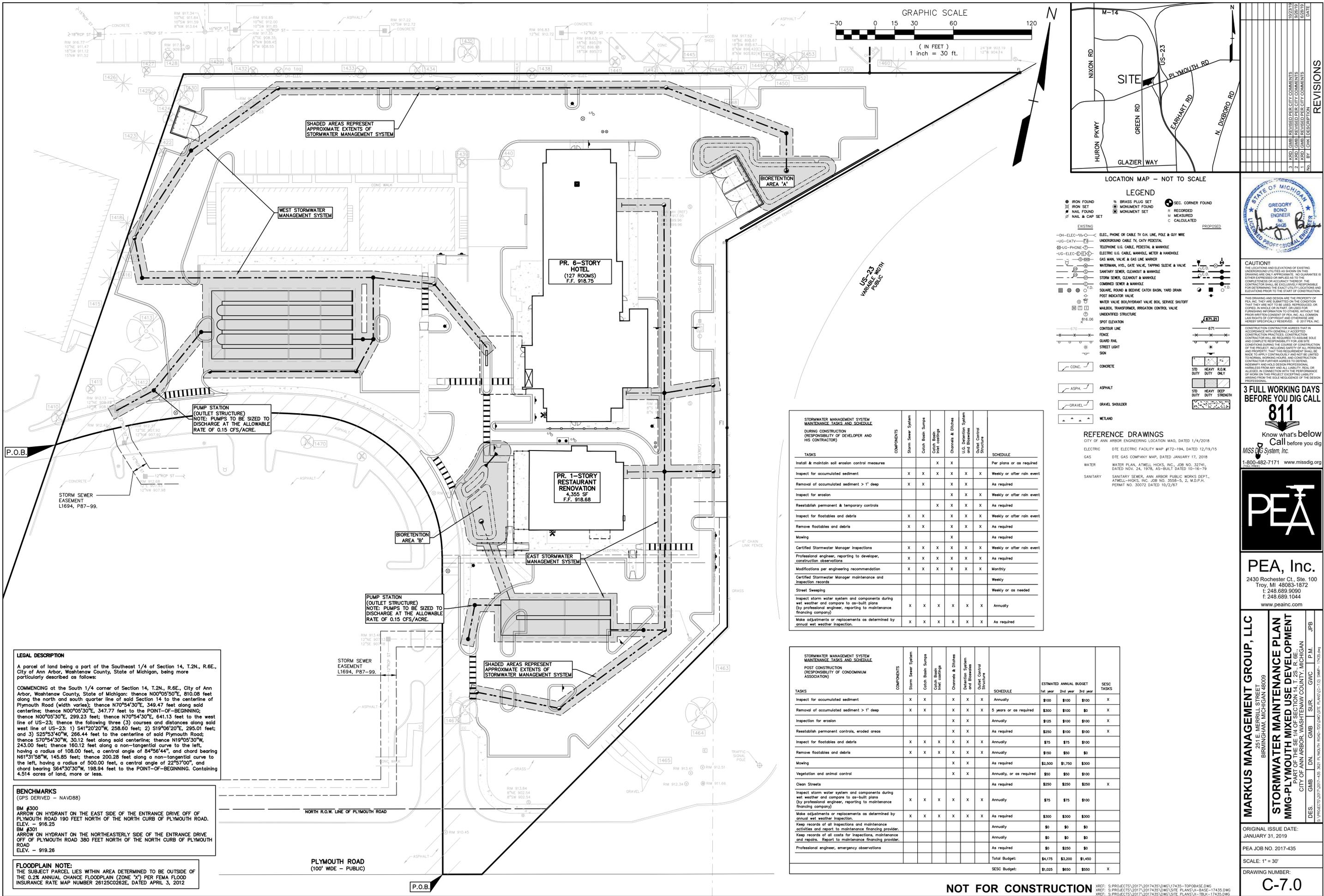
I = B/(T+D)^E B = 170.0 D = 23.0 E = 1

C = varies

T = 15 (min.)

Pipe "n" VALUE = 0.013

FROM STR	TO STR	AREA (Acres)	COEF. C	AX C	TOTAL AREA (Acres)	TIME t (min)	INT. I (in/hr)	FLOW Q (cfs)	PIPE CAP. (cfs)	PIPE DIA. (in.)	PIPE LENGTH (ft)	PIPE SLOPE (%)	MIN HG PER "Q"	VEL. FULL (ft/sec)	TIME FLOW (min)	H.G.L. ELEV. UP STREAM	H.G.L. ELEV. DOWN STREAM	RIM ELEV. UP STREAM	RIM ELEV. DOWN STREAM	INVERT ELEV. UP STREAM	INVERT ELEV. DOWN STREAM	PIPE COVER UP STREAM	PIPE COVER DOWN STREAM	HGL COVER UP STREAM	HGL COVER DOWN STREAM
6A	6	0.15	0.95	0.14	0.14	15.00	4.47	0.62	1.21	8	32	1.00	0.26%	3.5	0.2	911.23	910.90	918.73	917.20	910.69	910.37	7.23	6.03	7.50	6.30
6	5	0.24	0.86	0.20	0.34	15.20	4.45	1.51	2.11	12	143	0.35	0.18%	2.7	0.9	910.50	910.40	917.20	918.04	909.60	909.50	5.93	7.27	6.30	7.64
5	4	0.00	0.00	0.59	0.66	16.10	4.35	2.55	3.82	16	80	0.35	0.16%	3.1	0.3	910.40	910.19	918.04	917.20	909.19	909.19	7.20	6.57	7.64	7.01
4	3	0.00	0.00	0.81	0.93	16.40	4.31	3.51	3.82	15	121	0.35	0.30%	3.1	0.6	910.19	909.77	917.20	916.50	909.77	908.77	6.57	6.30	7.01	6.73
3	2	0.08	0.89	0.07	1.00	14.77	4.25	5.52	6.46	15	16	1.00	0.73%	5.3	0.1	909.77	909.60	916.50	916.62	908.77	908.60	6.30	6.58	6.73	7.02
2	1	0.00	0.00	1.30	1.47	17.10	4.24	5.52	6.46	15	25	1.00	0.73%	5.3	0.1	909.60	909.35	916.62	916.44	908.60	908.35	6.58	6.65	7.02	7.09
9A	9A	0.24	0.73	0.17	0.17	15.00	4.47	0.77	1.21	8	64	1.00	0.41%	3.5	0.3	911.17	910.53	915.10	915.76	910.64	910.00	3.66	4.96	3.93	5.23
8	7	0.35	0.91	0																					



NO.	DATE	DESCRIPTION
1	10/22/16	ISSUED FOR PERMITS
2	04/01/17	REVISED PER CITY COMMENTS
3	06/01/17	REVISED PER CITY COMMENTS
4	06/01/17	REVISED PER CITY COMMENTS
5	06/01/17	REVISED PER CITY COMMENTS
6	06/01/17	REVISED PER CITY COMMENTS
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19	06/01/17	REVISED PER CITY COMMENTS
20	06/01/17	REVISED PER CITY COMMENTS



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STORMWATER MAINTENANCE PLAN
MMG-PLYMOUTH MIXED USE DEVELOPMENT
 PART OF THE SE 1/4 OF SECTION 14, T. 2S., R. 6E.,
 CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN

DES.	GMB	DN.	GMB	SUR.	GWC	P.M.

ORIGINAL ISSUE DATE:
 JANUARY 31, 2019

PE&A JOB NO. 2017-435

SCALE: 1" = 30'

DRAWING NUMBER:
C-7.0

LEGAL DESCRIPTION
 A parcel of land being a part of the Southeast 1/4 of Section 14, T.2N., R.6E., City of Ann Arbor, Washtenaw County, State of Michigan, being more particularly described as follows:

COMMENCING at the South 1/4 corner of Section 14, T.2N., R.6E., City of Ann Arbor, Washtenaw County, State of Michigan; thence N00°05'50"E, 810.08 feet along the north and south quarter line of said Section 14 to the centerline of Plymouth Road (width varies); thence N70°54'30"E, 349.47 feet along said centerline; thence N00°05'30"E, 347.77 feet to the POINT-OF-BEGINNING; thence N00°05'30"E, 299.23 feet; thence N70°54'30"E, 641.13 feet to the west line of US-23; thence the following three (3) courses and distances along said west line of US-23: 1) S41°20'20"W, 258.00 feet; 2) S19°06'20"E, 295.01 feet; and 3) S25°53'40"W, 266.44 feet to the centerline of said Plymouth Road; thence S70°54'30"W, 30.12 feet along said centerline; thence N19°05'30"W, 243.00 feet; thence 180.12 feet along a non-tangential curve to the left, having a radius of 108.00 feet, a central angle of 84°56'44", and chord bearing N51°31'58"W, 145.85 feet; thence 200.28 feet along a non-tangential curve to the left, having a radius of 500.00 feet, a central angle of 22°57'00", and chord bearing S64°30'30"W, 198.94 feet to the POINT-OF-BEGINNING. Containing 4.514 acres of land, more or less.

BENCHMARKS
 (GPS DERIVED - NAVD88)

BM #300
 ARROW ON HYDRANT ON THE EAST SIDE OF THE ENTRANCE DRIVE OFF OF PLYMOUTH ROAD 190 FEET NORTH OF THE NORTH CURB OF PLYMOUTH ROAD.
 ELEV. - 916.25

BM #301
 ARROW ON HYDRANT ON THE NORTHEASTERLY SIDE OF THE ENTRANCE DRIVE OFF OF PLYMOUTH ROAD 380 FEET NORTH OF THE NORTH CURB OF PLYMOUTH ROAD.
 ELEV. - 919.26

FLOODPLAIN NOTE:
 THE SUBJECT PARCEL LIES WITHIN AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE 'X') PER FEMA FLOOD INSURANCE RATE MAP NUMBER 26125C0262E, DATED APRIL 3, 2012

STORMWATER MANAGEMENT SYSTEM MAINTENANCE TASKS AND SCHEDULE
 DURING CONSTRUCTION (RESPONSIBILITY OF DEVELOPER AND HIS CONTRACTOR)

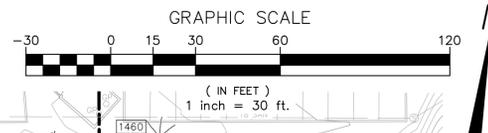
TASKS	Storm Sewer System	Catch Basin Sumps	Catch Basin Inlet Castings	Chimneys & Ditches	U.C. Detention System and Baffles	Outlet Control Structure	SCHEDULE
Install & maintain soil erosion control measures			X	X			Per plans or as required
Inspect for accumulated sediment	X	X	X	X	X	X	Weekly or after rain event
Removal of accumulated sediment > 1' deep	X	X		X	X	X	As required
Inspect for erosion				X	X	X	Weekly or after rain event
Reestablish permanent & temporary controls			X	X	X	X	As required
Inspect for floatables and debris	X	X		X	X	X	Weekly or after rain event
Remove floatables and debris	X	X		X	X	X	As required
Mowing				X			As required
Certified Stormwater Manager inspections	X	X	X	X	X	X	Weekly or after rain event
Professional engineer, reporting to developer, construction observations	X	X	X	X	X	X	As required
Modifications per engineering recommendation	X	X	X	X	X	X	Monthly
Certified Stormwater Manager maintenance and inspection records							Weekly
Street Sweeping							Weekly or as needed
Inspect storm water system and components during wet weather and compare to as-built plans (by professional engineer, reporting to maintenance financing company)	X	X	X	X	X	X	Annually
Make adjustments or replacements as determined by annual wet weather inspection.	X	X	X	X	X	X	As required

STORMWATER MANAGEMENT SYSTEM MAINTENANCE TASKS AND SCHEDULE
 POST CONSTRUCTION (RESPONSIBILITY OF CONDOMINIUM ASSOCIATION)

TASKS	Storm Sewer System	Catch Basin Sumps	Catch Basin Inlet Castings	Chimneys & Ditches	U.C. Detention System and Baffles	Outlet Control Structure	ESTIMATED ANNUAL BUDGET			SECC TASKS
							1st year	2nd year	3rd year	
Inspect for accumulated sediment	X	X	X	X	X	X	\$100	\$100	\$100	X
Removal of accumulated sediment > 1' deep	X	X		X	X	X	\$300	\$100	\$0	X
Inspection for erosion				X	X	X	\$125	\$100	\$100	X
Reestablish permanent controls, eroded areas				X	X	X	\$250	\$100	\$100	X
Inspect for floatables and debris	X	X	X	X	X	X	\$75	\$75	\$100	
Remove floatables and debris	X	X	X	X	X	X	\$150	\$50	\$0	
Mowing				X	X		\$2,500	\$1,750	\$300	
Vegetation and animal control				X	X		\$50	\$50	\$100	
Clean Streets							\$250	\$250	\$250	X
Inspect storm water system and components during wet weather and compare to as-built plans (by professional engineer, reporting to maintenance financing company)	X	X	X	X	X	X	\$75	\$75	\$100	
Keep records of all inspections and maintenance activities and report to maintenance financing provider.							\$0	\$0	\$0	
Keep records of all costs for inspections, maintenance and repairs. Report to maintenance financing provider.							\$0	\$0	\$0	
Professional engineer, emergency observations							\$0	\$250	\$0	
Total Budget:							\$4,175	\$3,200	\$1,450	
SECC Budget:							\$1,025	\$650	\$550	X

