

## **PLANNING AND DEVELOPMENT SERVICES STAFF REPORT**

**For Planning Commission Meeting of November 19, 2019**

**SUBJECT: 2385-A East Ellsworth Road Special Exception Use for Medical Marijuana Provisioning Center/Marijuana Retailer with Site Plan for Planning Commission Approval**

**File No. SEU18-034**

### **PROPOSED CITY PLANNING COMMISSION MOTION**

The Ann Arbor City Planning Commission, after hearing all interested persons and reviewing all relevant information, including an accompanying site plan, finds the petition substantially meet the standards in Chapter 55 (Unified Development Code), Section 5.29.5.D (Special Exceptions) and Section 5.16.3.G (Marijuana Facility), and therefore approves the 2385-A East Ellsworth Road Special Exception Use for a Medical Marijuana Provisioning Center/Marijuana Retailer. This approval is based on the following findings:

1. The proposed use will be consistent with the C1 (Local Business) District, which provides for commercial retail uses as well as office and residential uses.
2. The proposed use will not adversely impact traffic, pedestrians, bicyclists, circulation, or road intersections based on the location. East Ellsworth Road provides access to the site, and the proposed use is consistent with other surrounding uses' traffic impact.
3. A site plan documenting the existing and proposed conditions of the site has been submitted as part of this application.
4. Through documentation submitted by the petitioner regarding waste disposal, inventory tracking, security, and other methods of operation of the facility, the provisioning center will be operated in a manner that will not have an adverse impact on the neighboring properties or area, and will not have a detrimental impact on natural features.

This Special Exception Use approval is based on the following conditions:

1. A land division application to create an approximately 8,000-square foot lot is submitted and approved within one year of the City Planning Commission approval of this petition, and the special exception use shall only apply to that lot.
2. A Site Plan for City Council for an approximately 1,500-square foot, one story commercial building must be approved within one year of the City Planning

Commission approval of this petition, and the special exception use may only occupy the development approved on that site plan.

3. The petitioner obtaining and maintaining both a State of Michigan Marijuana License and a City of Ann Arbor Marijuana Permit, and providing documentation to Planning Services within three years of the City Planning Commission approval date of this petition.
4. The petitioner operating a marijuana business at this address within three years of the City Planning Commission approval date of this petition.

And that the Ann Arbor Planning Commission approves the attached Area Plan which demonstrates compliance with the applicable Special Exception Use standards.

### **SUMMARY:**

A request for special exception use approval for a medical marijuana provisioning center to be located on a portion of a parcel at 2385 East Ellsworth Road. If approved, a land division application will be made to split the existing parcel into two lots of approximately 11,000 and 8,000 square feet, and a site plan petition will be submitted for approval of a new, approximately 1,500-square foot commercial building to house the contemplated provisioning center on the smaller, southern lot. Site plan applications have been submitted but are currently considered area plans in support of the proposed special exception use.

### **STAFF RECOMMENDATION:**

Staff recommends that the special exception use be **approved with conditions** subject to Planning Commission consideration because, with the proposed conditions, the contemplated special exception use is of such location, size and character as to be compatible with the zoning district in which the site is situated; and the location and size of the proposed use, its nature and intensity, the site layout and access, and effect of the proposed use on public services would not be hazardous or inconvenient to the neighborhood nor unduly conflict with the normal traffic of the neighborhood.

### **LOCATION:**

This site is located on the north side of East Ellsworth Road between Shadowood Drive and Jonathan Court, in the south planning area. Ward 3.

### **DESCRIPTION OF PETITION:**

The petitioner seeks special exception use approval to operate a medical marijuana provisioning center/marijuana retailer in proposed 1,500-square foot building on proposed 8,000-square foot lot. The location is currently an 18,000-square foot lot, zoned C1, that cannot be assured is more than 1,000 feet from a school. The petitioner has submitted a land division application to create a lot that is more than 1,000 feet from

a school, and will proceed with the approval process for a new commercial building on the site if the requested special exception use approval is granted.

**SURROUNDING LAND USES AND ZONING:**

	LAND USE	ZONING
NORTH	Multiple-Family Residential Playground	C1 (Local Commercial)
EAST	Multiple-Family Residential	R4A (Multiple-Family Residential)
SOUTH	Municipal Services (Wheeler Center)	PL (Public Land)
WEST	Multiple-Family Residential Playground	C1

**SPECIAL EXCEPTION USE STANDARDS:**

The Planning Commission, in arriving at its decision relative to any application for a special exception, shall apply the standards shown on the attached [petition](#).

In addition, the following information is required to be submitted for provisioning centers and marijuana retailers per 5.16.3.G Marijuana Facilities:

- 1) an [operations statement](#) that describes the life cycle of marijuana on site, and general business operations;
- 2) a [safety and security plan](#) that addresses marijuana, customers, employees, and the neighborhood;
- 3) a [description](#) of methods to be used to contain all odors within the building;
- 4) a waste [disposal plan](#) for marijuana; and
- 5) [hours](#) of operation.

This required information is attached to this document as well as linked.

**PLANNING STAFF COMMENTS:**

The special exception use requirements as they are applied to this petition are broken down into general categories below.

Master Plan: (The [City Master Plan](#) includes 8 elements, adopted individually between 2009 and 2017, and together by resolution in 2015.) Together, the City Master Plan elements seek to guide the City towards sustainability, conservation, and increasing livability, affordability, transportation choices, and dense, mixed uses on vibrant, active, friendly streets. The [Land Use Element](#) recommends commercial use for this site.

Compatibility with the general vicinity: The use is compatible with other adjacent uses in the general vicinity.

Consistent with the neighborhood and not detrimental: General retail use is in compatible with the surrounding neighborhood, which includes multiple-family and single-family homes. Provisioning centers are proving to be similar to general retail uses in intensity and character. It should be noted that several residents have written to oppose the proposed use.

Parking: The site has enough space to accommodate a 1,500-square foot commercial building to host the proposed use, and all required development standards such as off-street parking.

Pedestrian Safety: Public sidewalks, in good condition, are present in front of this site on East Ellsworth Road. There are some gaps in the sidewalk system farther from this site.

Vehicular movement and traffic: The vehicle trips generated by a provisioning center are consistent with general retail uses found in commercial districts.

Natural Features: There are on natural features on this site. There is a landmark street tree whose critical root zone extends onto this site.

*Additional required Marijuana Facility SEU information:*

Operations Plan: The referenced [operation plan](#) describes the life cycle of product through the facility, storage, deliveries and cash handling.

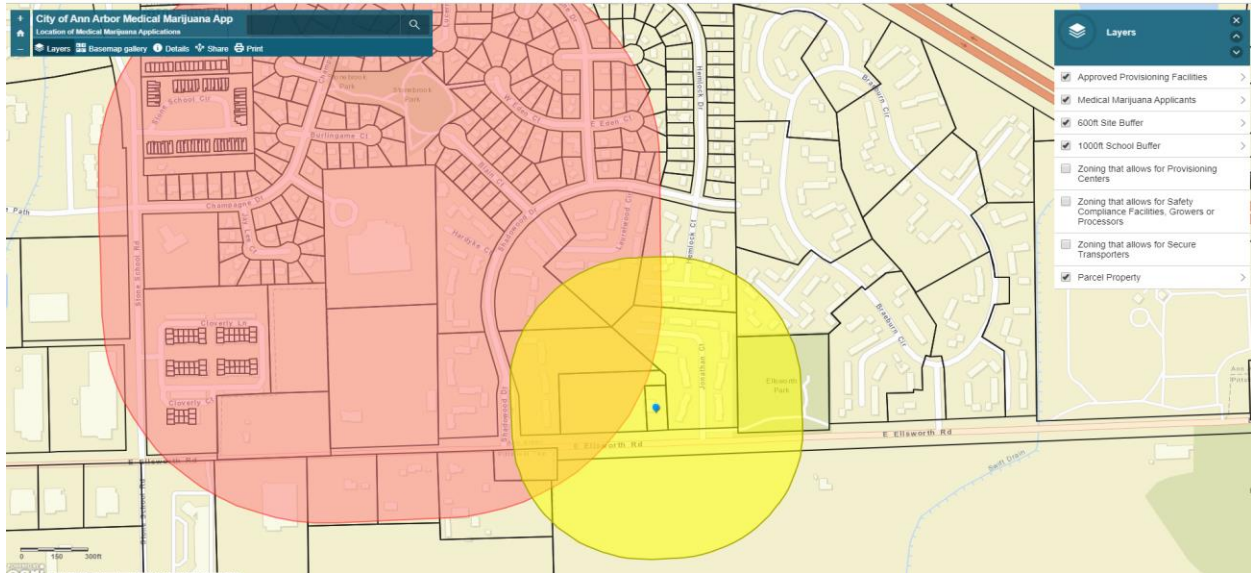
Safety & Security: The state licensing process requires an extremely detailed and comprehensive security system. Staff does not ask for the particulars of provisioning centers' security plan since our documents are all public, unlike the state license permit application which is not. The applicant has provided an abbreviated [security plan](#) within the operations plan.

Odor Control: Lack of odor control is the most frequent complaint heard by staff about provisioning centers. The applicant has addressed [odor control](#) in their operations plan which includes air filtration methods and equipment.

Waste Disposal: The applicant has addressed [waste disposal](#) in their operations plan, stating that any marijuana waste will be reported, rendered unusable, and disposed of in a dumpster for landfill disposal.

Hours of Operations: Normal [hours of operation](#) are provided in the operation plan. They are proposed to be 9:00am to 9:00pm Monday through Saturday and 10:00am to 6:00pm on Sunday.

**MAP:**



*Figure 1: Marijuana Facility Buffer Map*

**DEPARTMENT COMMENTS:**

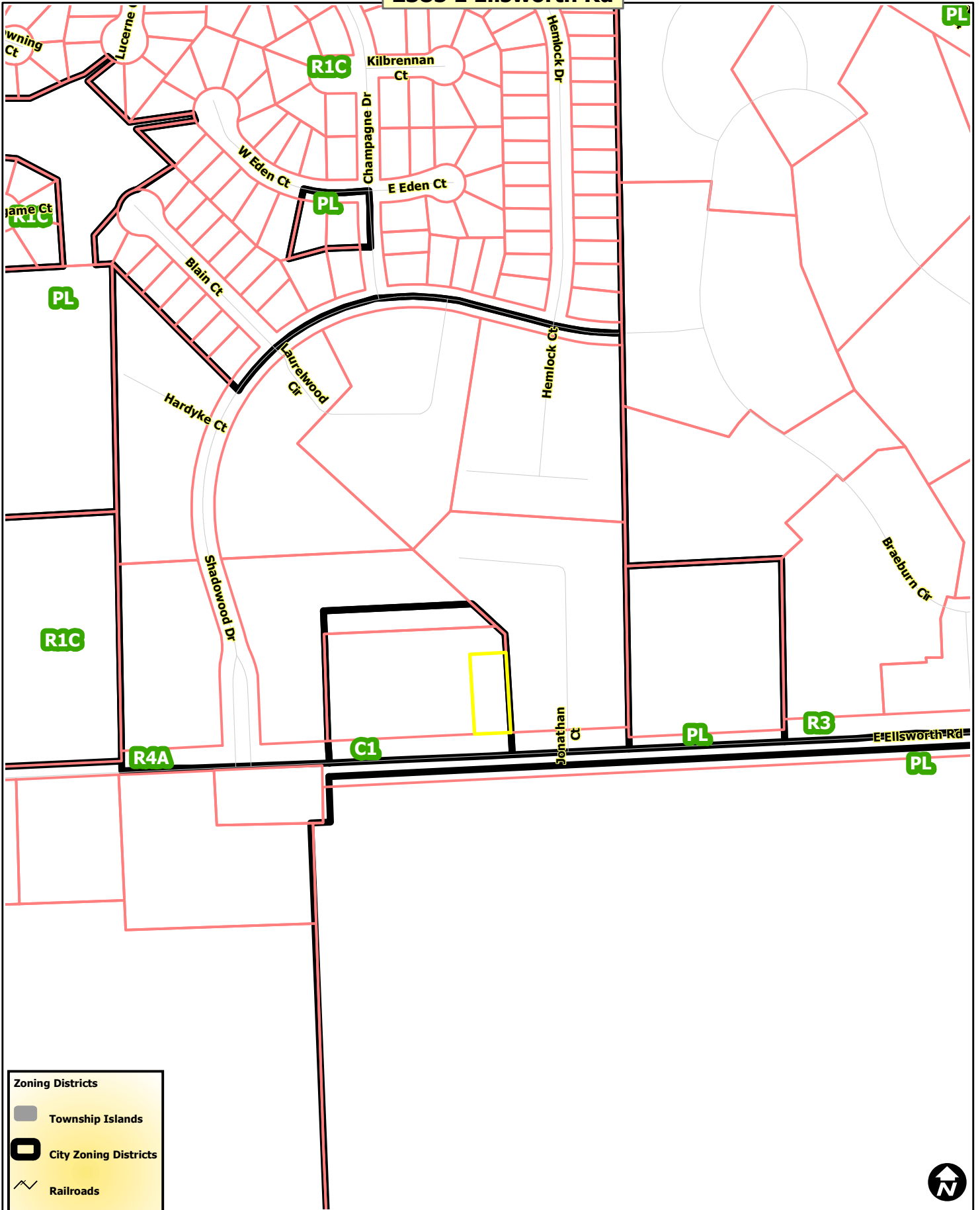
Development review staff have reviewed the application. None offer any comments regarding the proposed land use. Several have noted comments about the pending site plan application which the applicant should be able to successfully resolve with revisions.

Prepared by Alexis DiLeo, City Planner  
Reviewed by Brett Lenart, Planning Manager  
11/15/19

Attachments: Zoning/Parcel Maps  
Aerial Photo  
SEU Petition Application  
Site Plan, including Floor Plan

c: Petitioner – Comercial Services Property Management Inc. (28500 Franklin Rd., Southfield, MI 48322, stevemsoka@gmail.com)  
Property Owner – 2385 E Ellsworth Road, LLC (28500 Franklin Rd., Southfield, MI 48322)  
Petitioner’s Agent – Michigan Medical Cannabis Consulting, LLC (Brian Fenech, m2c2@gmail.com)  
City Attorney’s Office  
Systems Planning  
File No. SEU18-034

# 2385 E Ellsworth Rd



**Zoning Districts**

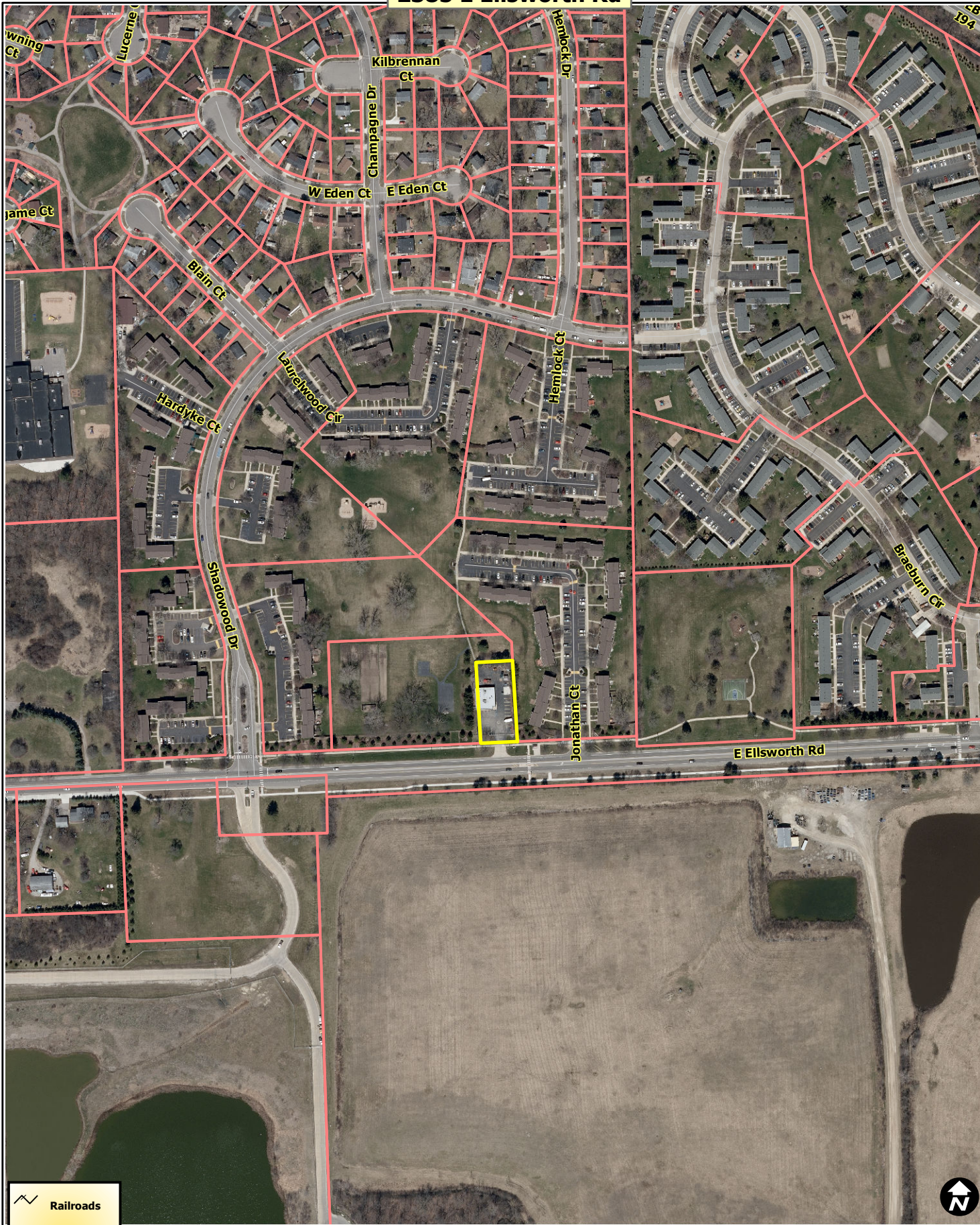
- Township Islands
- City Zoning Districts
- Railroads
- Huron River
- Tax Parcels



Map date: 9/17/2019  
Any aerial imagery is circa 2018 unless otherwise noted  
Terms of use: [www.a2gov.org/terms](http://www.a2gov.org/terms)



# 2385 E Ellsworth Rd



Map date: 9/17/2019  
Any aerial imagery is circa 2018  
unless otherwise noted  
Terms of use: [www.a2gov.org/terms](http://www.a2gov.org/terms)



# Damian Farrell Design Group

359 Melty Drive, #4A / Ann Arbor / Michigan  
734.998.1331 / DFDGonline.com



## **2385 East Ellsworth SEU Application**

2385 E Ellsworth  
Ann Arbor, MI 48105

For SEU Application - 05.04.18  
Pre-submittal Meeting - 03.30.18

## **Attachment B – Statements**

### **Operation Statement:**

The applicant is committed to using industry best practices for all operational aspects of the proposed provisioning center. Complete compliance with the MMFLA and Ann Arbor Ordinances is a top priority. The Life-Cycle of products, including product purchasing, deliveries, storage and transfers of product and cash, as well as patient flow through the facility will all be conducted in a manner that reduces the risk of security issues, promotes patients safety with issues such as proper consumption consultation, and monitoring purchase amounts to assure compliance with the MMFLA and prevent diversion.

### **Patient Intake:**

All patients, caregivers and guests will be greeted at the reception desk and will have to present valid state ID to verify that they are 18 or over or accompanied by a parent or guardian. No person other than a valid patient or caregiver may enter the consultation area. Any returning patient or caregiver will have their Michigan Medical Marihuana Program card to verify its validity and their information will be cross-referenced in the METRC system to determine whether their daily purchase allowance has been exceeded. If the patient or caregiver's MMMP card is valid and they have not exceeded daily purchase allowances they will then be escorted through the secure reception area door and led into the waiting area until a provisioning center consultant escorts them to the consulting room.

New patients and caregivers will be required to present a valid state ID as well as a valid MMMP card and upon verification will be presented with a membership agreement which describes the provisioning center's policies and procedures as well as discloses the risks associated with the use and possession of medical cannabis. Once a new member has executed their membership agreement they will follow the same procedures as existing provisioning center patients.

No patient, caregiver or guest will be allowed entry into the facility if they are showing signs of intoxication or impairment or if they have violated the provisioning center's policies in the past. Any patient, caregiver or guest that violates policy or procedures



risks the possibility of having their membership revoked and permanent banning from the property.

