

ANN ARBOR HISTORIC DISTRICT COMMISSION

Staff Report

ADDRESS: 209 Murray, Application Number HDC16-141

DISTRICT: Old West Side Historic District

REPORT DATE: July 14, 2016

REPORT PREPARED BY: Jill Thacher, Historic Preservation Coordinator

REVIEW COMMITTEE DATE: Monday, July 11, 2016

	OWNER	APPLICANT
Name:	McLain Clutter	Same
Address:	209 Murray Avenue Ann Arbor, MI	
Phone:	(917) 399-6016	

BACKGROUND: This one-and-a-half story gable fronter first appears in City Directories in 1908 as the home of William Pfeiffle, laborer. In 1909 and 1910 Mrs. Clemo is listed as the occupant. It features a full-width front porch with turned posts, and one-over-one double-hung windows.

LOCATION: The site is located on the east side of Murray Avenue, north of West Liberty and south of West Washington. The house is in the Allen Creek floodplain, and touches the floodway. The creek is underground on the next lot south.

APPLICATION: The applicant seeks HDC approval to elevate existing house 2 feet by raising the foundation, fill the basement, and add a 400 square foot, 2-story addition. The existing asbestos shingles will be removed and the original wood siding and trim will be repaired and restored.

APPLICABLE REGULATIONS:

From the Secretary of the Interior's Standards for Rehabilitation:

- (2) The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- (5) Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to

protect the historic integrity of the property and its environment.

- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):

Additions

Recommended: Constructing a new addition so that there is the least possible loss of historic materials and so that character-defining features are not obscured, damaged, or destroyed.

Considering the attached exterior addition both in terms of the new use and the appearance of other buildings in the historic district or neighborhood. Design for the new work may be contemporary or may reference design motifs from the historic building.

Locating the attached exterior addition at the rear or on an inconspicuous side of a historic building; and limiting its size and scale in relationship to the historic building.

Designing new additions in a manner that makes clear what is historic and what is new.

Not Recommended: Attaching a new addition so that the character-defining features of the historic building are obscured, damaged, or destroyed.

Designing a new addition so that its size and scale in relation to the historic building are out of proportion, thus diminishing the historic character.

Building Site

Recommended: Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character.

Retaining the historic relationship between buildings and the landscape.

Not Recommended: Removing or radically changing buildings and their features or site features which are important in defining the overall historic character of the property so that, as a result, the character is diminished.

From the Ann Arbor Historic District Design Guidelines (other guidelines may apply):

Guidelines for All Additions

Appropriate: Placing a new addition on a non-character-defining or inconspicuous elevation and limiting the size and scale in relationship to the historic property.

Placing new walls in a different plane from the historic structure in a subordinate position to the historic fabric.

Designing a new addition in a manner that makes clear what is historic and what is new.

Limiting the size and scale of the addition in relationship to the historic building so that it does not diminish or visually overpower the building or the district. The addition's footprint should exceed neither half of the original building's footprint nor half of the original building's total floor area.

Not Appropriate: Designing an addition that overpowers or dramatically alters the original building through size or height.

STAFF FINDINGS:

1. This is a unique application. The home is located within the Allen Creek floodplain, and the property is located partially within the floodway. By filling the basement with a combination of dirt, sand and gravel to receive a slab on grade and raising the house 21 inches, it would be in compliance with FEMA and Michigan Residential Code standards to protect the structure from future flooding. The house is unusually low to the ground to start with, which makes the additional foundation height acceptable in terms of its appearance in relation to the house and surrounding historic district. The homeowner has been working with the city's Stormwater Coordinator and Building Official on code compliance.
2. The proposed addition is stated to be 400 square feet but looks on the drawings to be smaller, 325 square feet (8' deep, the maximum allowed by zoning setbacks, and 20'4" wide). The current floor area of the house is 1,100 square feet. The proposed addition is much less than 50% of the existing original house. The project would require the removal of a non-historic rear shed, a second floor window opening (presumed to be original proportions), and a rear slider and deck.
3. The homeowner is requesting the addition to partially compensate for the space lost in filling in the basement. Mechanical equipment (furnace/water heater/electrical/gas/plumbing) now in the basement will be relocated to a new mechanical closet on the ground floor or reworked to keep it above the flood elevation level. The proposed addition will sit on piers to allow flood water to pass beneath it freely. Materials on the addition include wide (at least double the width of the existing wood) cementitious lap siding that will be painted to match the wood siding and trim that will be uncovered with the removal of the asbestos shingles. The roof pitch and eave overhang matches the existing.
4. Insetting additions from corners, per the *Design Guidelines*, is usually required. Staff is suggesting allowing flexibility on this application because of the piers being used to support the addition and the 8 ½" lower roof ridge on the addition than the existing house. Those will distinguish the mass from the historic home, and cementitious siding and trim plus a different fenestration pattern (square awning windows) will further ensure it reads as an addition.

5. Restoring the existing front porch is appreciated. The current wood lattice is diamond shaped. The more historically correct use of square lattice would be appreciated, but staff does not feel it needs to be a requirement. Altering the porch roof to hipped and installing a window in a suspected boarded opening would both be appropriate, but will require proof of their previous existence once the asphalt siding is removed, and the motion suggested by staff is conditioned as such.
6. Staff appreciates the homeowners willingness to protect the structure from future flooding and believes the proposed work will be sensitive to the house and neighborhood. It generally meets the Ann Arbor Historic District Design Guidelines and the Secretary of the Interior's Guidelines and Standards for Rehabilitation.

POSSIBLE MOTIONS: (Note that the motion is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

I move that the Commission issue a certificate of appropriateness for the application at 209 Murray Avenue, a contributing property in the Old West Side Historic District, to raise the house, fill the basement, and construct a 400 square foot, two-story rear addition, on the condition that evidence of a hipped front porch roof and stair window on the south elevation are provided to staff before that work may be submitted for building permits. As conditioned, the work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 5, 9 and 10 and the guidelines for additions and building site; and the *Ann Arbor Historic District Design Guidelines* for additions.

MOTION WORKSHEET:

I move that the Commission issue a Certificate of Appropriateness for the work at 209 Murray Avenue in the Old West Side Historic District

____ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

ATTACHMENTS: Application, drawings, photos.