NOT FOR CONSTRUCTION

REF: S:\PROJECTS\2017\2017435\DWG\17435-TOPOBASE.DWG
 REF: S:\PROJECTS\2017\2017435\DWG\17435-V-BASE-17435.DWG
 REF: S:\PROJECTS\2017\2017435\DWG\17435-SITE-PLANS-V-TLB-17435.DWG



NO.	DATE	DESCRIPTION
1	01/31/20	REVISED PER CITY COMMENTS
2	02/02/20	REVISED PER CITY COMMENTS
3	02/02/20	REVISED PER CITY COMMENTS
4	02/02/20	REVISED PER CITY COMMENTS
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20	02/02/20	REVISED PER CITY COMMENTS



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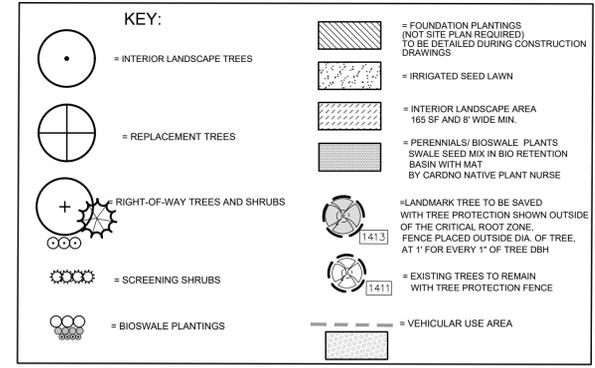
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MARKUS MANAGEMENT GROUP, LLC
221 E. MERRILL STREET
BIRMINGHAM, MICHIGAN 48009
PRELIMINARY LANDSCAPE PLAN
MMG-PLYMOUTH MIXED USE DEVELOPMENT
PART OF THE SE 1/4 OF SECTION 14, T. 25, R. 6E,
CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN
DES. JLE DN. JLE SUR. GWC P.M. JPB
S:\PROJECTS\2017\2017435\DWG\SITE PLANS\LV-L-10_LANDSCAPE PLAN - 17435.DWG

ORIGINAL ISSUE DATE:
JANUARY 31, 2019
PEA JOB NO. 2017-435
SCALE: 1" = 30'
DRAWING NUMBER:
L-1.0



LANDSCAPE CALCULATIONS:
PER THE CITY OF ANN ARBOR ZONING ORDINANCE (C3, FRINGE COMMERCIAL DISTRICT)

INTERIOR LANDSCAPE AREAS:
REQUIRED: VEHICULAR USE AREAS OF 50,000-149,999 SF SHALL PROVIDE INTERIOR LANDSCAPE AREA AT THE RATE OF 1:15 SF. 85,790 SF OF PARKING LOT / 15 = 5,720 SF REQUIRED.
50% X 5,720 BIORETENTION OF INTERIOR LANDSCAPE = 2,860 SF REQUIRED.
1 TREE / 250 SF OF INTERIOR LANDSCAPE AREA; 5,720 / 250 = 23 TREES
(8' LENGTH AND 165 SF MIN. AREA WITH 1 TREE; 200 SF MAX. CORNER WITH 1 TREE FOR VJA)
CREDIT FOR SAVING LANDMARK TREES (IF EXISTING HEALTHY TREE IS WITHIN 15' OF VJA, 1 CREDIT PER 8" MAX. CREDIT OF 50% OF REQUIRED INTERIOR LA TREES)
TOTAL OF 92" DBH/8" = 11 TREE CREDITS
(LM TREE #1413 30" + #1430 16" + #1448 26" + #1467 20" = 92" DBH CREDIT POSSIBLE)
(LM TREE #1412 32" DOES NOT COUNT TOWARDS CREDIT SINCE FARTHER THAN 15' FROM VJA)
PROVIDED: 2,920 SF INTERIOR LANDSCAPE AREA; 2,916 SF BIORETENTION = TOTAL OF 5,836 SF
13 PROPOSED TREES AND 11 TREES CREDITS TOWARD INTERIOR TREES.

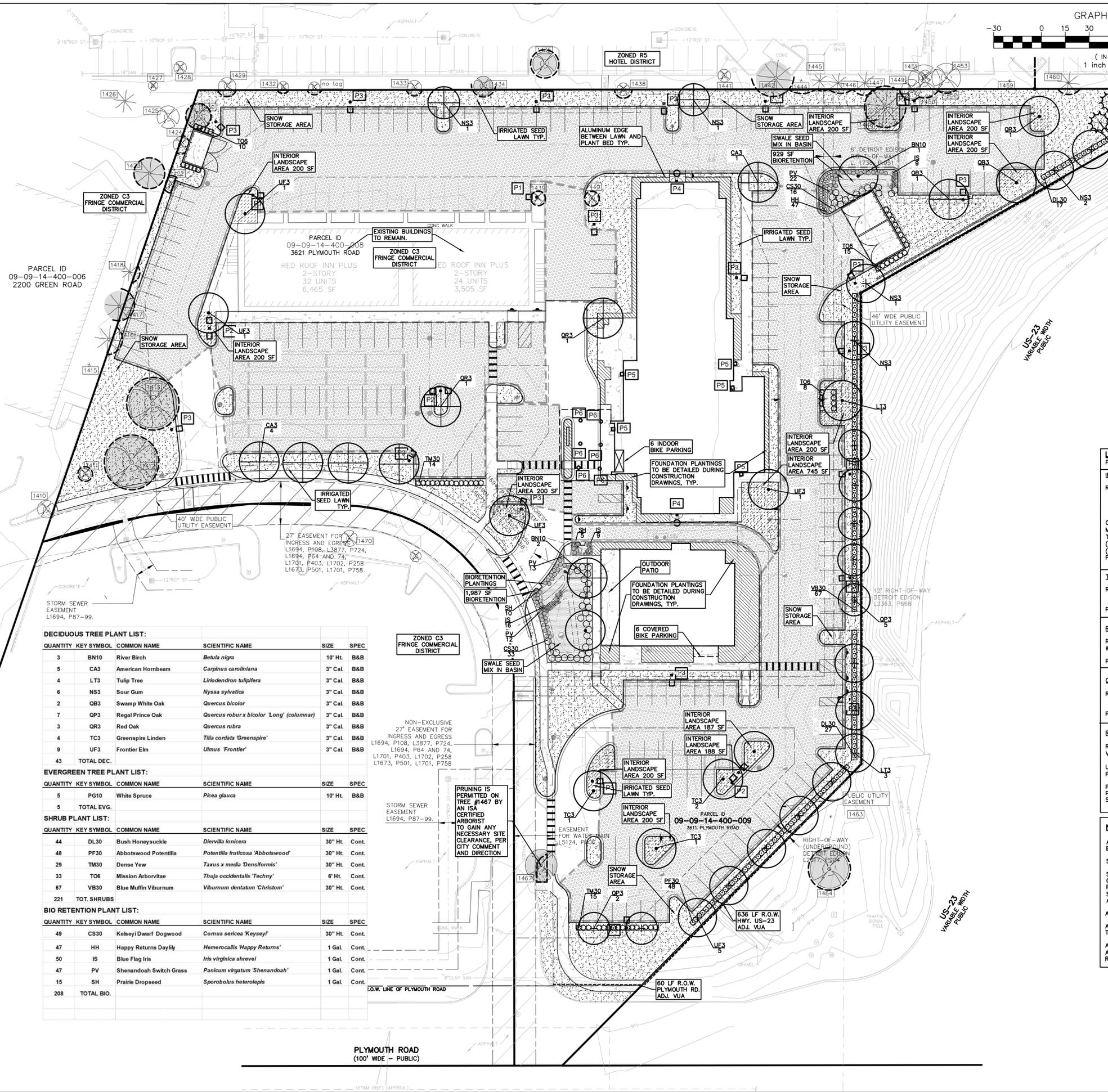
TREE REPLACEMENT:
REQUIRED: 50% OF DBH REMOVED MUST BE REPLACED
63" LANDMARK TREES X 50% = 31.5" TO BE REPLACED. 31.5" / 3" = 11 TREES
PROVIDED: 11 TREES

REFUSE CONTAINER SCREENING:
REQUIRED: REFUSE CONTAINERS SHALL BE SCREENED FROM VIEW FROM ANY RESIDENTIAL USE OR PUBLIC RIGHT OF WAY. SCREENING SHALL CONSIST OF A 6' HIGH OPAQUE WALL OR FENCE.
PROVIDED: SCREEN WALL AND ARBORVITAE HEDGE

CONFLICTING LAND USE BUFFERS:
REQUIRED: NORTH OF PROPERTY - "R5" ZONING NONE WEST OF PROPERTY - "C3" ZONING NONE
SOUTH OF PROPERTY - "C3" ZONING NONE EAST OF PROPERTY - US 23 NONE
PROVIDED: NONE

RIGHT OF WAY SCREENING:
REQUIRED: US 23 AND PLYMOUTH ROAD ROW - MINIMUM 10 BUFFER STRIP WITH 1 DEC TREE / 30LF OF FRONTAGE OF VEHICLE USE AREA AND 30" CONTINUOUS SCREEN SHRUB / 4 LF.
US 23: 636 LF/30 ADJ. TO VJA = 22 DEC. TREES AND 159 SHRUBS.
PLYMOUTH RD.: 60 LF / 30 ADJ. TO VJA = 2 TREES AND 15 SHRUBS.
PROVIDED: 24 DEC. TREES AND 174 SHRUBS.
PER CITY OF ANN ARBOR REQUEST, TREES AND SHRUBS MAY BE LOCATED WITHIN THE UTILITY EASEMENT AT THE SOUTHERN VJA ADJ. TO HWY 23.

NOTES PER CITY: SEE SHEET L-1.3 FOR GENERAL NOTES
ALL SPECIES DEVIATIONS FROM THE APPROVED SITE PLAN MUST BE APPROVED IN WRITING PRIOR TO INSTALLATION BY THE CITY OF ANN ARBOR NATAL FEATURES STAFF.
SNOW SHALL NOT BE PUSHED ONTO INTERIOR LANDSCAPE ISLANDS UNLESS DESIGNATED FOR SNOW STORAGE.
SOIL COMPACTION:
ONCE FINE GRADING HAS BEEN COMPLETED HEAVY MACHINERY SHALL NOT BE USED WITHIN PLANTING AREAS TO PREVENT COMPACTION. IN ALL PLANTING AREAS WHERE SOIL COMPACTION HAS OCCURRED DURING CONSTRUCTION, SOIL SHALL BE TILLED TO THE DEPTH OF THE PROPOSED ROOT BALL OF THE PLANTINGS OR 4" DEPTH FOR SEEDED AREAS PRIOR TO PLANTING. OVER EXCAVATE SIDES OF PLANTING PITS IN COMPACTED SOIL AREAS.
A HOSE BIBB OR WATER SOURCE SHALL BE PROVIDED WITHIN 150 FEET OF ALL PLANT MATERIAL.
ALL DISEASED, DAMAGED OR DEAD PLANT MATERIAL SHALL BE REPLACED BY THE END OF THE PLANTING SEASON.
ALL LANDSCAPING WITHIN A SIGHT TRIANGLE SHALL BE NO GREATER THAN 30 INCHES IN HEIGHT.
ALL TREE BRANCHES SHALL BE TRIMMED TO PROVIDE CLEAR VISION FOR A VERTICAL HEIGHT OF 8' ABOVE THE ROADWAY SURFACE.



DECIDUOUS TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
3	BN10	River Birch	<i>Betula nigra</i>	10' Ht.	B&B
5	CA3	American Hornbeam	<i>Carpinus caroliniana</i>	3" Cal.	B&B
4	LT3	Tulip Tree	<i>Liriodendron tulipifera</i>	3" Cal.	B&B
6	NS3	Sour Gum	<i>Nyssa sylvatica</i>	3" Cal.	B&B
2	QB3	Swamp White Oak	<i>Quercus bicolor</i>	3" Cal.	B&B
7	QP3	Regal Prince Oak	<i>Quercus robur x bicolor 'Long' (columnar)</i>	3" Cal.	B&B
3	QR3	Red Oak	<i>Quercus rubra</i>	3" Cal.	B&B
4	TC3	Greenspire Linden	<i>Tilia cordata 'Greenspire'</i>	3" Cal.	B&B
9	UF3	Frontier Elm	<i>Ulmus 'Frontier'</i>	3" Cal.	B&B
43		TOTAL DEC.			