### **Product Life-Cycle:**

Purchases will be made by the provisioning center manager. All product will be purchased from licensed vendors as identified through the state's list of approved cultivators and processors. All deliveries will be made by licensed secured transporters to a secure, non-public area of the provisioning center that is under 24hr video surveillance. All product deliveries will be made at scheduled times during business hours. All product deliveries and cash leaving the provisioning center will be scanned into the state approved METRC seed to sale tracking system.

Upon receipt, all inventory will be cross checked to the purchase order for accuracy and inspected for issues such as contamination, improper labeling, improper testing, damage, and improper quality control. Once a delivery is approved all items will be scanned into the provisioning center's inventory system which will be linked to the state's METRC system. Once scanned into inventory all product will be stored in a safe in a secured area of the provisioning center which will be under 24hr surveillance. Only the amount and variety of product necessary for a particular shift will be removed from the secured storage area to the provisioning center's consultation area.

After a patient has made their selections from the consultation area, the product will be packaged in appropriate packaging and scanned out of inventory via the POS system and the inventory data will be adjusted accordingly internally and with METRC.

### **Safety & Security Plan:**

The safety and security of the proposed provisioning center's patients, staff, and neighbors are a top priority. The proposed provisioning center will employ best practices when it comes to security. Beyond just satisfying all requirements of the MMFLA, the proposed provisioning center will utilize 3 layers of security for the property itself. Along with exterior lighting, HD cameras will provide 360 degree coverage of the exterior of the property. The building itself will have HD cameras at the exterior and interior at all points of entry and egress. The Interior of the provisioning center will have complete camera coverage for all patient areas of the facility as well as additional cameras positioned to capture all activity in the cash and cannabis storage areas of the facility. All video captured will be stored for a period of 30 days with the exception of cash and cannabis storage areas which will be preserved for a minimum of 3 years. All cameras will have a real-time feed to the Ann Arbor Police department, and the facility will be contracting with a security monitoring company that will monitor the provisioning center 24hrs a day for break-ins, and hold-up/robbery remotes and door alarms will be accessible to all staff. All staff and patients will enter through a Meter 6M multi-purpose, multi-zone metal detector/body scanner.

**Odor Mitigation:**

The highest industry standards for odor mitigation will be used. A commercial grade HEPA air filtration system will be installed, and charcoal filters will be used throughout the provisioning center and in close proximity to exterior doors and areas where any onsite preparation of cannabis products, such as packaging of medical marijuana flowers, will be conducted. All filters will be cleaned and changed on a regular schedule and all products will be stored in airtight containers.

**Waste Disposal:**

All non-marijuana waste will be disposed of in city provided containers outside of the provisioning center with anticipated pickup twice per week. Any and all medical marijuana related waste will be stored in locked containers marked as medical marijuana waste" and stored in a locked area inside of the provisioning center until it is removed from the facility by an employee and taken to an appropriate waste disposal site for composting.

**Hours of Operation:**

We intend to have the following hours of operation:

Monday – Saturday:           9am-9pm  
Sunday:                           10am-6pm

Closed certain Holidays including Thanksgiving and Christmas.



# 2385 E ELLSWORTH

## SOUTH PARCEL A CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN SITE PLAN

### OWNER

2385 E ELLSWORTH ROAD LLC  
28500 FRANKLIN ROAD  
SOUTHFIELD, MI 48304  
PH (248) 231-6016  
ATTN: STEVE SOKA

### ARCHITECH

DAMIEN FARREL DESIGN GROUP  
359 METTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
PH (734) 998-1331  
ATTN: KYLE GONZALEZ

### SURVEYOR/CIVIL ENGINEER

MIDWESTERN CONSULTING, LLC  
3815 PLAZA DR.  
ANN ARBOR, MI 48108  
PH (734) 995-0200  
ATTN: HEATH HARTT, PE

### LEGAL DESCRIPTIONS - PROPOSED SOUTH PARCEL

#### SOUTH PARCEL

PROPOSED PARCEL OF LAND LOCATED IN THE SW 1/4 OF SECTION 10, T3S, R6E, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN.

Commencing at the SE corner of Lot 122, Arbor Oaks Subdivision No. 1, also being the POINT OF BEGINNING;  
thence S87°54'33"W 95.00 feet along the North right-of-way line of E. Ellsworth Rd. (120' wide);  
thence N02°05'35"W 87.19 feet;  
thence N87°54'25"E 95.00 feet;  
thence S02°05'35"E 87.19 feet along the East line of said Lot 122 of Arbor Oaks Subdivision No.1 to the POINT OF BEGINNING. Being part of Lot 122 of Arbor Oaks Subdivision No.1 and also part of SW 1/4 of Section 10, T3S, R6E, City of Ann Arbor, Washtenaw County, Michigan, and containing 0.19 acres of land more or less. Being subject to easements and restrictions of record, if any.

SUBJECT TO the following variable width access and public utility easement described as the following:

Commencing at the SE corner of Lot 122, Arbor Oaks Subdivision No. 1, as recorded in Liber 19 of Plats, Pages 67-71, Washtenaw County Records; thence S87°54'33"W 6.00 feet along the North right-of-way line of E. Ellsworth Rd. (120' wide) to the POINT OF BEGINNING;  
thence continuing S87°54'33"W 55.80 feet along said North right-of-way line;  
thence N02°05'27"W 71.69 feet;  
thence S88°04'57"W 27.75 feet;  
thence N02°05'57"W 15.41 feet;  
thence N87°54'25"E 83.55 feet;  
thence S02°05'35"E 87.20 feet to the POINT OF BEGINNING. Being part of Lot 122 of Arbor Oaks Subdivision No.1 and also part of SW 1/4 of Section 10, T3S, R6E, City of Ann Arbor, Washtenaw County, Michigan. Being subject to easements and restrictions of record, if any.

### LEGAL DESCRIPTIONS - PROPOSED NORTH PARCEL

#### NORTH PARCEL

PROPOSED PARCEL OF LAND LOCATED IN THE SW 1/4 OF SECTION 10, T3S, R6E, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN.

Commencing at the SE corner of Lot 122, Arbor Oaks Subdivision No. 1, N02°05'35"W 87.19 feet along the East line of said Lot 122 of Arbor Oaks Subdivision No.1 feet to the POINT OF BEGINNING;  
thence S87°54'25"W 95.00 feet;  
thence N02°05'35"W 122.81 feet;  
thence N87°54'33"E 95.00 feet;  
thence S02°05'35"E 122.81 feet along said East line of Lot 122 to the POINT OF BEGINNING. Being part of Lot 122 of Arbor Oaks Subdivision No.1 and also part of SW 1/4 of Section 10, T3S, R6E, City of Ann Arbor, Washtenaw County, Michigan, and containing 0.27 acres of land more or less. Being subject to easements and restrictions of record, if any.

TOGETHER WITH the following variable width access and public utility easement described as the following:

Commencing at the SE corner of Lot 122, Arbor Oaks Subdivision No. 1, as recorded in Liber 19 of Plats, Pages 67-71, Washtenaw County Records; thence S87°54'33"W 6.00 feet along the North right-of-way line of E. Ellsworth Rd. (120' wide) to the POINT OF BEGINNING;  
thence continuing S87°54'33"W 55.80 feet along said North right-of-way line;  
thence N02°05'27"W 71.69 feet;  
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### NATURAL FEATURES IMPACT STATEMENTS

**TREE IMPACTS** - NO LANDMARK TREES ARE LOCATED ON THE SITE.

**WOODLANDS** - NO WOODLANDS ARE LOCATED ON THE SITE.

**FLOODPLAINS/WATERCOURSES** - NO FLOODPLAINS OR WATERCOURSES ARE LOCATED ON THE SITE.

**WETLANDS** - NO WETLANDS ON THE SITE.

**STEEPSLOPES** - NO STEEP SLOPES ARE LOCATED ON THE SITE.



### OVERALL SITE

1" = 40'



### LAND DIVISION ZONING COMPARISON CHART

LAND DIVISION	Existing Parent Parcel	Parcel B	Parcel A
<b>ZONING COMPARISON</b>	Required/ Permitted	Proposed	Proposed
<b>Zoning:</b>	C1	C1	C1
<b>Building Height</b>	35 ft		
Max Stories	3	1	1
Minimum Lot Area	2,000 sq ft	11,666sf	8,283sf
Minimum Width	20 ft	95ft	95ft
<b>FAR</b>	100% max.	22%	19%
<b>Floor Area per Non-Residential Use</b>	8000sf max.	2,487sf	1,532sf
<b>Setbacks</b>	10 ft min/ 25 ft max	10 ft	14 ft
Side - West	0/30"	0 ft existing	3 ft
Side - East	0/30"	44 ft existing	62 ft
Rear	0/30"	62 ft existing	20 ft
<b>Vehicular Parking</b>	Min 1 per 310 sf Max 1 per 265 sf	8 min, 9 max required 9 provided	5 min/ 6 max required 6 provided
<b>Bicycle Parking</b>	1 per 3,000 sf Floor Area (50% B/C)	1 space required 0 provided - shared	1 space required 2 provided - shared
<b>Traffic</b>			Total: 404 Trips AM Peak: 33 Trips PM Peak: 48 Trips

\* 30' where abutting Residential Zoned Land, otherwise none  
+ 1ft. per building ht ft over 30 ft

### DEVELOPMENT PROGRAM

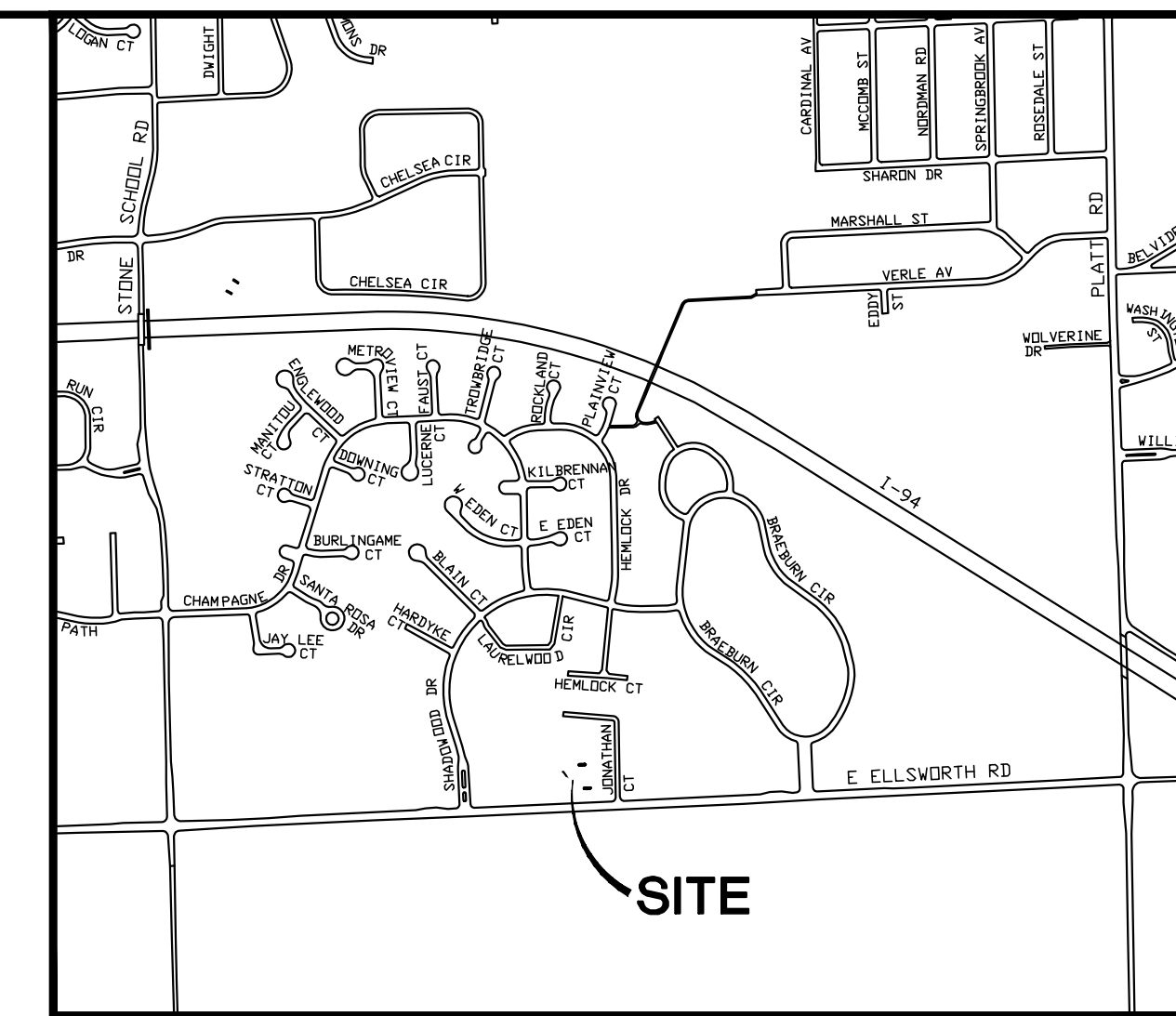
2385 E. ELLSWORTH ROAD LLC CURRENTLY OWNS THE RIGHTS TO THE PROPERTY AT 2385 E ELLSWORTH ROAD, ANN ARBOR. THE PROPOSED PROJECT CONSISTS OF A LOT SPLIT AND THE CONSTRUCTION OF A NEW SINGLE STORY BUILDING TO BE USED AS A MEDICAL MARIJUANA DISPENSARY. THE EXISTING BUILDING WILL REMAIN AS THE CURRENT USE AND IS LOCATED ON THE REMAINDER PARCEL. CONSTRUCTION WILL OCCUR AS A SINGLE PHASE, WITH WORK STARTING IN THE SPRING OF 2020.

### COMMUNITY ANALYSIS

THE PROPOSED DEVELOPMENT IS LOCATED WITHIN C1 COMMERCIAL ZONING AND NOT LOCATED WITHIN A RESIDENTIAL DISTRICT AND NOT WITHIN A HISTORICAL DISTRICT. NO IMPACT TO SCHOOL CAPACITY IS ANTICIPATED.

### GENERAL NOTES:

- PER CHAPTER 49, SECTION 4:58 OF THE CITY CODE, "ALL SIDEWALKS ARE TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME." PRIOR TO ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.
- "THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO THE CITY OF ANN ARBOR PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS WHICH ARE INCLUDED BY REFERENCE."
- "THE OMISSION OF ANY STANDARD DETAILS DOES NOT RELIEVE THE CONTRACTORS OF THEIR OBLIGATION TO CONSTRUCT ITEMS IN COMPLETE ACCORDANCE WITH PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS."
- WORK IN THE ELLSWORTH RIGHT-OF-WAY REQUIRE A CITY RIGHT-OF-WAY PERMIT(S). PROJECT MANAGEMENT SHALL INSPECT ALL WORK IN THE RIGHT-OF-WAY INCLUDING BUT NOT LIMITED TO DRIVE APPROACHES, SIDEWALKS, CURB & GUTTER, UTILITIES, RELOCATION OF STREET LIGHTS, ETC.
- PUBLIC STREET LIGHT RELOCATION REQUIRED REVIEW AND APPROVAL OF THE CITY TRAFFIC ENGINEER. THE PROJECT OWNER WILL BE RESPONSIBLE FOR ALL ASSOCIATED COSTS OF THE RELOCATION.



VICINITY MAP  
NOT TO SCALE



### Sheet Index

#	SHEET TITLE
01	COVER
02	EXISTING CONDITIONS & ALTA SURVEY
03	REMOVALS
04	DIMENSIONAL SITE PLAN
05	GRADING AND SOIL EROSION CONTROL PLAN
06	UTILITY PLAN
07	STORMWATER MANAGEMENT PLAN
08	LANDSCAPE PLAN
09	FIRE PROTECTION AND REFUSE PLAN
10	SITE DETAILS
11	PHOTOMETRIC PLAN
A0.00	PERSPECTIVE & STREETWALL
A1.00	FLOOR PLAN & SECTION
A4.00	ELEVATIONS

## 2385 E ELLSWORTH

JOB No. <b>18300</b>	DATE: 9/26/19	<b>01</b>
REVISIONS:	SHEET 1 OF 14	
	CADD:	
	ENG: HTH	
	PM: HTH	
	TECH: HTH	
	18300CV.DWG	
	FB#	

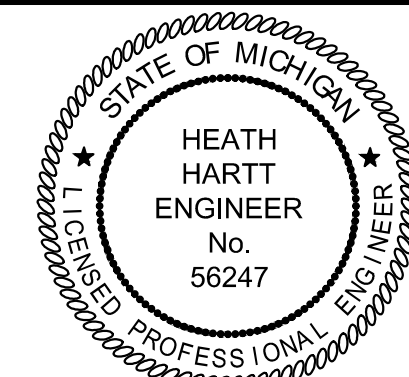


MIDWESTERN  
CONSULTING

3815 Plaza Drive Ann Arbor, Michigan 48108  
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Land Development • Land Survey • Institutional • Municipal  
Wireless Communications • Transportation • Landfill Services

RELEASED FOR:

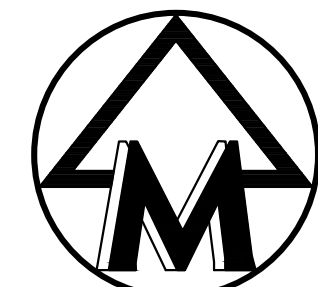
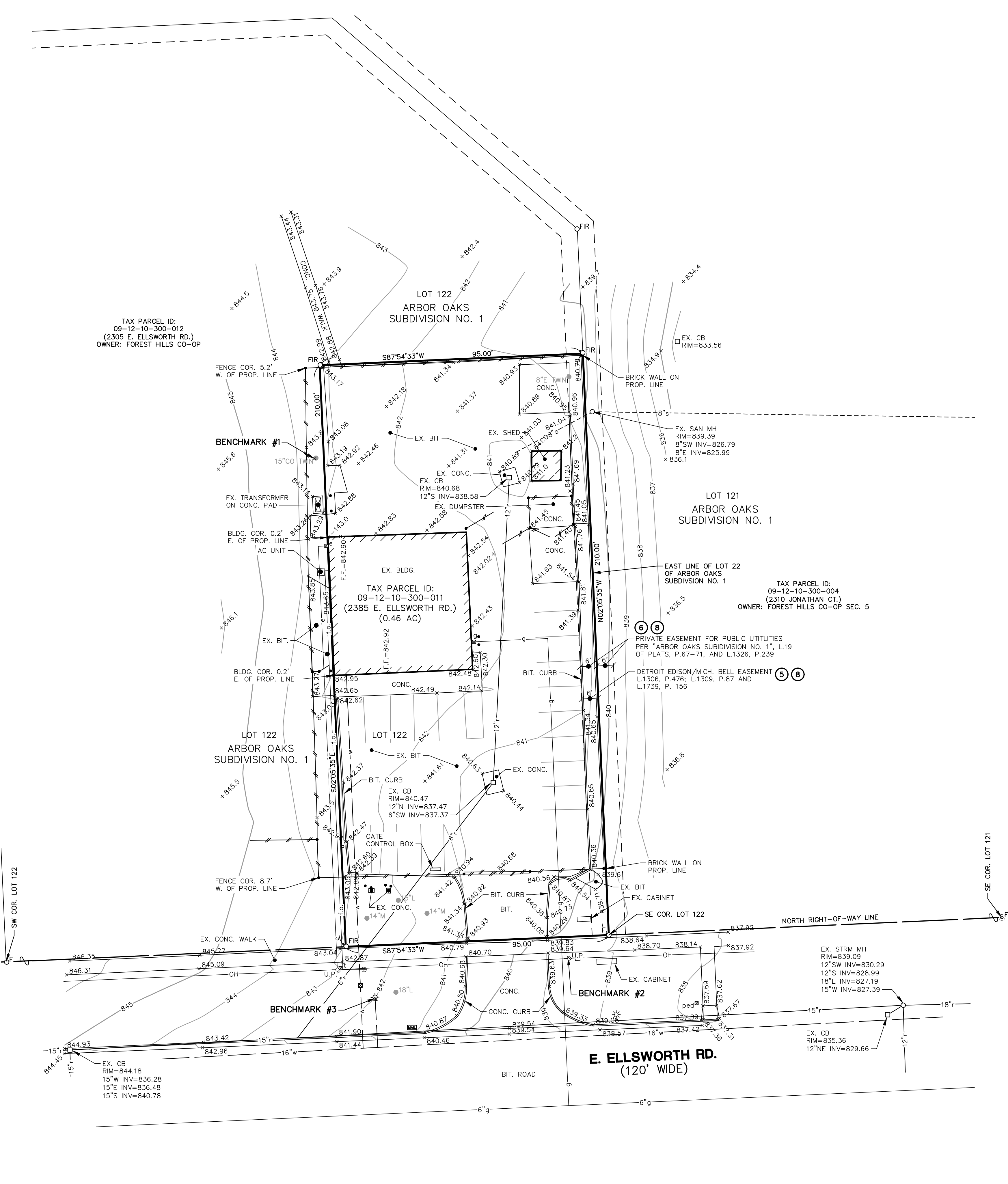
DATE



