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STRUCTURAL ENGINEER

TBD

MEPFP ENGINEER

TBD

JACKSON DEARBORN PARTNERS, LLC

2111 PACKARD ST.

ANN ARBOR, MI

OWNER
JACKSON DEARBORN PARTNERS, LLC
404 SOUTH WELLS STREET, SUITE 400
CHICAGO, IL 60607
T: 312.878.7362

SITE PLAN REVIEW

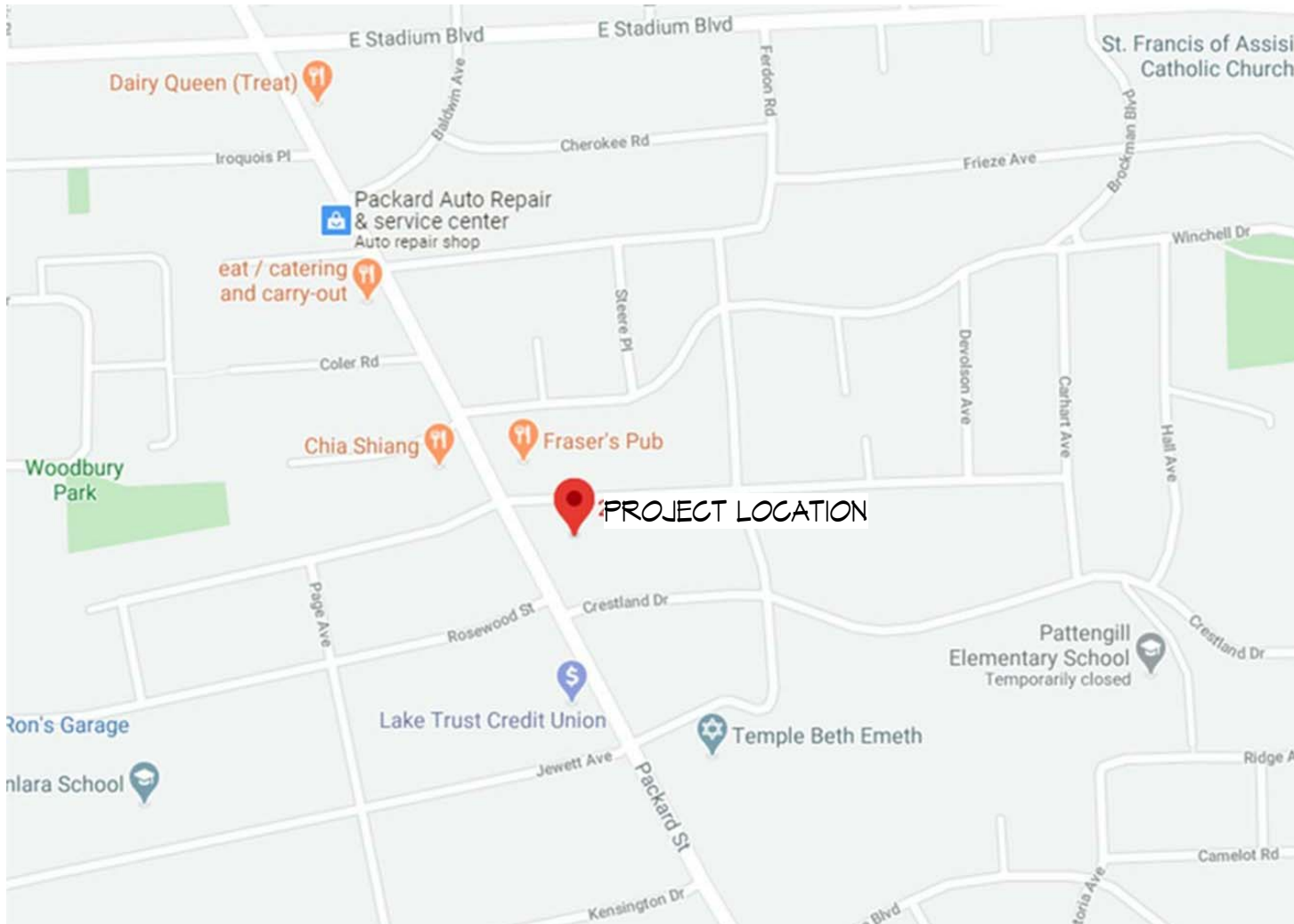


CIVIL ENGINEER

WASHTENAW
ENGINEERING COMPANY
3526 W LIBERTY RD, SUITE 400
ANN ARBOR, MI 48103
PHONE: 734.761.8800

CONTRACTOR

TBD



LOCATION MAP

NOT TO SCALE

ABBREVIATIONS INDEX

#	TEXT	DESCRIPTION
2WAY	2WAY COMMUNICATION DEVICE	
A/C	AIR CONDITIONING	
ABBREV.	ABBREVIATION	
ADA	AMERICANS WITH DISABILITIES ACT	
ADDL.	ADDITIONAL	
ADJ.	ADJUSTABLE	
AFF.	ABOVE FINISH FLOOR	
AHJ	AUTHORITIES HAVING JURISDICTION	
ALT.	ALTERNATE	
ALUM.	ALUMINUM	
AOR	AREA OF REFUGE	
APC	ACOUSTICAL PANEL CEILING	
APPROV.	APPROVED	
ARCH.	ARCHITECT, ARCHITECTURAL	
ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATING, & A/C ENGINEERS	
ASSOC.	ASSOCIATED	
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	
B	BOARD	
B.O.	BOTTOM OF	
B.O.H.	BACK OF HOUSE	
BLDG.	BUILDING	
BLKG.	BLOCKING	
BM.	BEAM	
BRG.	BEARING	
BS.	BAR SINK	
BSMT.	BASEMENT	
C	CAST IRON	
C.I.	CONTROL JOINT	
C.J.	CLEAN OUT	
C.T.	CERAMIC TILE	
CABT.	CABINET	
CARP.	CARPENTER	
CAT.	CATALOG	
CBC	CHICAGO BUILDING CODE	
CCD	CHICAGO CITY DATUM	
CL	CENTERLINE	
CLG.	CEILING	
CLG. JST.	CEILING JOIST	
CLD.	CLOSET	
CLR.	CLEAR	
CM	CENTIMETER	
CMU	CONCRETE MASONRY UNIT	
COMP.	COMPACTED	
CONC.	CONCRETE	
CONF.G.	CONFIGURATION	
CONT.	CONTINUOUS	
COORD.	COORDINATE	
CORR.	CORRIDOR	
CPT	CARPET	
CU	CUBIC	
D	DEEP, DEPTH	
D.S.	DOWN SPOUT	
DBL.	DOUBLE	
DEG.	DEGREE	
DF	DRINKING FOUNTAIN	
DIAM.	DIAMETER	
DM.	DIMENSION	
DN.	DOWN	
DTL.	DETAIL	
DW.	DISHWASHER	
DWG.	DRAWING	
E	EXPANSION JOINT	
E.A.	EACH	
EFS	EXTERIOR INSULATION FINISH SYSTEM	
ELEC.	ELECTRICAL	
ELEV.	ELEVATION	

ABBREVIATIONS INDEX

#	TEXT	DESCRIPTION
ENG.	ENGINEER	
EPS	EXPANDED POLYSTYRENE	
EQ.	EQUAL	
EQUIP.	EQUIPMENT	
ETC.	ETCETERA	
EW	ELECTRIC WATER COOLER	
EXIST.	EXISTING	
EXT.	EXTERIOR	
F	FIRE ALARM PANEL	
FAR	FLOOR TO AREA RATIO	
FD	FLOOR DRAIN	
FE	FIRE EXTINGUISHER	
FEC	FIRE EXTINGUISHER CABINET	
FIN.	FINISH	
FIX.	FIXTURE	
FLR.	FLOOR	
FLRG.	FLOORING	
FLSHG.	FLASHING	
FLR.	FLOOR	
FP.	FIREPLACE	
FT.	FOOT, FEET	
FTG.	FOOTING	
G	GAUGE	
GA	GALLON	
GAL.	GALVANIZED	
GC	GENERAL CONTRACTOR	
GF / GFC	GROUND FAULT INTERRUPT	
GL	GLASS	
GR.	GRADE	
GRAN.	GRANULAR	
GYP.	GYPSONUM	
H	HIGH	
H.C.	HANDICAPPED	
H.D. GALV.	HOT DIPPED GALVANIZED	
H.P.	HIGH POINT	
HB.	HOSE BIB	
HD.	HEAD OR HAND DRYER	
HWOD.	HARDWOOD	
HWDR.	HARDWARE	
HM	HOLLOW METAL	
HORIZ.	HORIZONTAL	
HR.	HOUR	
HT.	HEIGHT	
HUMID.	HUMIDIFIER	
HVAC	HEATING VENTILATION A/C	
I.D.	INSIDE DIAMETER	
I.L.O.	IN LIEU OF	
IQ	INDOOR AIR QUALITY	
IBC	INTERNATIONAL BUILDING CODE	
IN	INCH	
INFO	INFORMATION	
INSUL.	INSULATION	
INT.	INTERIOR	
JAN	JANITORS CLOSET	
JBOX	JUNCTION BOX	
JC	JANITORS CLOSET	
JST.	JOIST	
L	LONG, LENGTH	
L.H.	LEFT HAND	
L.H.R.	LEFT HAND REVERSE	
L.P.	LOW POINT	
LAM.	LAMINATED	
LAV.	LAVATORY	
LB	POUND	
LF	LINEAR/LINEAL FOOT/FEET	
LOCN.	LOCATION	
LVL	LAMINATED VENEER LUMBER	