EVERGREEN TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
5	PG10	White Spruce	<i>Picea glauca</i>	10' Ht.	B&B
5		TOTAL EVG.			

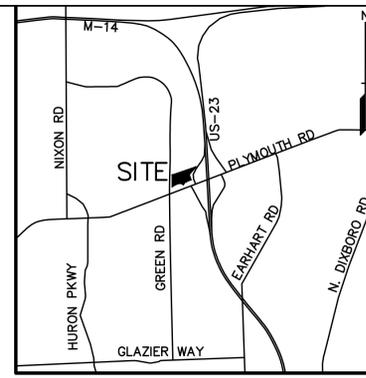
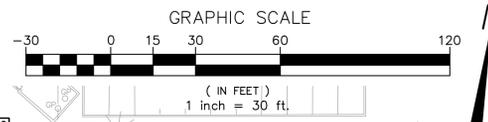
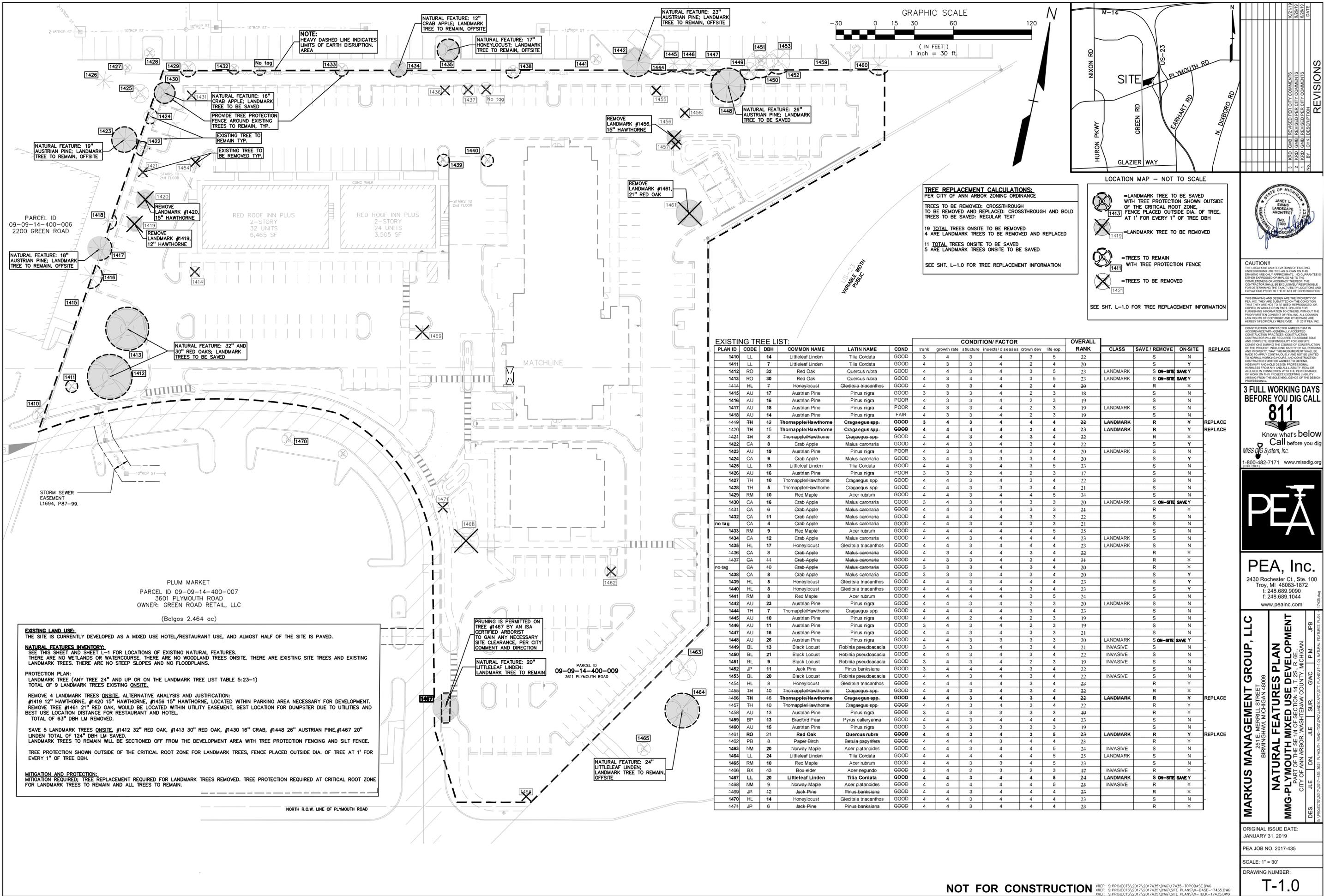
SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
44	DL30	Bush Honeysuckle	<i>Diervilla lonicera</i>	30" Ht.	Cont.
48	PF30	Abbotswood Potentilla	<i>Potentilla fruticosa 'Abbotswood'</i>	30" Ht.	Cont.
29	TM30	Dense Yew	<i>Taxus x media 'Densiflora'</i>	30" Ht.	Cont.
33	TO6	Mission Arborvitae	<i>Thuja occidentalis 'Techny'</i>	6' Ht.	Cont.
67	VB30	Blue Muffin Viburnum	<i>Viburnum dentatum 'Christom'</i>	30" Ht.	Cont.
221		TOT. SHRUBS			

BIO RETENTION PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
49	CS30	Kelsey Dwarf Dogwood	<i>Cornus sericea 'Kelsey'</i>	30" Ht.	Cont.
47	HH	Happy Returns Daylily	<i>Hemerocallis 'Happy Returns'</i>	1 Gal.	Cont.
50	IS	Blue Flag Iris	<i>Iris virginica shrevei</i>	1 Gal.	Cont.
47	PV	Shenandoah Switch Grass	<i>Panicum virgatum 'Shenandoah'</i>	1 Gal.	Cont.
15	SH	Prairie Dropseed	<i>Sporobolus heterolepis</i>	1 Gal.	Cont.
208		TOTAL BIO.			

NOT FOR CONSTRUCTION



TREE REPLACEMENT CALCULATIONS:
 PER CITY OF ANN ARBOR ZONING ORDINANCE

TREES TO BE REMOVED: CROSSTHROUGH
 TO BE REMOVED AND REPLACED: CROSSTHROUGH AND BOLD
 TREES TO BE SAVED: REGULAR TEXT

19 TOTAL TREES ONSITE TO BE REMOVED
 4 ARE LANDMARK TREES TO BE REMOVED AND REPLACED

11 TOTAL TREES ONSITE TO BE SAVED
 5 ARE LANDMARK TREES ONSITE TO BE SAVED

SEE SHT. L-1.0 FOR TREE REPLACEMENT INFORMATION

- = LANDMARK TREE TO BE SAVED WITH TREE PROTECTION SHOWN OUTSIDE OF THE CRITICAL ROOT ZONE. FENCE PLACED OUTSIDE DIA. OF TREE, AT 1' FOR EVERY 1" OF TREE DBH.
 - = LANDMARK TREE TO BE REMOVED
 - = TREES TO REMAIN WITH TREE PROTECTION FENCE
 - = TREES TO BE REMOVED
- SEE SHT. L-1.0 FOR TREE REPLACEMENT INFORMATION

EXISTING TREE LIST:

PLAN ID	CODE	DBH	COMMON NAME	LATIN NAME	COND	CONDITION/ FACTOR					OVERALL RANK	CLASS	SAVE / REMOVE	ON-SITE	REPLACE	
						trunk	growth rate	structure	insects/diseases	crowd dev						life exp.
1410	LL	14	Littleleaf Linden	Tilia Cordata	GOOD	3	4	3	4	3	5	22		S	N	
1411	LL	7	Littleleaf Linden	Tilia Cordata	GOOD	4	3	3	4	2	4	20		S	Y	
1412	RO	32	Red Oak	Quercus rubra	GOOD	4	4	3	4	3	5	23	LANDMARK	S	ON-SITE SAVE Y	
1413	RO	30	Red Oak	Quercus rubra	GOOD	4	3	4	4	3	5	23	LANDMARK	S	ON-SITE SAVE Y	
1414	HL	7	Honeylocust	Gleditsia triacanthos	GOOD	4	3	3	4	2	4	20		R	Y	
1415	AU	17	Austrian Pine	Pinus nigra	GOOD	3	3	3	4	2	3	18		S	N	
1416	AU	15	Austrian Pine	Pinus nigra	POOR	4	3	3	4	2	3	19		S	N	
1417	AU	18	Austrian Pine	Pinus nigra	POOR	4	3	3	4	2	3	19	LANDMARK	S	N	
1418	AU	14	Austrian Pine	Pinus nigra	FAIR	4	3	3	4	2	3	19		S	N	
1419	TH	12	Thornapple/Hawthorne	Craegagus spp.	GOOD	3	4	3	4	4	4	22	LANDMARK	R	Y	REPLACE
1420	TH	15	Thornapple/Hawthorne	Craegagus spp.	GOOD	4	4	4	4	4	4	23	LANDMARK	R	Y	REPLACE
1421	TH	8	Thornapple/Hawthorne	Craegagus spp.	GOOD	4	4	3	4	3	4	22		R	Y	
1422	CA	8	Crab Apple	Malus caronana	GOOD	4	4	3	4	3	4	22		S	Y	
1423	AU	19	Austrian Pine	Pinus nigra	POOR	4	3	3	4	2	4	20	LANDMARK	S	N	
1424	CA	9	Crab Apple	Malus caronana	GOOD	3	4	3	3	3	4	20		S	Y	
1425	LL	13	Littleleaf Linden	Tilia Cordata	GOOD	4	4	3	4	3	5	23		S	N	
1426	AU	16	Austrian Pine	Pinus nigra	POOR	3	3	2	4	2	3	17		S	N	
1427	TH	10	Thornapple/Hawthorne	Craegagus spp.	GOOD	4	4	3	4	3	4	22		S	N	
1428	TH	5	Thornapple/Hawthorne	Craegagus spp.	GOOD	4	4	3	3	3	4	21		S	N	
1429	RM	10	Red Maple	Acer rubrum	GOOD	4	4	3	4	4	5	24		S	N	
1430	CA	16	Crab Apple	Malus caronana	GOOD	3	4	3	4	3	3	20	LANDMARK	S	ON-SITE SAVE Y	
1431	CA	6	Crab Apple	Malus caronana	GOOD	4	4	3	4	3	3	21		R	Y	
1432	CA	11	Crab Apple	Malus caronana	GOOD	4	4	4	4	3	3	22		S	N	
no tag	CA	4	Crab Apple	Malus caronana	GOOD	4	4	3	4	3	3	21		S	N	
1433	RM	9	Red Maple	Acer rubrum	GOOD	4	4	4	4	4	5	25		S	N	
1434	CA	12	Crab Apple	Malus caronana	GOOD	4	4	3	4	4	4	23	LANDMARK	S	N	
1435	HL	17	Honeylocust	Gleditsia triacanthos	GOOD	4	4	3	4	4	4	23	LANDMARK	S	N	
1436	CA	8	Crab Apple	Malus caronana	GOOD	4	3	4	4	3	4	22		R	Y	
1437	CA	11	Crab Apple	Malus caronana	GOOD	4	3	3	4	3	4	21		R	Y	
no tag	CA	10	Crab Apple	Malus caronana	GOOD	3	3	3	3	3	4	20		R	Y	
1438	CA	8	Crab Apple	Malus caronana	GOOD	3	3	3	4	3	4	20		S	Y	
1439	HL	5	Honeylocust	Gleditsia triacanthos	GOOD	4	4	3	4	4	4	23		S	Y	
1440	HL	8	Honeylocust	Gleditsia triacanthos	GOOD	4	4	4	4	3	4	23		S	Y	
1441	RM	8	Red Maple	Acer rubrum	GOOD	4	4	4	4	3	5	24		S	N	
1442	AU	23	Austrian Pine	Pinus nigra	GOOD	4	4	3	4	2	3	20	LANDMARK	S	N	
1444	TH	7	Thornapple/Hawthorne	Craegagus spp.	GOOD	4	4	4	4	3	4	23		S	N	
1445	AU	10	Austrian Pine	Pinus nigra	GOOD	4	4	2	4	2	3	19		S	N	
1446	AU	11	Austrian Pine	Pinus nigra	GOOD	3	4	3	4	2	3	19		S	N	
1447	AU	16	Austrian Pine	Pinus nigra	GOOD	4	4	3	4	3	3	21		S	N	
1448	AU	26	Austrian Pine	Pinus nigra	GOOD	4	4	3	3	3	3	20	LANDMARK	S	ON-SITE SAVE Y	
1449	BL	13	Black Locust	Robinia pseudacacia	GOOD	3	4	3	4	3	4	21	INVASIVE	S	N	
1450	BL	21	Black Locust	Robinia pseudacacia	GOOD	4	4	3	4	3	4	22	INVASIVE	S	N	
1451	BL	9	Black Locust	Robinia pseudacacia	GOOD	3	4	3	4	2	3	19	INVASIVE	S	N	
1452	JP	11	Jack Pine	Pinus banksiana	GOOD	3	4	4	4	3	4	22		S	N	
1453	BL	20	Black Locust	Robinia pseudacacia	GOOD	4	4	3	4	3	4	22	INVASIVE	S	N	
1454	HL	8	Honeylocust	Gleditsia triacanthos	GOOD	4	4	4	4	3	4	23		R	Y	
1455	TH	10	Thornapple/Hawthorne	Craegagus spp.	GOOD	4	4	3	4	3	4	22		R	Y	
1456	TH	15	Thornapple/Hawthorne	Craegagus spp.	GOOD	4	4	3	4	3	4	22	LANDMARK	R	Y	REPLACE
1457	TH	10	Thornapple/Hawthorne	Craegagus spp.	GOOD	4	4	3	4	3	4	22		R	Y	
1458	AU	13	Austrian Pine	Pinus nigra	GOOD	3	4	3	3	3	3	19		S	N	
1459	BP	13	Bradford Pear	Pyrus calleryana	GOOD	4	4	3	4	4	4	23		S	N	
1460	AU	15	Austrian Pine	Pinus nigra	GOOD	3	4	3	3	3	3	19		S	N	
1461	RO	21	Red Oak	Quercus rubra	GOOD	4	4	3	4	3	5	23	LANDMARK	R	Y	REPLACE
1462	PB	8	Paper Birch	Betula papyrifera	GOOD	4	4	4	3	4	4	23		R	Y	
1463	NM	20	Norway Maple	Acer platanoides	GOOD	4	4	3	4	4	5	24	INVASIVE	S	N	
1464	LL	24	Littleleaf Linden	Tilia Cordata	GOOD	4	4	4	4	4	5	25	LANDMARK	S	N	
1465	RM	10	Red Maple	Acer rubrum	GOOD	4	4	3	3	4	5	23		S	N	
1466	BX	43	Box-elder	Acer-negundo	GOOD	3	4	2	3	2	3	17	INVASIVE	R	Y	
1467	LL	20	Littleleaf Linden	Tilia Cordata	GOOD	4	4	3	4	4	5	24	LANDMARK	S	ON-SITE SAVE Y	
1468	NM	9	Norway Maple	Acer platanoides	GOOD	4	4	4	4	4	5	25	INVASIVE	R	Y	
1469	JP	12	Jack Pine	Pinus banksiana	GOOD	4	4	3	4	4	4	23		R	Y	
1470	HL	14	Honeylocust	Gleditsia triacanthos	GOOD	4	4	3	4	4	4	23		S	N	
1471	JP	6	Jack Pine	Pinus banksiana	GOOD	4	4	3	4	4	4	23		R	Y	