2008 Survey Photo, 209 Murray








City of Ann Arbor
PLANNING & DEVELOPMENT SERVICES — PLANNING SERVICES

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p. 734.794.6265 | f. 734.994.8312 | planning@a2gov.org

ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION

Section 1: Property Being Reviewed and Ownership Information
Address of Property: <u>209 Murray Avenue</u>
Historic District: <u>Old West Side</u>
Name of Property Owner (If different than the applicant): _____
Address of Property Owner: <u>209 Murray Avenue</u>
Daytime Phone and E-mail of Property Owner: <u>(917) 399 6016 mclainc@umich.edu</u>
Signature of Property Owner: <u></u> Date: <u>6.22.16</u>
Section 2: Applicant Information
Name of Applicant: <u>McLain Clutter</u>
Address of Applicant: <u>209 Murray Avenue</u>
Daytime Phone: (_____) _____ Fax: (_____) _____
E-mail: <u>mclainc@umich.edu</u>
Applicant's Relationship to Property: <input checked="" type="checkbox"/> owner <input type="checkbox"/> architect <input type="checkbox"/> contractor <input type="checkbox"/> other
Signature of applicant: <u></u> Date: _____
Section 3: Building Use (check all that apply)
<input checked="" type="checkbox"/> Residential <input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Multiple Family <input type="checkbox"/> Rental <input type="checkbox"/> Commercial <input type="checkbox"/> Institutional
Section 4: Stille-DeRossett-Hale Single State Construction Code Act (This item MUST BE INITIALED for your application to be PROCESSED)
Public Act 169, Michigan's Local Historic Districts Act, was amended April 2004 to include the following language: "...the applicant has certified in the application that the property where the work will be undertaken has, or will have before the proposed completion date, a a fire alarm or smoke alarm complying with the requirements of the Stille-DeRossett-Hale Single State Construction Code Act, 1972 PA 230, MCL 125.1501 to 125.1531." Please initial here: <u></u>

Section 5: Description of Proposed Changes (attach additional sheets as necessary)

1. Provide a brief summary of proposed changes. See attached

2. Provide a description of existing conditions. See attached

3. What are the reasons for the proposed changes? See attached

4. Attach any additional information that will further explain or clarify the proposal, and indicate these attachments here.

See attached

5. Attach photographs of the existing property, including at least one general photo and detailed photos of proposed work area.

STAFF USE ONLY

Date Submitted: _____ Application to _____ Staff or _____ HDC

Project No.: _____ **HDC** _____ Fee Paid: _____

Pre-filing Staff Reviewer & Date: _____ Date of Public Hearing: _____

Application Filing Date: _____ Action: _____ HDC COA _____ HDC Denial

Staff signature: _____ _____ HDC NTP _____ Staff COA

Comments:

Section 5: Description of proposed changes

1. Provide a brief summary of proposed changes.

The proposed changes consist of raising the existing 1100 square foot house by approximately two feet, filling the existing basement, and adding a 400 square foot, two-story addition. The addition will rest of two columns in the property's back yard. The interior of the house will also be substantially reorganized, and the exterior will be restored to its original appearance.

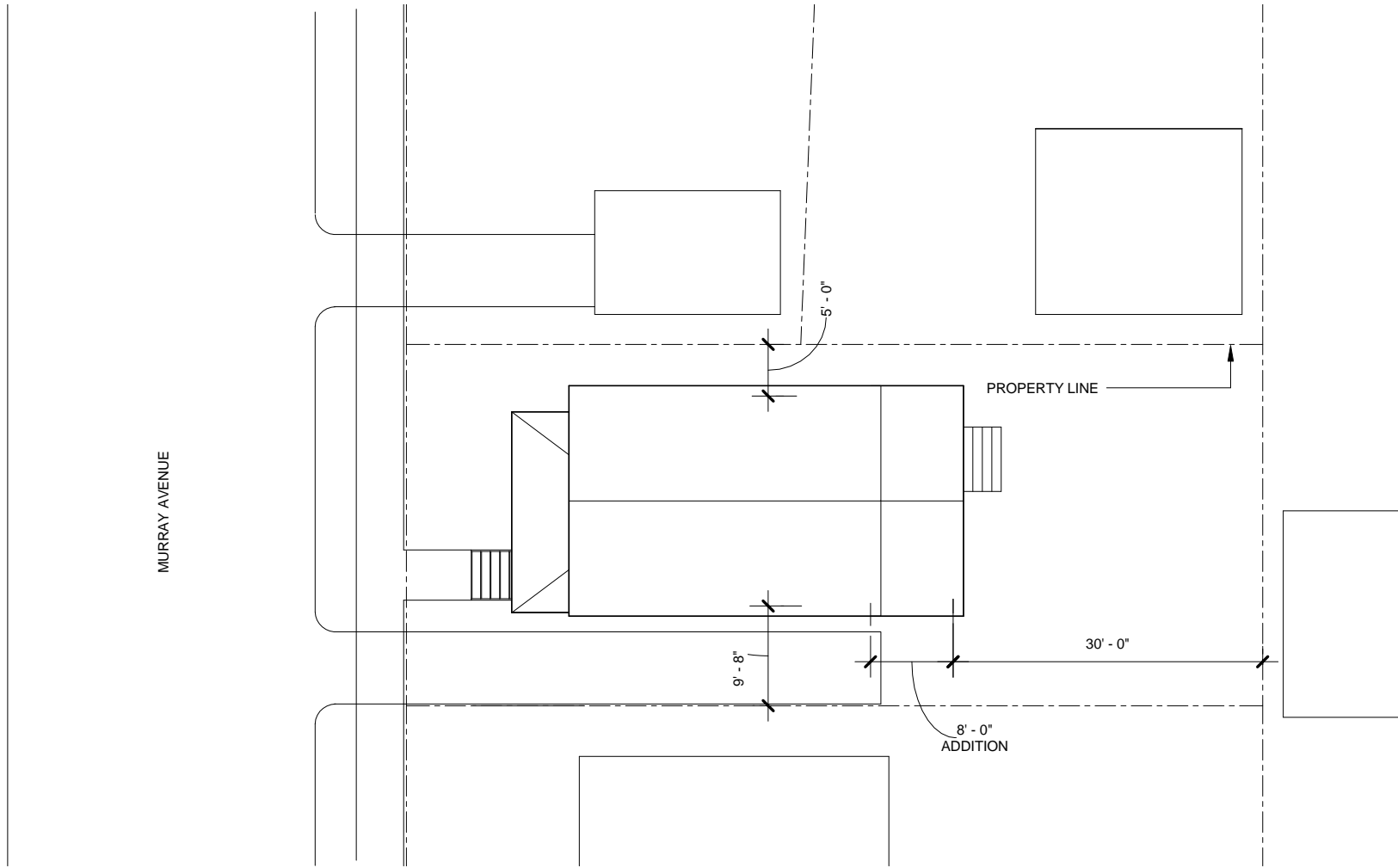
The existing house is located within the Allen Creek floodplain, and the property is located partially within the floodway. By raising the house and filling the basement, the proposal will comply with FEMA and Michigan Residential Code standards to protect the structure from future flooding. The small addition will also follow FEMA recommendations for building within flood prone areas, and will partially compensate for the space lost by filling the basement. In sum, the goal of the project is to protect the historic structure from potential flood risks, while enhancing the house in a way that is sensitive to the floodplain and accommodating of continued residential use.

2. Provide a description of existing conditions.

The existing 1100 square foot house was built in approximately 1900, and has been substantially renovated at least once before. None of the original plaster or ornament remains in the interior, and all of the original windows have been replaced, presumably within existing rough openings. The exterior wood and detailing has been covered in asbestos shingles. The house's foundation was rebuilt in the 1990's, and while it is structurally sound, within the past four years it has developed significant water seepage through the floor.