ABBREVIATIONS INDEX

#	TEXT	DESCRIPTION
M	METER	
M.O.	MASONRY OPENING	
MACH.	MACHINE	
MAS.	MASONRY	
MATL.	MATERIAL	
MAX.	MAXIMUM	
MDF.	MEDIUM DENSITY FIBERBOARD	
MD.	MEDIUM DENSITY OVERLAY	
MECH.	MECHANICAL	
MED.	MEDIUM	
MF(RS)	MANUFACTURER(S)	
MFRD.	MANUFACTURED	
MH	MANHOLE	
MIN.	MINIMUM	
MIR.	MIRROR	
MISC.	MISCELLANEOUS	
MLWK.	MLLWORK	
MM.	MMILMETER	
MS	MOP SINK	
MTL.	MOUNTED	
MTL.	METAL	
MULL.	MULLION	
N	NOISE CRITERIA	
N.C.	NATIONAL ELECTRICAL CODE	
NEC	NATIONAL ELECTRICAL CODE	
NO	NOT IN CONTRACT	
NO.	NUMBER	
NOM.	NOMINAL	
NOISE	NOISE REDUCTION COEFFICIENT	
NTS	NOT TO SCALE	
O	OWNER FURNISHED, CONTRACTOR INSTALLED	
O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED	
P	PLASTIC LAMINATE	
P.LAM.	PLATE	
PL.	PLUMBING	
PLYWD.	PLYWOOD	
PNT	PANT	
PAINTED	PAINTED	
POL.	POLISHED	
POLY-ISO	POLYISOCYANURATE	
PAIR	PAIR	
PRE-FAB.	PRE-FABRICATED	
PRE-FIN.	PRE-FINISHED	
PRES.	PRESSURE TREATED	
TRTD.	TREATED	
PSF	POUNDS PER SQUARE FOOT	
PSI	POUNDS PER SQUARE INCH	
PT	PORCELAIN TILE	
PAPER	PAPER TOWEL DISPENSER	
PVC	POLYVINYL CHLORIDE	
Q	QUALITY	
Q.LTY	QUANTITY	
R	RISER	
R.C.	RESILIENT CHANNEL	
R.H.	RIGHT HAND	
R.H.R.	RIGHT HAND REVERSE	
R.O.	ROUGH OPENING	
RAD.	RADIUS	
RCP	REFLECTED CEILING PLAN	
RECIRC.	RECIRCULATING	
REINF.	REINFORCED	
REQD.	REQUIRED	
REQTS.	REQUIREMENTS	
REV	REVISION	
ROOM	ROOM	

ABBREVIATIONS INDEX

#	TEXT	DESCRIPTION
S	SMOOTH FOUR SIDES	
S4S	SOLID CORE	
SCHED.	SCHEDULE	
SD	SOAP DISPENSER	
SF	SQUARE FOOT/FEET	
SHT.	SHEET	
SHT. MTL.	SHEET METAL	
SHTG.	SHEATHING	
SHWR.	SHOWER	
SM	SIMILAR	
SM/CM	SHEET METAL & A/C CONTRACTOR'S NATIONAL ASSOCIATION	
SND	SANITARY NAPKIN DISPOSAL SPECIFICATIONS(S)	
SS	SQUARE	
SS	STAINLESS STEEL	
STC	SOUND TRANSMISSION COEFFICIENT	
STD.	STANDARD	
STL	STEEL	
STOR.	STORAGE	
STR.	STRUCTURAL	
SUBFLR.	SUBFLOOR	
SUSP	SUSPENDED	
SW	SWITCH	
SYM	SYMMETRICAL	
T	TREAD	
T&G	TONGUE AND GROOVE	
TSTAT	THERMOSTAT	
T.O.	TOP OF	
TBD	TO BE DETERMINED	
TEL	TELEPHONE	
TEMP.	TEMPERED, TEMPERATURE	
THK.	THICK	
TLT	TOILET	
TP	TOILET PARTITION	
TRANS	TRANSPARENT	
TTD	TOILET TISSUE DISPENSER	
TYP	TYPICAL, UNO	
U	UNLESS NOTED OTHERWISE	
UL	UNDERWRITERS LABORATORY	
UNO	UNLESS NOTED OTHERWISE	
V	VERIFY IN FIELD	
V.B.F.	VAPOR BARRIER	
VCT	VINYL COMPOSITION TILE	
VERT.	VERTICAL	
VTR	VENT THROUGH ROOF	
VWC	VINYL WALL COVERING	
W	WIDE, WIDTH	
W	WITH	
WO	WITHOUT	
WC	WATER CLOSET	
WOOD	WOOD	
WOW	WINDOW	
WH	WATER HEATER	
WHPL	WHIRLPOOL	
WRB	WEATHER RESISTIVE BARRIER	
WT	WEIGHT	
WTF	WELDED WIRE FABRIC	
X	EXTRUDED POLYSTYRENE	
YD	YARD	

DRAWING LIST

1 - GENERAL

- G0.0 COVER SHEET
- G1.0 DEVELOPMENT SUMMARY, AREA CALCULATIONS

2 - CIVIL

- ALTA -1 ALTA SURVEY
- C1.0 BOUNDARY & TOPOGRAPHICAL SURVEY
- C2.0 NATURAL FEATURES PLAN
- C3.0 REMOVAL PLAN
- C4.0 DIMENSIONAL PLAN
- C5.0 GRADING AND SOIL EROSION CONTROL PLAN
- C6.0 GRADING DETAIL
- C7.0 GRADING DETAIL
- C8.0 GRADING DETAIL
- C9.0 UTILITY PLAN
- C10.0 STORM WATER MANAGEMENT EXISTING DRAINAGE PLAN
- C11.0 STORM WATER MANAGEMENT PROPOSED DRAINAGE PLAN
- C12.0 STORM WATER MANAGEMENT CALCULATIONS INFILTRATION BED 1
- C13.0 DETAILS
- C14.0 TURNING TEMPLATE DELIVERY TRUCK
- C15.0 TURNING TEMPLATE FIRE TRUCK
- C16.0 TURNING TEMPLATE SOLID WASTE TRUCK
- C17.0 PHOTOMETRIC DETAILS
- C18.0 PHOTOMETRIC PLAN

3 - LANDSCAPE

- L1.0 LANDSCAPE PLAN
- L2.0 LANDSCAPE DETAILS

4 - ARCHITECTURAL

- A1.0 ARCHITECTURAL SITE PLAN
- A1.0B ALTERNATE ELECTRIC VEHICLE PARKING PLAN
- A1.1 LEVEL 1 - FLOOR PLAN
- A1.2 LEVELS 2-3 - FLOOR PLAN
- A1.4 ROOF PLAN
- A3.0 EXTERIOR ELEVATIONS
- A3.1 EXTERIOR ELEVATIONS
- A3.2 3D PERSPECTIVE VIEWS

PROJECT DESCRIPTION

NEW CONSTRUCTION IS PLANNED FOR THE SITE BOUND BY PACKARD, CRESTLAND, AND ANDERSON. IT WILL CONSIST OF A 79,020 SF, 3-STORY, 72 UNIT, 118 BED, RESIDENTIAL BUILDING WITH GROUND FLOOR RESIDENTIAL MULTI-FAMILY APARTMENTS, AMENITY & 3,642 SF OF RETAIL, AND RESIDENTIAL MULTI-FAMILY APARTMENTS ABOVE.

PROPOSED RE-ZONE FROM C3/P TO ENTIRELY C3

VEHICULAR SITE ACCESS TO ON-GRADE PARKING FOR 84 VEHICLES AND RIDE-SHARE SPACES AND TRASH PICK-UP WILL BE PROVIDED FROM CRESTLAND DRIVE AND ANDERSON AVENUE. ACCESS IS TO BE REMOVED FROM PACKARD STREET

APPLICABLE CODES

- 2015 MICHIGAN BUILDING CODE
- 2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS
- 2015 MICHIGAN PLUMBING CODE
- 2015 MICHIGAN MECHANICAL CODE
- MICHIGAN ELECTRICAL CODE BASED ON THE 2017 NATIONAL ELECTRICAL CODE WITH PART 8 STATE AMENDMENTS
- ICC / ANSI A117.1 - 2009 & MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1986 AS AMENDED.
- 2015 INTNL ENERGY CONSERVATION CODE PART 10 WITH ANSI / ASHRAE / IESNA STANDARD 90.1-2013
- 2015 INTERNATIONAL FIRE CODE
- 2015 INTERNATIONAL FUEL GAS CODE
- 2010 NFPA 13, 13D & 13R
- 2014 NFPA 96 GREASE HOODS
- 2013 NFPA 72 FIRE ALARM CODE

CONSTRUCTION TYPE & OCCUPANCY

- | CONSTRUCTION | OCCUPANCY |
|---|---------------|
| LEVEL 1-3: TYPE 5B | A-3 / M / R-2 |
| FULLY SPRINKLERED PER NFPA 13 | |
| FIRE ALARM SYSTEM TO BE PROVIDED AS REQUIRED BY CODE. | |

COMMUNITY ANALYSIS - JULY, 2020

- The impact of the proposed development on public schools
 - 2111 Packard Street is a three-story residential development with 72 residential units, 3700 sf of retail space and 85 parking spaces. The development may impact the numbers of children attending the local schools, but the increase is minimal.
- The relationship of intended use to neighboring uses
 - The proposed development is situated along the northeasterly edge of residences. The project proposes to keep the building in the front yard along Packard St, Anderson Ave and Crestland Dr to limit impact on residences and create a buffer space.
- Impact of adjacent uses on the proposed development
 - The design of 2111 Packard Street will enhance the pedestrian experience along Anderson Ave. The planned 5' sidewalk will add to the existing sidewalk and make the property connection to the east.
- Impact of the proposed development on the air and water quality, and on existing natural features of the site and neighboring sites.
 - There are no wetlands on the property, only one landmark tree and 21 other trees that make up the sites natural features.
 - Historically, the site is totally pervious; and has been since its construction in 1960. Any rain that fell on it ran off in several directions as shown on sheet C-8.0. The proposed development will take storm water from the site and pre-treat then discharge into an underground infiltration system located on the property.
- See sheet C-2.0 for information on existing site natural features.
- Impact of the proposed use on historic sites or structures which are located within an historic district or listed on the National Register of Historic Places.
 - There are no sites or buildings of historical significance on the site.
 - The architecture and scale are consistent with neighboring homes and zoning.
- Statement of interest in land
 - The petitioner is interested in developing the land as a three-story residential building, retail space and associated parking.