EXISTING LAND USE:
 THE SITE IS CURRENTLY DEVELOPED AS A MIXED USE HOTEL/RESTAURANT USE, AND ALMOST HALF OF THE SITE IS PAVED.

NATURAL FEATURES INVENTORY:
 SEE THIS SHEET AND SHEET L-1 FOR LOCATIONS OF EXISTING NATURAL FEATURES. THERE ARE NO WETLANDS OR WATERCOURSE. THERE ARE NO WOODLAND TREES ONSITE. THERE ARE EXISTING SITE TREES AND EXISTING LANDMARK TREES. THERE ARE NO STEEP SLOPES AND NO FLOODPLAINS.

PROTECTION PLAN:
 LANDMARK TREE (ANY TREE 24" AND UP OR ON THE LANDMARK TREE LIST TABLE 5:23-1) TOTAL OF 9 LANDMARK TREES EXISTING ONSITE.

REMOVE 4 LANDMARK TREES ONSITE. ALTERNATIVE ANALYSIS AND JUSTIFICATION:
 #1419 12" HAWTHORNE, #1420 15" HAWTHORNE, #1456 15" HAWTHORNE, LOCATED WITHIN PARKING AREA NECESSARY FOR DEVELOPMENT.
 REMOVE TREE #1461 21" RED OAK, WOULD BE LOCATED WITHIN UTILITY EASEMENT, BEST LOCATION FOR DUMPSTER DUE TO UTILITIES AND BEST USE LOCATION DISTANCE FOR RESTAURANT AND HOTEL.
 TOTAL OF 63" DBH LM REMOVED.

SAVE 5 LANDMARK TREES ONSITE. #1412 32" RED OAK, #1413 30" RED OAK, #1430 16" CRAB, #1448 26" AUSTRIAN PINE, #1467 20" LINDEN TOTAL OF 124" DBH LM SAVED.
 LANDMARK TREES TO REMAIN WILL BE SECTIONED OFF FROM THE DEVELOPMENT AREA WITH TREE PROTECTION FENCING AND SILT FENCE.

TREE PROTECTION SHOWN OUTSIDE OF THE CRITICAL ROOT ZONE FOR LANDMARK TREES, FENCE PLACED OUTSIDE DIA. OF TREE AT 1' FOR EVERY 1" OF TREE DBH.

MITIGATION AND PROTECTION:
 MITIGATION REQUIRED: TREE REPLACEMENT REQUIRED FOR LANDMARK TREES REMOVED. TREE PROTECTION REQUIRED AT CRITICAL ROOT ZONE FOR LANDMARK TREES TO REMAIN AND ALL TREES TO REMAIN.

REVISIONS

NO.	DATE	DESCRIPTION
1	10/21/16	REVISED PER CITY COMMENTS
2	04/02/16	REVISED PER CITY COMMENTS
3	04/02/16	REVISED PER CITY COMMENTS
4	04/02/16	REVISED PER CITY COMMENTS
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99	04/02/16	REVISED PER CITY COMMENTS
100	04/02/16	REVISED PER CITY COMMENTS