3. What are the reasons for the proposed changes.

As noted above, the primary goal of the project is to protect the historic structure from potential flood risks, while enhancing the house in a way that is sensitive to the floodplain and accommodating of persistent residential use. We also hope that our project will protect the house from changing flood conditions resultant from climate change, surrounding development, as well as recurrent flooding on the street that is the result of inadequate city storm sewage infrastructure. Finally, by filling the basement, we hope to prevent any health concerns that might result from the dioxane plume that is presently encroaching on Ann Arbor's Old West Side.



1 SITE PLAN
 1/16" = 1'-0"

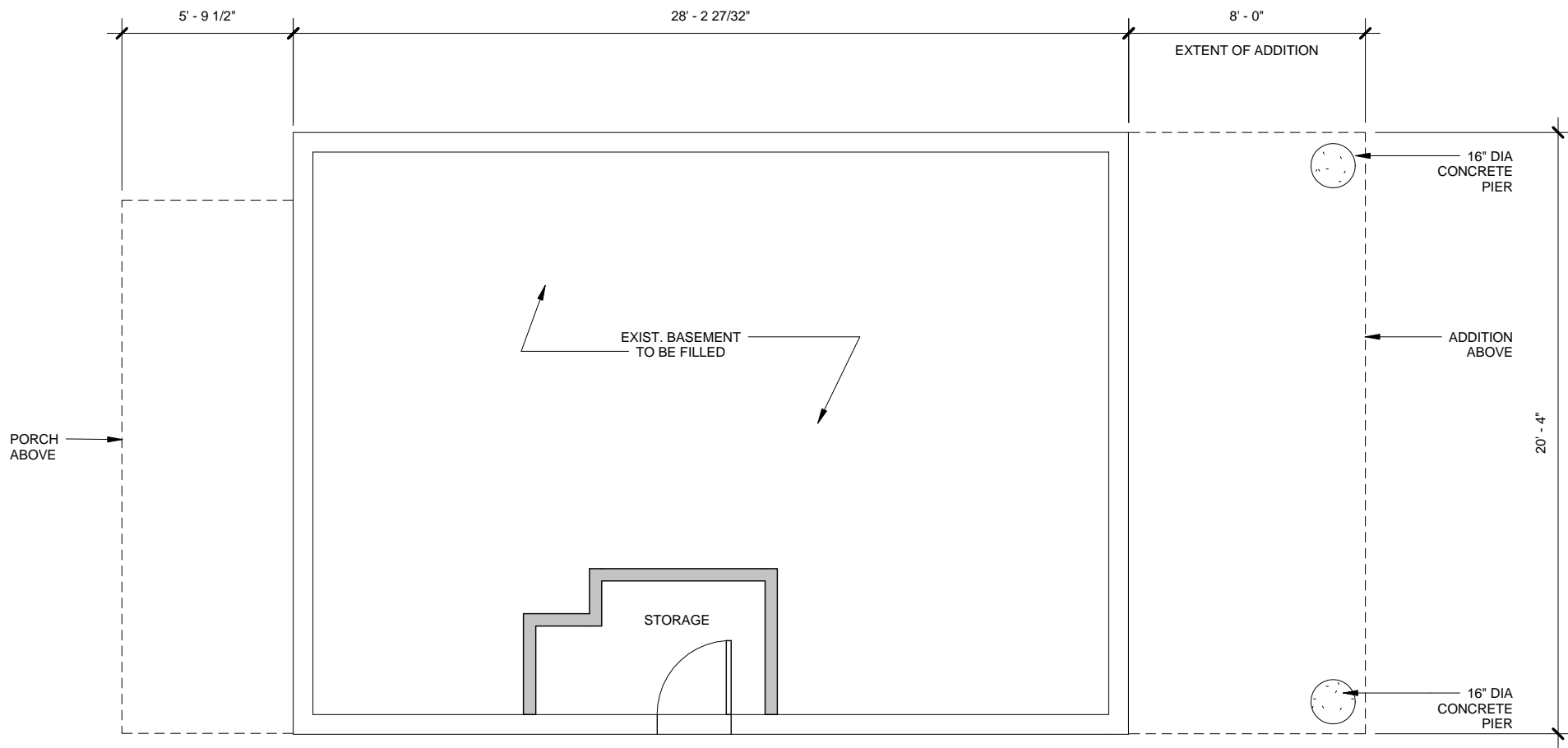
Clutter Addition

209 Murray Avenue

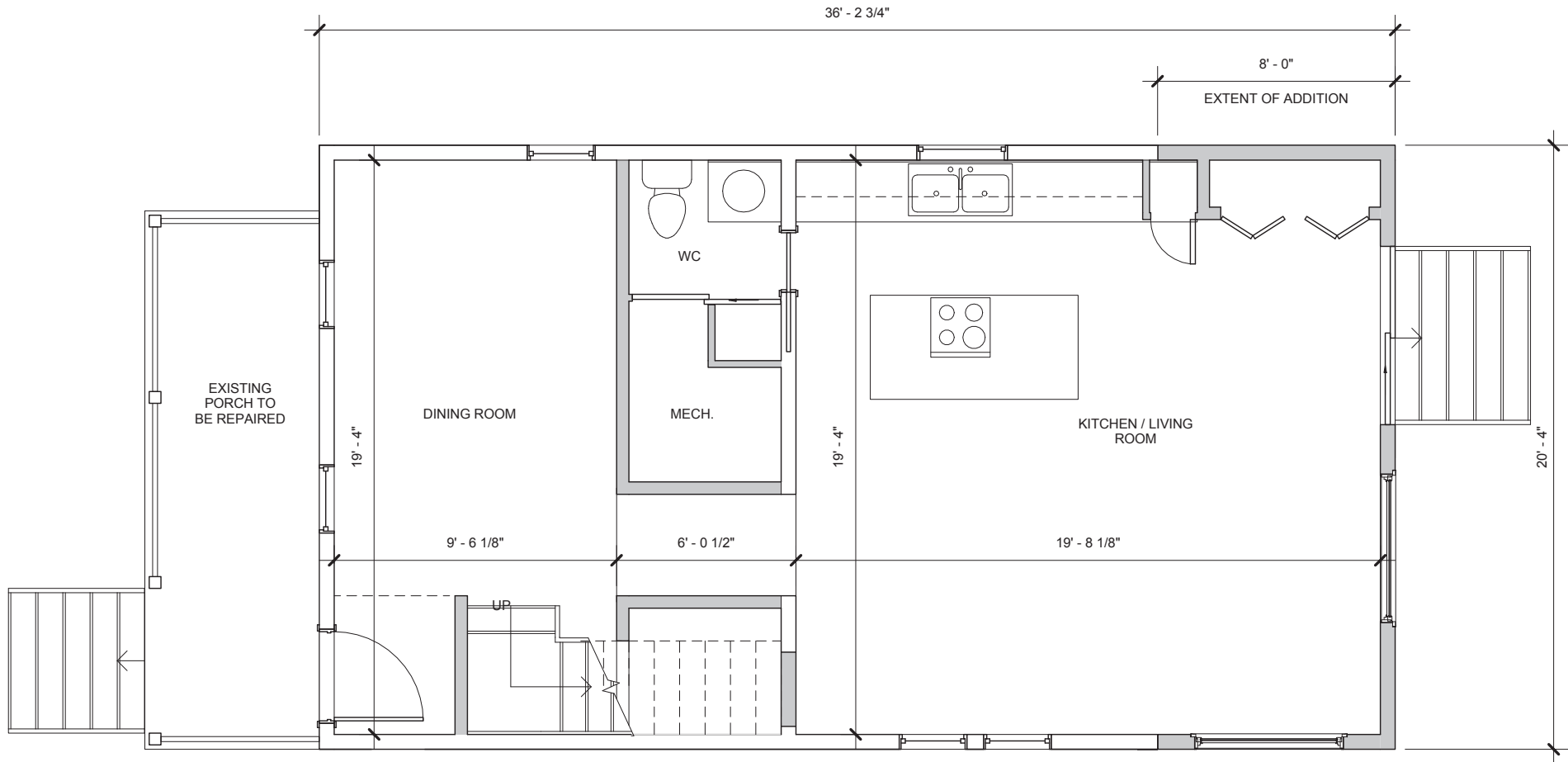
Site Plan

Scale: 1/16" = 1'-0"
 Date: 6-22-16

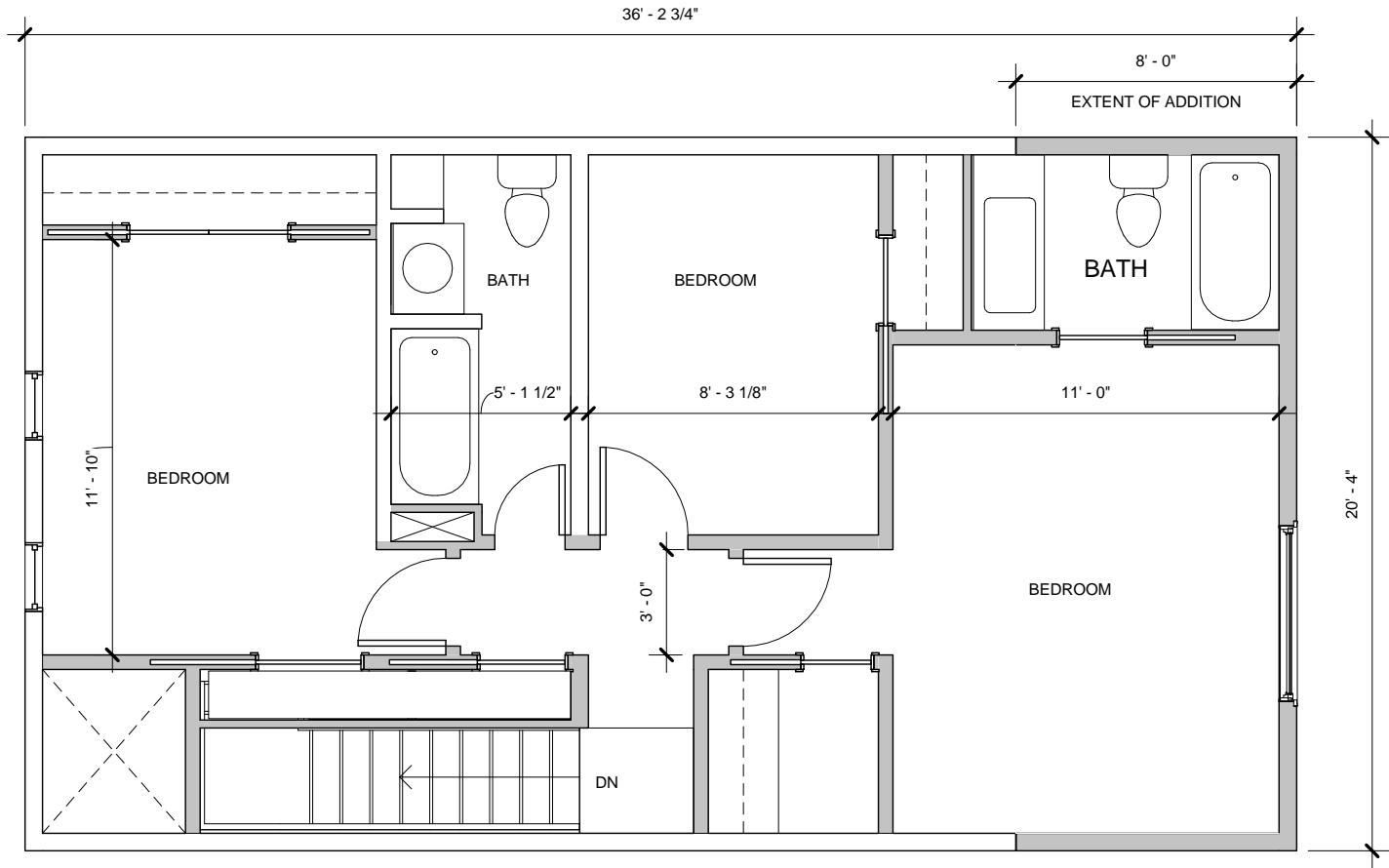
HDC 0



1 FOUNDATION PLAN