DEVELOPMENT PROGRAM

2111 Packard Street - 1.69 acre lot.

The owner proposes to build a new 3 story multi-family development at this location. The building exterior is brick, brick veneer, cast stone, metal panels. Building has a flat roof where all mechanical systems are located in space for solar array is planned. Building has many modern elements of glass and cast stone accents bands that weave through the exterior creating points of interest around the façade.

The site will offer 84 parking spaces and a total of 35 bike spaces with 19 as Class A spaces inside the building. Parcel is currently zoned C3 and P.

Solid waste will be stored in one dumpster on site and located within a masonry enclosure.

The Owner intends to begin construction as soon as all approvals have been received and a contractor can be secured.

PARKS CONTRIBUTION

The Owner will make a contribution of \$45,000
72 dwelling units x .0125 acres (the amount designed to keep pace with existing parkland density) x 50,000/acre (the average cost for parkland/acre) = \$45,000

TOPOGRAPHY

The land is an urban developed lot with minimal gradient across the entire parcel

WETLANDS

There are no wetlands on the property.

THREATENED AND ENDANGERED SPECIES

There are no endangered threatened or endangered plant or animal species on the property.

100 YEAR FLOOD PLAIN

The site exists outside of the flood plain

STEEP SLOPES

There are no steep slopes on site.

WATER COURSES

There are no watercourses on the property.

NATURAL FEATURES

Natural Features General Description

The subject property is an urban parcel located at 2111 Packard Road. The existing natural features are limited to 14 existing street trees and seven self-generated trees along the eastern property line. There is one landmark street tree located at the north boundary, this tree will be protected from construction but will also be mitigated with a cash contribution to the City tree fund as a secondary protective measure.

With the exception of one Red Cedar tree all other trees along the east property line will be removed due to their poor condition that makes them potential storm hazard. The new site plan will install 40 new trees.

There are no other natural features on this property. Storm water management will utilize on-site storm water infiltration.

BUILT FEATURES

LAND USE

The site currently has one (1) commercial structure that is divided into multiple retail spaces. There are no other existing structures on-site.

ACCESS POINT

Vehicle access is directly from Anderson Avenue and Crestland Drive. There are existing pedestrian sidewalks and bicycle access to the site is via existing sidewalk and roadways.

PROPOSED LAND USE

Commercial and Residential, refer to architectural drawing overlay for proposed development character and its relationship to existing, adjoining properties.

NATURAL FEATURES PROTECTION PLAN

The street to be preserved will be protected during construction and clean up efforts. The Contractor will optimize ways to preserve as many high-quality trees on-site as possible.

TRAFFIC IMPACT STATEMENT

2111 Packard Street
Traffic Analysis

Multi-Family Housing (Mid-Size)

From Trip Generation Manual 10th edition, Land Use 221
72 Units
AM Peak House = 25 trip ends
Entering = 6 trip ends
Exiting = 19 trip ends

Fast Casual Restaurant

From Trip Generation Manual 10th edition, Land Use 930
AM Peak House = 4 trip ends
Entering = 3 trip ends
Exiting = 1 trip ends

PM Peak House = 32 trip ends

Entering = 19 trip ends
Exiting = 13 trip ends

Convenience Market

From Trip Generation Manual 10th edition, Land Use 851
AM Peak House = 116 trip ends
Entering = 58 trip ends
Exiting = 58 trip ends

PM Peak House = 91 trip ends

Entering = 46 trip ends
Exiting = 45 trip ends

The total impact to the traffic from this site is an increase of 145 additional trips (67 entering and 78 exiting) for the AM peak and an increase of 149 trips (79 entering and 70 exiting) for the PM peak. The project impacts the street system by more than 50 vehicles during the peak hours so a full Traffic Impact Study is required.

APPROVALS

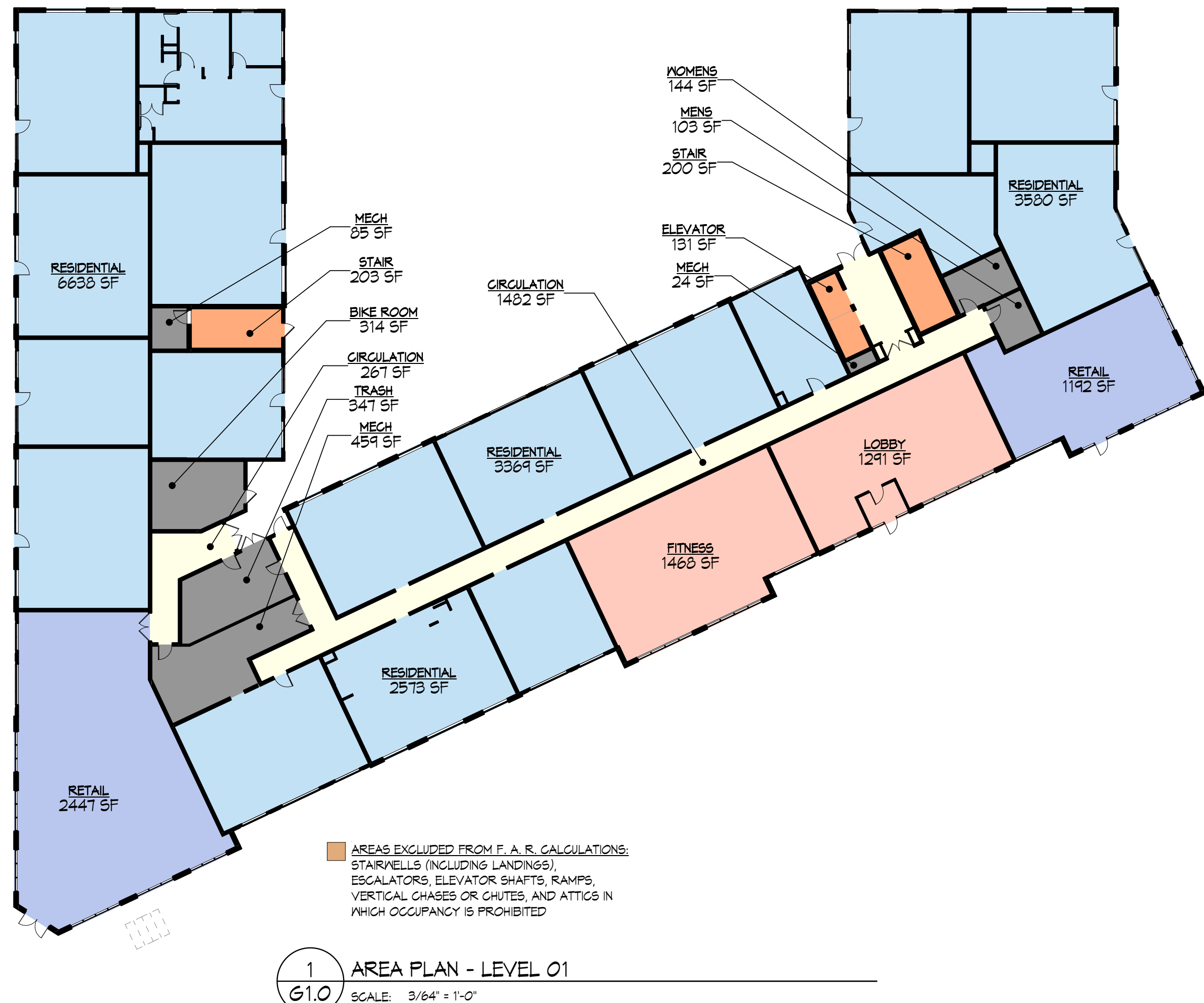
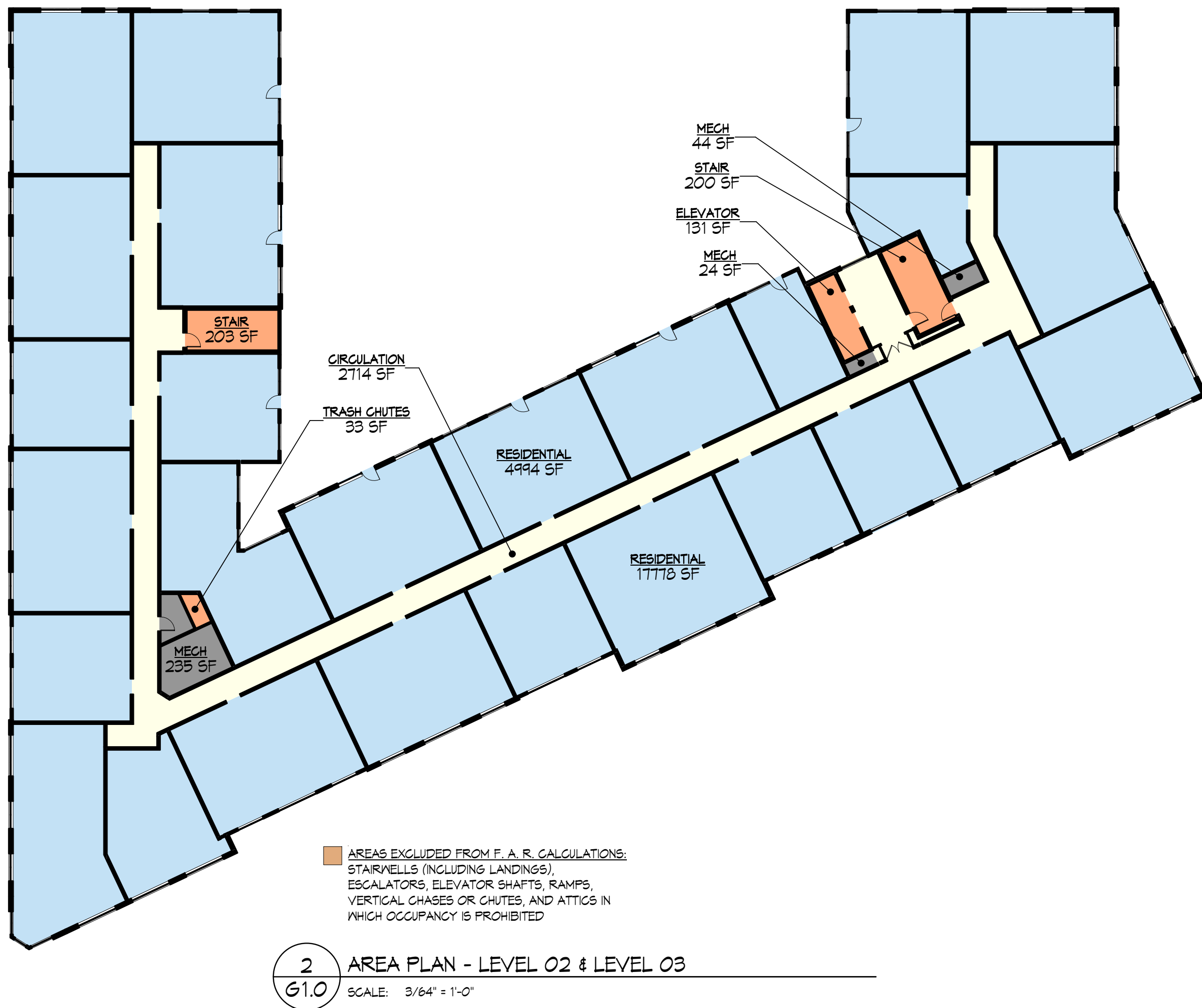


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CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.