EAST ELEVATION
 SCALE: 1/8" = 1'-0" 5



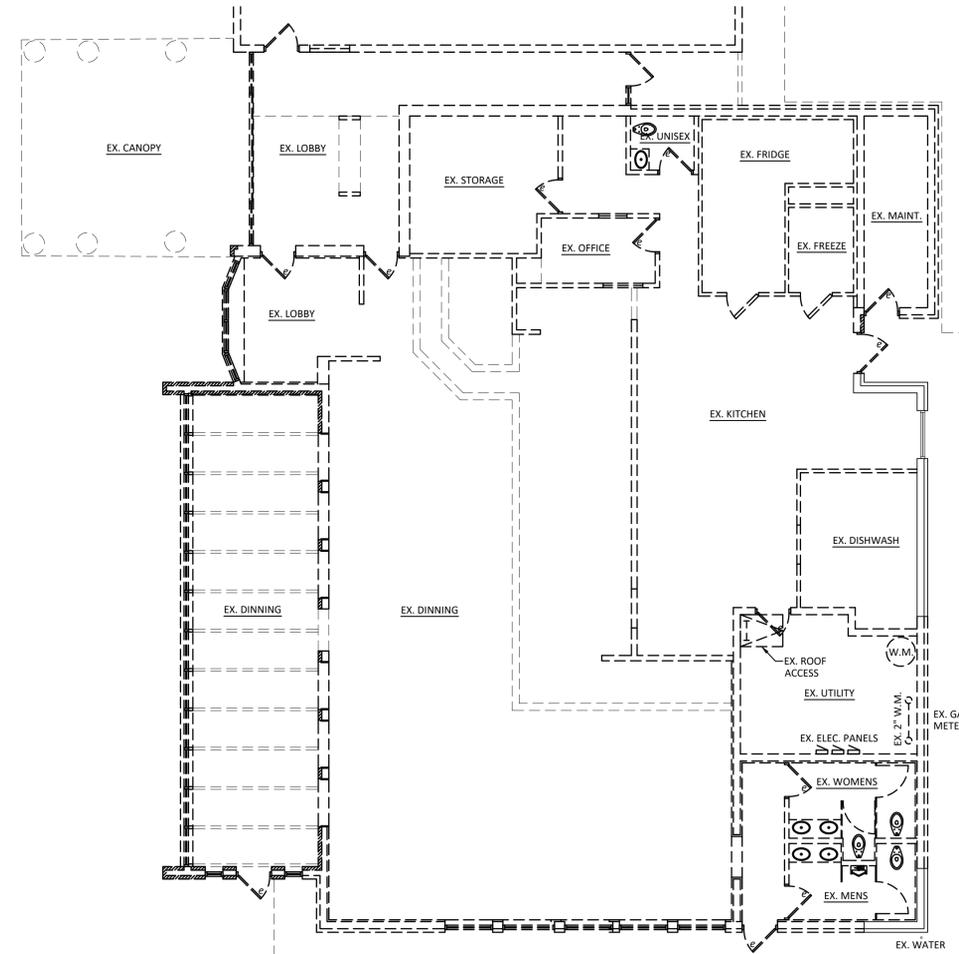
NORTH ELEVATION
 SCALE: 1/8" = 1'-0" 4



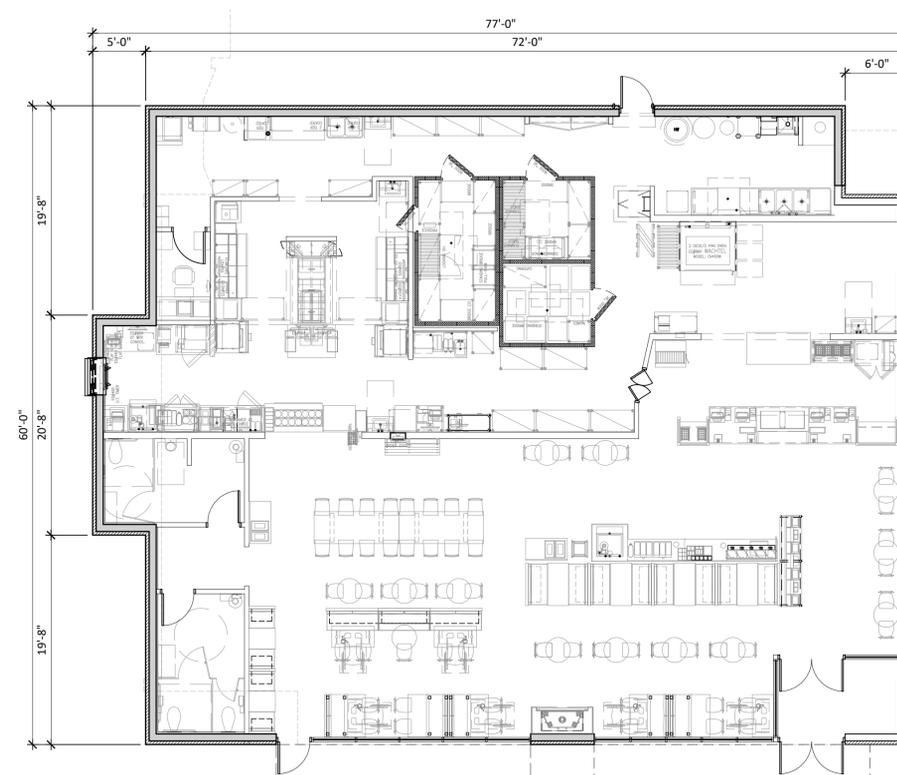
WEST ELEVATION
 SCALE: 1/8" = 1'-0" 3



SOUTH ELEVATION
 SCALE: 1/8" = 1'-0" 2



EXISTING/DEMO FLOOR PLAN
 SCALE: 1/8" = 1'-0" EX. NORTH



PRELIMINARY FLOOR PLAN
 SCALE: 1/8" = 1'-0" NORTH 1

Proposed
 RESTAURANT
 3621 PLYMOUTH RD,
 ANN ARBOR, MI

REV	DATE	ISSUED
01-30-19		SITE PLAN REVIEW

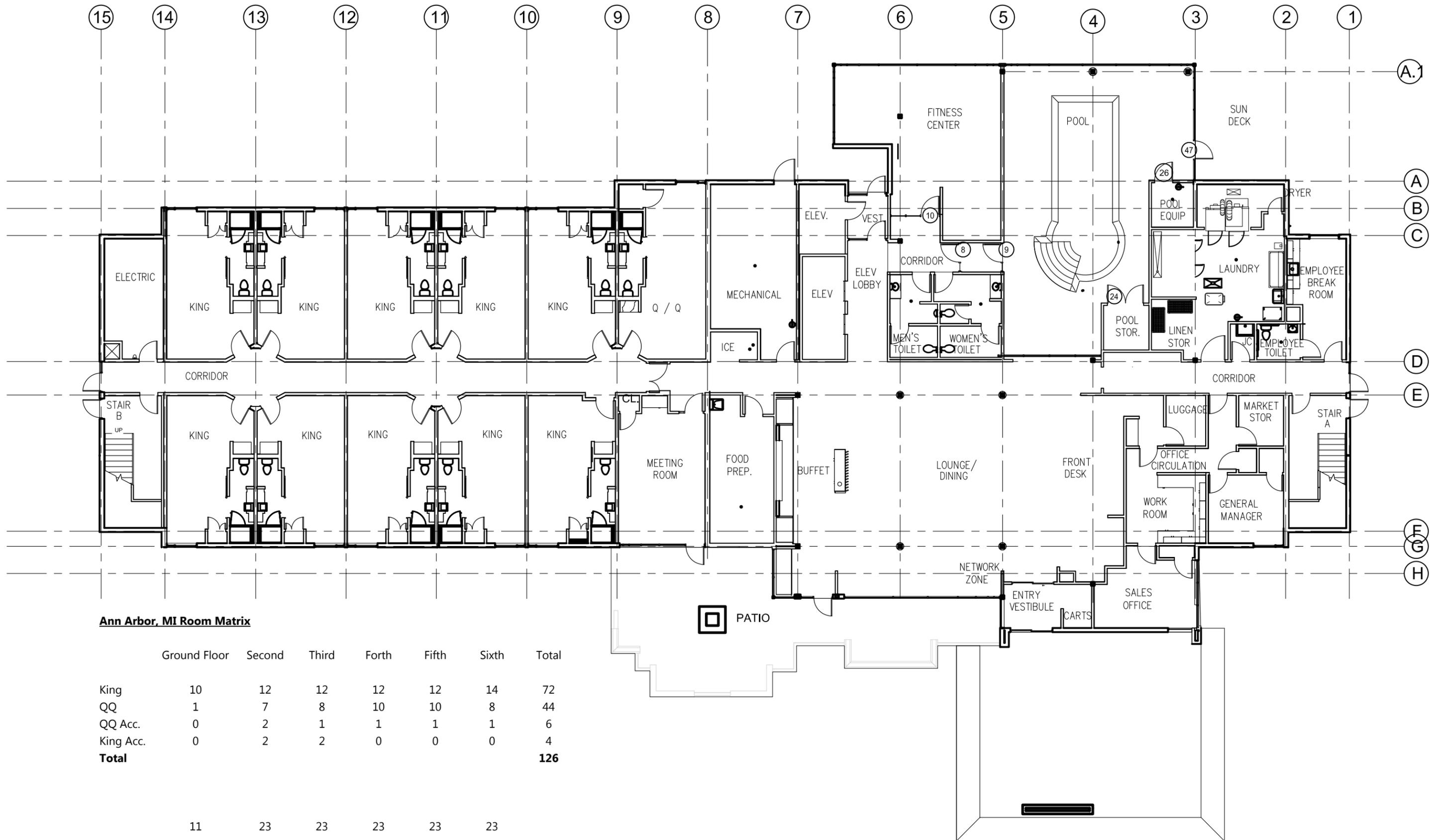
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SEAL:

DRAWN BY: TJG
 CHECKED BY: VW
 IN CHARGE: VW
 SHEET NAME:
 PRELIMINARY FLOOR PLAN
 AND ELEVATIONS

JOB NO:
 18-175

SHEET NO:
 PP-1



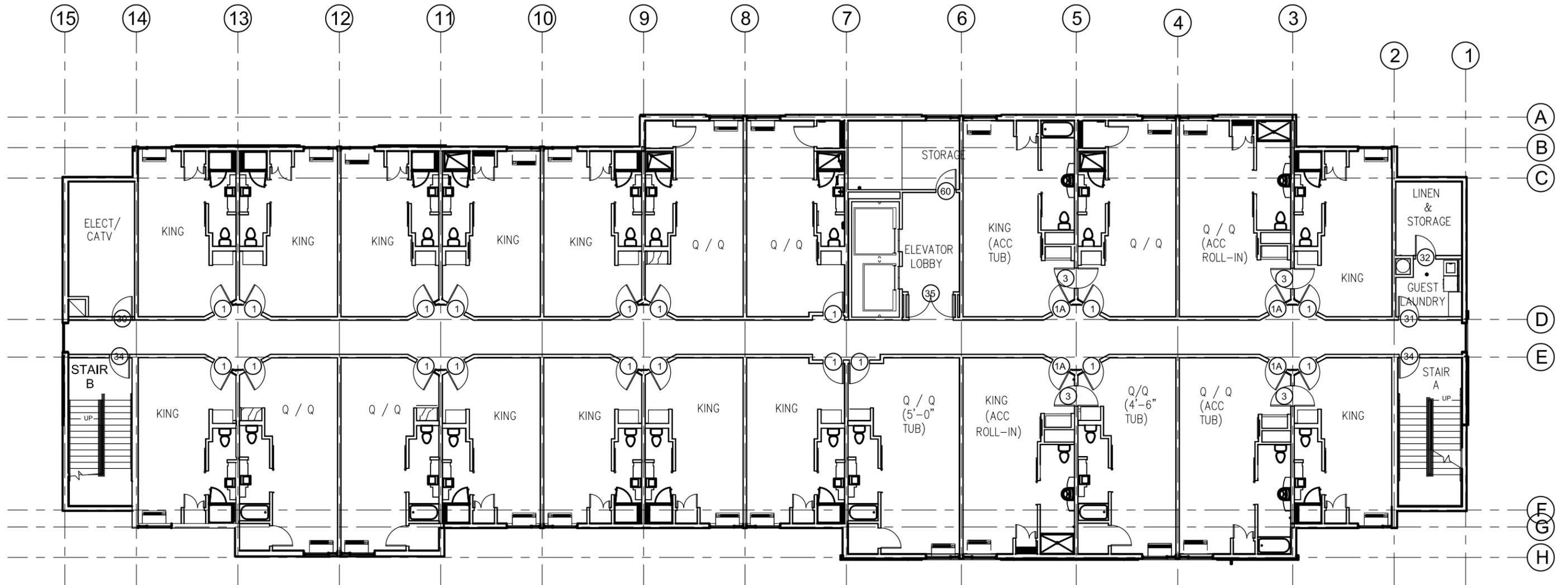
Ann Arbor, MI Room Matrix

	Ground Floor	Second	Third	Forth	Fifth	Sixth	Total
King	10	12	12	12	12	14	72
QQ	1	7	8	10	10	8	44
QQ Acc.	0	2	1	1	1	1	6
King Acc.	0	2	2	0	0	0	4
Total							126

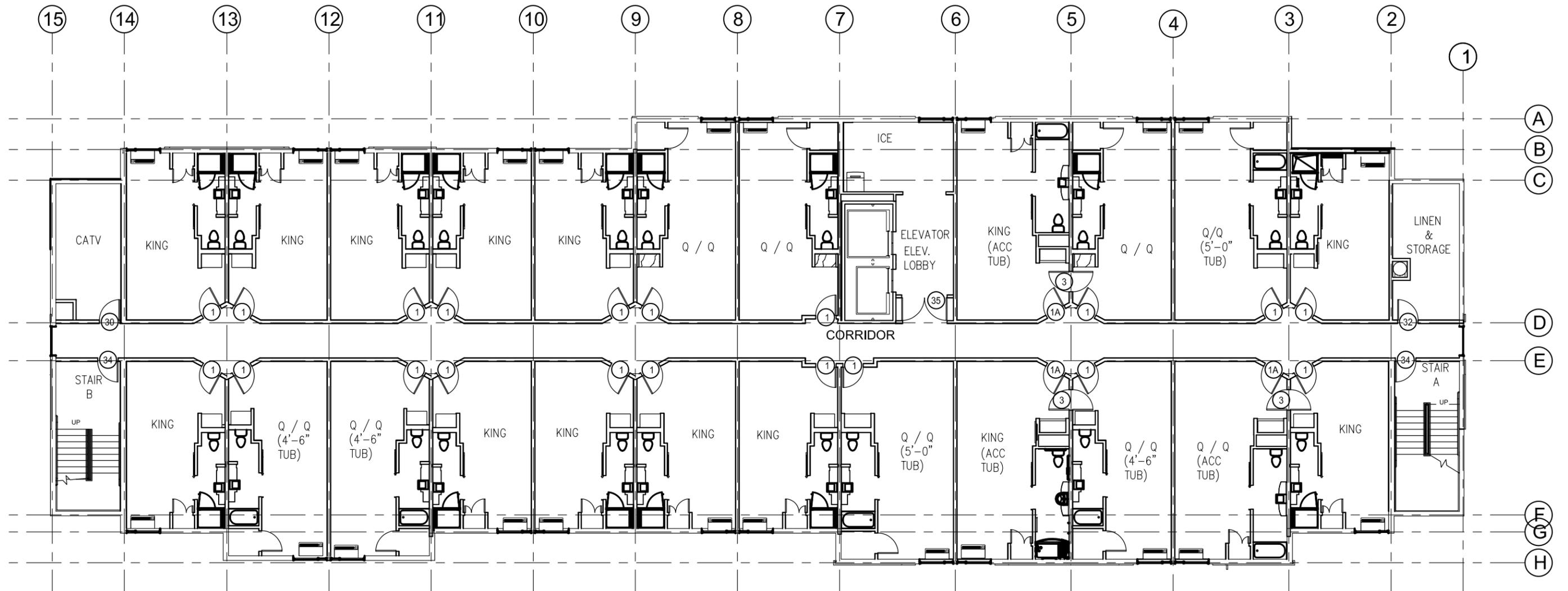
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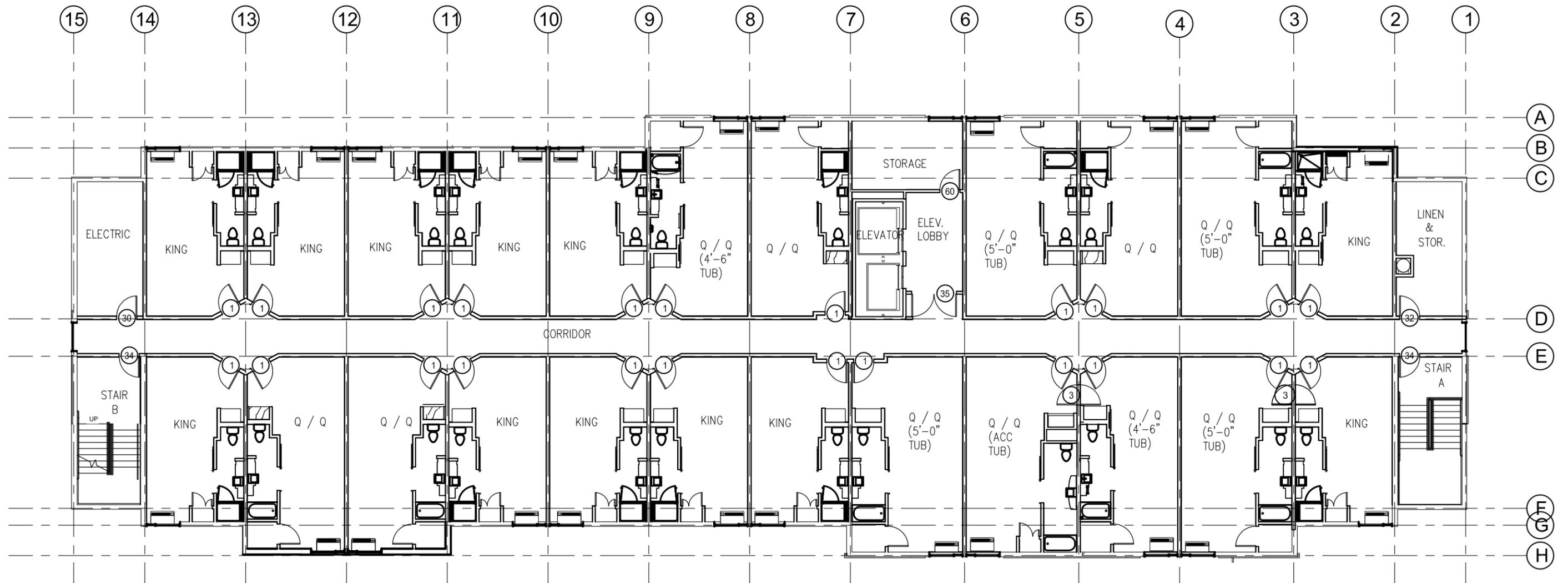
King 60%
Queen 40%