 3/16" = 1'-0"



1 FIRST FLOOR PLAN HDC
 3/16" = 1'-0"



NEW WALL

EXISTING WALL

1 SECOND FLOOR PLAN HDC
 3/16" = 1'-0"

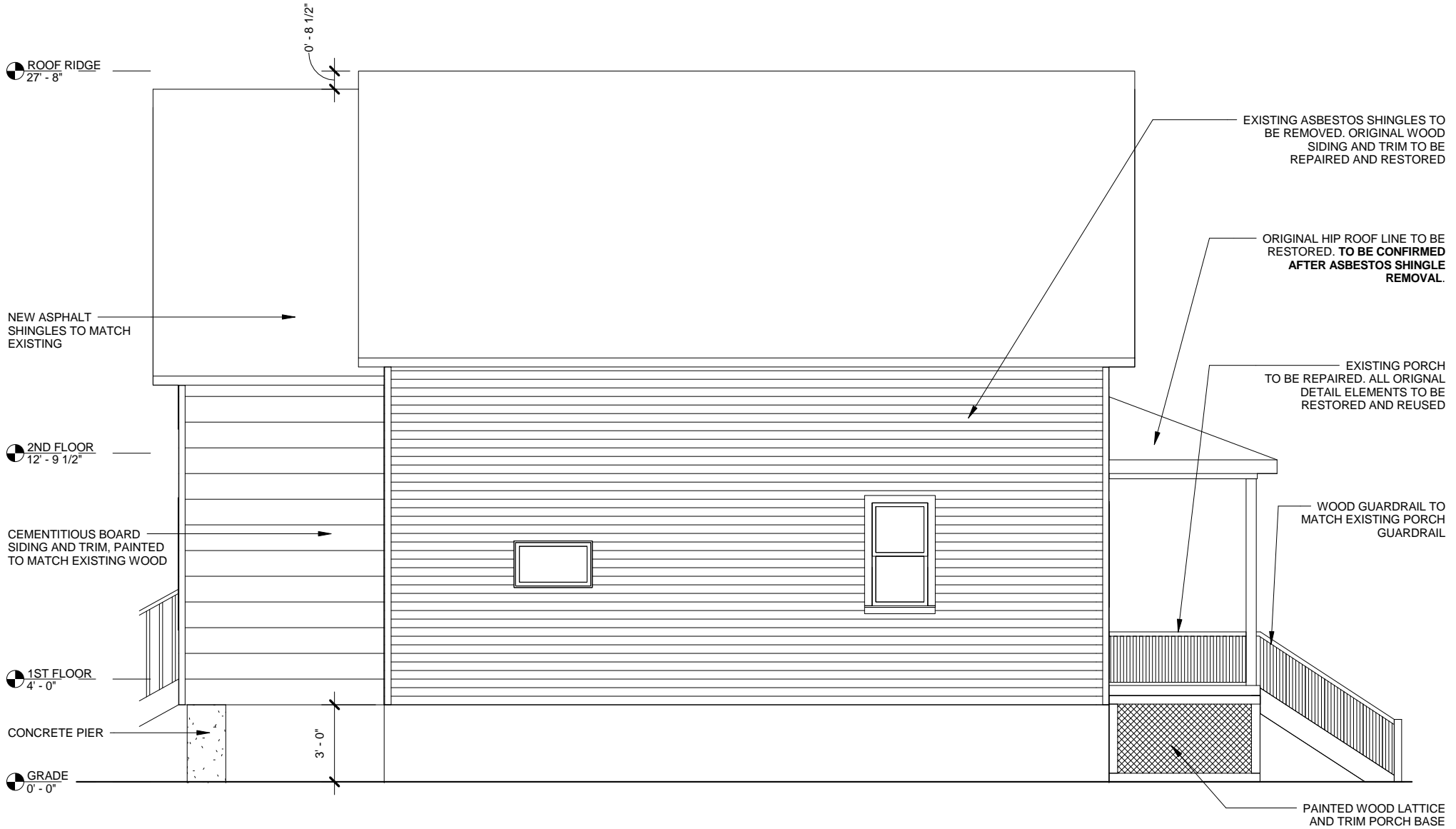
Clutter Addition

209 Murray Avenue

Second Floor Plan

Scale: 3/16" = 1'-0"
 Date: 6-22-16

HDC 3



1 NORTH ELEVATION HDC
 $\frac{3}{16}" = 1'-0"$

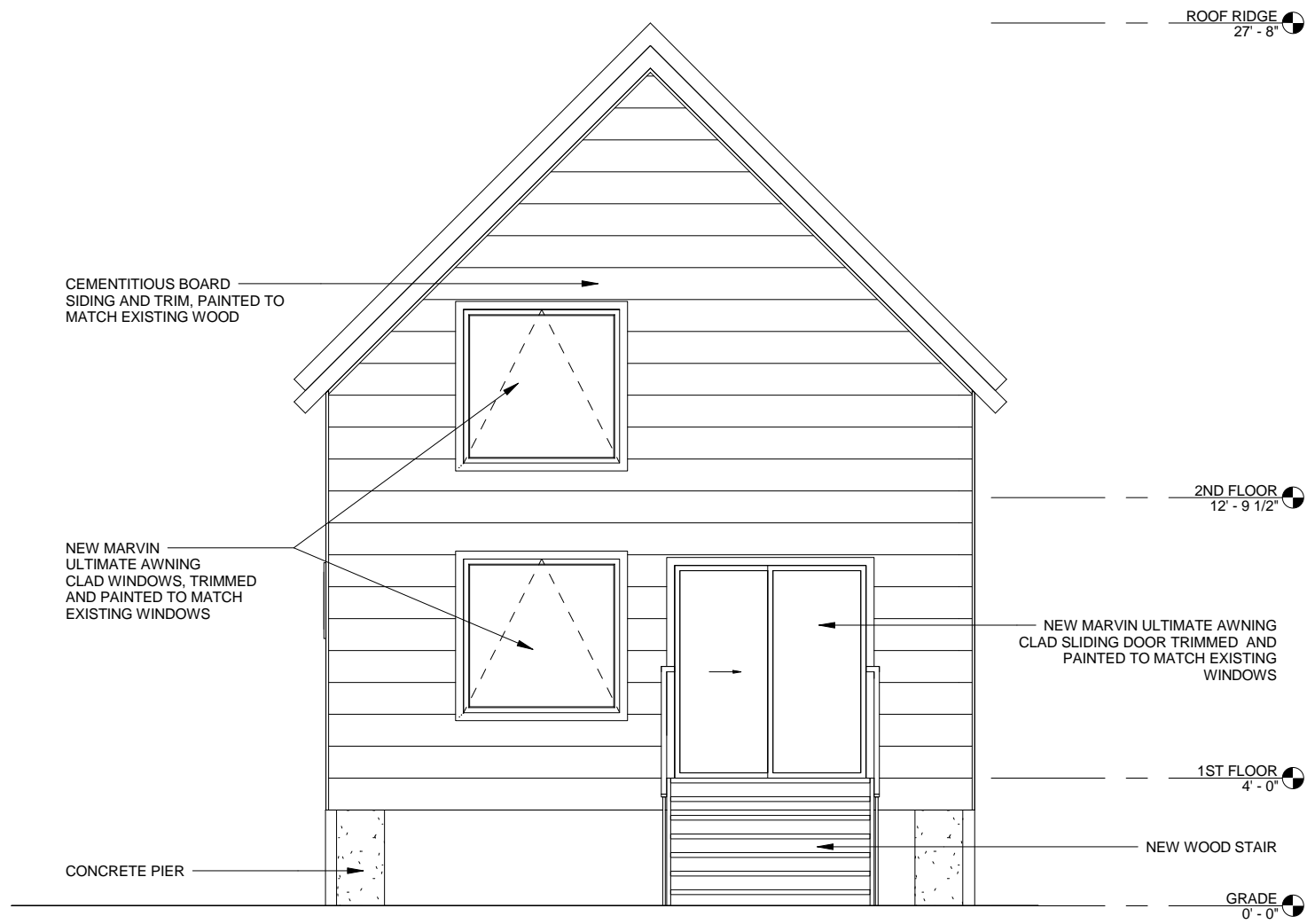
Clutter Addition

209 Murray Avenue

North Elevation

Scale: $\frac{3}{16}" = 1'-0"$
 Date: 6-22-16

HDC 4



1 EAST ELEVATION HDC