PRELIMINARY NOT FOR



SITE DATA COMPARISON CHART / ZONING SUMMARY				
	EXISTING C3	EXISTING P	REQUIRMENTS FOR NEW ZONING (C3 DISTRICT)	PROPOSED - C3
SITE AREA	C3 PORTION: 31,363.4 SF (0.72 ACRES)	P PORTION: 42,433.3 SF (0.97 ACRES)		73,797 SF (1.69 ACRES)
LOT WIDTH	60' MINIMUM	NONE	60' MINIMUM	VARIES > 200'
ZONING	C3 FRINGE COMMERCIAL DISTRICT	PARKING DISTRICT	C3 FRINGE COMMERCIAL DISTRICT	C3 FRINGE COMMERCIAL DISTRICT (REZONING PROPERTIES)
MINIMUM LOT AREA	6,000 SF	NONE	6,000 SF	COMPLIES - 73,797 SF
MAX. FLOOR AREA RATIO	200%	NONE	73,797 x 200%=147,594 SF MAX	COMPLIES - 1.05% LOT AREA = 77,367 SF
MAXIMUM NUMBER OF UNITS	N/A	N/A	N/A	72
AVERAGE UNIT SIZE	N/A	N/A	N/A	861 SF (Mix of Studios, 1 & 2 Bedrooms)
MAX. NUMBER OF BEDROOMS	N/A	N/A	N/A	119
MAX. BUILDING COVERAGE	NONE	NONE	NONE	COMPLIES
MINIMUM OPEN SPACE	15' ABUTTING RESIDENTIAL	N/A	N/A	COMPLIES - 19,921 SF (27.0%)
MINIMUM BUILDING HEIGHT	N/A	N/A	N/A	COMPLIES
MAX. NUMBER OF STORIES	4	N/A	4	COMPLIES - 3 STORIES
MAX. BUILDING HEIGHT	55' (EXISTING BUILDING: APPROX. 16')	30' = LOWEST MAX HEIGHT OF ABUTTING RES DISTRICT	55'	COMPLIES - 40'-0"
(EXISTING BUILDING BUILT IN 1960'S)				
SETBACKS				
- FRONT (NORTH ALONG ANDERSON AVE.)	10' MIN (EXISTING BUILDING: 20')	10' MIN	10' MIN	COMPLIES 10'
- FRONT (WEST ALONG PACKARD ST.)	10' MIN (EXISTING BUILDING: 39.6')	10' MIN	10' MIN	COMPLIES 10'
- FRONT (SOUTH ALONG CRESTLAND DR.)	10' MIN (EXISTING BUILDING: 144.1')	10' MIN	10' MIN	COMPLIES 10'
- SIDE YARD (N/A)	0' / 30' ABUTTING RESIDENTIAL ZONED LAND *	0' / 30' ABUTTING RESIDENTIAL ZONED LAND *	0' / 30' ABUTTING RESIDENTIAL ZONED LAND *	NOT APPLICABLE
- REAR YARD (EAST)	20' / 30' ABUTTING RESIDENTIAL ZONED LAND *	0' / 30' ABUTTING RESIDENTIAL ZONED LAND *	20' / 30' ABUTTING RESIDENTIAL ZONED LAND *	COMPLIES - 83.5'
VEHICULAR PARKING REQUIRED				
- MULTI-FAMILY	1 SPACE PER DWELLING UNIT	N/A	TOTAL 84 SPACES REQUIRED	COMPLIES - TOTAL 84 SPACES PROVIDED
- RETAIL	1 SPACE PER 310 SF	N/A	1 SPACE PER DWELLING UNIT = 72 SPACES	COMPLIES - 72 SPACES
BICYCLE PARKING REQUIRED			1 SPACE PER 310 SF MIN. = 12 SPACES	COMPLIES - 12 SPACES
- MULTI-FAMILY	1 PER 5 UNITS	N/A	TOTAL 17 SPACES REQUIRED	COMPLIES - TOTAL 35 SPACES PROVIDED
- RETAIL/RESTAURANT	1 PER 3,000 SF	N/A	1 SPACE PER 5 UNITS - 15 SPACES	COMPLIES - 23 SPACES (15 TYPE "A" / 8 TYPE "C")***
CONFLICTING LAND USE BUFFER	15' ABUTTING RESIDENTIAL**	15' ABUTTING RESIDENTIAL**	1 SPACE PER 3000 SF - 2 SPACES	COMPLIES - 12 SPACES (4 TYPE "A" / 8 TYPE "C")***
RETAIL AREA	ALLOWED	N/A	15' ABUTTING RESIDENTIAL	COMPLIES - 15' ABUTTING RESIDENTIAL
			N/A	3,642 SF

* PLUS 1' ADDITIONAL SETBACK FOR EACH 1' OF BUILDING HEIGHT ABOVE 30' WHEN ABUTTING RESIDENTIALLY ZONED LAND
** WHEN ABUTTING RESIDENTIAL ZONING, CONSISTENT WITH THE CONFLICTING LAND USE BUFFER REQUIREMENTS IN SECTION 5.20 (LANDSCAPE, SCREENING, AND BUFFERING).
*** ALL CLASS A BICYCLE PARKING TO BE INDOORS. SEE ENLARGED BIKE ROOM PLAN ON SHEET A1.1

2111 Packard St. - Development Summary										
Floor	Retail	Residential	Lobby / Amenity	Circulation	Stairwells / Shafts*	Mechanical/ Storage	Parking Structure	Bike Storage	Gross Area	F.A.R. Area
Level 1	3,642	16,206	2,778	1,673	534	1,173	(above grade)	(below grade)	26,319	25,785
Level 2		22,907		2,567	567	317		313	26,358	25,791
Level 3		22,907		2,567	567	317			26,358	25,791
Total Area	3,642	62,020	2,778	6,807	1,668	1,807	0	313	79,035	77,367

Parking Calculations		
	Vehicle	Bicycle
Retail	1 / 310 s.f.	1 / 3,000 s.f.
Residential	1 / unit	1 / 5 units
Total Parking Required	84	17
Total Parking Provided	84	(19 Class A, 16 Class C) 35

1.00 space per residential unit

Site FAR (2.0 Max)	
Site Area	73,797
Gross FAR Area	77,367
FAR	1.05
*Excluded from FAR	

ZONING DISTRICT: C3
MAX FAR: 200%
MAX HEIGHT: 55 FT
MIN. FRONT SETBACK: 10 FT
MIN. SIDE SETBACK: 0 FT
MIN. REAR SETBACK: 0 FT*

* 30 FT WHEN ABUTTING RESIDENTIAL DISTRICT

Unit Matrix				
Floor	Studio	1BR/1BA	2BR/2BA	Total
	475	650	950	
Level 1	2	3	13	18
Level 2	2	8	17	27
Level 3	2	8	17	27
Total Units	6	19	47	72
Unit Mix	8.3%	26.4%	65.3%	100.0%
Total Beds and Baths				
Total Beds	6	19	94	119
Total Bathroom	6	19	94	119

APPROVALS



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CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO PROCEEDING WITH CONSTRUCTION AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS.

CLIENT
JACKSON DEARBORN PARTNERS, LLC
44 S. WELLS ST., SUITE 400
CHICAGO, IL 60607
CONTACT: RYAN TOBIAS
PHONE: 312.278.7392 EMAIL: RT0BIAS@JTDREPARTNERS.COM

OR ENGINEER
WASHTEWAY ENGINEERING COMPANY
333 W. LIBERTY RD., SUITE 400
ANN ARBOR, MI 48106
CONTACT: JOE MAYNARD
PHONE: 734.761.8800 EMAIL: jpm@wengo.com

ARCHITECT
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857 W. WASHINGTON ST., SUITE 302
MARQUETTE, MI 49855
CONTACT: JOSH DAWSON
PHONE: 604.273.2200 EMAIL: J.DAWSON@MYEFSKI.COM

MEP ENGINEER
TBD
ADDRESS

CONTACT:
PHONE: XXXXXX-XXXX EMAIL:
STRUCTURAL ENGINEER
TBD
ADDRESS

CONTACT:
PHONE: XXXXXX-XXXX EMAIL:

PRELIMINARY
NOT FOR
CONSTRUCTION

2111 PACKARD ST.

ANN ARBOR, MI

DRAWN BY

MC

CHECKED BY

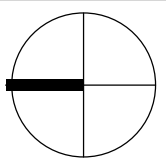
JD

PROJECT ARCH

JM

NO DATE DESCRIPTION

1 07.23.20 SITE PLAN REVIEW
2 09.02.20 SITE PLAN REVIEW
3 09.16.20 SITE PLAN REVIEW



JOB NO

18032

DATE

11.12.2020

DEVELOPMENT SUMMARY, AREA
CALCULATIONS

G1.0

1:\300\mg\2575\mg\251\app\mg_11130200_71228.dwg, 11/13/2020 7:12:28 AM, L1

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DESCRIPTION

The West 17 1/2 feet of the South 132 feet of Lot 26, and Lots 5, 6, 7, 8, 24, and 25, except the East 42 1/2 feet of the North 132 feet of said Lot 25, Eastover Hills as recorded in Liber 5 of Plats, Page 5, Washtenaw County Records.