HOTEL DEVELOPMENT | GROUND FLOOR PLAN

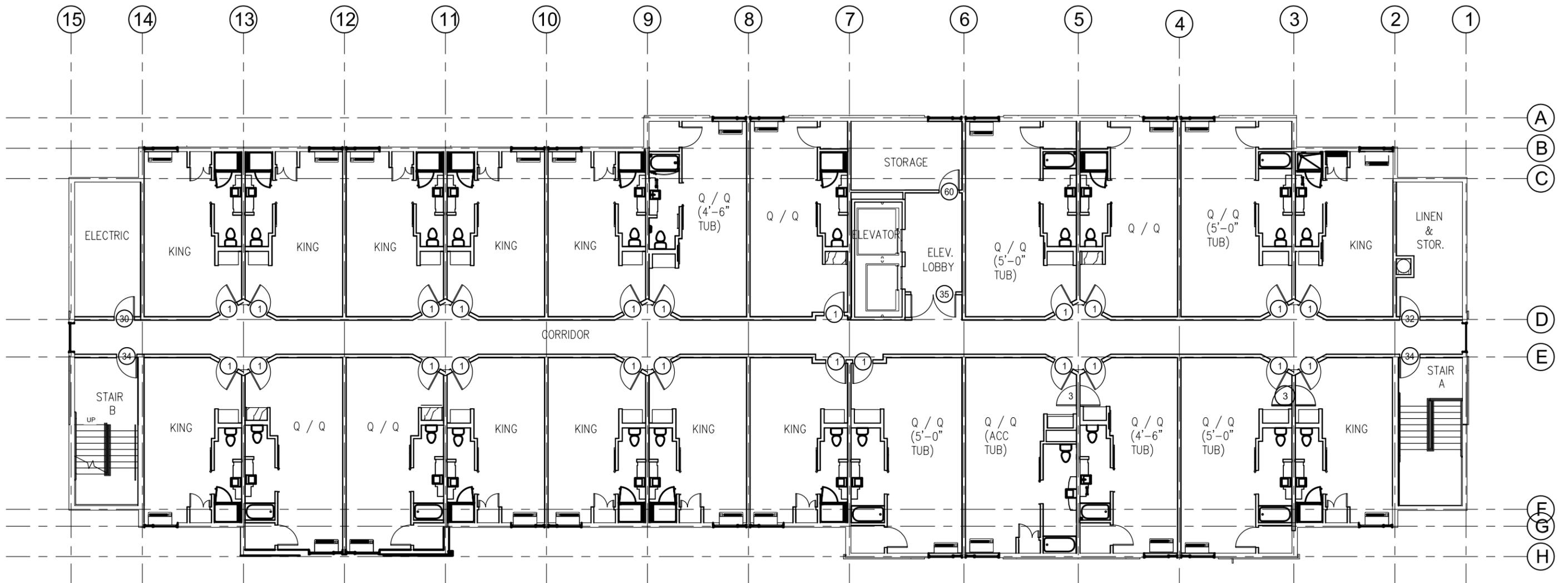


HOTEL DEVELOPMENT | SECOND FLOOR PLAN



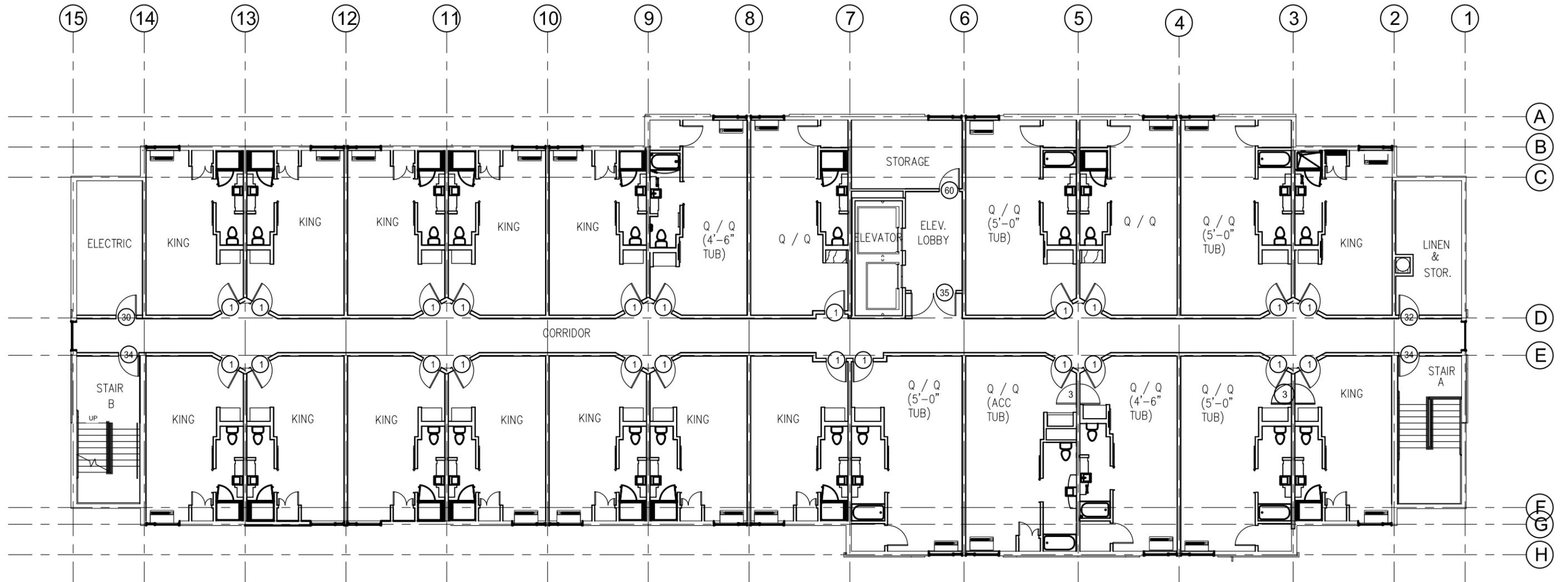


HOTEL DEVELOPMENT | FOURTH FLOOR PLAN



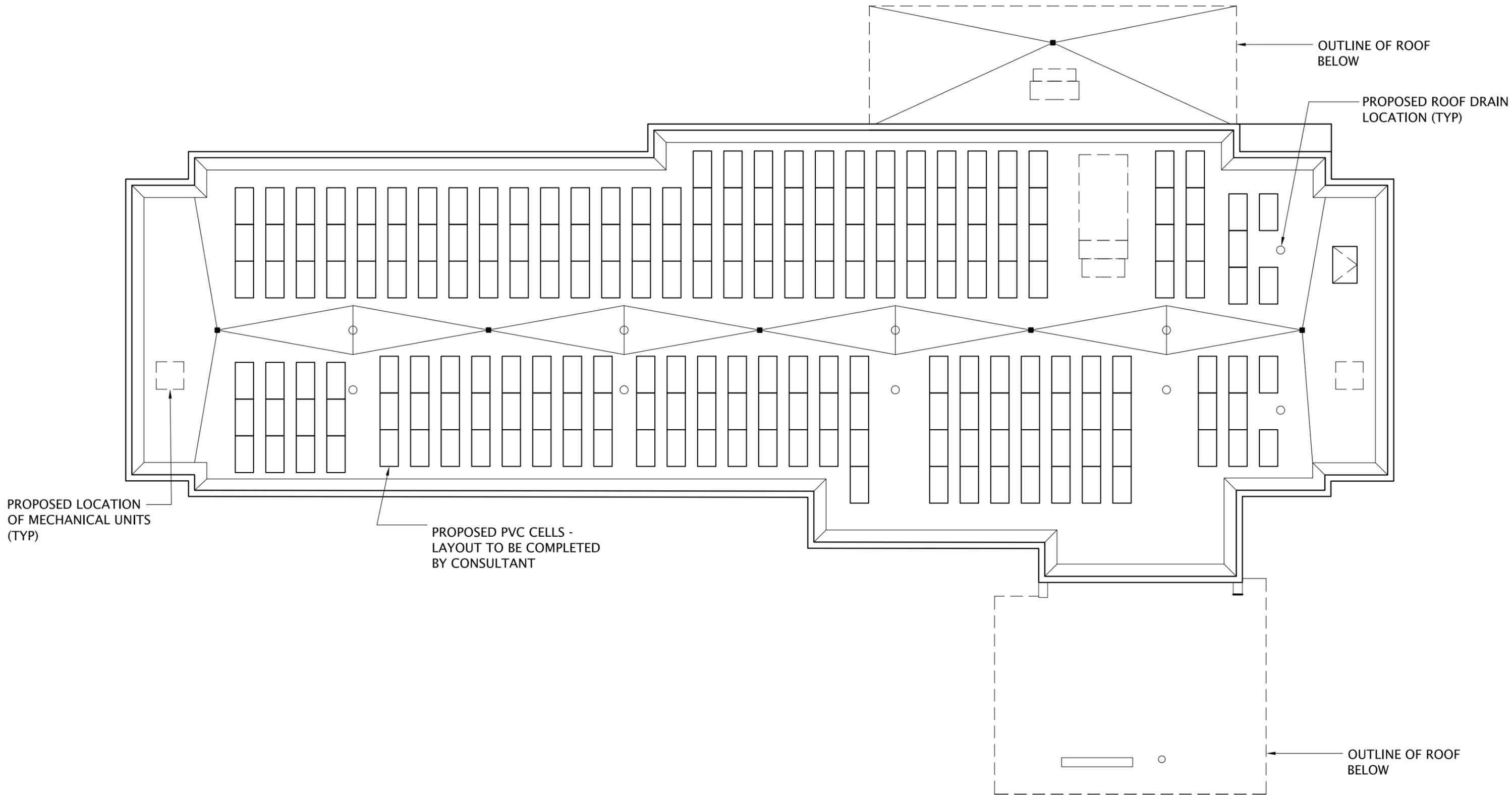
HOTEL DEVELOPMENT | FIFTH FLOOR PLAN





HOTEL DEVELOPMENT | SIXTH FLOOR PLAN





HOTEL DEVELOPMENT | ROOF PLAN



WEST ELEVATION

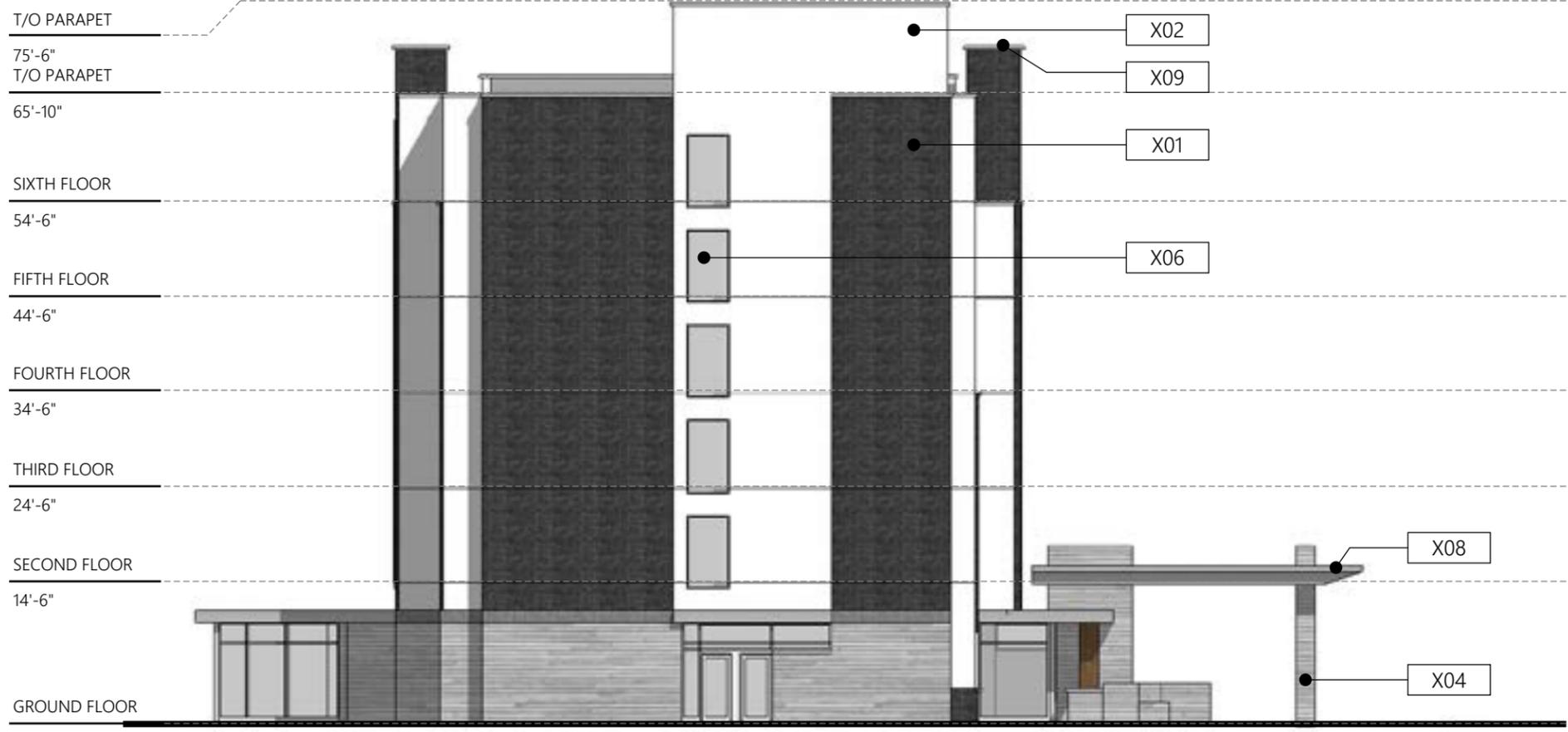


SOUTH ELEVATION

EXTERIOR MATERIALS	
X01	4" BRICK VENEER, COLOR: DARK GREY
X02	EIFS, COLOR: WHITE
X03	ALUMINUM SIDING, WOOD LOOK
X04	4" STONE VENEER
X05	4" BRICK VENEER, COLOR: DARK GREY, SOLDIER COURSE
X06	CLEAR GLASS
X07	PRECAST CONCRETE
X08	ALUMINUM PANEL
X09	PREFINISHED METAL COPING, COLOR: WHITE



EAST ELEVATION



NORTH ELEVATION

EXTERIOR MATERIALS	
X01	4" BRICK VENEER, COLOR: DARK GREY
X02	EIFS, COLOR: WHITE
X03	ALUMINUM SIDING, WOOD LOOK
X04	4" STONE VENEER
X05	4" BRICK VENEER, COLOR: DARK GREY, SOLDIER COURSE
X06	CLEAR GLASS
X07	PRECAST CONCRETE
X08	ALUMINUM PANEL
X09	PREFINISHED METAL COPING, COLOR: WHITE



EX01

Glen-Gery - 4" Brick Veneer
Color: Crystal Black



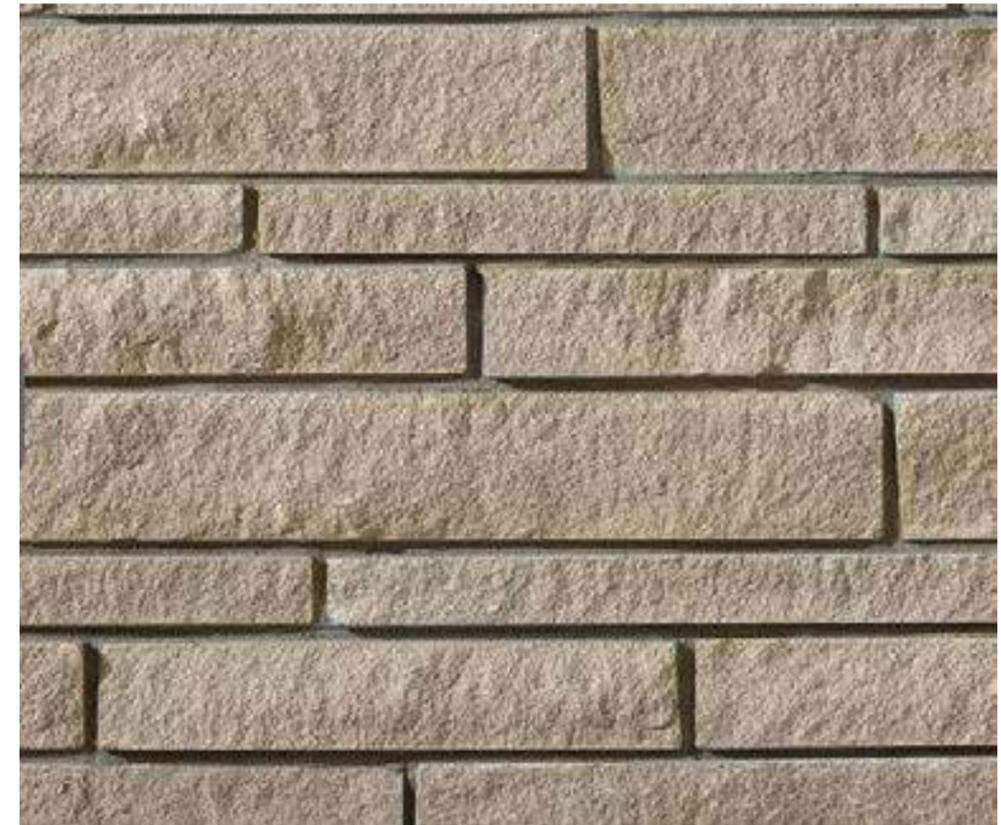
EX02

EIFS - Color: 20001 ITS White



EX03

Longboard - Extruded Aluminum Siding
Color: Dark Cherry



EX04

Arriscraft - 4" Stone Veneer
Color: Frost - Urban Landscape



MEMORANDUM

DATE: October 29, 2019

TO: Alexis DiLeo
Planning Division

FROM: Anne M. Warrow, PE, Project Manager
Public Services Area – Engineering Review
awarrow@a2gov.org, 734 794-6410 ext. 43639

RE: MMG Plymouth Mixed Use Development for CPC
File No. SP19-003, Z19-007 & SEU19-002
Review # 4 of plans dated October 23, 2019

Amw

Based on our review, this petition **should not** be scheduled for Planning Commission action until the items noted have been addressed:

1. Sheet C-1.0 and C-1.1: All easements shall reference the recorded Liber and Page numbers.
2. Sheet C-2.0 - Dimensional & Paving Plan:
 - a. An easement for the western portion of the proposed sidewalk along Plymouth Road shall be shown on the plans.
 - b. Clarify if any part of the existing spillway at the southeast corner of the site will remain. If not, remove line work related to the part of the spillway that will be removed and note it on the plans.
 - c. The sidewalk note shall reference Chapter 49, not "R9."
3. Sheet C-5.0 - Utility Sheet:
 - a. Show the location and size of water and sanitary sewer leads that serve the two existing 2-story hotel buildings that will remain on the western half of the parcel.
 - b. A proposed 12" connection to storm is shown from the proposed 6-story hotel. Clearly show and identify the existing storm sewer to which this lead will connect.
 - c. Show the proposed sanitary sewer easement on the plans. Sanitary sewer easements shall be twice the depth plus ten feet (a minimum of 30'), with the sewer pipe offset five feet from the center. Note that this easement shall be shown separately from the proposed water main easement.

Submit a legal description and drawing for the sanitary sewer easement for review that meets the following criteria:

- i. Submitted as an 8.5" x 11" PDF with at least ½" margins
- ii. Labeled as "Exhibit A"

- iii. Use a font size not less than 12 for the legal description
 - iv. Use upper and lowercase letters
 - v. Use the degree symbol (°) in place of the word degree
 - vi. Be extractable text (i.e., the text must be able to be cut and pasted from the PDF into Microsoft Word without text errors). This will require the legal description be converted to a PDF, as opposed to scanned
- d. Show the proposed water main easement separately from the sanitary easement. Water main easements shall be forty feet in width, including twenty feet around all sides of a fire hydrant, with the water main centered within.
- e. Sanitary Sewer Mitigation Calculations:
- i. The plans list four types of hotel rooms; confirm that all proposed hotel rooms are less than 400 sq. ft.
 - ii. Confirm the number of new hotel rooms, as this sheet shows 127, but elsewhere in the plans it is listed as 126.
 - iii. The plans indicate that there is a pool, a lounge/dining area, a fitness center, meeting room, lobby, laundry, various offices. These uses must be included in the proposed flows.
 - iv. The flow rates adopted in Table A of the *Developer Offset-Mitigation Program* shall be used in completing these calculations.
 - v. The **increase in flow** between the proposed and existing uses (including all existing buildings that will remain in use) shall be multiplied by the Peaking Factor of 4 and a System Recovery Factor of 1.1.