 3/16" = 1'-0"

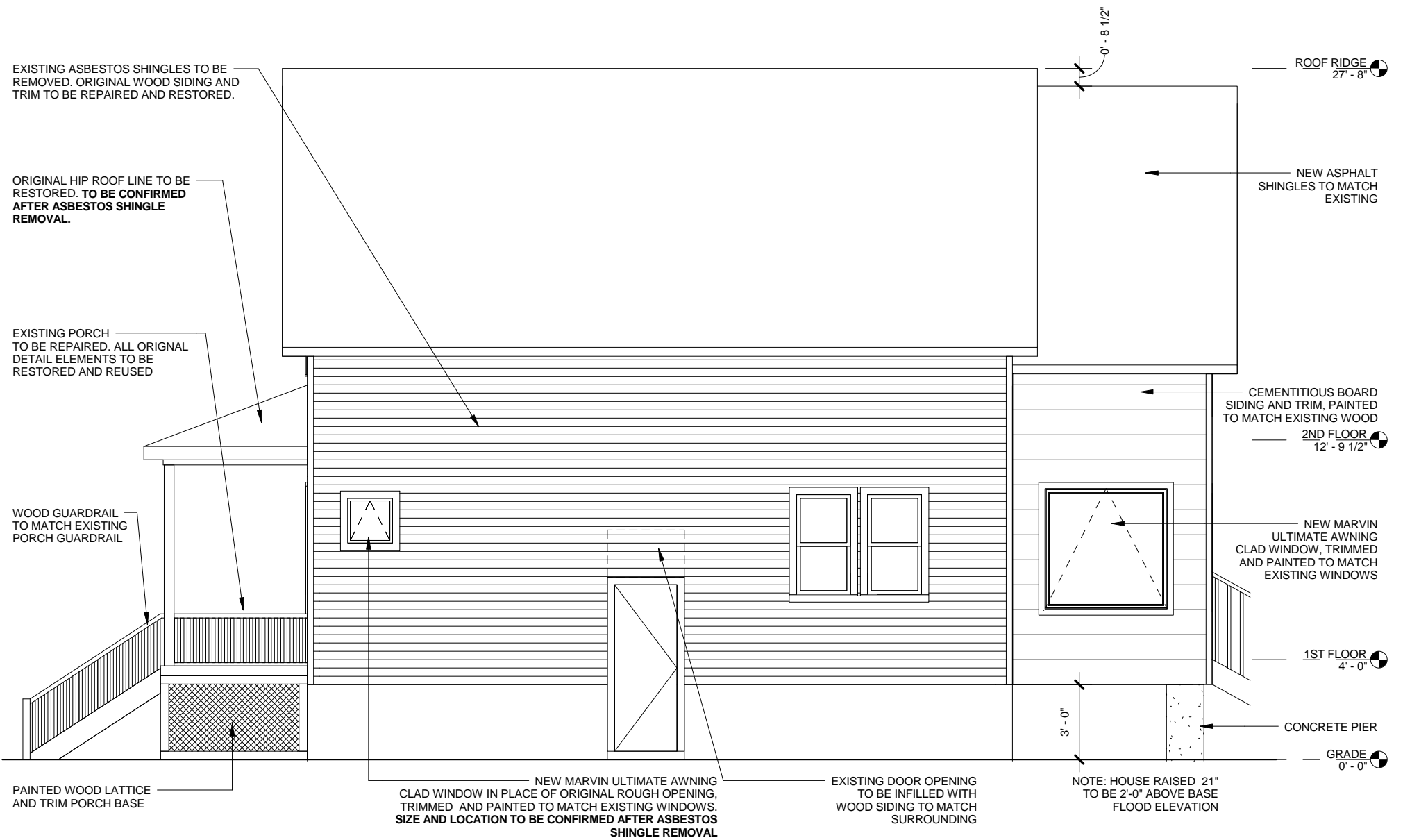
Clutter Addition

209 Murray Avenue

East Elevation

Scale: 3/16" = 1'-0"
 Date: 6-22-16

HDC 5



1 SOUTH ELEVATION HDC
3/16" = 1'-0"

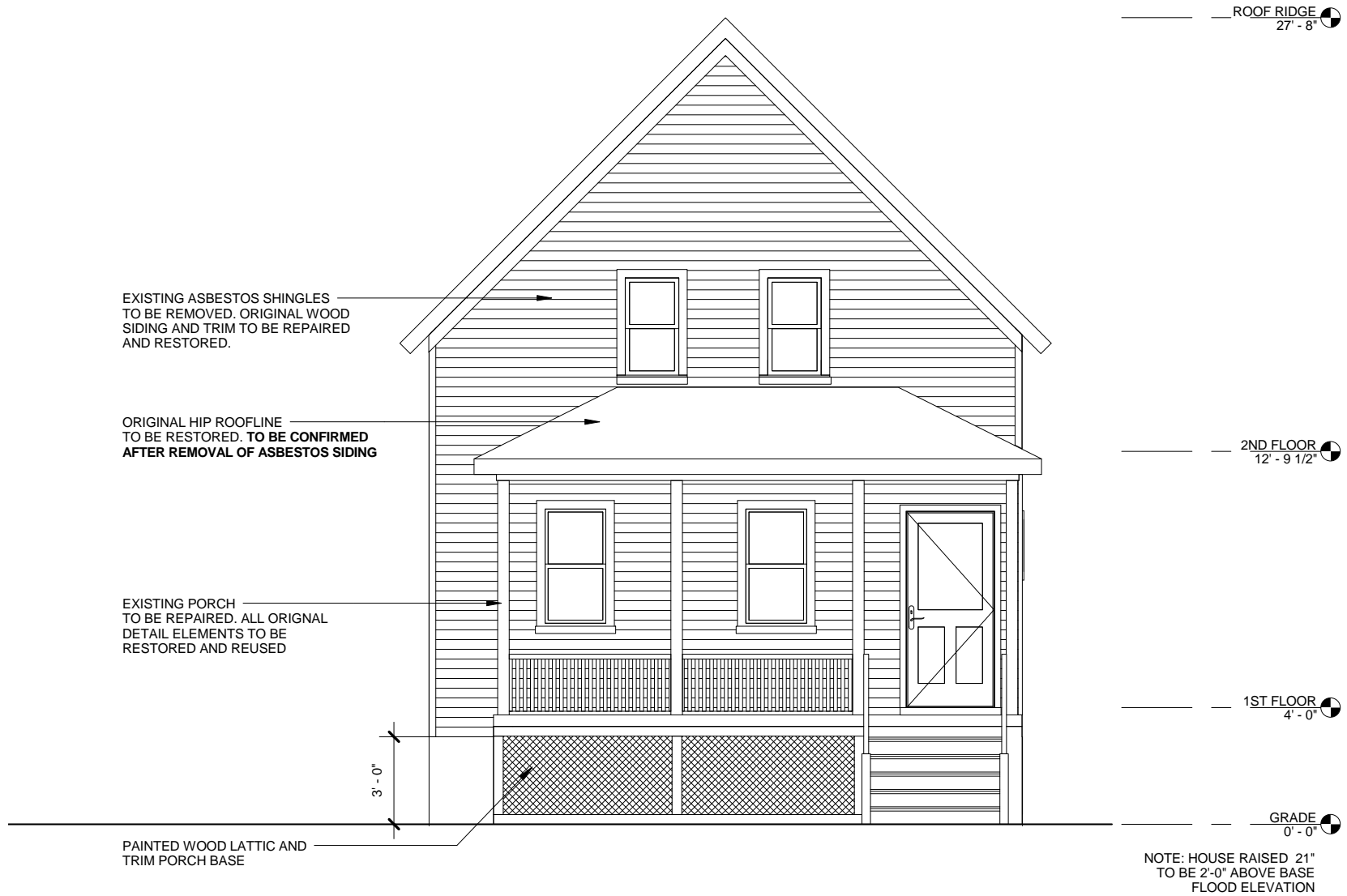
Clutter Addition

209 Murray Avenue

South Elevation

Scale: 3/16" = 1'-0"
Date: 6-22-16

HDC 6



1 WEST ELEVATION HDC
 3/16" = 1'-0"

Clutter Addition

209 Murray Avenue

West Elevation

Scale: 3/16" = 1'-0"
 Date: 6-22-16

HDC 7

ROOF RIDGE
25' - 8"