Lot 80, Eastover Hills No. 1, as recorded in Liber 4 of Plats, Page 40, Washtenaw County Records.

EXISTING TREE SURVEY AND MITIGATION SUMMARY

	COUNT	
TOTAL SURVEYED TREES	22	290.5" DBH
TOTAL STREET TREES	16	33" DBH
TOTAL DEAD TREES	1	21" DBH
TOTAL INVASIVE TREES	6	77" DBH
TOTAL LANDMARK TREES	1	24" DBH
LANDMARK TREES TO BE REMOVED	0	0" DBH

TREE HEALTH KEY

EXCELLENT	25 OR GREATER
GOOD	16 OR GREATER
FAIR	15 - 8
POOR	7 - 5
DEAD	0

TREE CHART

TAG	COMMON NAME	DBH	CONDITION	INVASIVE	REMOVE	MITIGATE	LANDMARK	HEALTH
1	Chinese Elm	6, 6, 6 (10)	Good	X	X			16
2	Chinese Elm	15, 15 (21)	Dead	X	X			16
3	Boxelder	18, 13 (22)	Fair		X	X		10
4	Red Cedar	7	Good					5
5	Boxelder	14, 12 (12)	Poor		X			5
6	Boxelder	9, 8 (12)	Poor		X			5
7	Nonway Maple	8, 8 (8)	Good	X	X			16
8	Chinese Elm	10	Good	X	X			16
9	Nonway Maple	14	Good	X	X			16
10	Chinese Elm	14	Fair	X	X			12
11	American Elm	5	Good					16
12	American Sycamore	2	Poor					7
13	Linden	9	Fair					15
14	American Elm	6	Good					16
15	Linden	12	Fair		X	X		15
16	Linden	13	Fair		X	X		15
17	Ginkgo	2	Good		X			16
18	American Sycamore	23	Good				X	16
19	American Sycamore	22	Good				X	16
20	American Sycamore	24	Good				X	25
21	American Sycamore	19.5	Good				X	16
22	American Sycamore	23	Good				X	16

() = Tree calculated size

NOTE:
STREET TREE #20 IS A LANDMARK TREE, CITY OF ANN ARBOR PLANNING COMMISSION WISHES TO BE PROTECTED FROM CONSTRUCTION AND MITIGATION IN ADVANCE TO ASSURE REPLACEMENT IN CASE OF LOSS.

WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION

FO - FOX SANDY LOAM, 0 TO 2 PERCENT SLOPES
S - SOILS BOUNDARY

SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY.

○ = LIGHT POLE	● = SPOT ELEV.
○ = UTILITY POLE	○ = POST
○ = GUY ANCHOR	○ = CATCH BASIN
○ = HYDRANT	○ = END SECTION

TC = TOP OF CURB	FW = FIELDWORK GENERATED CONTOURS	○ = EXISTING STORM
TW = TOP OF WALL	○ = EXISTING 1 FT. CONTOUR	○ = EXISTING SANITARY
○ = MANHOLE	○ = EXISTING 5 FT. CONTOUR	○ = EXISTING WATER
○ = CATCH BASIN	○ = EXISTING 1 FT. CONTOUR	○ = EXISTING GAS
○ = END SECTION	○ = EXISTING 5 FT. CONTOUR	○ = EXISTING ELECTRIC
		○ = EXISTING TELEPHONE

BENCHMARK BM1=ARROW ON HYDRANT ON THE CORNER OF CRESTLAND DR. AND PACKARD RD. ON THE SOUTHWEST PROPERTY CORNER. ELEV=841.87 (NAVD 88).

BM2 MAG NAIL IN UTILITY POLE ON THE EAST SIDE OF BUILDING ±100 FT SOUTH OF ANDERSON AVE., ELEV=841.52 (NAVD 88).

REVISIONS 9-2-2020 PER CITY REVIEW 9-18-2020 PER CITY REVIEW. 10-15-2020 COMMENTS. 11-12-2020 COMMENTS.

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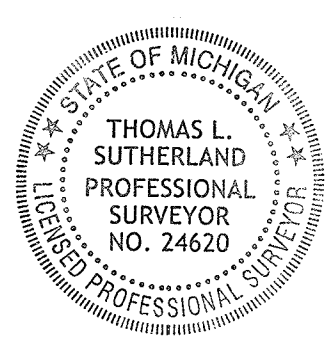
SCALE: 1"=20'

PREPARED BY

THOMAS L. SUTHERLAND P.S., MICH No. 24620



Know what's below.
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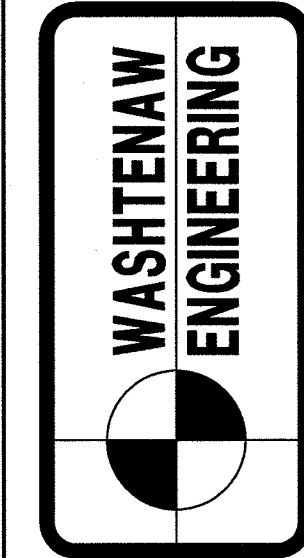
SECTION 4	TOWN 3	RANGE 6	EAST
CITY OF ANN ARBOR			
WASHTENAW COUNTY • MICHIGAN			
DATE 7-22-20	JOB NO. 32724	DWG NO. 724-topo	FIELD BOOK 659
SHEET			FILE NO. 10596

2111 PACKARD ST

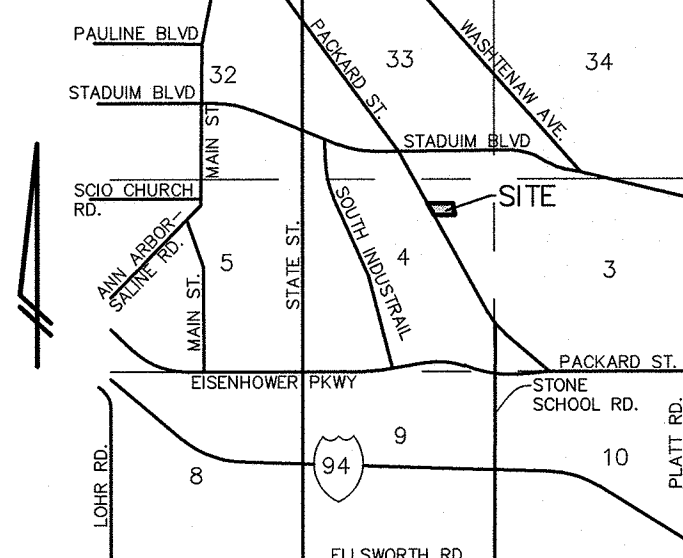
BOUNDARY & TOPOGRAPHICAL SURVEY

CLIENT
JACKSON DEARBORN PARTNERS

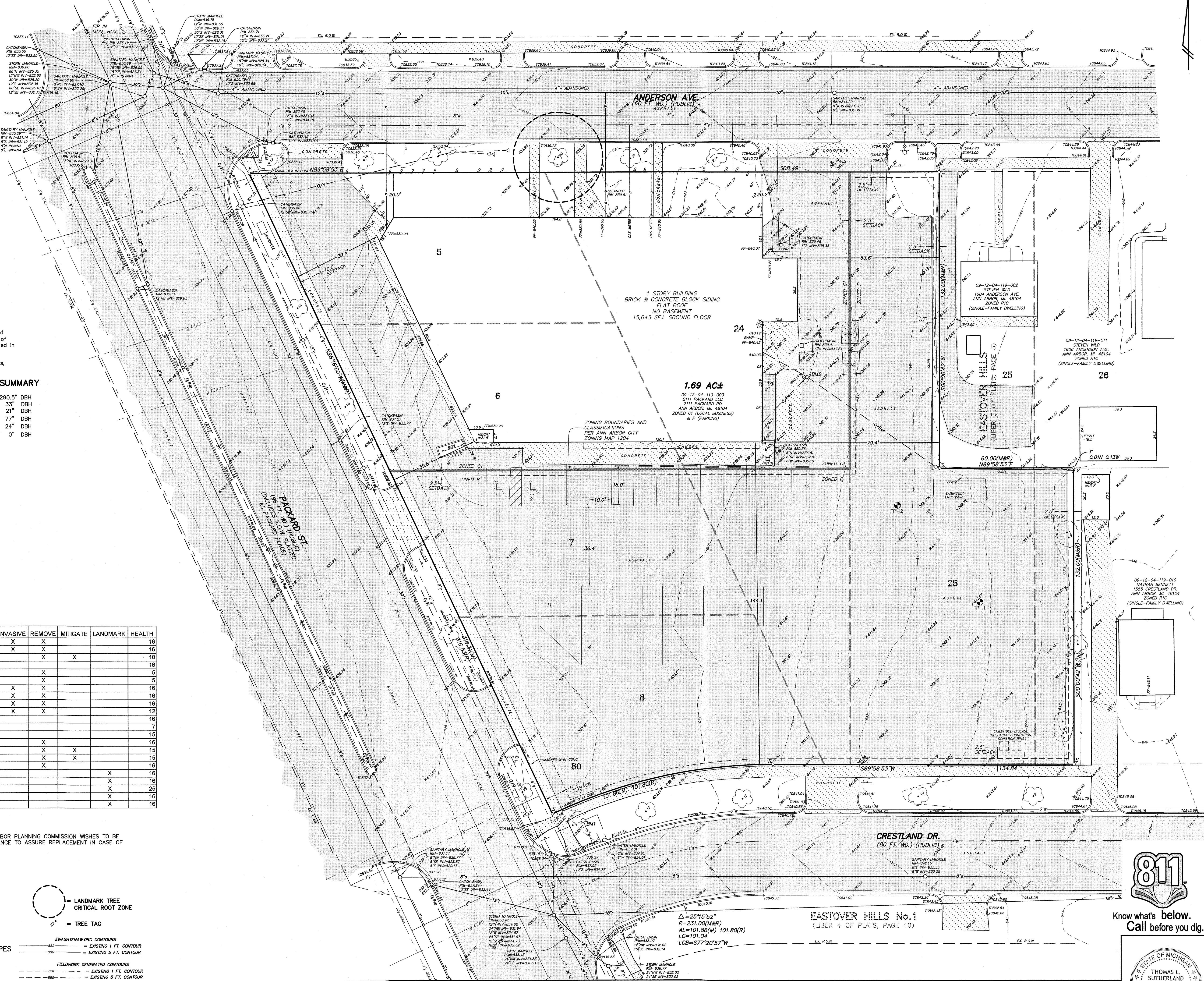
404 S. WELLS ST., STE. 400
CHICAGO, IL 60607
TEL (312) 580-2550