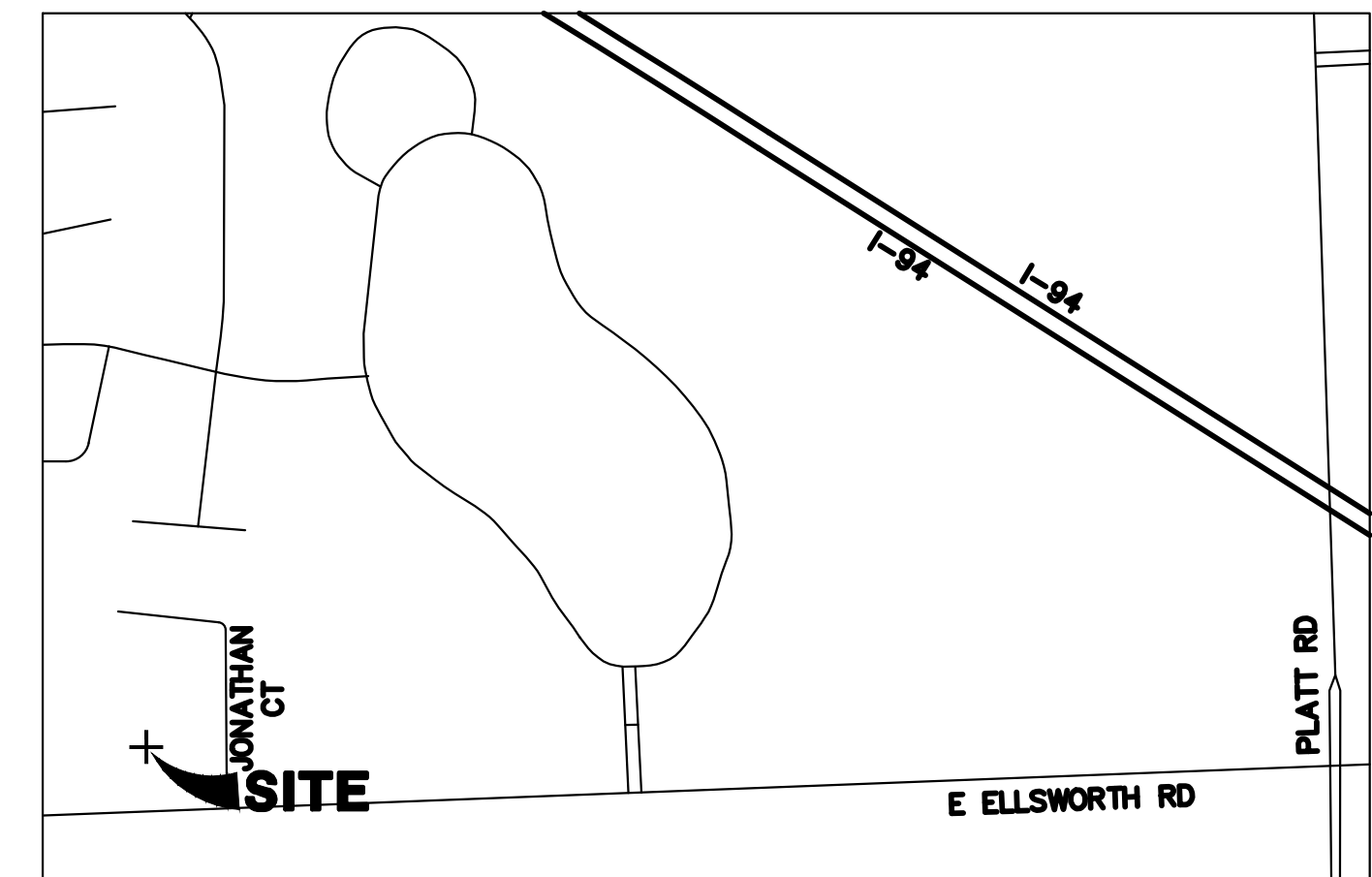
HEATH HARTT, P.E.  
#56247



M:\Civ\132\_Pro\132000\Site Plan\132000.dwg, 9/26/2019 8:14 AM, Heath Hertl, 02 EXISTING CONDITIONS AND ALTA, MLLC PDF.p3 Copyright © 2019 Midwestern Consulting L.L.C. All rights reserved. No part of this drawing may be used or reproduced in any form or by any means, or stored in a database or retrieval system, without prior permission of Midwestern Consulting L.L.C.



SCALE: 1" = 20'  
0 20 40 60



VICINITY MAP  
NOT TO SCALE

**LEGAL DESCRIPTION**

(from Absolute Title, Inc., File No.: 85004 Rev. 1, with Effective Date of July 19, 2019)

The Easterly 95 feet of the Southerly 210 feet of Lot 122, Arbor Oaks Subdivision No. 1, as recorded in Liber 19 of Plats, Pages 67 through 71, Washtenaw County Records.

Being more particularly described as the following: Commencing at the SE corner of Lot 122, Arbor Oaks Subdivision No. 1, as recorded in Liber 19 of Plats, pages 67 through 71, Washtenaw County records, also being the POINT OF BEGINNING;

thence S87°54'33"W 95.00 feet along the North right-of-way line of E. Ellsworth Rd. (120' wide);

thence N02°05'35"W 210.00 feet;

thence N87°54'33"E 95.00 feet;

thence S02°05'35"E 210.00 feet along the East line of said Lot 122 of Arbor Oaks Subdivision No. 1 to the POINT OF BEGINNING. Being part of Lot 122 of Arbor Oaks Subdivision No. 1 and also part of SW 1/4 of Section 10, T3S, R6E, City of Ann Arbor, Washtenaw County, Michigan, and containing 0.46 acres of land more or less. Being subject to easements and restrictions of record, if any.

**LEGEND**

- 838 EXIST. CONTOUR
- 836.2 EXIST. SPOT ELEVATION
- U.P. EXIST. UTILITY POLE
- U.P. GUY WIRE
- EX. TRANSFORMER
- OH EXIST. OVERHEAD UTILITY LINE
- TEL EXIST. TELEPHONE LINE
- W EXIST. WATER MAIN
- E EXIST. ELECTRIC LINE
- G EXIST. GAS LINE
- F.O. EXIST. FIBER OPTIC LINE
- W EXIST. WATER MAIN
- H EXIST. HYDRANT
- GV EXIST. GATE VALVE IN BOX
- GV EXIST. GATE VALVE IN WELL
- SS EXIST. STORM SEWER
- CB EXIST. CATCH BASIN OR INLET
- SS EXIST. SANITARY SEWER
- EX. CLEANOUT
- SIGN
- MAILBOX
- TELEPHONE CROSSING SIGNAL
- TELEPHONE RISER
- ELECTRIC METER
- WATER METER
- GAS METER
- POST
- FENCE
- SINGLE TREE
- TREE OR BRUSH LIMIT
- BO EXIST. BOULDER
- OF FOUND IRON PIPE
- MF FOUND MONUMENT
- OFIR FOUND IRON ROD

**TREE LEGEND**

- CO COTTONWOOD
- E ELM
- L LOCUST
- M MAPLE

**EXCEPTIONS**

4. Building and use restrictions contained in instrument recorded in Liber 1326, Page 239, and in Liber 1688, Page 839, Washtenaw County Records, which are not accompanied by a right of reverter, but omitting any such covenant or restrictions based on race, color, religion, sex, handicap, familial status, or national origin. (NOT PLOTTABLE)
5. Easement Grant and Declaration of Restrictions in favor of The Detroit Edison Company and Michigan Bell Telephone Company, as recorded in Liber 1306, Page 476, Washtenaw County Records, and Agreement pertaining thereto, as recorded in Liber 1309, Page 87, Washtenaw County Records. (PLOTTED)
6. Easement for public utilities and drainage facilities, as shown on the recorded plat, and as disclosed by instrument recorded in Liber 1326, Page 239, Washtenaw County Records. (PLOTTED)
7. Easements, covenants and restrictions recorded in Liber 1344, Page 193, Washtenaw County Records. (NOT PLOTTABLE)
8. Right of Way in favor of The Detroit Edison Company, as recorded in Liber 1739, Page 156, Washtenaw County Records. (PLOTTED)

**NOTES**

- 1) THIS SURVEY WAS PREPARED USING ABSOLUTE TITLE, INC. FILE NO. 85004 REV. 1 WITH AN EFFECTIVE DATE OF JULY 19, 2019.
- 2) THE LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS INSURED IN THE TITLE COMMITMENT AND ANY EXCEPTIONS HAVE BEEN NOTED HEREIN.
- 3) BEARINGS ARE BASED ON THE EAST LINE OF LOT 22 OF ARBOR OAKS SUBDIVISION NO. 1, AS RECORDED IN LIBER 19 OF PLATS, PAGES 67 THROUGH 71, WASHTENAW COUNTY RECORDS.
- 4) SAID DESCRIBED PROPERTY IS NOT LOCATED WITHIN A 100-YEAR FLOOD PLAIN ZONE PER FLOOD INSURANCE RATE MAP NO. 26161C0402E WITH AN EFFECTIVE DATE OF APRIL 3, 2012, FOR COMMUNITY NUMBER 260213 AND 260623, IN WASHTENAW COUNTY, STATE OF MICHIGAN, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- 5) THERE IS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- 6) THERE IS NO OBSERVED EVIDENCE OF THIS BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- 7) THERE IS NO OBSERVED EVIDENCE INDICATING ANY CEMETERIES ARE LOCATED ON THE PARCEL HEREIN DESCRIBED.
- 8) SITE ADDRESS: 2385 E. ELLSWORTH, ANN ARBOR MI

**SURVEYORS CERTIFICATE**

To: 2385 East Ellsworth Road, LLC, a Michigan limited liability company, Absolute Title, Inc.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 8, 11, 13, and 16 of Table A thereof. The fieldwork was completed on November 11, 2018.

MIDWESTERN CONSULTING, LLC

By: *Mark Vander Veen*  
Mark Vander Veen, P.S. No. 56788

Date: September 11, 2019



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248-231-6016

**2385 E ELLSWORTH**  
SITE PLAN  
EXISTING CONDITIONS AND ALTA

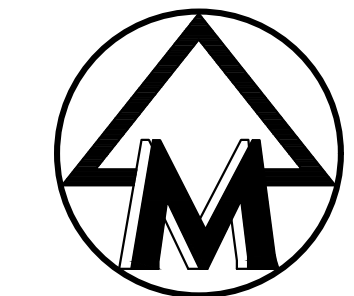
**02**

DATE: 9/26/19	REV. DATE:
SHEET 2 OF 14	REV. DATE:
CADD:	ENC. HTH
ENG. HTH	PM. HTH
TECH. HTH	DATEX.ORG
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JOB NO. **18300**  
REVISIONS:



MA:\Civ\130\_Proj\18300\Site Plan\18300RM.dwg, 9/26/2019 8:14 AM, Heath Hertl, 03 REMOVALS, MLLC PDF, pp3  
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SCALE: 1" = 20'  
 0 20 40 60



Know what's Below.  
 Call before you dig.

LEGEND

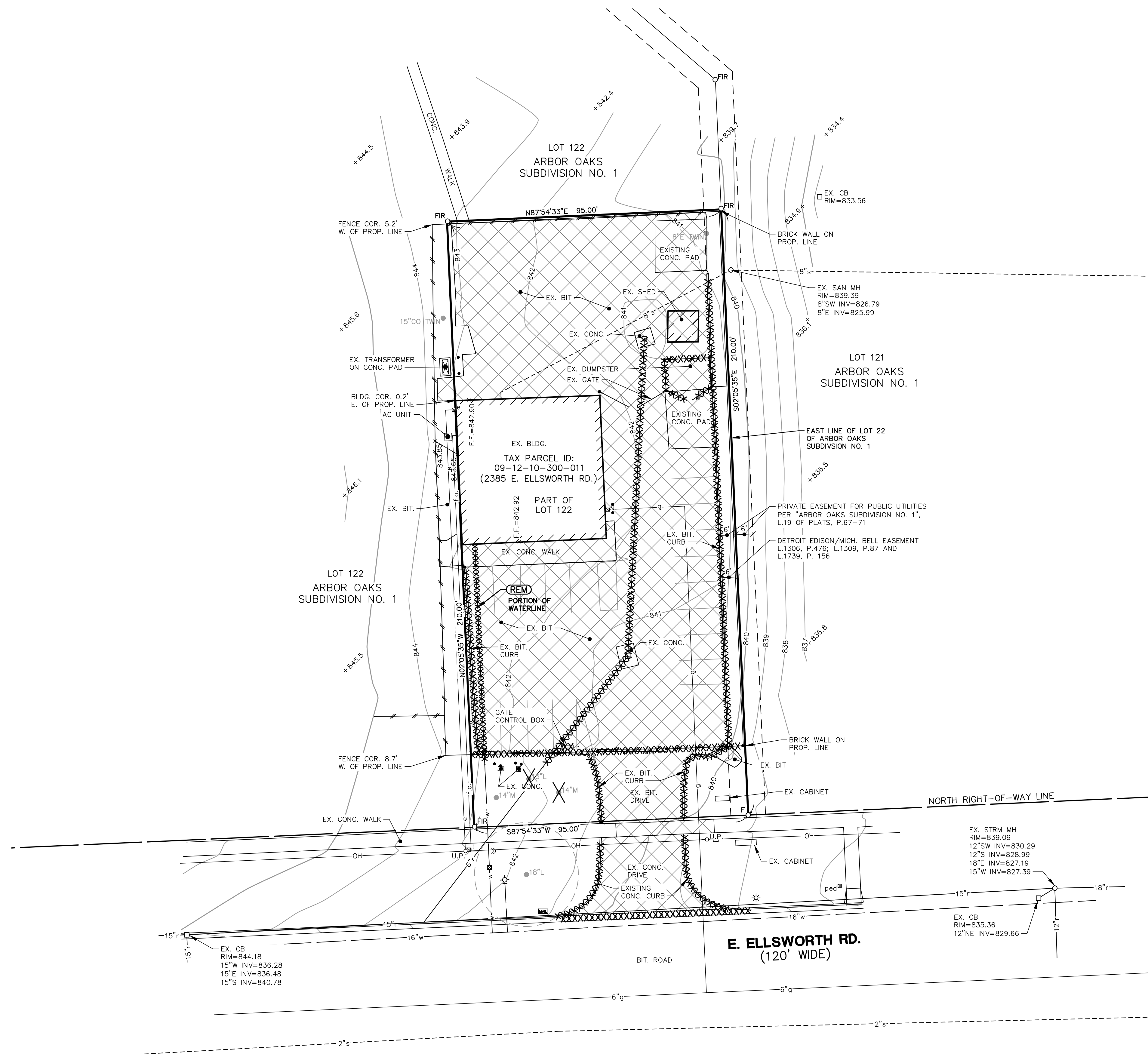
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x836.2	EXIST. SPOT ELEVATION
~o~ U.P.	EXIST. UTILITY POLE
—	GUY WIRE
OH	EXIST. OVERHEAD UTILITY LINE
e	EXIST. ELECTRIC LINE
g	EXIST. GAS LINE
f.o.	EXIST. FIBER OPTIC LINE
w	EXIST. WATER MAIN
h	EXIST. HYDRANT
r	EXIST. GATE VALVE IN BOX
s	EXIST. STORM SEWER
—s—	EXIST. CATCH BASIN OR INLET
—s—	EXIST. SANITARY SEWER
—	SIGN
—	PEDESTRIAN CROSSING SIGNAL
—	MAILBOX
—	TELEPHONE RISER
—	ELECTRIC METER
—	GAS METER
—	POST
—	FENCE
—	SINGLE TREE
—	SECTION CORNER
—	FOUND IRON PIPE
—	FOUND IRON ROD
—	CONTROL PT.
XXXXXX	REMOVALS
X	

TREE LEGEND

● CO	COTTONWOOD
● E	ELM
● L	LOCUST
● M	MAPLE

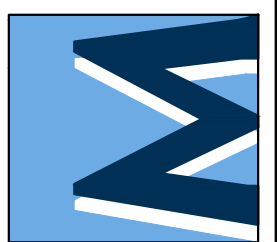
NOTES

1. ALL DISTURBED AREAS (IN ADDITION TO THOSE SHOWN) ARE TO BE RESTORED AND STABILIZED IN KIND.



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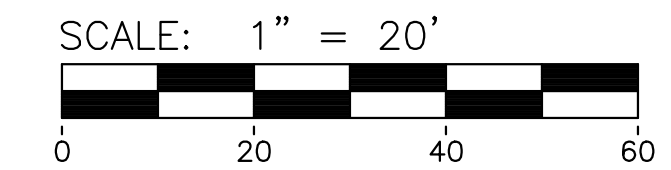
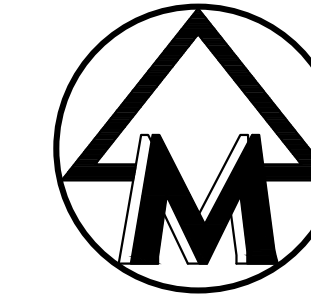
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2385 E ELLSWORTH  
 SITE PLAN  
 REMOVALS

03

JOB No.	18300
DATE:	9/26/19
SHEET	3 OF 14
REV. DATE	
ENG. HTH	
PM. HTH	
TECH. HTH	
DATE	9/26/19
BY	HTH



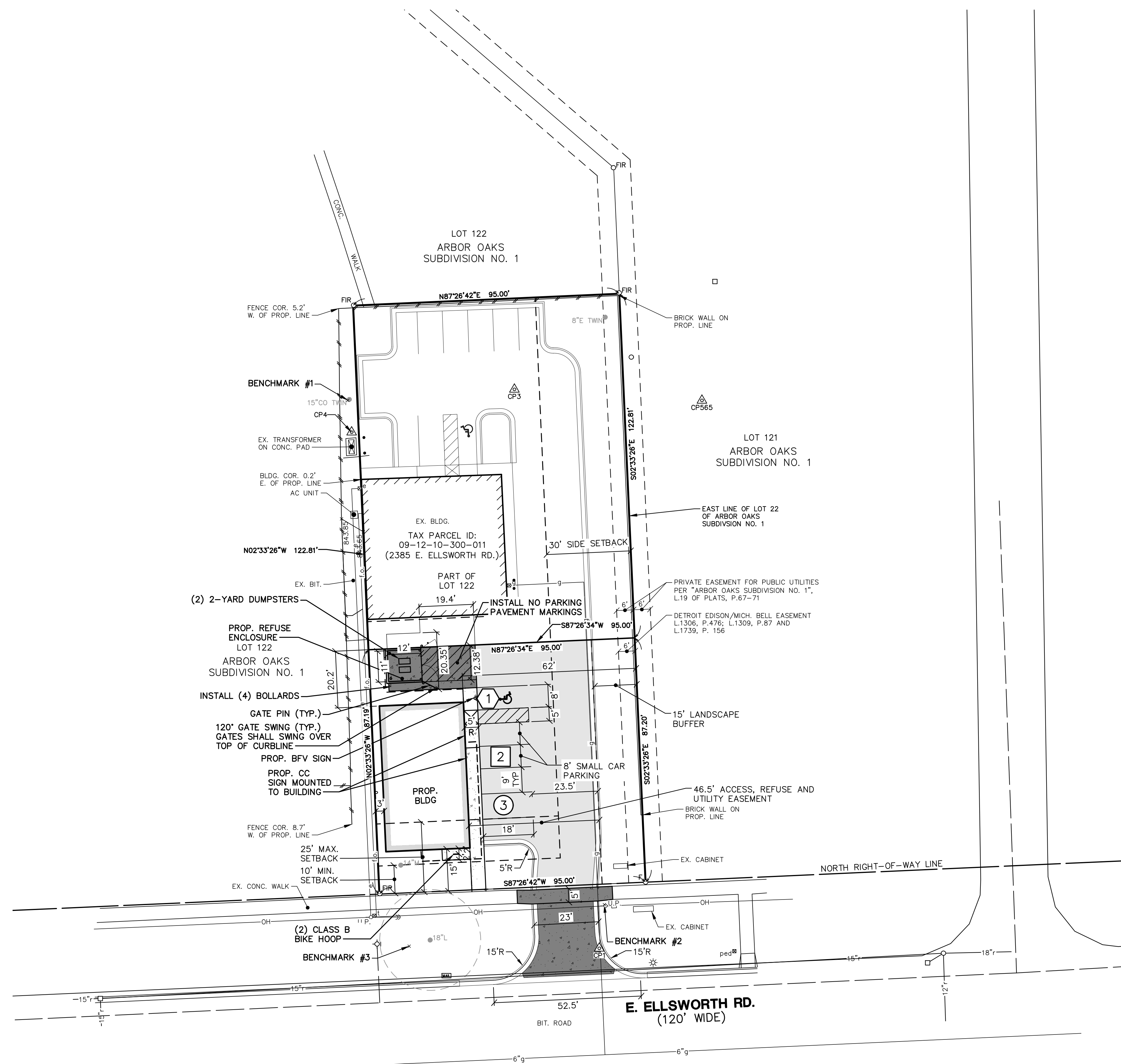


**LEGEND**

- ⊙ NUMBER OF STANDARD PARKING SPACES IN ROW
- ⊠ NUMBER OF SMALL CAR PARKING SPACES IN ROW
- ⊕ NUMBER OF BARRIER FREE PARKING SPACES IN ROW
- BF BARRIER FREE PARKING SIGN
- BFV BARRIER FREE VAN PARKING SIGN
- CC COMPACT CAR ONLY SIGN
- SIGN SIGN
- PROP. CURB & GUTTER
- PROP. BITUMINOUS PAVEMENT
- PROP. CONCRETE PAVEMENT
- PROP. HEAVY DUTY CONCRETE

**NOTES**

1. ALL WORK TO BE PERFORMED SHALL COMPLY WITH ALL GOVERNMENTAL, STATE AND MUNICIPAL CODES AND ORDINANCES.
2. ACCESSIBLE PARKING SPACES AND REQUIRED BARRIER FREE SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH THE MICHIGAN BUILDING CODE.
3. CURB RADIAL DIMENSIONS ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED. DRIVE AISLE DIMENSIONS ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED. ISLAND DIMENSIONS ARE TO BACK OF CURB. SIDEWALK DIMENSIONS ARE TO BACK OF CURB OR EDGE OF WALK.