ASPHALT SHINGLES

ASBESTOS SHINGLES

2ND FLOOR
10' - 9 1/2"

EXISTING SHED TO BE
REMOVED

1ST FLOOR
2' - 0"

GRADE
0' - 0"

1'-0"

PAINTED WOOD
LATTICE AND TRIM
PORCH BASE

1 EXISTING NORTH ELEVATION
3/16" = 1'-0"

Clutter Addition

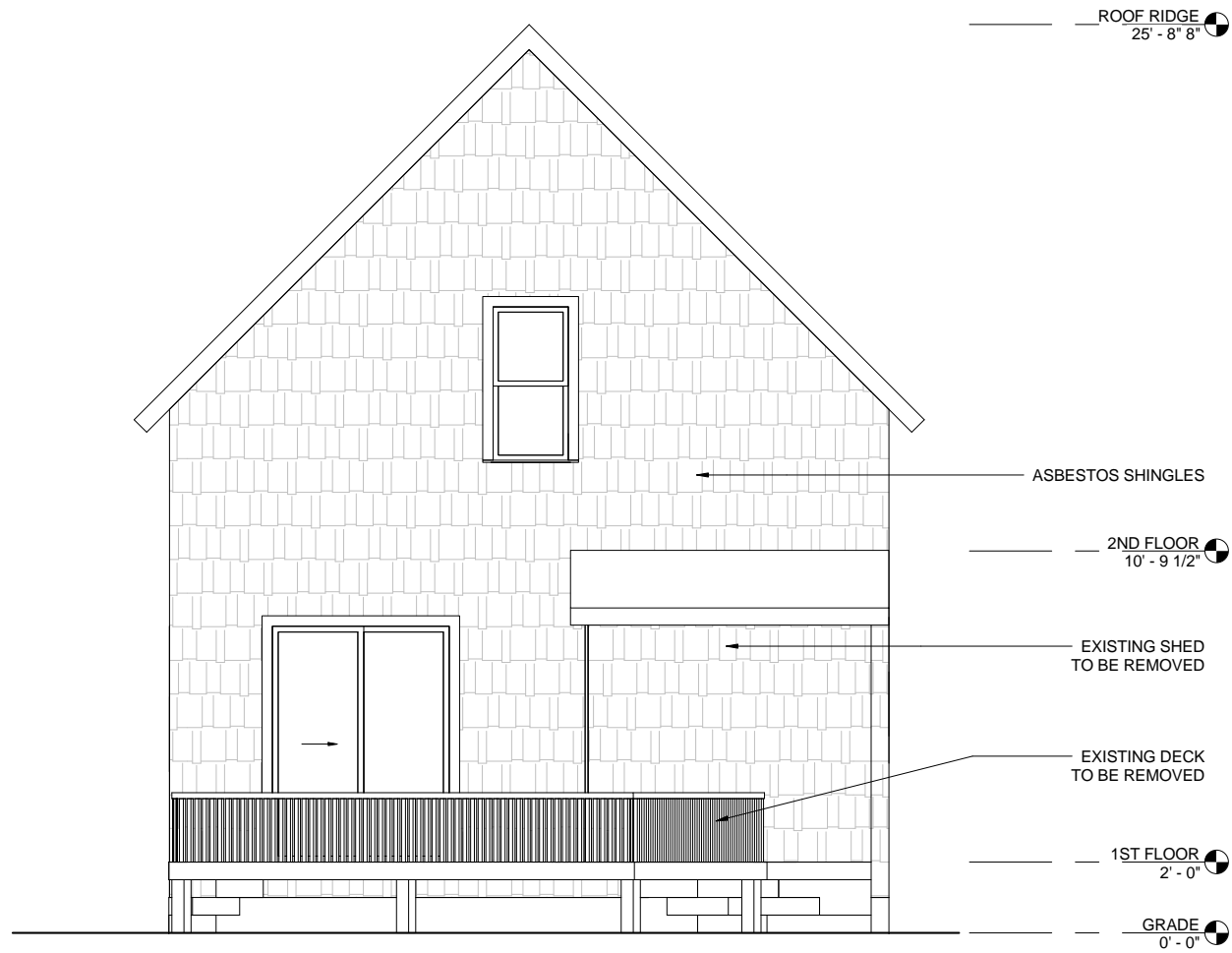
209 Murray Avenue

Existing North Elevation

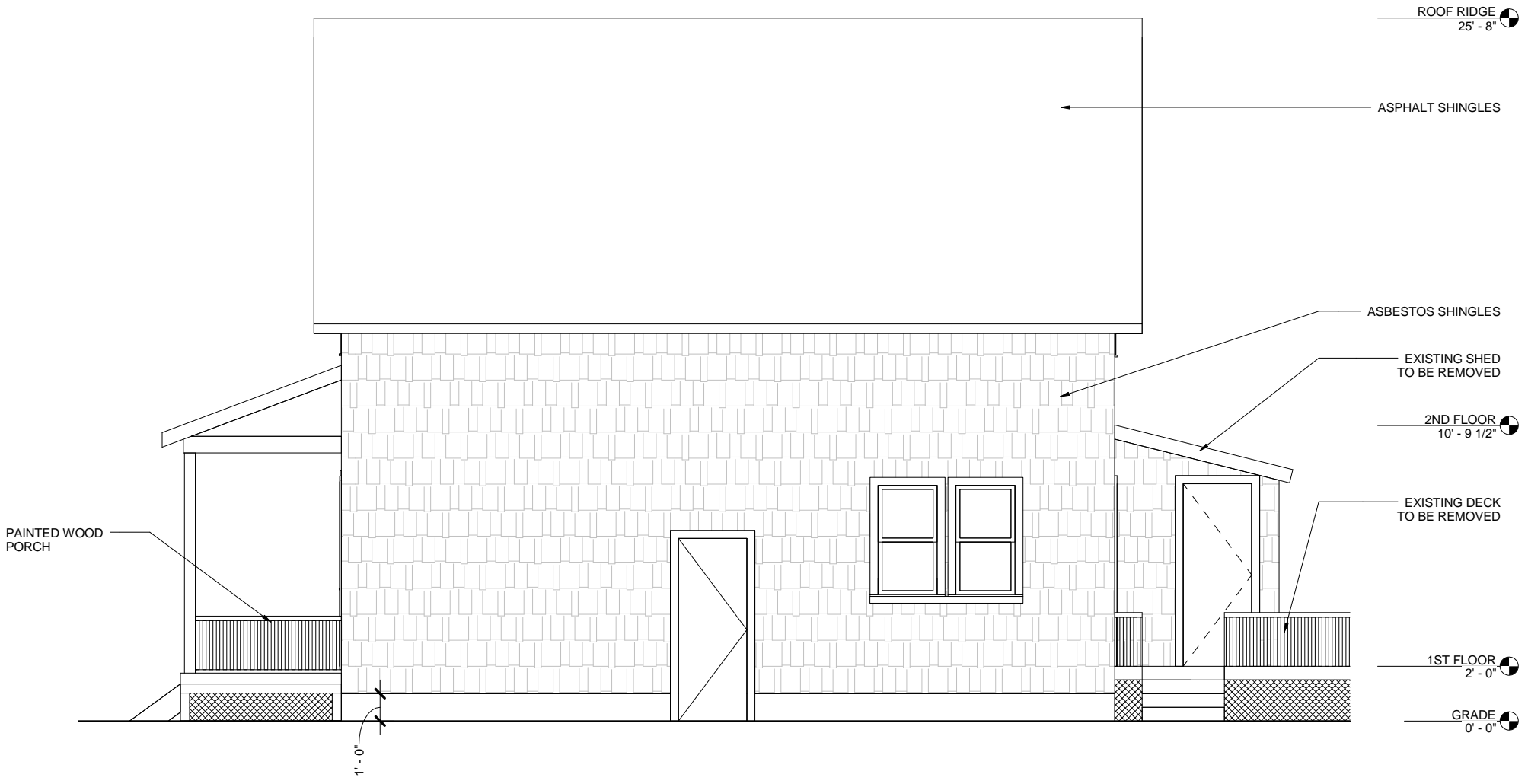
Scale: 3/16" = 1'-0"

Date: 6-22-16

HDC 8



1 EXISTING EAST ELEVATION
 3/16" = 1'-0"



1 EXISTING SOUTH ELEVATION
3/16" = 1'-0"

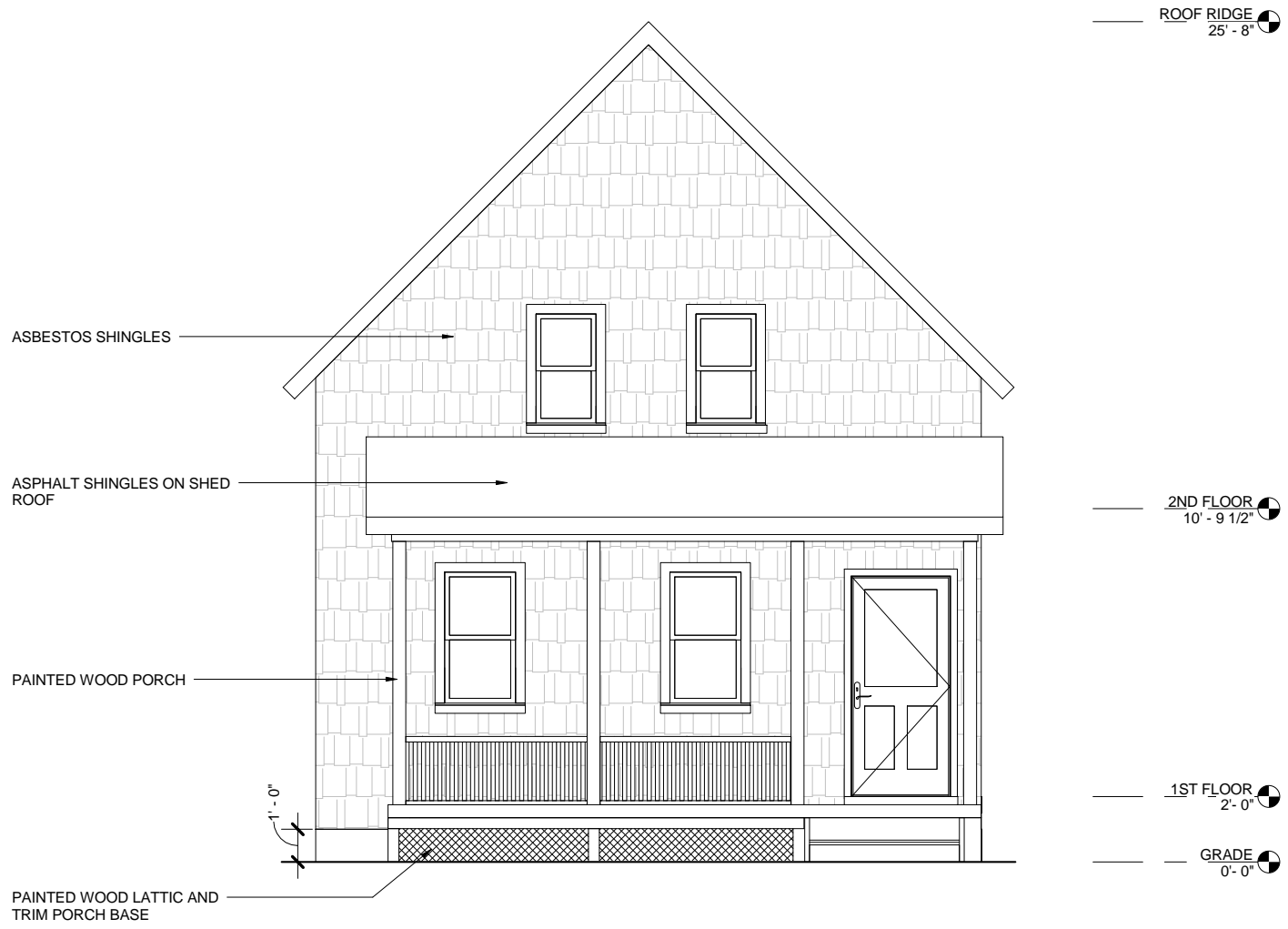
Clutter Addition

209 Murray Avenue

Existing South Elevation

Scale: 3/16" = 1'-0"
Date: 6-22-16

HDC 10



1 EXISTING WEST ELEVATION
 3/16" = 1'-0"

Clutter Addition

209 Murray Avenue

Existing West Elevation

Scale: 3/16" = 1'-0"
 Date: 6-22-16

HDC 11



Clutter Addition

209 Murray Avenue

View From Street

Scale:

Date:

6-22-16

HDC 14



Clutter Addition

209 Murray Avenue

Photos of Existing

Scale:

Date:

6-22-16

HDC 12



Clutter Addition

209 Murray Avenue

Photos of Existing

Scale:

Date:

6-22-16

HDC 13



Clutter Addition

209 Murray Avenue

View From Street

Scale:

Date:

6-22-16

HDC 14