CIVIL ENGINEERS
PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
3506 W. LIBERTY RD
SUITE 400
ANN ARBOR, MI 48103
TEL 734-761-9530
FAX 734-761-9530
WASHTENAWENGINEERING.COM



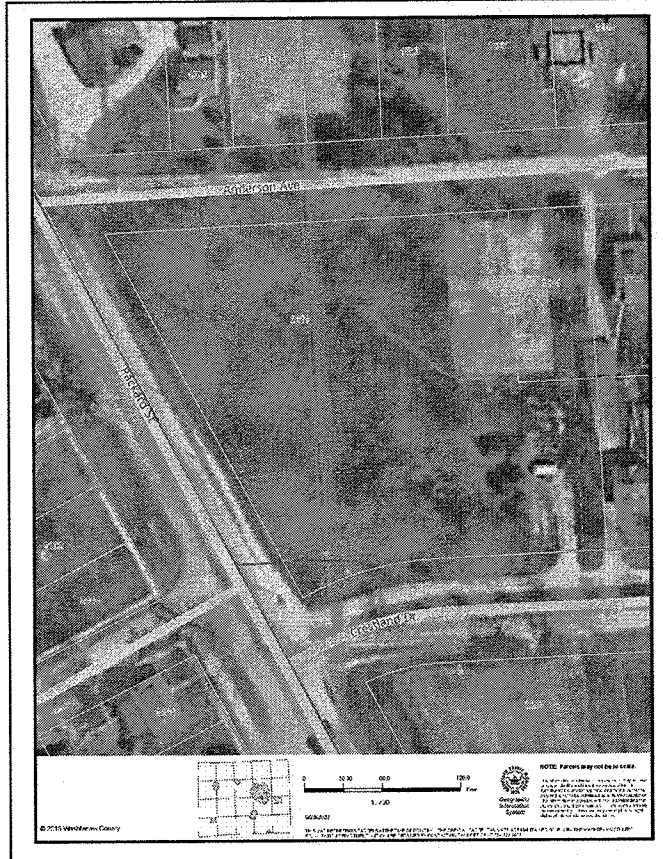
VICINITY MAP
(NO SCALE)



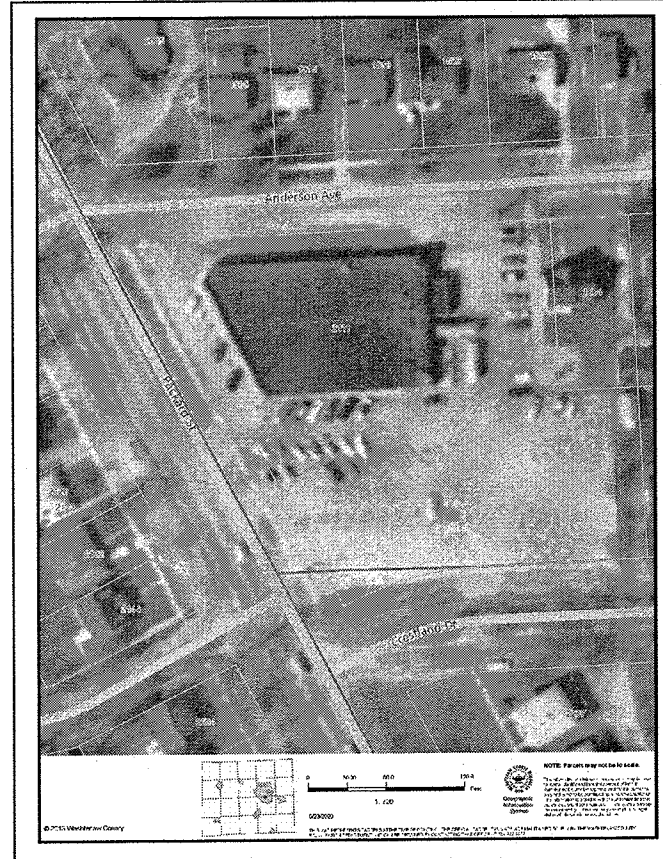
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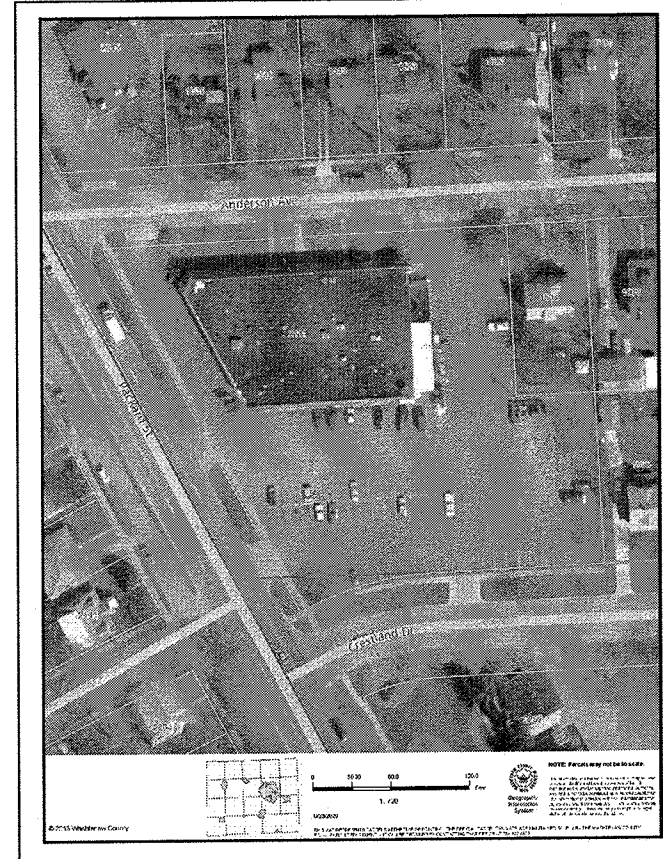
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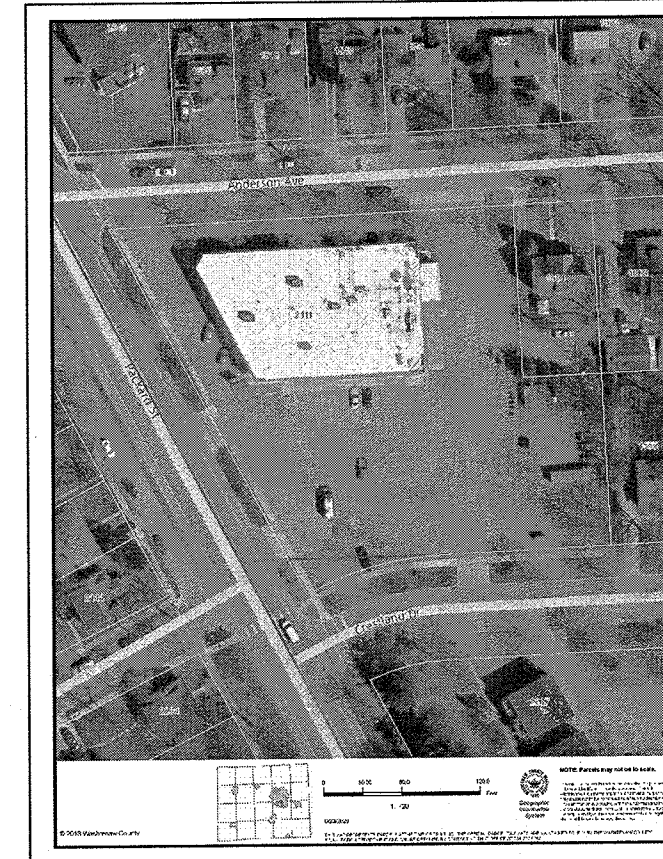
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(NOT TO SCALE)



AERIAL PICTURE 1960
(NOT TO SCALE)



AERIAL PICTURE 1990
(NOT TO SCALE)



AERIAL PICTURE 2018
(NOT TO SCALE)

WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION
— FOX SANDY LOAM, 0 TO 2 PERCENT SLOPES
— SOILS BOUNDARY
SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY.

TC = TOP OF CURB
TW = TOP OF WALL
OP = POST
OV = GATE VALVE
C = CATCHBASIN
E = END SECTION

SPOT ELEV.
POST
GATE VALVE
CATCHBASIN
END SECTION

WASHTENAW COUNTY CONTOURS
— EXISTING 1 FT. CONTOUR
— EXISTING 5 FT. CONTOUR
FIELDWORK GENERATED CONTOURS
— EXISTING 1 FT. CONTOUR
— EXISTING 5 FT. CONTOUR

— GRAVEL
— FENCE
— CONCRETE
— ASPHALT

— LANDMARK TREE
— CRITICAL ROOT ZONE
— TREE TAG

— EXISTING STORM
— EXISTING SANITARY
— EXISTING WATER
— EXISTING GAS
— EXISTING ELECTRIC
— EXISTING TELEPHONE

BENCHMARK BM1=ARROW ON HYDRANT ON THE CORNER OF CRESTLAND DR. AND PACKARD RD. ON THE SOUTHWEST PROPERTY CORNER. ELEV=841.87 (NAVD 88).
BM2=MAG NAIL IN UTILITY POLE ON THE EAST SIDE OF BUILDING ±100 FT. SOUTH OF ANDERSON AVE., ELEV=841.82 (NAVD 88).

REVISIONS 9-2-2020 PER CITY REVIEW 9-16-2020 PER CITY REVIEW 10-15-2020
COMMENTS: 11-12-2020 COMMENTS.