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 248-231-6016

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**2385 E ELLSWORTH**  
 SITE PLAN  
 DIMENSIONAL SITE PLAN (SOUTH)

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**04**

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DATE: 9/26/19	REV. DATE:
SHEET 4 OF 14	REV. DATE:
CADD:	REV. DATE:
ENG: HTH	REV. DATE:
PM: HTH	REV. DATE:
TECH: HTH	REV. DATE:
DATEPLOT: 9/26/19	REV. DATE:
FILE:	REV. DATE:

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**JOB No. 18300**



**SOIL EROSION CONTROL MEASURES**

t = temporary p = permanent

- 6** SEEDING WITH MULCH AND/OR MATING
- 55** GEOTEXTILE SILT FENCE
- 58** CURB INLET FILTER
- 59** C.B./INLET FILTER
- 60** MUD TRACKING MAT

**PROGRAM PROPOSAL**

THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPLACEMENT, IF NECESSARY, OF ANY AND ALL OF THE PERMANENT SOIL EROSION CONTROL FEATURES ASSOCIATED WITH SEDIMENT AND SOIL EROSION CONTROL WITHIN THE DEVELOPMENT. THE FINANCIAL IMPLICATION OF SAID MAINTENANCE WILL BE THE RESPONSIBILITY OF THE OWNER.

**Maintenance Plan Budget**

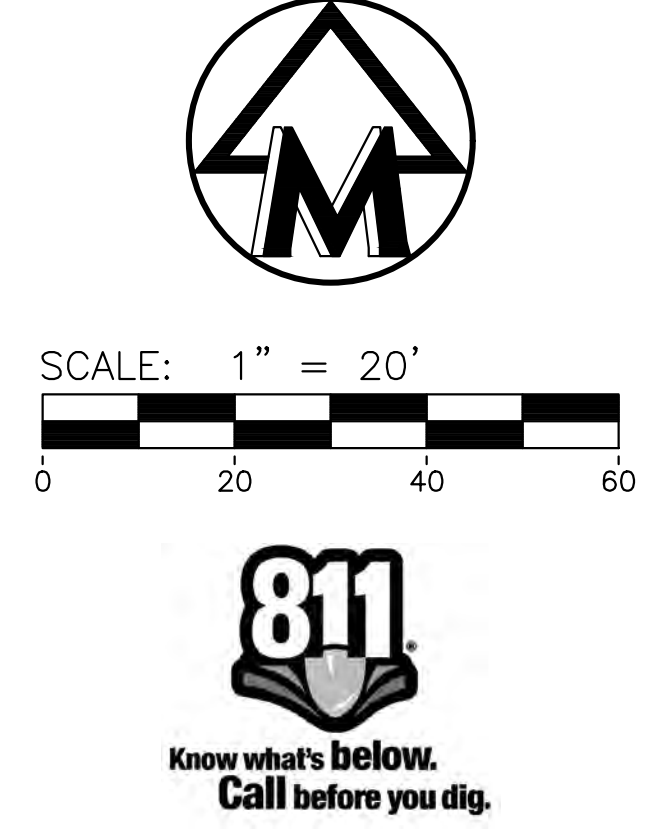
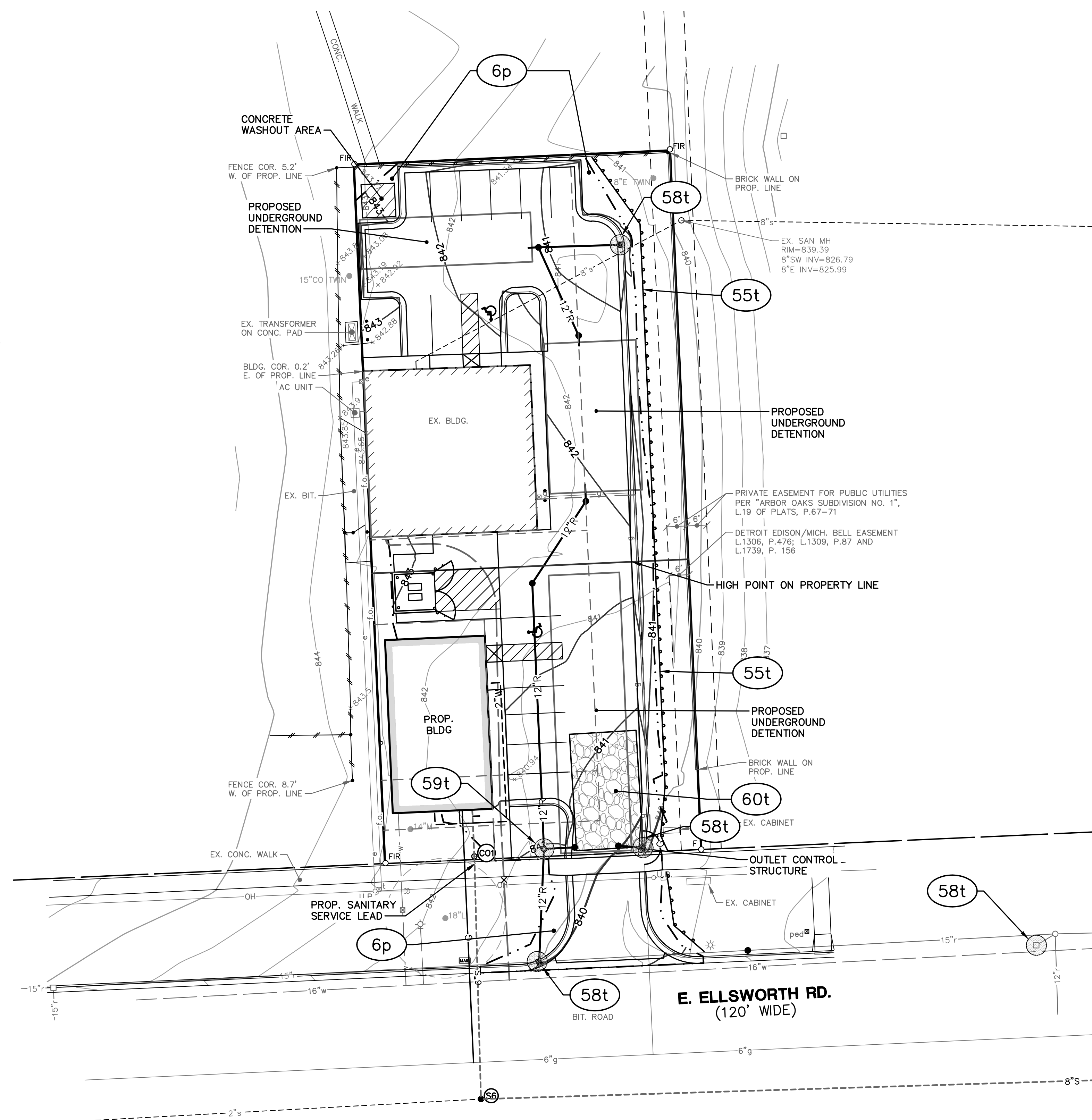
Responsible Party - Property Owner	
Annual inspection for sediment accumulation	\$100.00
Removal of sediment accumulation every year as needed	\$750.00
Inspect for floatables and debris annually and after major storms	\$100.00
Removal of floatables and debris annually and after major storms	\$150.00
Inspect system for erosion annually and after major storms	\$100.00
Re-establish permanent vegetation on eroded slopes as needed	\$350.00
Replacement of stone	\$100.00
Mowing 0-2 times per year	\$400.00
Inspect structural elements during wet weather and compare to as-built plans every 2 years	\$150.00
Make structural adjustments or replacements as determined by inspection as needed	\$400.00
Have a professional engineer carry out emergency inspections upon identification of severe problems	\$200.00
<b>Total Annual Budget</b>	<b>\$2,800.00</b>

**PERMANENT MAINTENANCE TASKS AND SCHEDULE**

	Components							Schedule
	Streets	Storm Sewer System	Catch Basin Sumps	Catch Basin Inlet Castings	Underground Detention	Parking Areas	Outflow Control Structure	
Inspect for sediment accumulation	X	X	X	X	X	X	X	annually
Removal of sediment accumulation		X	X	X	X	X	X	every year, as needed
Inspect for floatables and debris		X	X	X	X	X	X	annually
Cleaning of floatables and debris		X	X	X	X	X	X	annually, as needed
Inspection for erosion						X		annually
Re-establish permanent vegetation on eroded slopes						X		as needed
Clean streets	X							semi-annually
Mowing						X		semi-annually, as needed

CONSTRUCTION SEQUENCE	OPERATION TIME SCHEDULE - BEGINNING MARCH 2020							
	MARCH	APRIL	MAY	JUNE	JULY	AUG	SEPT	OCT
INSTALL AND MAINTAIN SOIL EROSION CONTROL MEASURES AS REQUIRED	█	█	█	█	█	█	█	█
SITE REMOVALS	█	█	█	█	█	█	█	█
UNDERGROUND DETENTION CONSTRUCTION	█	█	█	█	█	█	█	█
SITE GRADING	█	█	█	█	█	█	█	█
CONSTRUCT UTILITIES	█	█	█	█	█	█	█	█
PARKING LOT PAVING, CURBS, WALKS	█	█	█	█	█	█	█	█
INSTALL PARKING LOT STRIPING	█	█	█	█	█	█	█	█
CONSTRUCT NEW BUILDING, CONSTRUCT REFUSE ENCLOSURE	█	█	█	█	█	█	█	█
PLACE LANDSCAPING, TOPSOIL, AND LAWNS	█	█	█	█	█	█	█	█

SCHEDULING NOTED IN THE CHART ABOVE IS BASED ON A MARCH 1ST CONSTRUCTION START DATE. THE TIMELINE WOULD BE SHIFTED ACCORDINGLY IF CONSTRUCTION STARTS AT A DIFFERENT DATE. INCLEMENT WEATHER COULD ALSO AFFECT THE SCHEDULE LISTED.



**SESC NOTES:**

- ALL SILT FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. IF AT ANY TIME THE DEPTH OF SILT AND SEDIMENT COMES TO WITHIN 12" OF THE TOP OF ANY SILT FENCE, ALL SILT AND SEDIMENT SHALL BE REMOVED TO ORIGINAL GRADE.
- ALL TEMPORARY GRAVEL FILTERS SHOULD BE ADJUSTED AS TO LOCATION PER ACTUAL FIELD CONDITIONS. THE REMOVAL OF TRAPPED SEDIMENT AND THE CLEANOUT OR REPLACEMENT OF CLOGGED STONE MAY BE NECESSARY AFTER EACH STORM EVENT DURING THE PROJECT.
- ONLY UPON STABILIZATION OF ALL DISTURBED AREAS MAY THE SILT FENCE, AND TEMPORARY GRAVEL FILTERS BE REMOVED. ALSO, ALL STORM SEWERS MUST BE CLEANED OF ALL SEDIMENT.
- ESTIMATED COST TO STABILIZE SITE SHOULD CONSTRUCTION CEASE:  
0.5ac x \$10,500/ac = \$5,250
- ESTIMATED SOIL MOVEMENTS ON SITE:  
250 C.Y CUT; 50 C.Y. FILL
- PERMANENT SOIL EROSION CONTROLS ARE REQUIRED TO BE INSTALLED WITHIN FIVE (5) DAYS AFTER FINAL GRADING.
- AFTER SITE GRADING ALL DISTURBED AREAS NOT IMMEDIATELY UNDER CONSTRUCTION ARE TO BE STABILIZED.

**LEGEND**

- 838 EXIST. CONTOUR
- 838 PROP. CONTOUR
- x836.2 EXIST. SPOT ELEVATION
- 36.60x PROP. SPOT ELEVATION
- U.P. EXIST. UTILITY POLE
- U.P. EXIST. UTILITY POLE W/ TRANS.
- GUY WIRE
- ELEC. TRANSFORMER
- OH EXIST. OVERHEAD UTILITY LINE
- EXIST. LIGHT POLE
- \* PROP. LIGHT POLE
- t EXIST. TELEPHONE LINE
- e EXIST. ELECTRIC LINE
- g EXIST. GAS LINE
- g EXIST. GAS VALVE
- f.o. EXIST. FIBER OPTIC LINE
- w EXIST. WATER MAIN
- w PROP. WATER MAIN
- H EXIST. HYDRANT
- H PROP. HYDRANT
- EXIST. GATE VALVE IN BOX
- PROP. GATE VALVE IN BOX
- EXIST. GATE VALVE IN WELL
- PROP. GATE VALVE IN WELL
- x EXIST. CURB STOP & BOX
- x PROP. CURB STOP & BOX
- r EXIST. STORM SEWER
- R PROP. STORM SEWER
- EXIST. CATCH BASIN OR INLET
- PROP. CATCH BASIN OR INLET
- EXIST. BEEHIVE INLET
- PROP. BEEHIVE INLET
- END SECTION
- HEAD WALL
- CULVERT
- ds EXIST. DOWNSPOUT
- ps PROP. DOWNSPOUT
- s-o EXIST. SANITARY SEWER
- s-o PROP. SANITARY SEWER
- o EXIST. CLEANOUT
- o PROP. CLEANOUT
- C/L OF DITCH
- SIGN
- SINGLE TREE
- ☁ TREE OR BRUSH LIMIT
- FENCE
- SILTFENCE
- LIMITS OF DISTURBANCE

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**2385 E ELLSWORTH**  
SITE PLAN  
GRADING AND SOIL EROSION CONTROL PLAN

**05**

DATE: 9/26/19	REV. DATE:
SHEET 5 OF 14	REV. DATE:
ENG: RTH	REV. DATE:
PM: RTH	REV. DATE:
TECH: RTH	REV. DATE:
13300E	REV. DATE:

**18300**

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### SANITARY MITIGATION CALCULATIONS

**Design Flow**  
Based on the City of Ann Arbor's sanitary sewer flow evaluation Table 'A', the design dry weather flow rate will be:

Medical Arts (Medical Marajuana Dispensary)	1560 sf	0.1 gpd/sf =	Total	156 gpd
				156 gpd

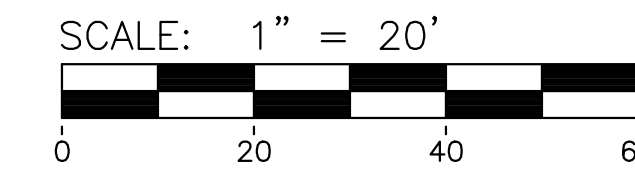
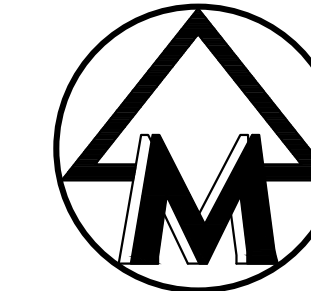
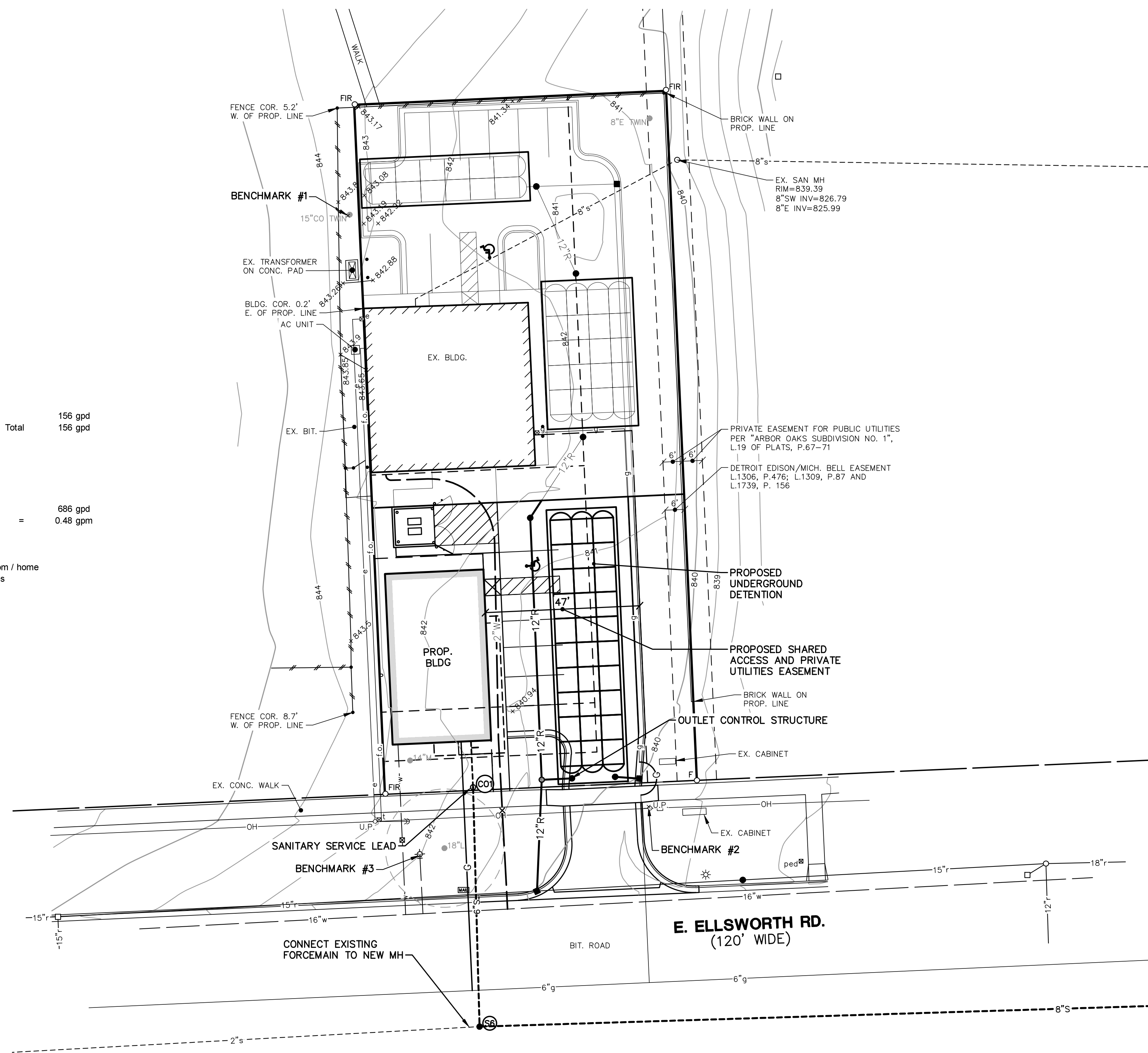
**Existing Flow**  
There is no existing sanitary connection for this site.