- f. Show the discharge location of the pool backwash discharge and its connection to the storm sewer. Note on the plans that pool backwash water **may not** discharge to the sanitary sewer.

The following items are noted and/or require no further action at this time:

1. We have no comment on the special exception use request.
2. The submitted City of Ann Arbor Geodetic Reference System (AAGRS) Coordinate Transformation Worksheet is approved. Once the site plan is approved, CAD files shall be submitted with all applicable CAD layer information.
3. Information regarding Water and Sanitary Capital Cost Recovery Charges and Extension Charges may be found here: https://www.a2gov.org/departments/systems-planning/planning-areas/water-resources/Documents/Fee%20Schedule_2016%20final.pdf.
4. Water service metering shall occur at the point the service leads enter the building.
5. As the project proposes a new domestic and fire service connection, the applicant must submit a backflow prevention and metering arrangement drawing for the City to review and approve prior to the start of construction. Approval of site or construction plans by the City does not relieve the applicant of complying with City standards on backflow prevention and metering. It is the responsibility of the applicant to submit appropriate plans to the City for review when available, and no later than the start of construction.

6. Construction level details shall be reviewed at the construction plan stage, such as:
 - a. Valving
 - b. Stationing.
 - c. Specific horizontal and vertical location of proposed utilities.
 - d. Final utility main sizing
 - e. Sidewalk design, including both longitudinal and transverse grades, and specifically information concerning ramps
 - f. General Utility Notes on Sheet C-5.0

7. The existing structures are presumed not to have footing drains connected to sanitary sewer. The 2-story motel structures, constructed in 1980, and the single-story restaurant, constructed in 1981, have concrete slab foundations with no basements.

AMW:ah (S:\Engineering\Private Development\Comments\MMG Plymouth Mixed Use Development\MMG Plymouth Mixed Use Development SP&Z 4.docx)

- C: Private Development Team (via Email)
Traffic Team (via Email)
Kathleen Summersgill, Fire Marshal (via Email)
Michael Reddmann, Fire Inspector (via Email)

-MEMORANDUM-

TO: Alexis DiLeo
Planning and Development Services Unit

FROM: Tiffany Giacobazzi, Urban Forestry and Natural Resources Planning Coordinator

DATE: October 28, 2019

SUBJECT: **Site Plan:** MMG Plymouth Mixed Use Development
Location: 3611 Plymouth Road
Plans Dated: October 21, 2019
Project Number: SP19-003

We have reviewed the proposed site plan and provide the following comments for the petitioner:

Landscaping and Screening

1. **Sheet L-1.0. Deciduous Tree Plant List. Mitigation Trees.** Landmark mitigation trees must be native to Michigan, and must be straight speices, not cultivars or varieties. The following speices are not native to Michigan and/or are cultivated variety that has a form that is not found naturally in Michigan.
 - a. Betula nigra (River birch): not native to Michigan.
2. **Sheet L-1.1. General Planting Notes.** (Chapter 55, Article V 5.29.6.) The following notes must be added to the Notes section.
 - a. Change Note 17 from Chapter 62 stds.” to “city code”. Chapter 62 no longer exists.

Note: Expect additional comments when the above comments have been addressed.

***MMG Plymouth Mixed Use* DEVELOPMENT AGREEMENT**

THIS AGREEMENT, made this ____ day of _____, 20__, by and between the City of Ann Arbor, a Michigan municipal corporation, with principal address at 301 East Huron Street, Ann Arbor, Michigan 48107, hereinafter called the CITY; and A2 Hospitality Property, LLC, a Michigan limited liability company, with principal address at 251 East Merrill Street, Suite 205, Birmingham, Michigan 48009, hereinafter called the DEVELOPER, witnesses that:

WHEREAS, the DEVELOPER owns certain land in the City of Ann Arbor, described below and site planned as *MMG Plymouth Mixed Use*, and

WHEREAS, the DEVELOPER has caused certain land in the City of Ann Arbor, described below to be surveyed, mapped and site planned as *MMG Plymouth Mixed Use*, and desires site plan approval with planned project modifications and development agreement approval thereof, and

WHEREAS, the DEVELOPER desires to build or use certain Improvements with and without the necessity of special assessments by the CITY, and

WHEREAS, the CITY desires to ensure that all of the Improvements required by pertinent CITY ordinances and regulations be properly made, and that the DEVELOPER will install these Improvements prior to any permits being issued.