SCALE
0 10 20
SCALE: 1"=20'

PREPARED BY
GERALD J. SOSNOWSKI RLA, MICH No. 982

811
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STATE OF MICHIGAN
GERALD J. SOSNOWSKI
LANDSCAPE ARCHITECT
NO. 982

SECTION 4 TOWN 3 SOUTH RANGE 6 EAST
CITY OF ANN ARBOR
WASHTENAW COUNTY • MICHIGAN
JOB NO. 32724
DWG NO. 724-not-foot
FIELD BOOK 659
FILE NO. 10596
C-2.0
SHEET

**NATURAL FEATURES
PLAN**

**JACKSON DEARBORN
PARTNERS**
404 S. WELLS ST. STE. 400
CHICAGO, IL 60607
TEL (312) 580-2550

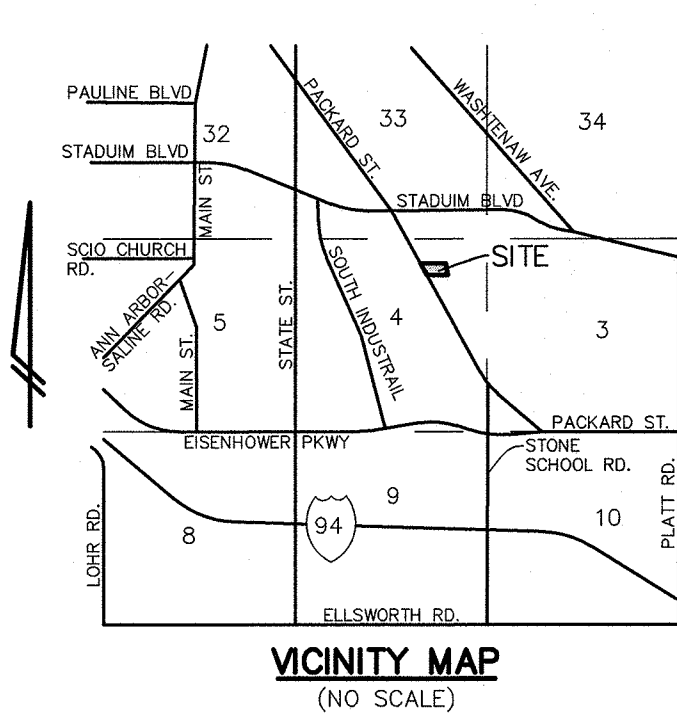
CIVIL ENGINEERS
PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
3526 W. LIBERTY RD
ANN ARBOR, MI 48103
TEL 734-781-8800
FAX 734-781-9530
WWW.WASHTENAWENGINEERING.COM

**WASHTENAW
ENGINEERING**

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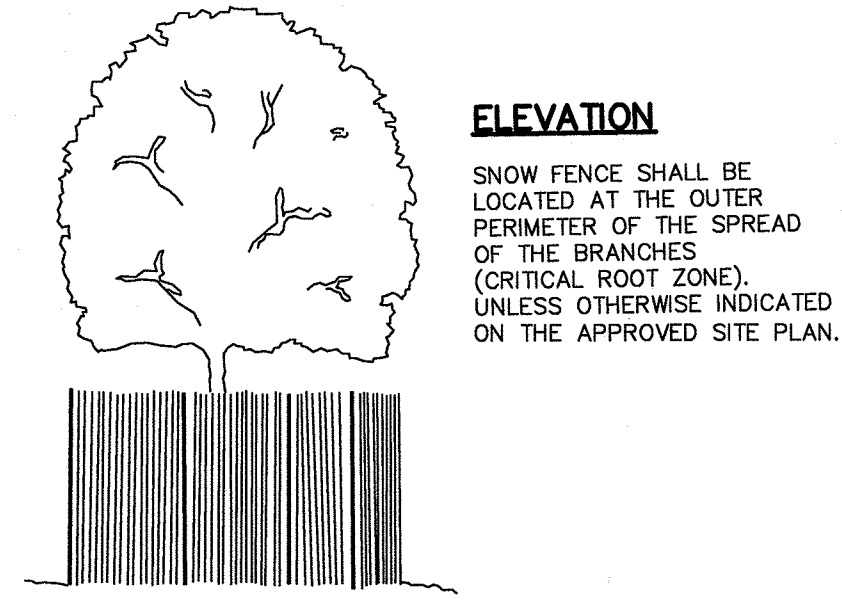
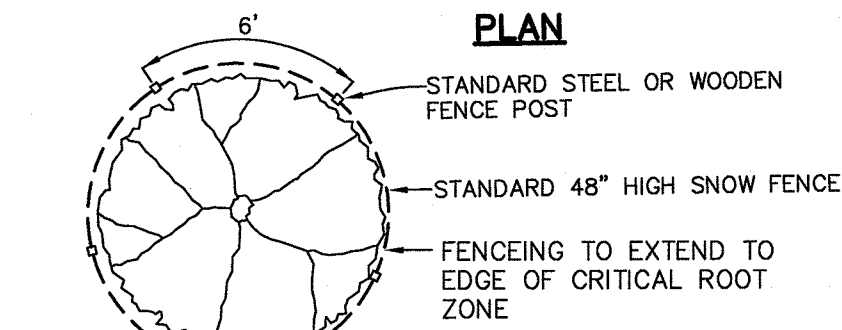
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- REMOVAL LEGEND**
- LANDMARK TREE CRITICAL ROOT ZONE
 - LANDMARK TREE CRITICAL ROOT ZONE IMPACT AREA
 - TREE TO BE REMOVED
 - TREE PROTECTION FENCING
 - REMOVE CONCRETE CURB & GUTTER
 - SAWCUT LINE
 - REMOVE PAVED SURFACE

- NOTES:**
- ALL REMOVAL LIMITS MUST BE SAW CUT AT FULL DEPTH.
 - UTILITY LEADS NOT PROPOSED FOR RE-USE WITH THE NEW DEVELOPMENT SHALL BE PERMANENTLY DISCONNECTED AT THEIR RESPECTIVE MAINS.
 - FINAL PAVEMENT REMOVALS WILL BE DETERMINED BY THE CITY DURING CONSTRUCTION, BUT WILL GENERALLY INCLUDE TO LANE LINES.

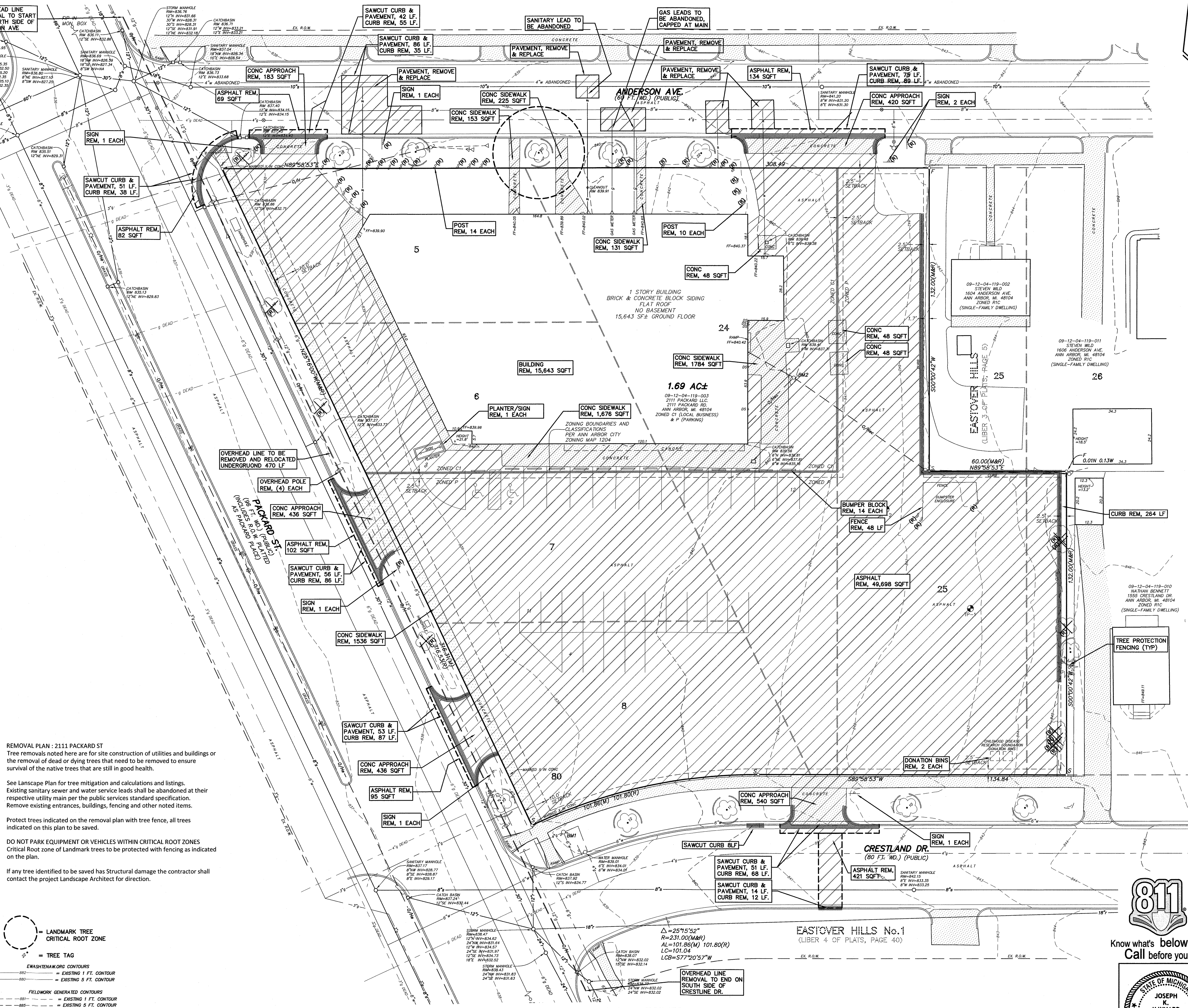


WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION

FOX SANDY LOAM, 0 TO 2 PERCENT SLOPES

SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY.