#### Mitigation Flow

Mitigation Flow = (Proposed Flow - Existing Flow) * 4(peaking factor) * 1.1(recovery)				
Mitigation Peak Flow = 156 gpd x 4(peaking factor) x 1.1(recovery) =				686 gpd
				0.48 gpm

#### Footing Drain Disconnect Summary

Footing Drain Disconnect Factor from the City of Ann Arbor = 4 gpm/home				
Number of Footing Drain Disconnects Required =		0.48 gpm / 4 gpm / home		
				0.12 homes



### LEGEND

U.P.	EXIST. UTILITY POLE
U.P.	EXIST. UTILITY POLE W/ TRANS.
GP	EXIST. GUY POLE
GW	GUY WIRE
OH	ELEC. TRANSFORMER
OH	EXIST. OVERHEAD UTILITY LINE
*	EXIST. LIGHT POLE
*	PROP. LIGHT POLE
t	EXIST. TELEPHONE LINE
T	PROP. TELEPHONE LINE
e	EXIST. ELECTRIC LINE
E	PROP. ELECTRIC LINE
g	EXIST. GAS LINE
G	PROP. GAS LINE
g	EXIST. GAS VALVE
f.o.	EXIST. FIBER OPTIC LINE
F.O.	PROP. FIBER OPTIC LINE
w	EXIST. WATER MAIN
W	PROP. WATER MAIN
H	EXIST. HYDRANT
H	PROP. HYDRANT
G	EXIST. GATE VALVE IN BOX
G	PROP. GATE VALVE IN BOX
G	EXIST. GATE VALVE IN WELL
G	PROP. GATE VALVE IN WELL
X	EXIST. CURB STOP & BOX
X	PROP. CURB STOP & BOX
R	REDUCER
B	EXIST. BLOW-OFF
B	PROP. BLOW-OFF
P.I.V.	POST INDICATOR VALVE
T	THRUST BLOCK
KB	PROP. KNOXBOX
r	EXIST. STORM SEWER
R	PROP. STORM SEWER
C	EXIST. CATCH BASIN OR INLET
C	PROP. CATCH BASIN OR INLET
B	EXIST. BEEHIVE INLET
B	PROP. BEEHIVE INLET
RD	PROP. ROOF DRAIN END SECTION
H	HEAD WALL
C	CULVERT
ds	EXIST. DOWNSPOUT
ps	PROP. DOWNSPOUT
s	EXIST. SANITARY SEWER
S	PROP. SANITARY SEWER
o	EXIST. CLEANOUT
O	PROP. CLEANOUT
r	TELEPHONE RISER
catv	CABLE TELEVISION RISER
m	ELECTRIC METER
w	WATER METER
cb	SPRINKLER CONTROL BOX
g	GAS METER
lm	GAS LINE MARKER
fiber	FIBER OPTIC MARKER
W	WELL

### UTILITY NOTES

- ALL PUBLIC UTILITY INSTALLATION SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF ANN ARBOR STANDARD SPECIFICATIONS, CURRENT EDITION. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, DEPTHS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
- STORM WATER MANAGEMENT IS PROVIDED PER THE CURRENT WASHTENAW COUNTY WATER RESOURCES COMMISSION REQUIREMENTS.
- ANY EXISTING UTILITY LEADS NOT TO BE RE-USED ARE TO BE ABANDONED IN ACCORDANCE WITH THE CURRENT CITY OF ANN ARBOR STANDARDS.
- TWO WAY TRAFFIC SHALL BE MAINTAINED DURING CONSTRUCTION AT ALL TIMES UNLESS APPROPRIATE APPROVALS ARE RECEIVED FROM THE CITY OF ANN ARBOR.



### ELLSWORTH ROAD UTILITY PLAN

1" = 60'



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 SOUTHFIELD, MI, 48034  
 248-231-6016

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**2385 E ELLSWORTH**  
 SITE PLAN  
 UTILITY PLAN (SOUTH)

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**06**

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DATE: 9/26/19	REV. DATE:
SHEET 6 OF 14	REV. DATE:
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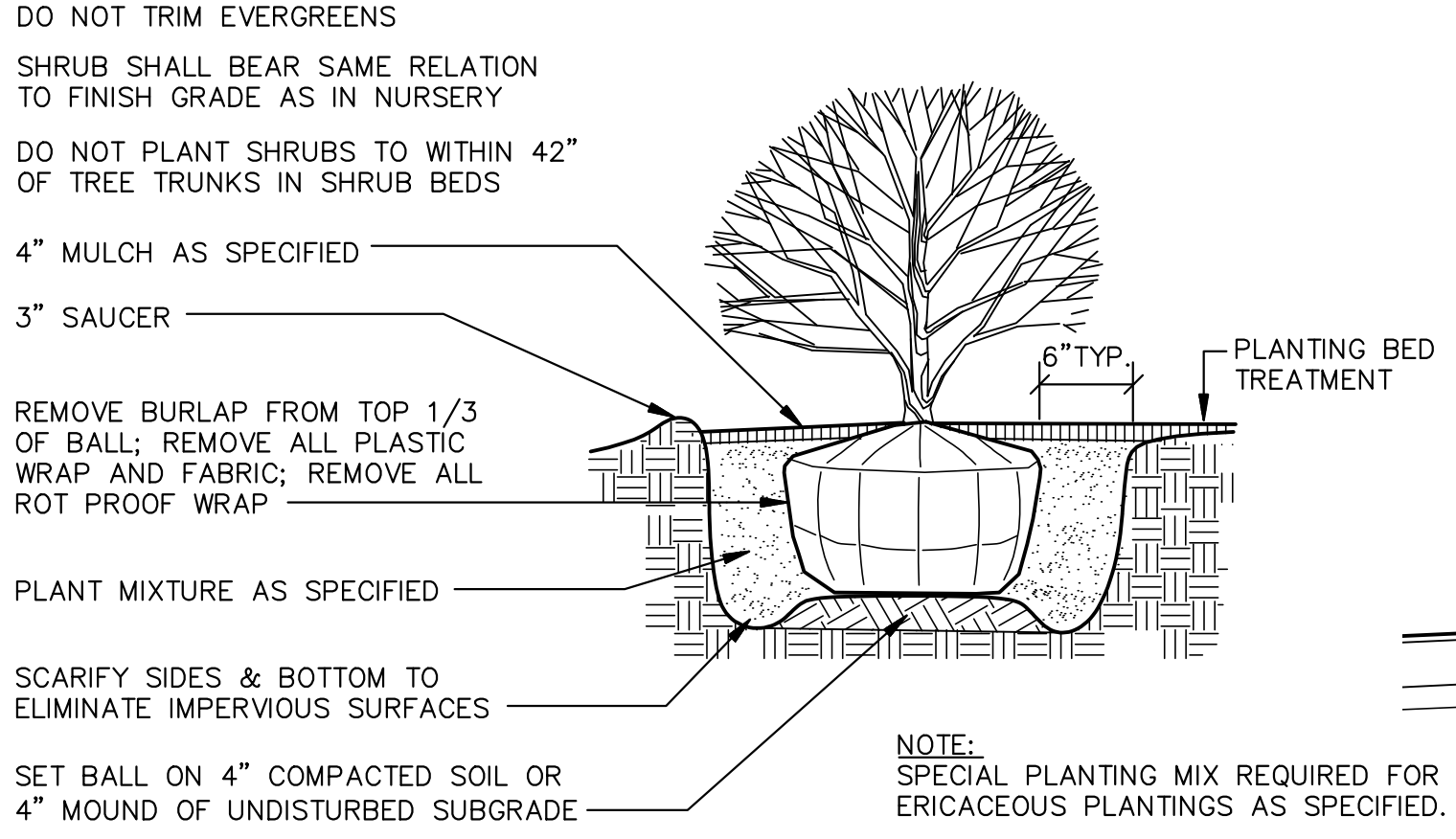
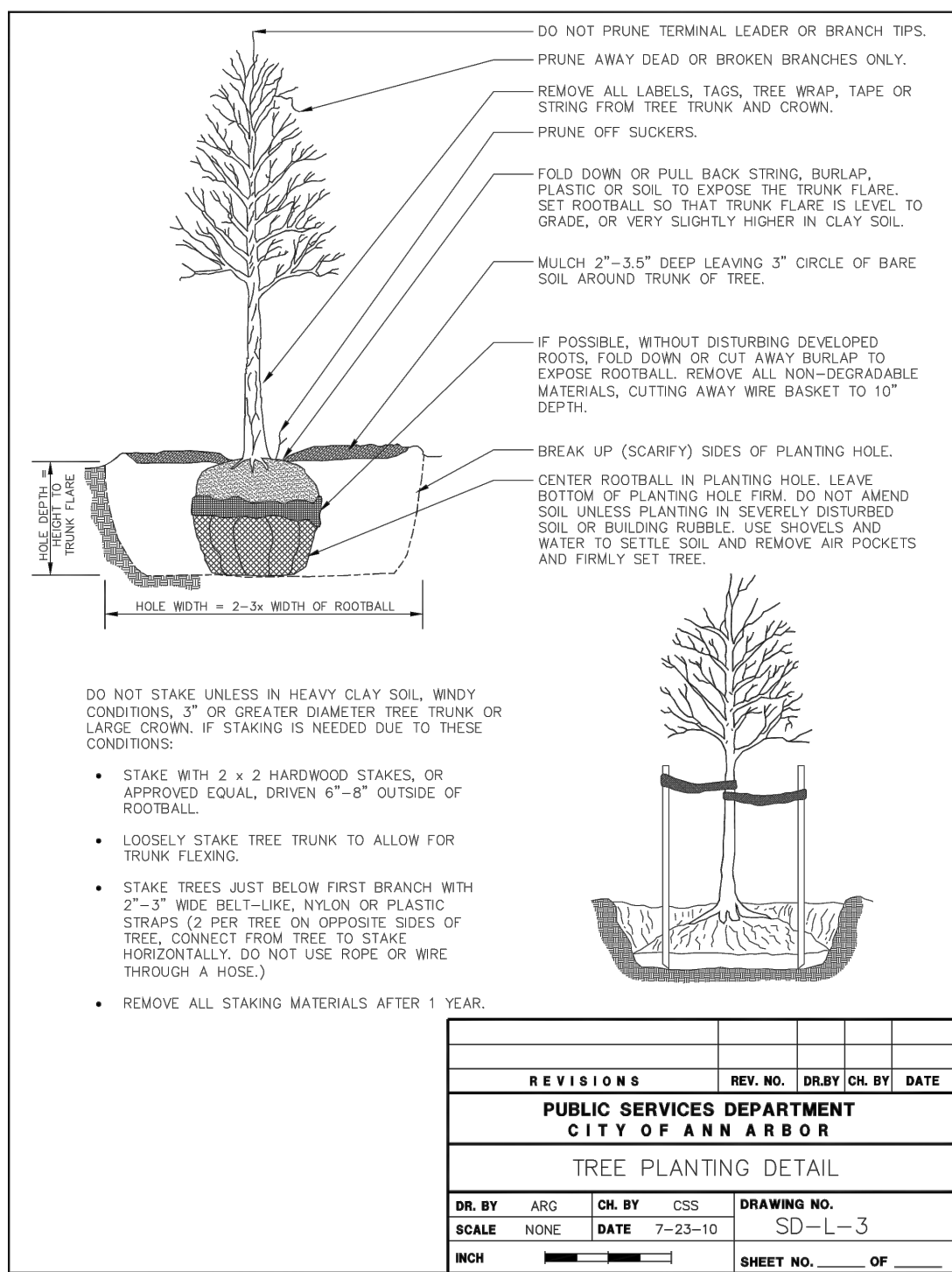
**JOB No. 18300**





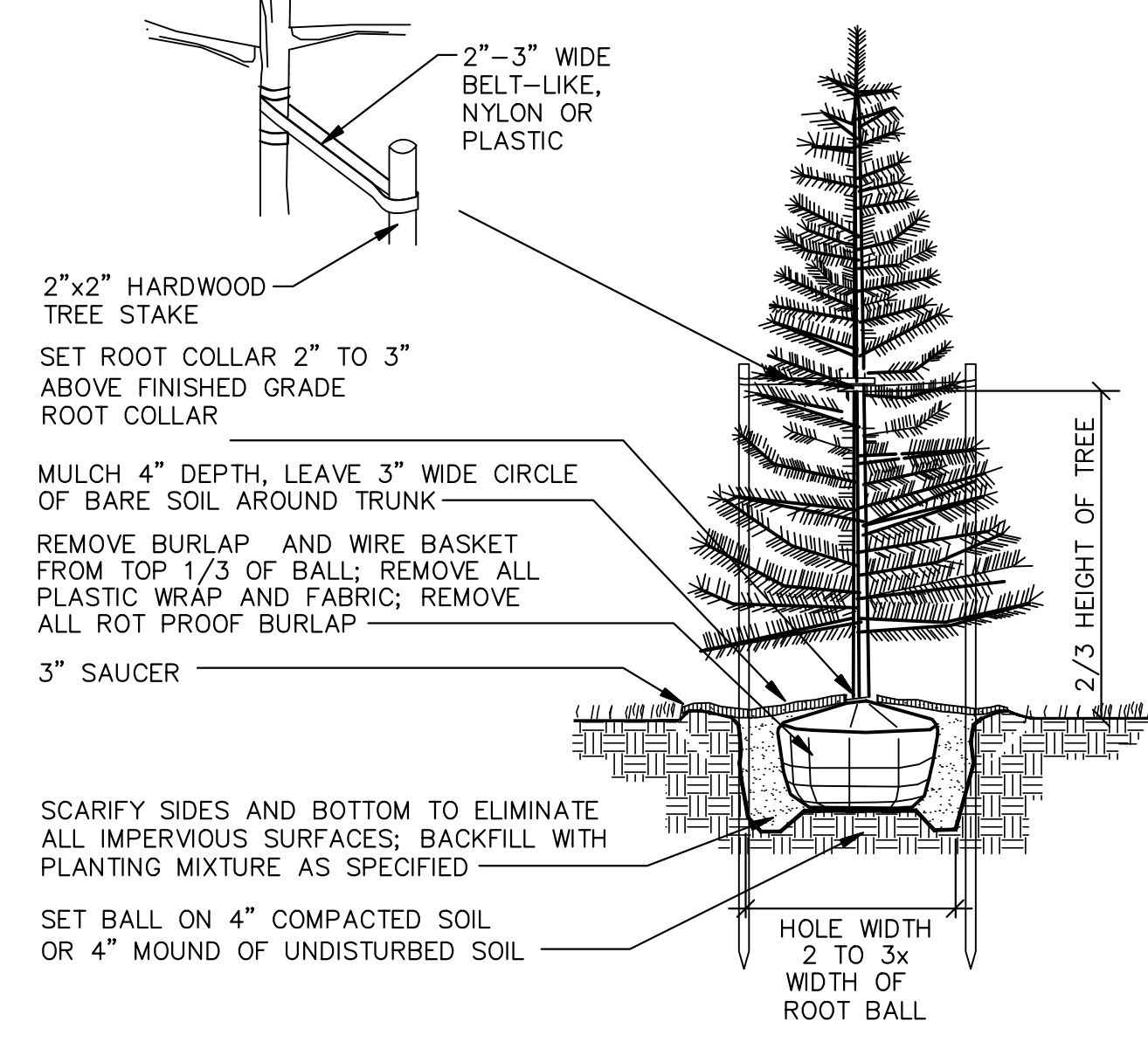


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**SHRUB PLANTING DETAIL**

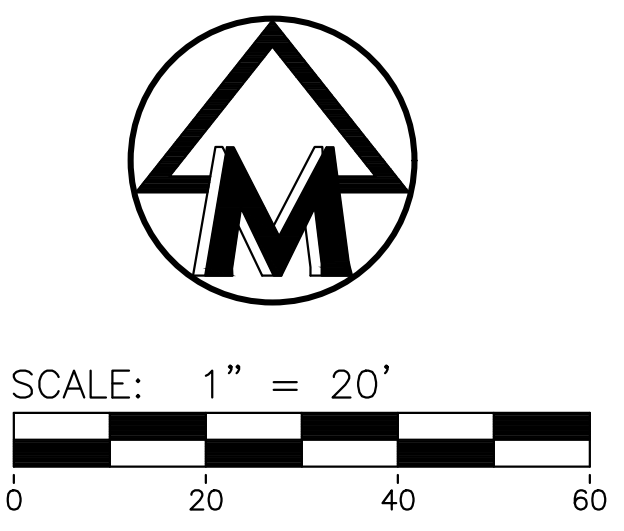
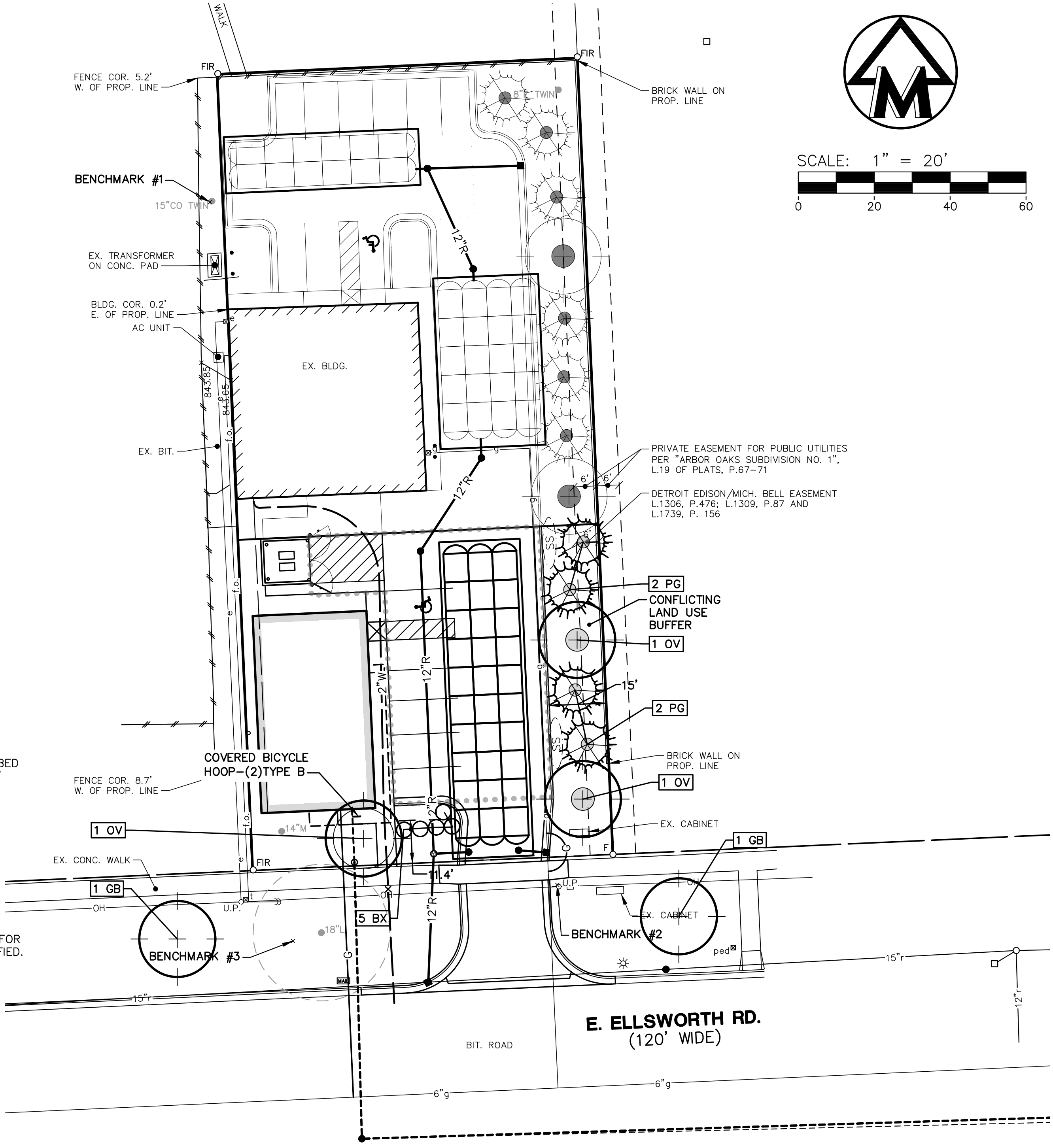
NOT TO SCALE