THE DEVELOPER(S) HEREBY AGREE(S):

(

(P-1) To prepare and submit to the CITY for approval plans and specifications ("the Plans") prepared by a registered professional engineer for *construction of public water mains, private storm water management systems*, ("the Improvements") provided that no work on said Improvements shall be commenced until the Plans have been approved by the City Administrator or designee, and until such other relevant information to CITY service areas as shall be reasonably required has been provided.

(P-2) To construct all Improvements set forth in Paragraph P-1 of this Agreement in accordance with the approved Plans and to repair all defects in the Improvements that occur within one year from the date of acceptance of the Improvements by the CITY, commencing on the latest date of the acceptance of any Improvements by the CITY. If the DEVELOPER fails to construct the Improvements, the CITY may send notice via first class mail to the DEVELOPER at the address listed above requiring it to commence and complete the Improvements in the notice within the time set forth in the notice. The CITY may cause the work to be completed at

the expense of the DEVELOPER, if the DEVELOPER does not complete the work within the time set forth in the notice. Every owner of a portion of the property, including co-owners of condominium units, shall pay a pro-rata share of the cost of the work. That portion of the cost of the work attributable to each condominium unit shall be a lien on that Property and may be collected as a single tax parcel assessment as provided in Chapter 13 of the Ann Arbor City Code.

(P-3) To furnish, within 30 days of completion, an engineer's certificate that the construction of the public Improvements set forth in Paragraph P-1 above have been completed in accordance with the specifications of the CITY in accordance with the approved plans. The engineer's certificate will cover only those items the DEVELOPER'S engineer inspects.

(P-4) Prior to the issuance of building permits, to deposit with a mutually acceptable escrow agent fully executed documents in a form acceptable to the CITY, which will convey, upon delivery to the CITY, easements for the construction and maintenance of public utilities. The escrow agreement shall provide for delivery of the documents to the CITY solely upon the condition that the CITY has accepted the public Improvement to be conveyed by the easement.

(P-7) To install all water mains, storm sewers, sanitary sewers and public streets, through the first course of asphalt, pursuant to CITY approved plans and specifications, necessary to connect the site with existing CITY systems adjacent to the site prior to the issuance of any building permits. (The language may be *"any occupancy permits" depending on site conditions, for example, it is an existing project that is being upgraded/remodeled; check w/SESC*) (If necessary, insert: "Building permits may be issued for the construction of *insert quantity* model homes prior to the first course of asphalt, provided that the road meets Fire Department requirements. The final course of asphalt paving shall be completed prior to the issuance of *insert appropriate trigger point as necessary* on the site.

(P-9) To be included in a future special assessment district, along with other benefiting property, for the construction of additional Improvements to *insert name(s) of road, drive, avenue, etc.*, such as street widening, storm sewers, curb and gutter, sidewalks, bike paths, street lights, and the planting of trees along *insert name(s) of road, drive, avenue, etc.*, frontage when such Improvements are determined by the CITY to be necessary. (A provision shall be included in the master deed for the project stating that if the CITY undertakes to establish a special assessment district to improve *insert name(s) of road, drive, avenue, etc.*, each unit shall be assessed its pro rata share of the cost of Improvements allocable to the Property.)

(P-11) To indemnify, defend and hold the CITY harmless from any claims, losses, liabilities, damages or expenses (including reasonable attorney fees) suffered or incurred by the CITY based upon or resulting from any acts or omissions of the DEVELOPER, its employees, agents, subcontractors, invitees, or licensees in the design, construction, maintenance or repair of any of the Improvements required under this Agreement and the approved site plan.

(P-12) To cause to be maintained General Liability Insurance and Property Damage Insurance in the minimum amount of \$1,000,000 per occurrence and naming the CITY as additional insured to protect and indemnify the CITY against any claims for damage due to public use of the public improvement(s) in the development prior to final written acceptance of the public improvement(s) by the CITY. Evidence of such insurance shall be produced prior to any construction of improvement and a copy filed with the City Clerk's Office and shall remain in full force and effect during construction of the public improvement(s) and until notice of acceptance by the CITY of the Improvements.

Natural Features Protection

(P-13) Existing landmark trees shown on the site plan as trees to be saved shall be maintained by the DEVELOPER in good condition for a minimum of three years after acceptance of the public Improvements by the CITY or granting of Certificate of Occupancy. Existing landmark trees that are determined by the CITY to be dead, dying or severely damaged due to construction activity within three years after acceptance of the public Improvements or granting of Certificate of Occupancy, shall be replaced by the DEVELOPER as provided by Chapter 55 of the Ann Arbor City Code.

(P-22) After construction of the private on-site storm water management system, to commission an annual inspection of the system by a registered professional engineer evaluating its operation and stating required maintenance or repairs, and to provide a written copy of this evaluation to the CITY Public Services Area.

(P-27) To design, construct, repair and maintain this development in accordance with the provisions of Chapter 119 (Noise Control) to ensure that any noise emanating from said development will not impact nearby residents or businesses. In addition, DEVELOPER shall review existing noise sources surrounding said development and incorporate necessary design and construction techniques to ensure that future tenants will not be exposed to noise sources in violation of Chapter 119.

(P-28) To include the elevation drawings, as submitted to City Council, as part of the approved site plan and to construct all buildings consistent with said elevation drawings. If the DEVELOPER proposes any substantive changes to the approved building elevations, setbacks, aesthetics, or materials, that those changes be brought back to the City Council for consideration. The DEVELOPER is required to submit signed and sealed drawings to staff reflecting the elevations, setbacks, aesthetics, materials and site plan approved by City Council.

(P-##) To provide partial solar power for the Project by installing solar panels on the roofs of the Project, as shown on the Site Plan, and subsequent construction drawings. The solar panels shall cover a minimum of 5,500 square feet, being 45%, of the Project's hotel roof, and a minimum of 1,000

square feet, being 25%, of the Project's restaurant roof. The solar PV equipment description, as shown on the Site Plan shall be Jinko Solar JKM400M-72HL-V (2019) or at least equivalent. The Project's hotel shall have a solar PV system rating of 108,800 W-DC, providing an expected 12% of annual energy use. The Project's restaurant shall have a solar PV system rating of 24,400 W-DC, providing an expected 9% of the annual energy use.

(P-29) To remove all discarded building materials and rubbish from the development at least once each month during construction of the development Improvements, and within one month after completion or abandonment of construction.

(P

(P-35) DEVELOPER is the sole title holder in fee simple of the land described below except for any mortgage, easements and deed restrictions of record and that the person(s) signing below on behalf of DEVELOPER has (have) legal authority and capacity to enter into this Agreement for DEVELOPER.

(P-36) Failure to construct, repair and/or maintain the site pursuant to the approved site plan and/or failure to comply with any of this approved Agreement's terms and conditions shall constitute a material breach of the Agreement and the CITY shall have all remedies in law and/or in equity necessary to ensure that the DEVELOPER complies with the approved site plan and/or the terms and conditions of the approved Agreement. The DEVELOPER shall be responsible for all costs and expenses including reasonable attorney fees incurred by the CITY in enforcing the terms and conditions of the approved site plan and/or Agreement.

(P-37) In addition to any other remedy set forth in this Agreement or in law or equity, if DEVELOPER fails to make a timely or full payments to the CITY as set forth elsewhere in the Agreement to the CITY in the agreed upon manner, any unpaid amount(s) shall become a lien, as provided under Ann Arbor City Code and recorded with the Washtenaw County Register of Deeds, against the land described below and may be placed on the CITY tax roll as a single lot assessment, or if the development is converted to condominium ownership, every owner of a portion of the property shall pay a pro-rata share of the amount of the payments attributable to each condominium unit. If the unpaid amount(s), in whole or in part, has been recorded as a lien on the CITY'S tax roll and with the Washtenaw County Register of Deeds, upon payment of the amount in full along with any penalties and interest, the CITY, upon request, will execute an instrument in recordable form acknowledging full satisfaction of this condition.

(P-38) To pay for the cost of recording this Agreement with the Washtenaw County Register of Deeds, and to pay for the cost of recording all documents granting easements to the CITY.

THE CITY HEREBY AGREES:

(C-1) In consideration of the above undertakings, to approve the *MMG Plymouth Mixed Use*.

(C-4) To provide timely and reasonable CITY inspections as may be required during construction.

(C-5) To record this Agreement with the Washtenaw County Register of Deeds.

GENERAL TERMS

Both the DEVELOPER and the CITY agree as follows:

(T-1) This Agreement is not intended to create a contractual right for third parties.

(T-2) This Agreement and any of its terms, conditions, or provisions cannot be modified, amended, or waived unless in writing and unless executed by both parties to this Agreement. Any representations or statements, whether oral or in writing, not contained in this Agreement shall not be binding on either party.

(T-3) This Agreement and any of its terms or conditions shall not be assigned or transferred to any other individual or entity unless prior approval of the CITY is received. Such approval shall not be withheld unreasonably.

(T-4) The obligations and conditions on the DEVELOPER, as set forth above in this Agreement and in the approved site plan, shall be binding on any successors and assigns in ownership of the following described parcel:

A parcel of land being a part of the Southeast 1/4 of Section 14, T.2N., R.6E., City of Ann Arbor, Washtenaw County, State of Michigan, being more particularly described as follows:

COMMENCING at the South 1/4 corner of Section 14, T.2N., R.6E., City of Ann Arbor, Washtenaw County, State of Michigan: thence N00°05'50"E, 810.08 feet along the north and south quarter line of said Section 14 to the centerline of Plymouth Road (width varies); thence N70°54'30"E, 349.47 feet along said centerline; thence N00°05'30"E, 347.77 feet to the POINT-OF-BEGINNING; thence N00°05'30"E, 299.23 feet; thence N70°54'30"E, 641.13 feet to the west line of US-23; thence the following three (3) courses and distances along said west line of US-23: 1) S41°20'20"W, 258.60 feet; 2) S19°06'20"E, 295.01 feet; and 3) S25°53'40"W, 266.44 feet to the centerline of said Plymouth Road; thence S70°54'30"W, 30.12 feet along said centerline; thence N19°05'30"W, 243.00 feet; thence 160.12 feet along a non-tangential curve to the left, having a radius of 108.00 feet, a central angle of 84°56'44", and chord bearing N61°31'58"W, 145.85 feet; thence 200.28 feet along a non-tangential curve to the left, having a radius of 500.00 feet, a central angle of 22°57'00", and chord bearing S64°30'30"W, 198.94 feet to the POINT-OF-BEGINNING. Containing 4.514 acres of land, more or less.

(T-5) In addition to any other remedy in law or in equity failure to comply with all of the above paragraphs on the part of the DEVELOPER, or any part of the approved site plan, in part or in whole, shall give the CITY adequate basis and cause to issue a stop work order for any previously-issued building permits and shall be an adequate basis and cause for the CITY to deny the issuance of any building permits, certificates of occupancy, or any other permits unless and until the CITY has notified the DEVELOPER in writing that the DEVELOPER has satisfactorily corrected the item(s) the DEVELOPER has failed to perform.

(T-6) This agreement shall be interpreted, enforced and governed under the laws of the State of Michigan and Ann Arbor City Code.

CITY OF ANN ARBOR, MICHIGAN
301 East Huron Street
Ann Arbor, Michigan 48107

By: _____
Christopher Taylor, Mayor

By: _____
Jacqueline Beaudry, City Clerk

Approved as to Substance:

Tom Crawford, Interim City Administrator

Approved as to Form:

Stephen K. Postema, City Attorney

ENTITY NAME

By: _____
Name, Title

STATE OF MICHIGAN)
) ss:
County of Washtenaw)

The foregoing instrument was acknowledged before me this _____ day of _____, 201__
by Christopher Taylor, Mayor, and Jacqueline Beaudry, Clerk of the City of Ann Arbor, a Michigan
municipal corporation, on behalf of the corporation.

NOTARY PUBLIC
County of Washtenaw, State of Michigan
My Commission Expires: _____
Acting in the County of Washtenaw

STATE OF _____)
) ss:
County of _____)

The foregoing instrument was acknowledged before me this _____ day of _____, 2020 by
Doraid Markus, it's Manager _____ of _____-, a
_____, on behalf of the A2 Hospitality Property, LLC

NOTARY PUBLIC
County of _____, State of _____
My Commission Expires: _____
Acting in the County of _____

DRAFTED BY AND AFTER RECORDING RETURN TO:
Ann Arbor Planning & Development Services
ATTN: Brett Lenart
Post Office Box 8647
Ann Arbor, Michigan 48107
(734) 794-6265