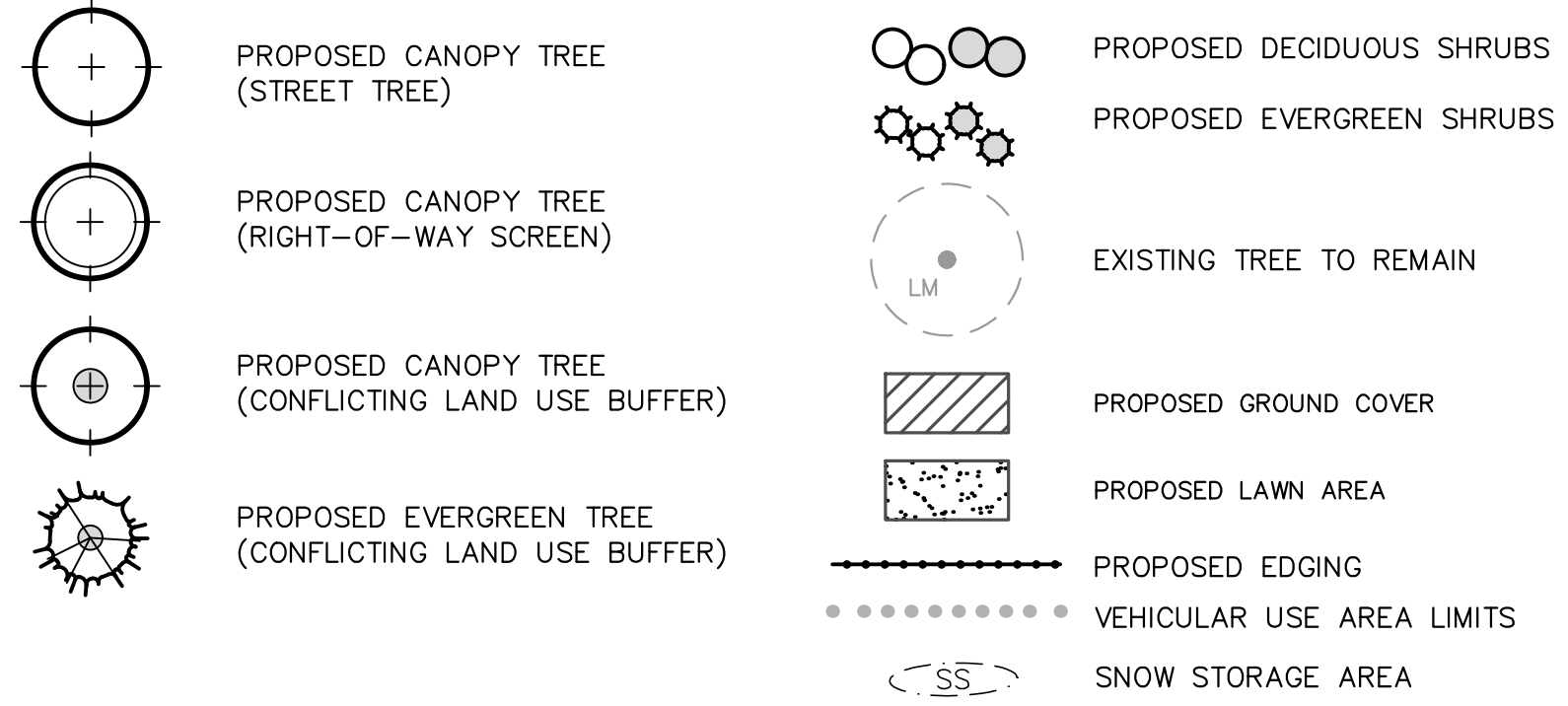
**EVERGREEN TREE PLANTING DETAIL**

NOT TO SCALE

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.



**LANDSCAPE LEGEND**



**LANDSCAPE NOTES**

- For any plant quantity discrepancies between the plan view and the plant schedules, the plant schedule shall take precedence.
- Plant materials shall be selected and installed in accordance with standards established by City of Ann Arbor.
- In-ground automatic irrigation shall be provided for all landscaped areas except for the detention basin and naturalized wetland buffer or water outlets shall be provided within 150 feet of all required plantings.
- All diseased, damaged or dead material shown on the site plan as proposed plantings shall be replaced by the end of the following growing season.
- Restore disturbed areas with a minimum of six (6) inches of topsoil and then seed/fertilize/mulch.
- All disturbed areas shall be seeded with lawn seed mix. Fertilizer for the initial installation of lawns shall provide not less than one (1) pound of actual nitrogen per 1,000 sq ft of lawn area and shall contain not less than two percent (2%) potassium and four percent (4%) phosphoric acid. Lawn (turfgrass) seed mix shall consist of:  
 15% Rugby Kentucky Bluegrass  
 10% Park Kentucky Bluegrass  
 40% Ruby Creeping Red Fescue  
 15% Pennfine Perennial Ryegrass  
 20% Scaldis Hard Fescue  
 Seed shall be applied at a rate of five pounds (5 lbs) per 1000 sq ft. Mulch within 24 hours with two (2) tons of straw per acre, or 71 bales of excelsior mulch per acre. Anchor straw mulch with spray coating of adhesive material applied at the rate of 150 gals. /acre.
- After the first growing season, only fertilizers that contain NO phosphorus shall be used on the site.
- All seeded areas with slopes less than 1:3 (one vertical foot for every 3 horizontal feet) shall be mulched with straw mulch at the rate of two (2) bales per 1,000 square feet. All seeded areas with slopes greater than 1:3 shall be seeded and biodegradable erosion control blanket North American Green SC150, or equivalent, shall be applied with biodegradable stakes.
- Deciduous plants shall be planted between March 1 and May 15 and from October 1 until the prepared soil becomes frozen. Evergreen plants shall be planted between March 1 and June 1 and from August 15 to September 15.
- All planting beds are to receive four (4) inches of shredded bark mulch.
- All trees to be located a minimum of 10 feet from public utilities.
- All single trunk, deciduous trees shall have a straight and a symmetrical crown with a central leader. One sided trees or those with thin or open crowns shall not be accepted.
- All evergreen trees shall be branched fully to the ground, symmetrical in shape and have not been sheared in the last three (3) growing seasons.
- All compacted subgrade soils in proposed landscape areas shall be tilled to a minimum 12-inch depth prior to placement of topsoil, geotextile fabric, or other planting media as specified.
- Proposed trees will be planted a minimum of 15 feet apart.
- Planting Soil: Existing, in-place or stockpiled topsoil. Supplement with imported topsoil as needed. Verify suitability of existing surface soil to produce viable planting soil. Remove stones, roots, plants, sod, clods, clay lumps, pockets of coarse sand, concrete slurry, concrete layers or chunks, cement, plaster, building debris, and other extraneous materials harmful to plant growth. Mix surface soil with the following soil amendments to produce planting soil:  
 a. Ratio of Loose Compost to Topsoil by Volume: 1:4.  
 b. Weight of Lime per 1000 Sq. Ft.: Amend with lime only on recommendation of soil test to adjust soil pH.  
 c. Weight of Sulfur or Aluminum Sulfate per 1,000 Sq. Ft.: Amend with sulfur or aluminum sulfate only on recommendation of soil test to adjust soil pH.  
 d. Volume of Sand: Amend with sand only on recommendation of Landscape Architect to adjust soil texture.
- Weight of Slow-Release Fertilizer per 1,000 Sq. Ft.: Amend with fertilizer only on recommendation of soil test to adjust soil fertility.

**LANDSCAPE REQUIREMENTS**

ROW	Allowed/ Required	Proposed Dispensary - South Lot
Street Trees	1 tree per 45 linear feet frontage	95 / 45 = 3 trees required 1 existing tree to remain, 2 trees provided with ROW adjacent to site due to utility and existing cabinet conflicts
Street Tree Escrow	\$1.30 per linear foot road frontage	95lf - 45lf (1 existing tree) = 50lf x \$1.30 = \$65.00
Vehicle Use Area		
Front Greenbelt	10ft, 1 tree per 30lf, 30" ht screening hedge/berm/wall	42lf frontage = 2 trees required 11.4ft min. provided, 1 trees provided, 1 existing tree to remain, 5 shrubs provided
Interior islands	>3,300sf and <50,000sf VUA = 1:20 ratio 50% bioretention required of >750sf	3,260sf VUA - Not applicable
Interior island trees	1 tree per 250sf of required island	Not Applicable
Street trees (internal)		
	1 tree per 30lf	Not Applicable
Outdoor refuse	screening wall, trash and recycling dumpsters each	1 trash enclosure provided (shared with northern parcel)
Conflicting Land Use buffer	15 ft landscape buffer, 1 tree per 15 ft with 50% evergreen, 4ft screening	87 lf / 15 = 6 trees required, 6 trees provided (66% evergreen), existing wall to remain
Tree Mitigation	50% removed DBH - LM/woodland	Not applicable

**STREET TREE ESCROW**

STREET TREE ESCROW OF \$65.00 WILL BE PROVIDED PRIOR TO ISSUING BUILDING PERMITS AND WILL BE REFUNDED AFTER CITY STAFF INSPECTION SHOWS LONG TERM SURVIVAL OF THE PROPOSED STREET TREES.



**MIDWESTERN CONSULTING**  
 3845 Plaza Drive Ann Arbor, Michigan 48108  
 (734) 995-0200 • www.midwesternconsulting.com  
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**CLIENT**  
 STEVE SOKA  
 28500 FRANKLIN ROAD  
 SOUTHFIELD, MI, 48304  
 248-231-6016

**2385 E ELLSWORTH**  
 SITE PLAN  
 LANDSCAPE PLAN (SOUTH)

**08**

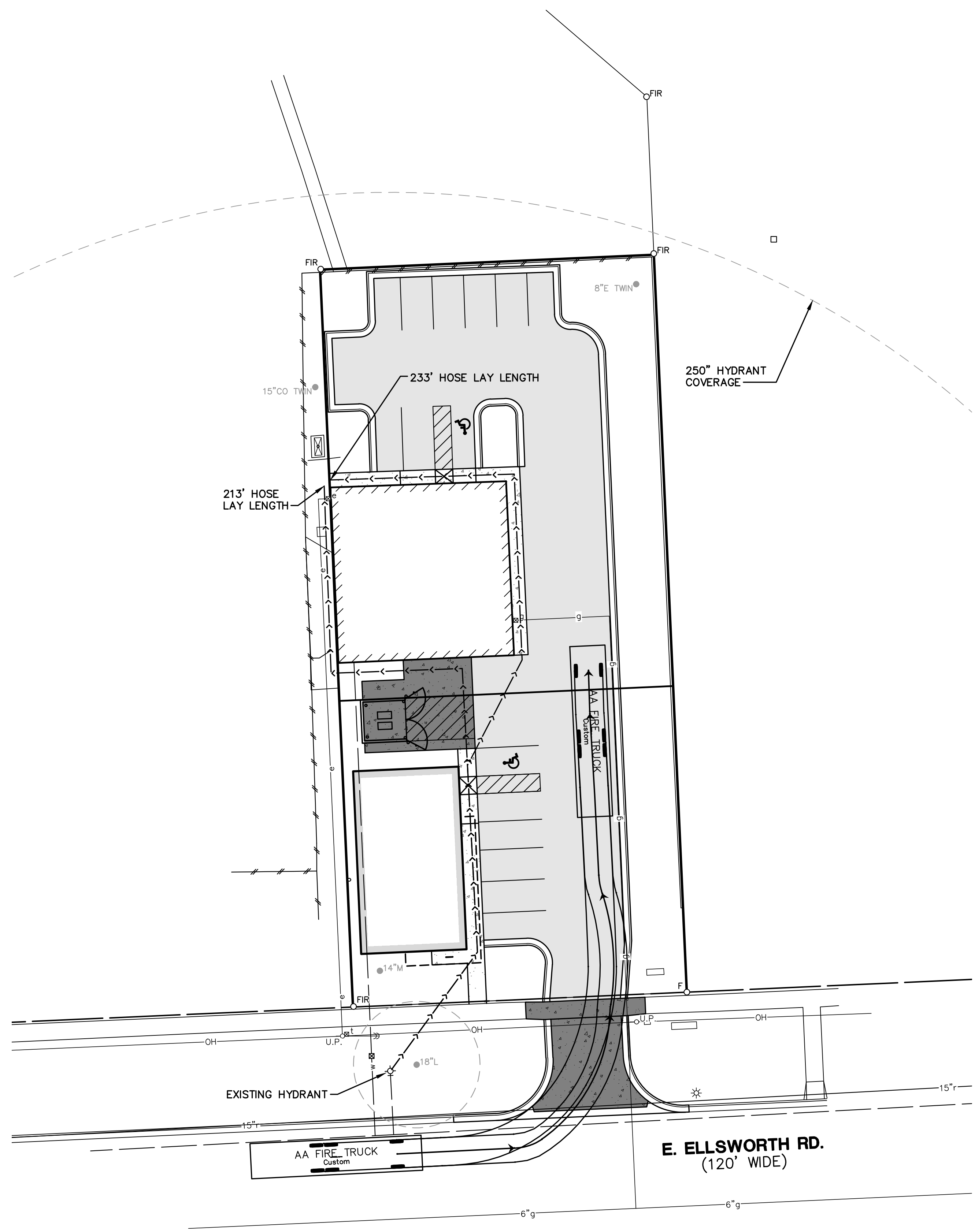
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**18300**

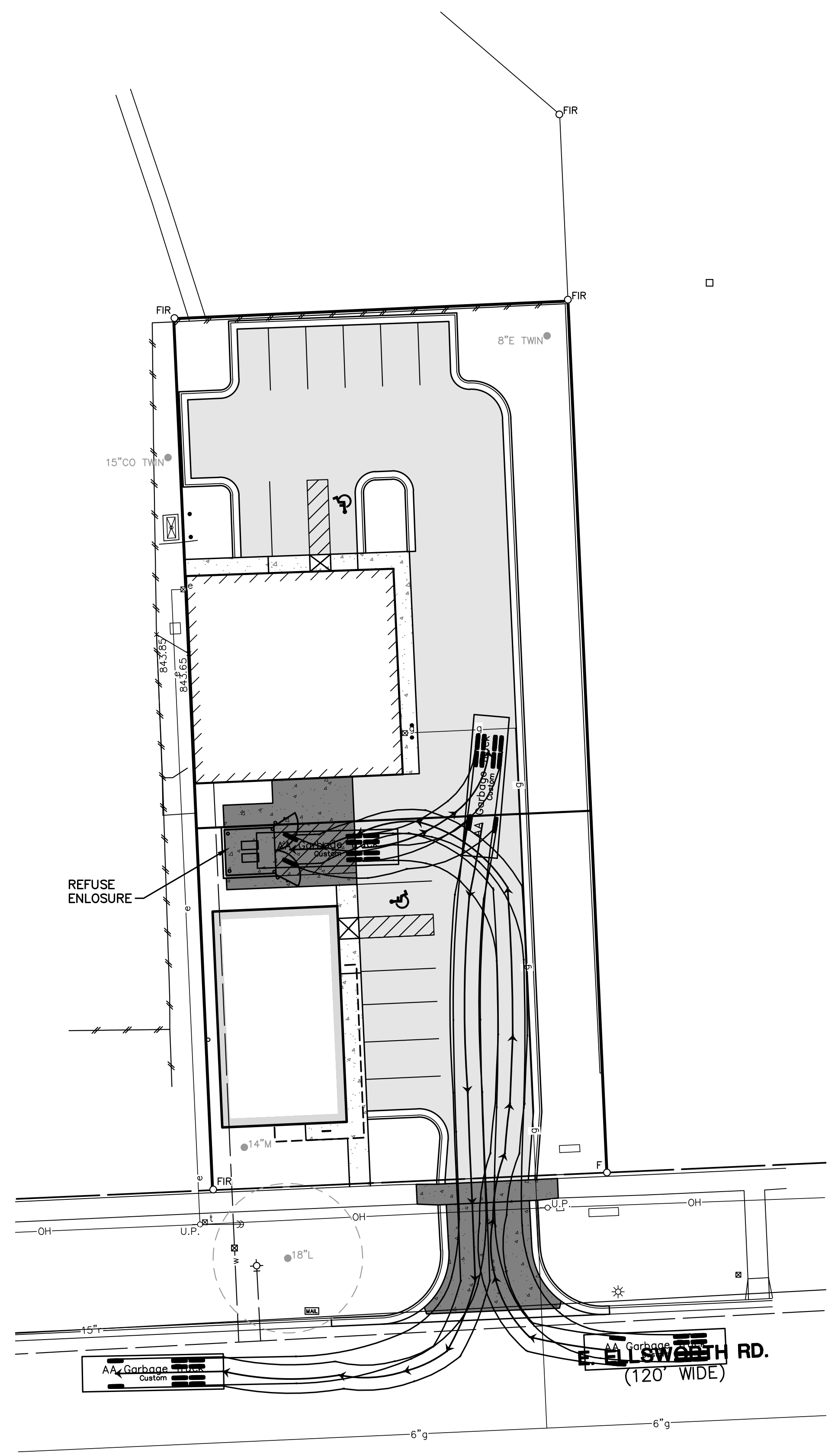
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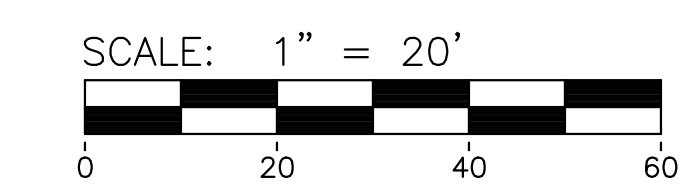
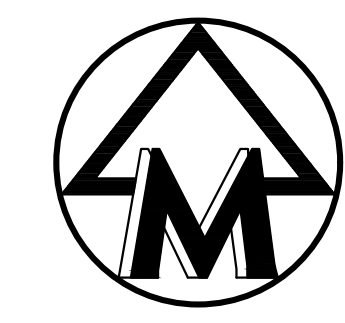
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**FIRE PROTECTION PLAN**



**REFUSE MANAGEMENT PLAN**



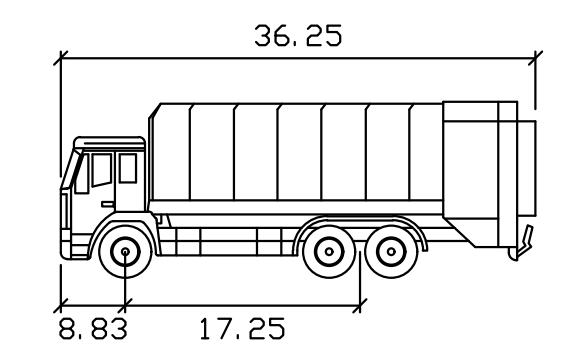
**LEGEND**

- U.P. EXIST. UTILITY POLE
- GUY WIRE
- ELEC. TRANSFORMER
- OH EXIST. OVERHEAD UTILITY LINE
- \*— EXIST. LIGHT POLE
- \*— PROP. LIGHT POLE
- \*— PROP. BUILDING LIGHT
- CONCRETE SURFACE
- POST
- EXIST. BOLLARD
- PROP. BOLLARD
- FENCE
- 50' — FIRE HOSE LAY LENGTHS
- 250' — FIRE HYDRANT 250' COVERAGE RADIUS
- T — TRASH CONTAINER
- R — RECYCLING CONTAINER

**FIRE PROTECTION NOTES:**

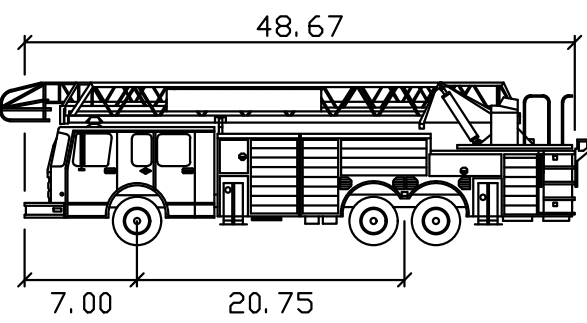
1. BUILDINGS SHALL NOT BE SPRINKLERED
2. CONSTRUCTION SEQUENCE:
  - A. HYDRANTS SHALL BE IN SERVICE PRIOR TO VERTICAL BUILDING CONSTRUCTION.
  - B. HYDRANTS PROVIDING COVERAGE FOR BUILDINGS SHALL BE IN SERVICE BEFORE COMBUSTIBLE MATERIALS ARE PLACED.
  - C. STORAGE AREAS FOR CONSTRUCTION MATERIAL MUST BE SO AS NOT TO INTERFERE WITH EMERGENCY SITE ACCESS
3. NO FIRE WALLS WILL BE CONSTRUCTED WITHIN BUILDINGS

**STUDY TRUCKS**



**REFUSE VEH.**

Width	: 8.42
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8



**FIRE TRUCK**

Width	: 10.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 29.1

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 248-231-6016

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**2385 E ELLSWORTH**  
 SITE PLAN  
 FIRE PROTECTION AND REFUSE PLAN

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**09**

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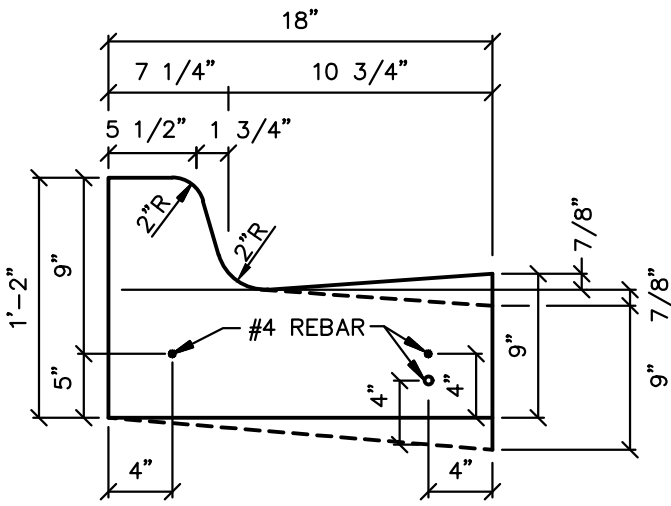
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SHEET 9 OF 14	REV. DATE:
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**JOB No. 18300**

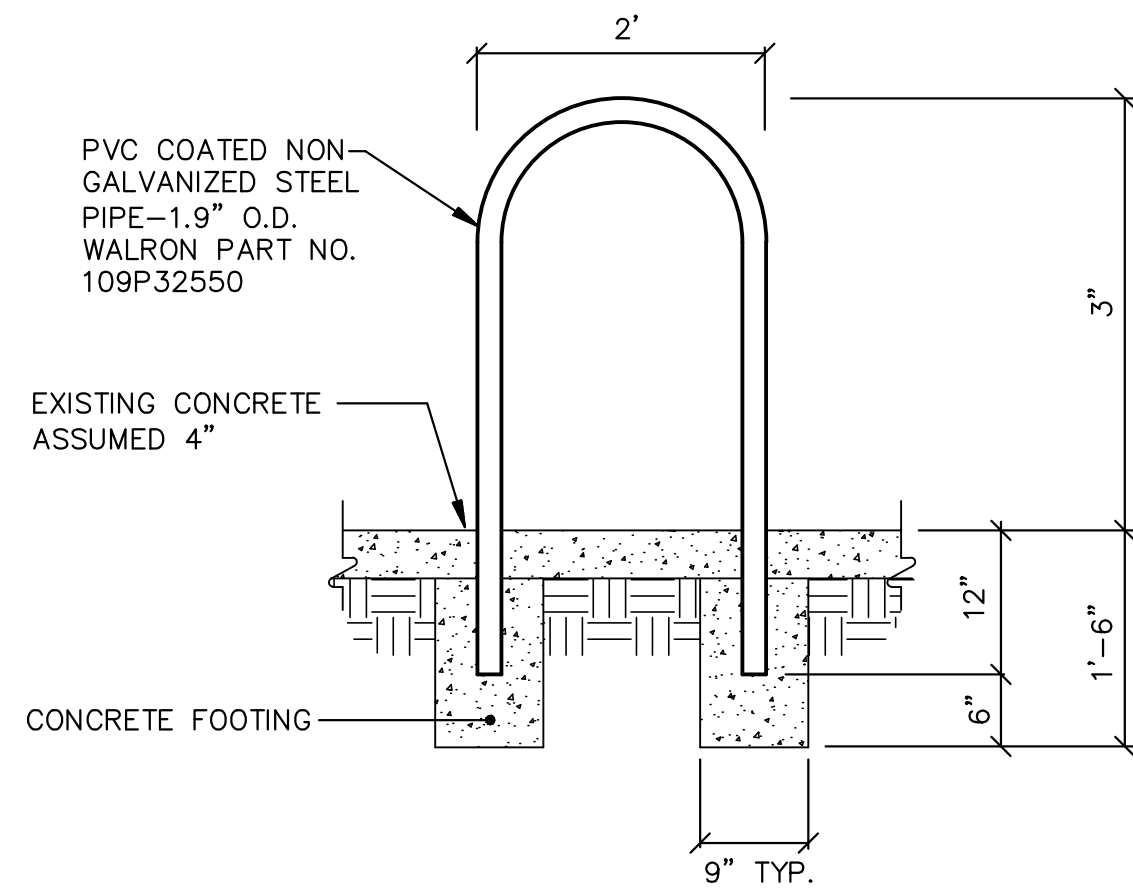


M:\Civ\132\_P\0\13300\Site Plan\1330007.dwg, 9/26/2019 8:16 AM, Heath Hertl, 10 SITE DETAILS, MLLC PDF.p3 Copyright © 2019 Midwestern Consulting L.L.C. All rights reserved. No part of this drawing may be used or reproduced in any form or by any means, or stored in a database or retrieval system, without prior permission of Midwestern Consulting L.L.C.



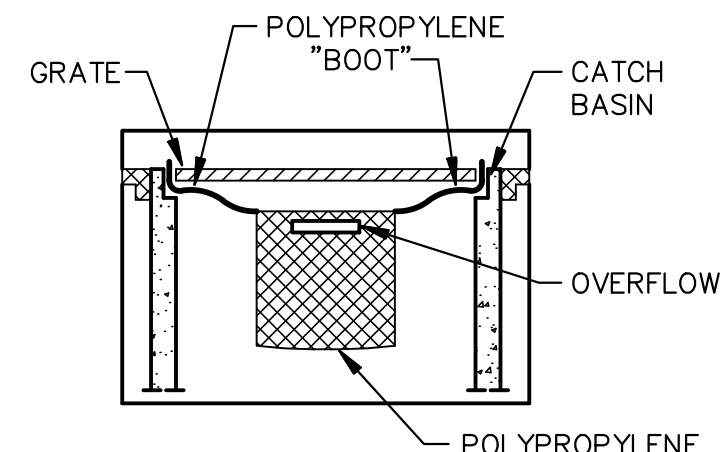
**MDOT F-2 CURB AND GUTTER**  
**MDOT F-2 CURB W/SPILLOUT GUTTER**

NOT TO SCALE

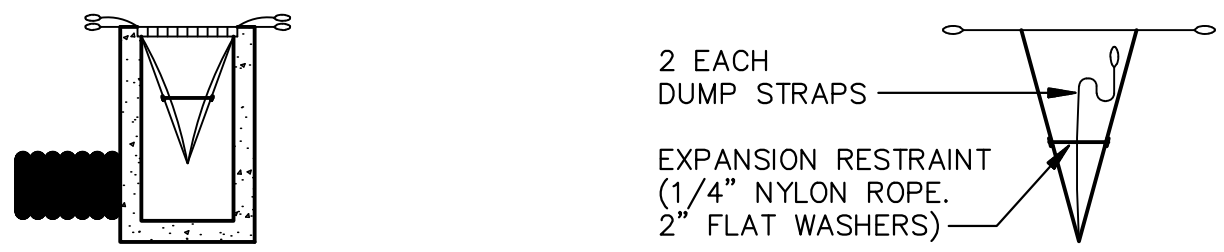


**BIKE RACK (PROFILE)**

NOT TO SCALE

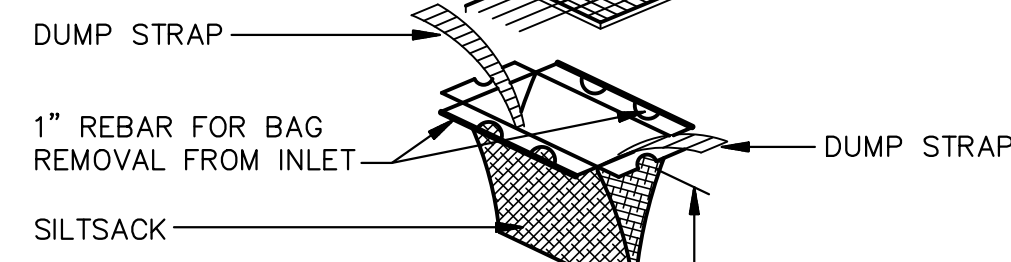


**NOTE:** TEMPORARY INLET SEDIMENT FILTER TO BE INSTALLED ON ALL PAVED CATCH BASINS OR STORM INLETS. INLET FILTER TO BE SIMILAR TO "STREAMGUARD" AS MANUFACTURED BY STORMWATER SERVICES CORPORATION (206-767-0441) OR "SILTSACK" AS MANUFACTURED BY ATLANTIC CONSTRUCTION FABRICS, INC.; (800-448-3636). CLEAN FILTER AS NEEDED.



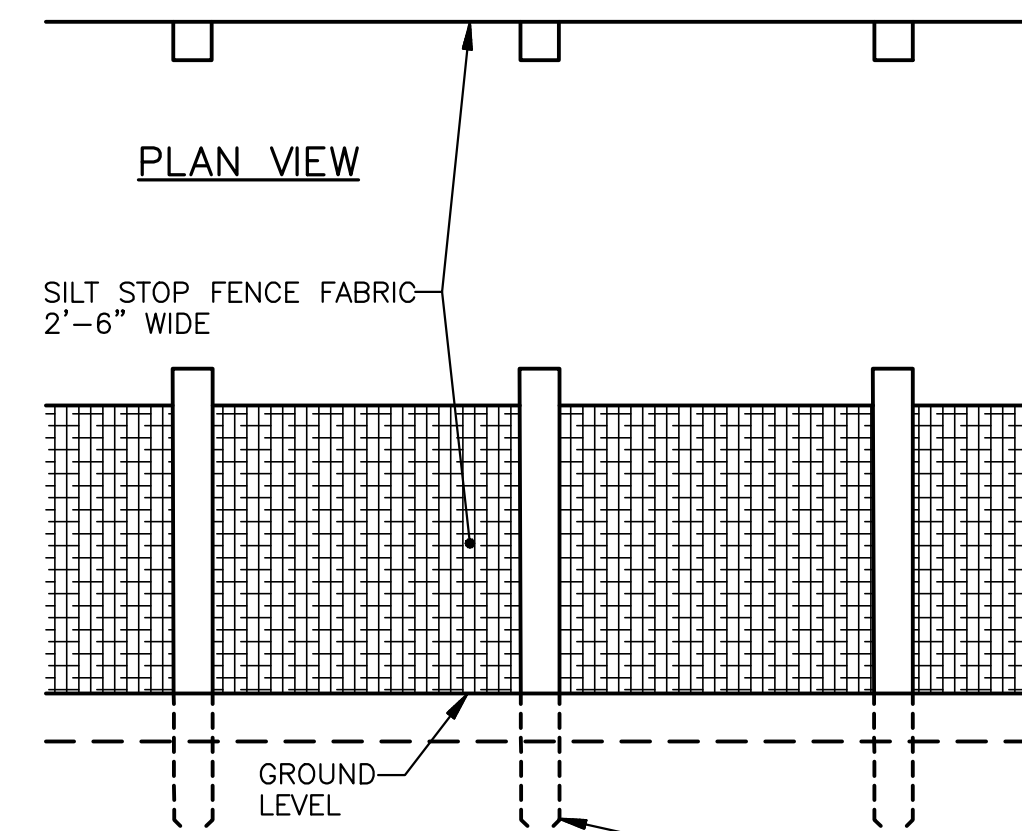
**INSTALLATION DETAIL**

**BAG DETAIL**



**SILT SACK DETAIL**

NO SCALE

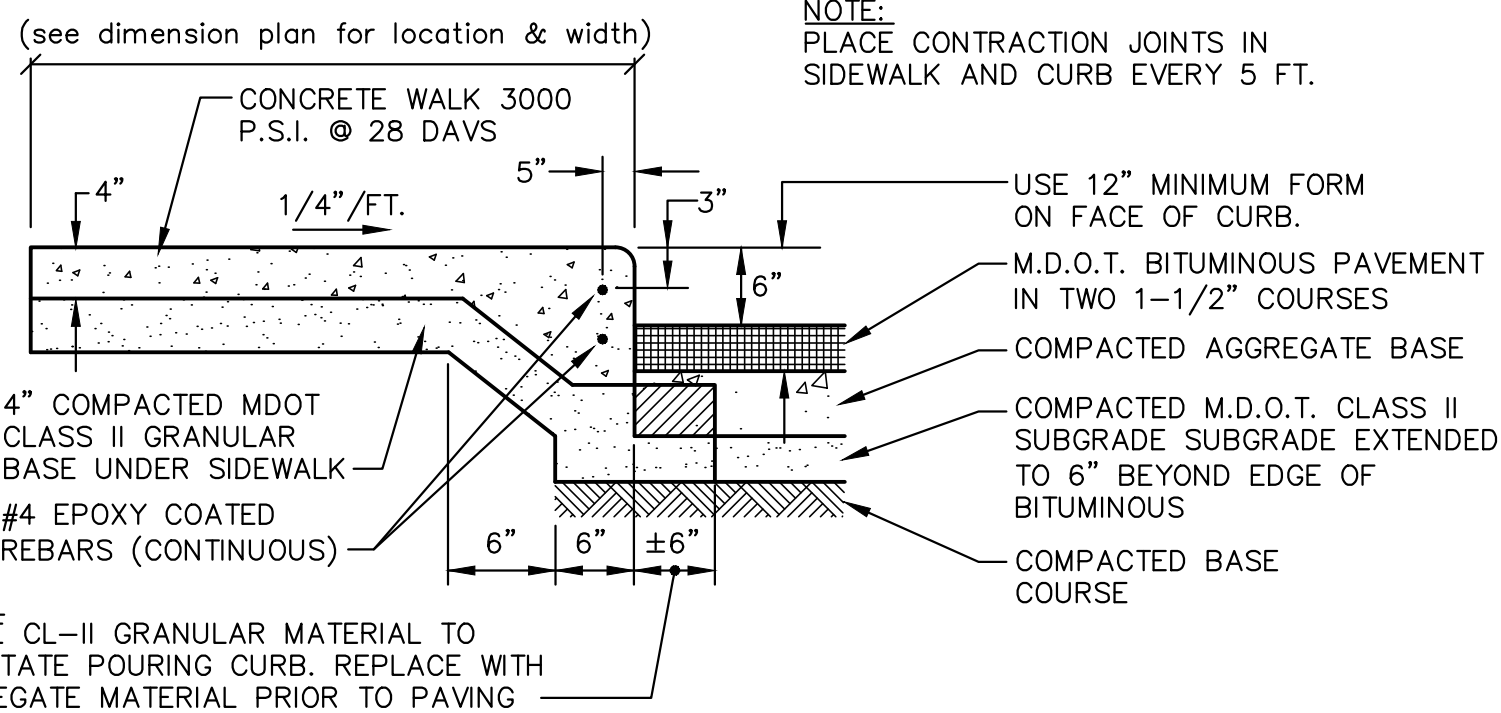


**FRONT VIEW**

**CROSS-SECTION**

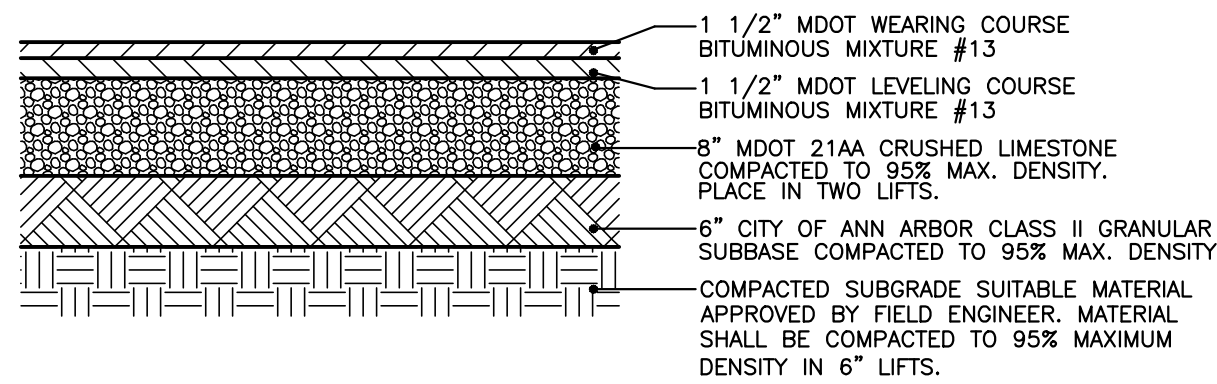
**SILT FENCE DETAIL**

NO SCALE



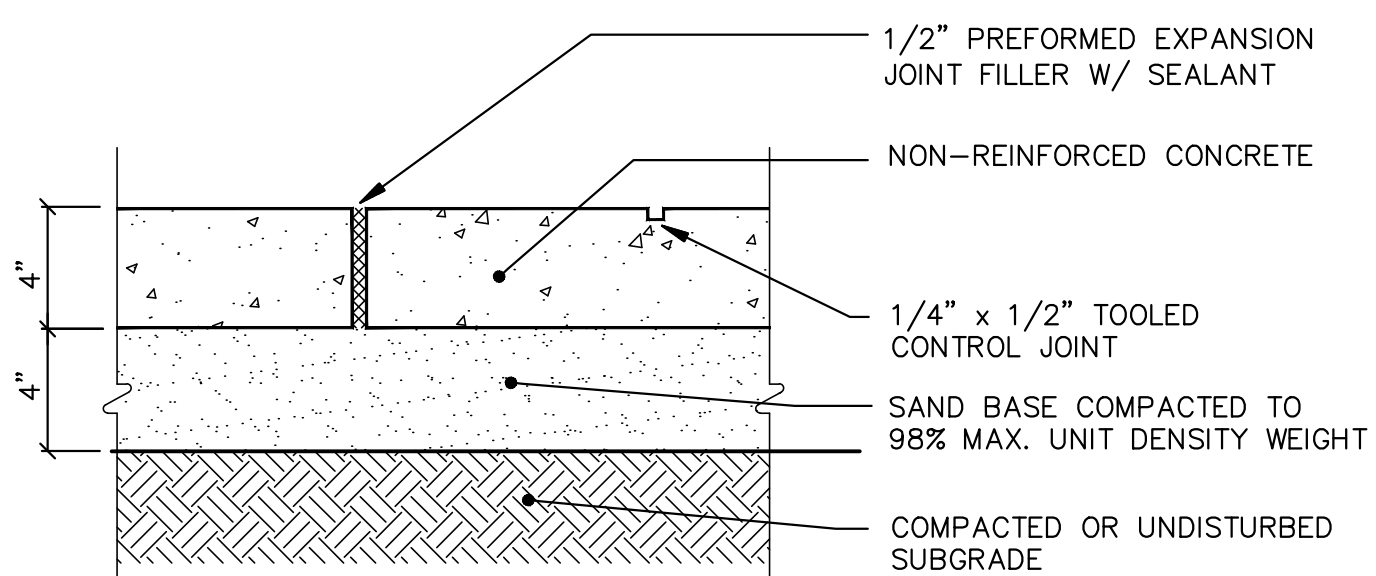
**TYPICAL INTEGRAL WALK AND CURB**

NOT TO SCALE



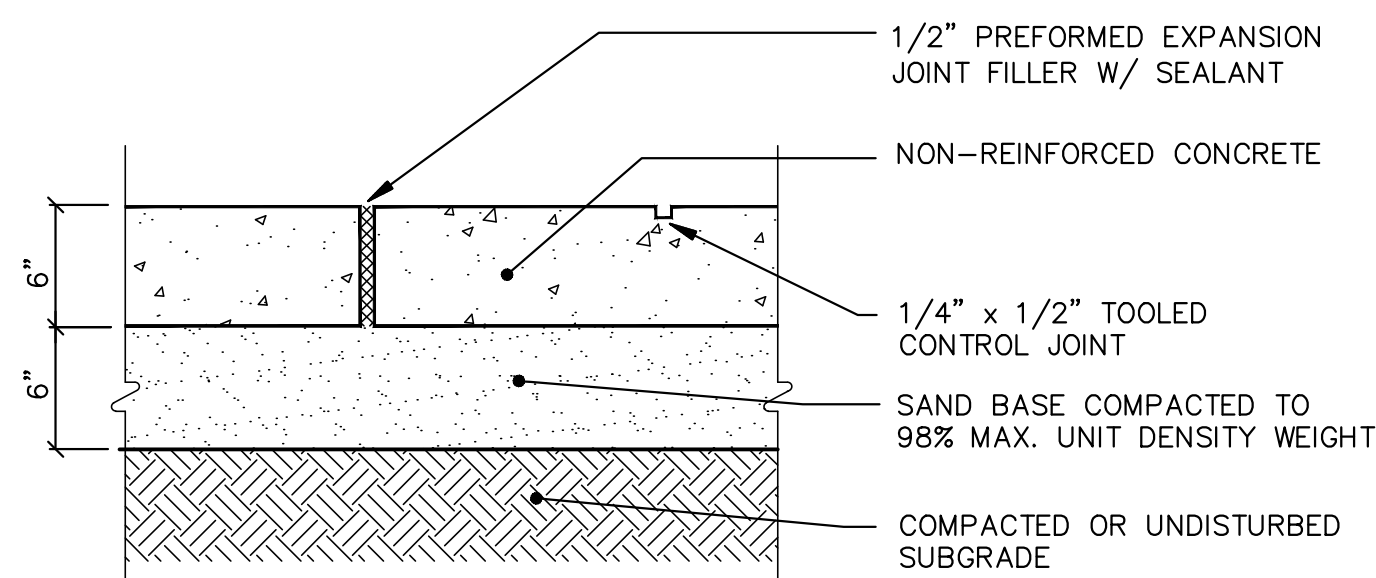
**BITUMINOUS PAVEMENT DETAIL**

NO SCALE



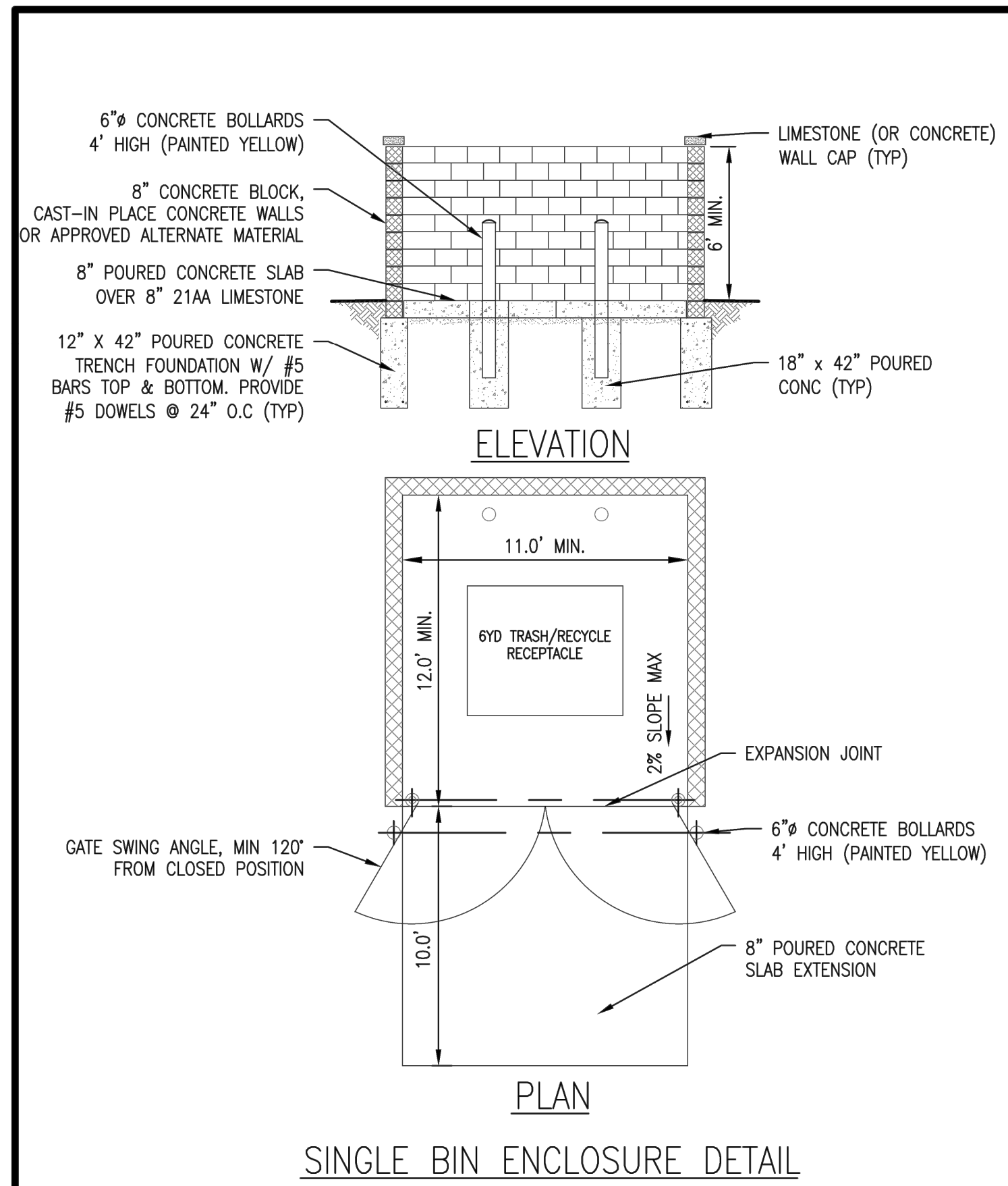
**CONCRETE WALK DETAIL**

NOT TO SCALE



**HEAVY DUTY CONCRETE DETAIL**

NOT TO SCALE

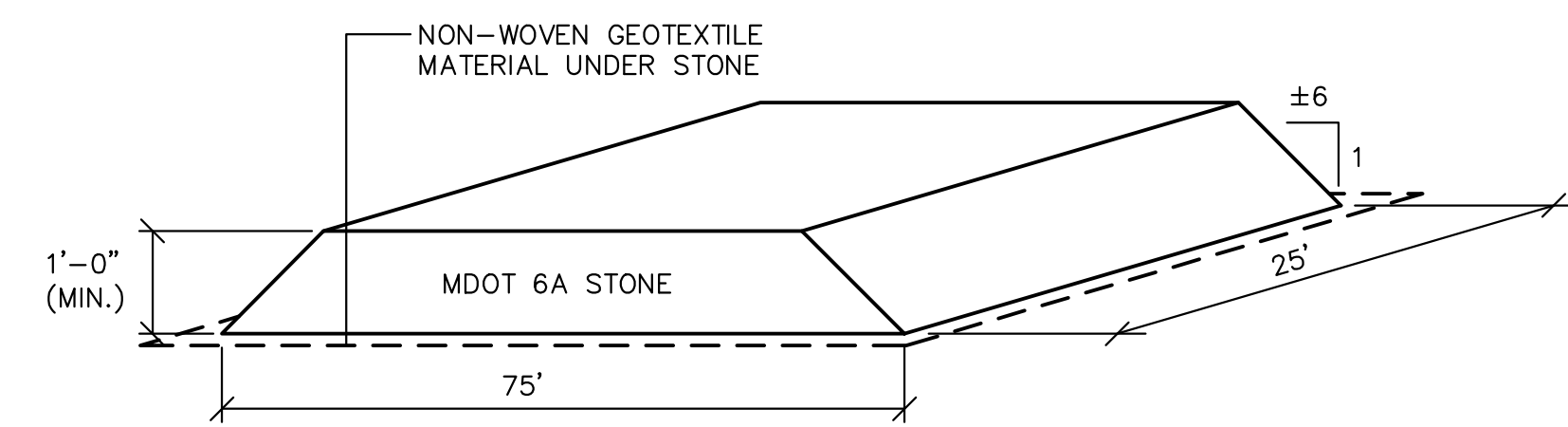


**SINGLE BIN ENCLOSURE DETAIL**



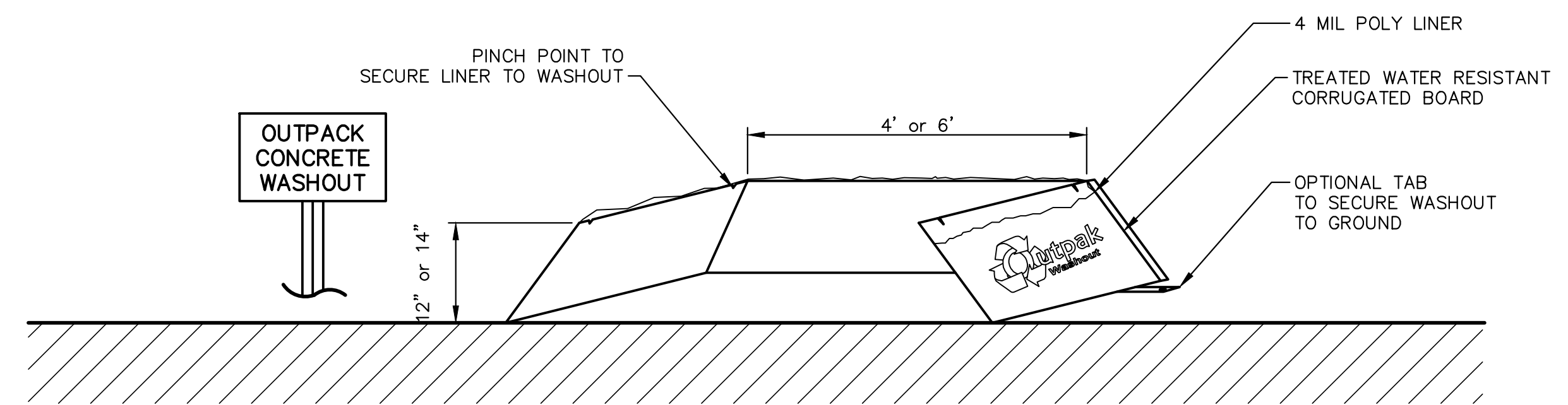
**CITY OF ANN ARBOR**  
**PUBLIC SERVICES**  
301 EAST HURON STREET  
P.O. BOX 9647  
ANN ARBOR, MI 48107-9647  
734-794-6410  
www.a2gov.org

00	06/04/18	OHM	CJE
REV. NO.	DATE	DRAWN BY	CHECKED BY
<b>SOLID WASTE STANDARD DETAILS</b>			
DR. OHM	CH. CJE	DRAWING NO.	
SCALE N.T.S.	DATE 12/29/15	PAGE 1	



**GRAVEL MUD TRACKING MAT**

NOT TO SCALE



**NOTES:**

1. THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON THIS PROJECT.
2. SIGNS SHALL BE PLACED AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT.
3. THE CONCRETE WASHOUT AREA WILL BE REPLACED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTE CONCRETE AND OTHER LIQUID WASTE.
4. WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
5. DO NOT MIX EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON-SITE.
6. DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
7. AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS.
8. LOCATE WASHOUT AREA AT LEAST 50' (15 METERS) FROM STORM DRAINS, OPEN DITCHES, OR WATERBODIES.
9. WASH OUT WASTES INTO THE OUTPACK WASHOUT AS SHOWN WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.

**OUTPACK CONCRETE WASHOUT DETAIL**

NOT TO SCALE







DAMIAN  
 FARRELL  
 DESIGN  
 GROUP

359 METTY DRIVE, SUITE 4A  
 ANN ARBOR, MI 48103  
 tel: 734.998.1331

FOR SITE PLAN APPROVAL

2385 E ELLSWORTH  
 2385 E ELLSWORTH ROAD  
 ANN ARBOR, MI 48108

DATE	DESCRIPTION
09.26.19	SITE PLAN APPROVAL

DESIGN	Designer
DRAWN	Author
PROJECT NO.	180208_05_07

PERSPECTIVE &  
 STREETWALL

**Ao.00**



FOR SITE PLAN APPROVAL

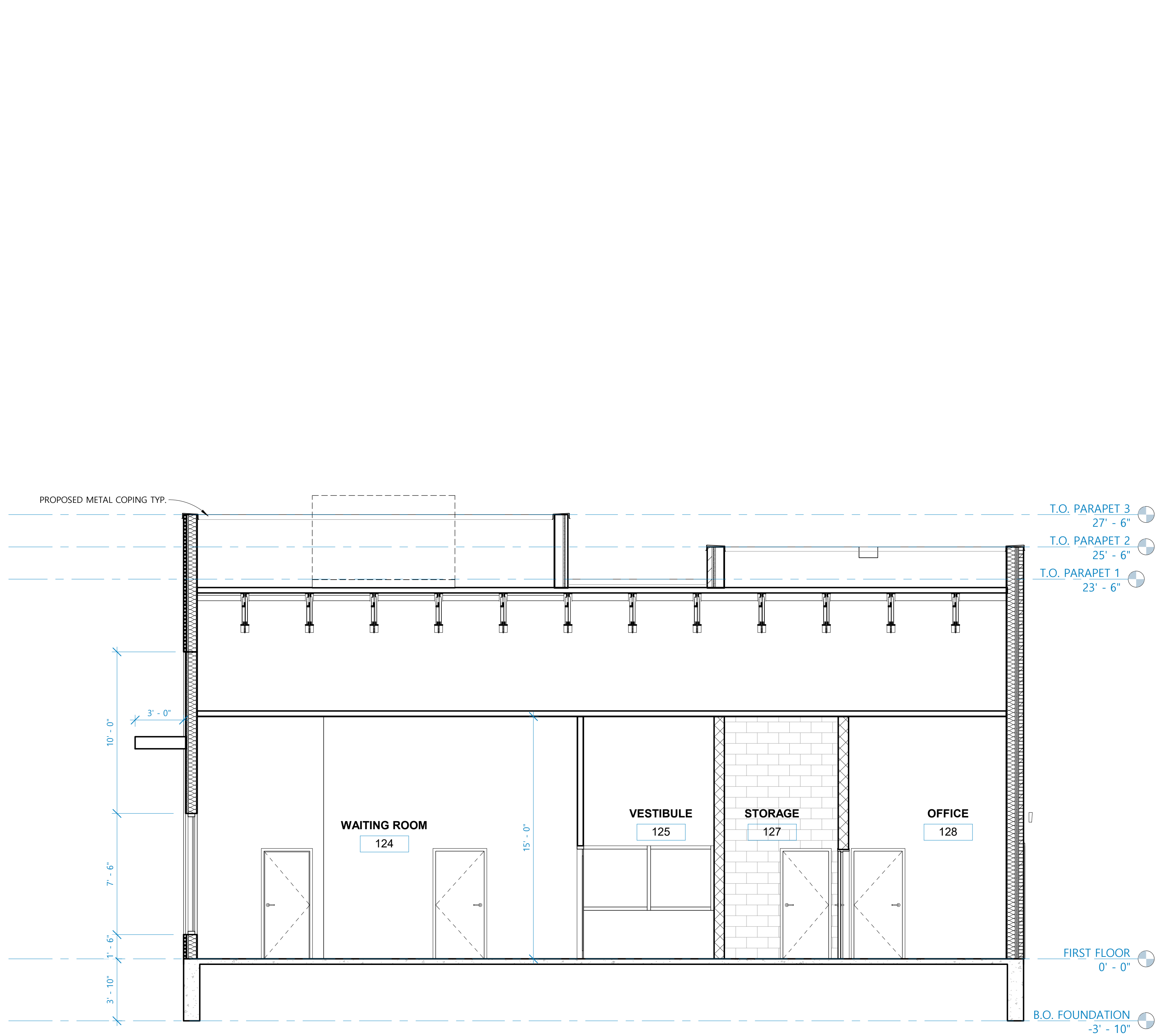
2385 E ELLSWORTH  
2385 E ELLSWORTH ROAD  
ANN ARBOR, MI 48108

DATE	DESCRIPTION
09.26.19	SITE PLAN APPROVAL

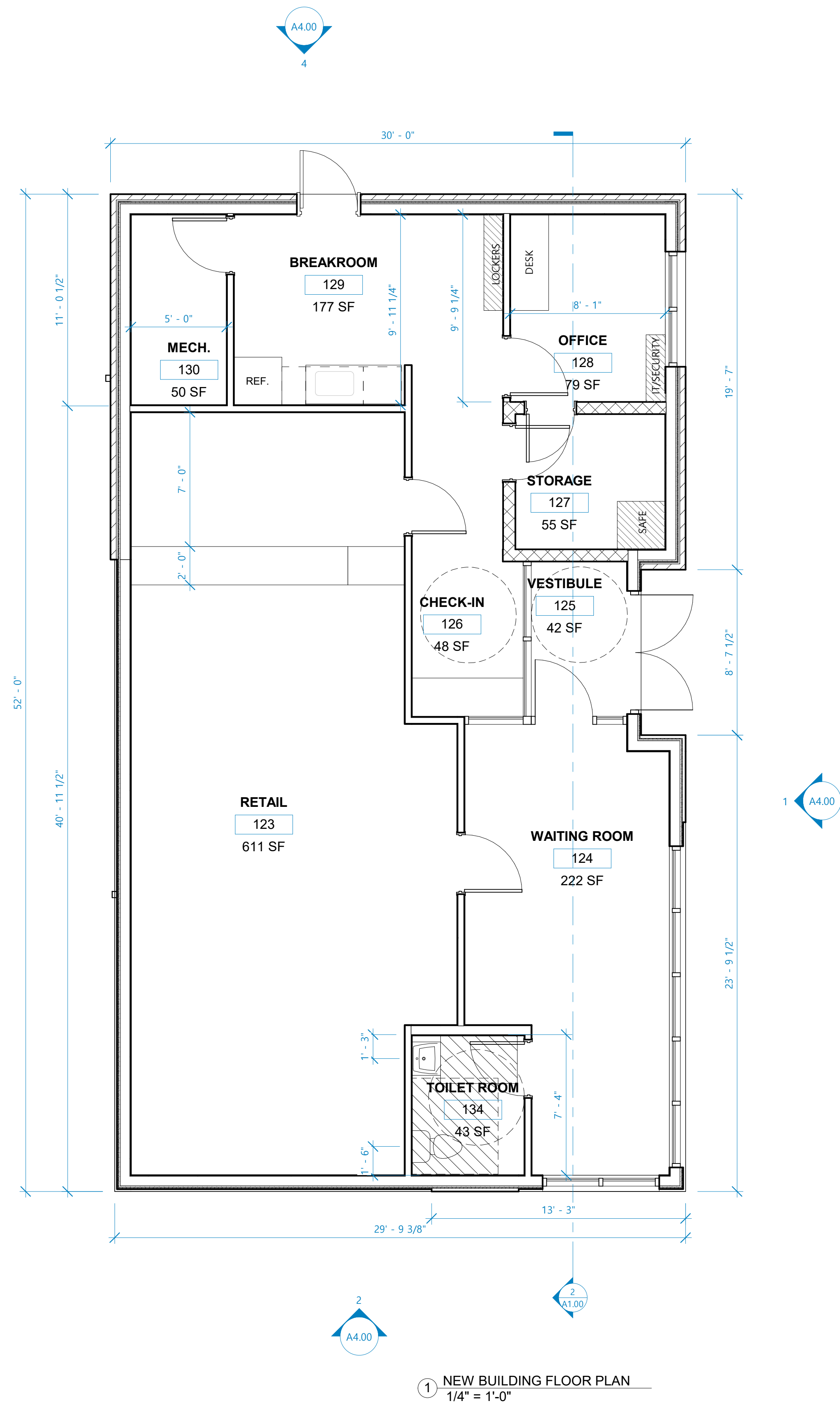
DESIGN	Designer
DRAWN	Author
PROJECT NO.	180208_05_07

FLOOR PLAN & SECTION

**A1.00**



2 PROPOSED BUILDING SECTION  
1/4" = 1'-0"



1 NEW BUILDING FLOOR PLAN  
1/4" = 1'-0"