- LEGEND**
- LIGHT POLE
 - UTILITY POLE
 - GUY ANCHOR
 - HYDRANT
 - SPOT ELEV.
 - POST
 - GATE VALVE
 - SIGN
 - TOP OF CURB
 - TOP OF WALL
 - MANHOLE
 - CATCHBASIN
 - END SECTION
 - GRAVEL
 - FENCE
 - CONCRETE
 - ASPHALT
 - EXISTING STORM
 - EXISTING SANITARY
 - EXISTING WATER
 - EXISTING GAS
 - EXISTING ELECTRIC
 - EXISTING TELEPHONE



CIVIL ENGINEERS

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3526 W. LIBERTY RD

ANN ARBOR, MI 48103

TEL: 734-761-8800

FAX: 734-761-9530

WASHTENAWENGINEERING.COM

WASHTENAW

ENGINEERING

JACKSON DEARBORN

PARTNERS

CLIENT

09-12-04-119-002

STEVEN WILD

1604 ANDERSON AVE.

ANN ARBOR, MI 48104

ZONED R1C

(SINGLE-FAMILY DWELLING)

REMOVAL PLAN

SHEET

09-12-04-119-011

STEVEN WILD

1604 ANDERSON AVE.

ANN ARBOR, MI 48104

ZONED R1C

(SINGLE-FAMILY DWELLING)

PROJECT

SECTION 4

TOWN 3

SOUTH

RANGE 6

EAST

DATE 7-22-20

JOB NO. 32724

DWG NO. 724-007

FIELD BOOK 659

FILE NO. 70596

C-3.0

SHEET

JOSEPH K. MAYNARD

P.E., MICH No. 52559

811

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STATE OF MICHIGAN

JOSEPH K. MAYNARD

P.E., MICH No. 52559

REGISTERED PROFESSIONAL ENGINEER

PREPARED BY *Joseph K. Maynard*
JOSEPH K. MAYNARD P.E., MICH No. 52559

REVISIONS 9-2-2020 PER CITY REVIEW. 9-16-2020 PER CITY REVIEW. 10-15-2020 COMMENTS. 11-12-2020 COMMENTS.

BENCHMARK BM1=ARROW ON HYDRANT ON THE CORNER OF CRESTLAND DR. AND PACKARD RD. ON THE SOUTHWEST PROPERTY CORNER. ELEV=841.87 (NAVD 88).
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WASHTEKAW COUNTY SOIL SURVEY CLASSIFICATION
FO - FOX SANDY LOAM, 0 TO 2 PERCENT SLOPES
S - SOILS BOUNDARY
SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTEKAW COUNTY.

- NOTE:
- PER CHAPTER 49, SECTION 4-58 "ALL SIDEWALKS ARE TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME" PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.
 - SIDEWALKS SHALL CONTINUE THROUGH PROPOSED DRIVE APPROACHES WITHOUT SIDEWALK RAMPS.
 - SITE CONTAINS NO EXISTING PUBLIC UTILITY EASEMENT, NONE ARE PROPOSED
 - A NEW PUBLIC SIDEWALK EASEMENT IS PROPOSED ALONG ANDERSON AVE.
 - NO THE BACKS ARE PROPOSED. NO TEMPORARY EARTH RETENTION SYSTEM WILL BE REQUIRED.
 - SIDEWALKS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY AND/OR PUBLIC PATHS SHALL MEET ALL REQUIREMENTS AND GUIDELINES AS SET FORTH IN THE ADA STANDARDS FOR ACCESSIBLE DESIGN. INTERSECTION RAMPS, INCLUDING RECEIVING RAMPS MUST BE COMPLIANT AT THE TIME OF CONSTRUCTION. IF RAMPS ARE FOUND TO BE OUT OF COMPLIANCE, THEY WILL NEED TO BE RECONSTRUCTED. ADDITIONALLY, TURNING SPACES ARE REQUIRED ON PUBLIC SIDEWALK AT THE INTERFACE OF SITE SIDEWALK WITH PUBLIC SIDEWALK.
 - TITLE IV, CHAPTER 47, SECTION 4-13 OF THE CITY CODE PROHIBITS EXCAVATIONS "IN OR UNDER A PAVED STREET...WITHIN A PERIOD OF 3 YEARS AFTER THE COMPLETION OF ANY PAVING OR RESURFACING THEREOF." IN ADDITION, DIVISION I, SECTION 14, WORK IN THE RIGHT-OF-WAY OF THE PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS EXTENDS THE MORATORIUM FOR ARTERIAL STREETS, SUCH AS PACKARD STREET, TO 10 YEARS. AS THIS PORTION OF PACKARD STREET WAS RECENTLY RESURFACED, THE STREET CUT MORATORIUM IS STILL IN EFFECT UNTIL 2024. PROPOSED STREET CUTS INTO A MORATORIUM STREET MAY INVOLVE SPECIAL RESTORATION METHODS.

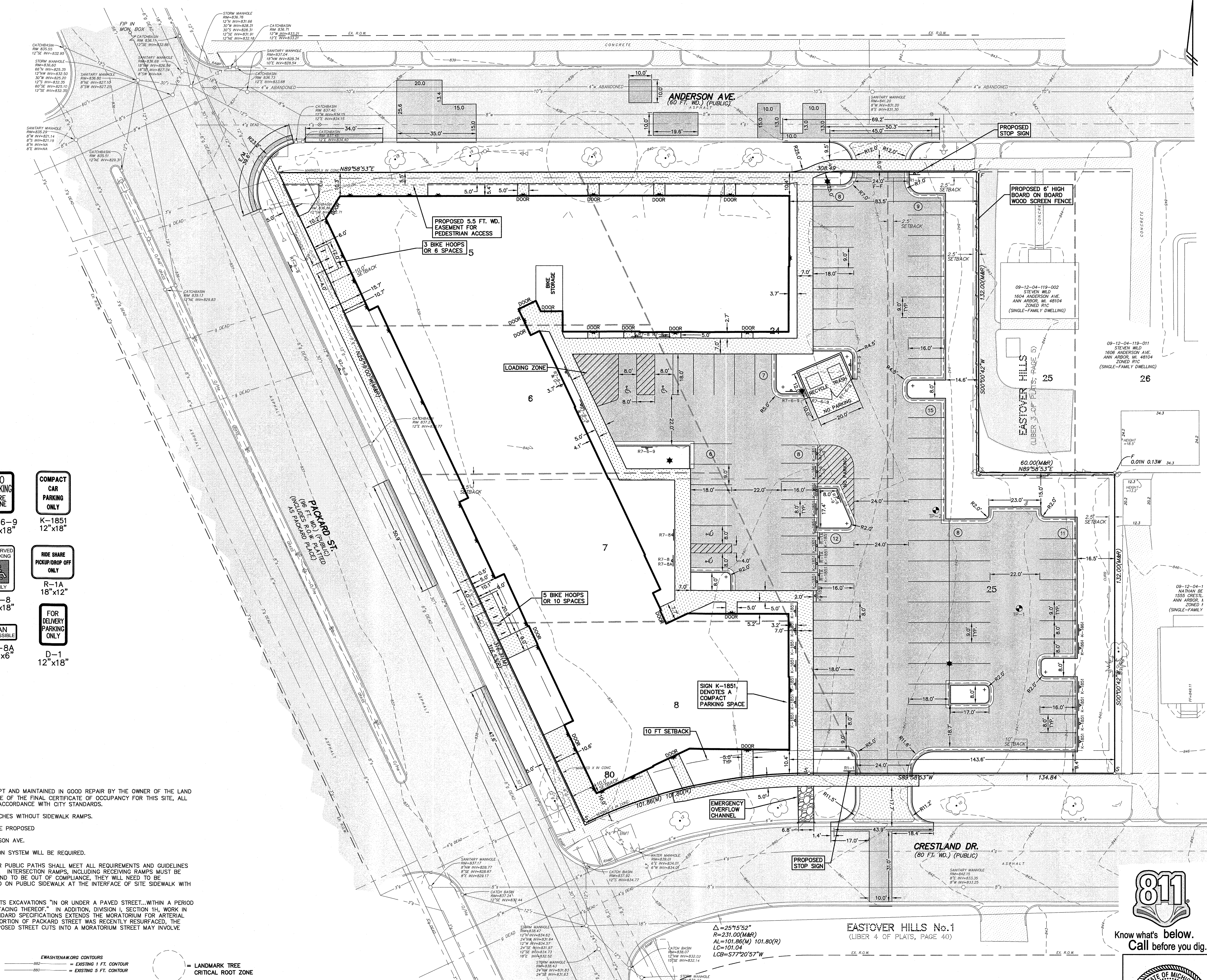
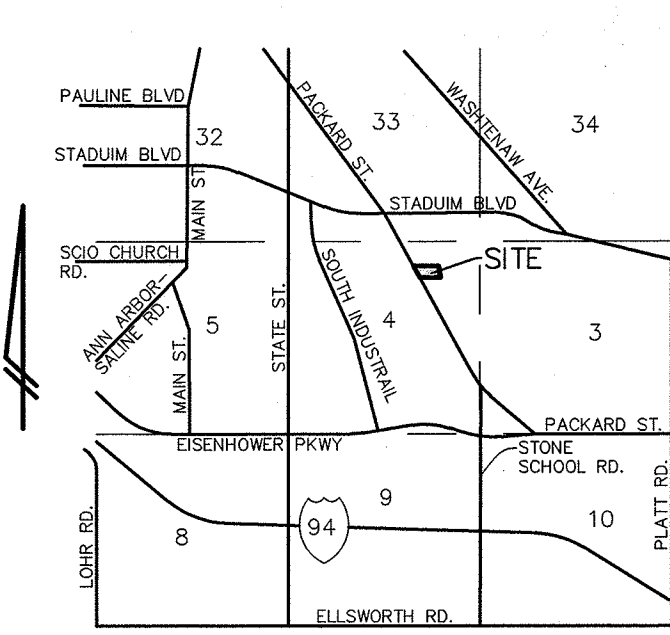
PROPOSED LEGEND

- ASPHALT SURFACE
- CONCRETE SURFACE
- CONCRETE BARRIER CURB & GUTTER
- SPILL OUT CONCRETE CURB & GUTTER
- SIGN
- LIGHTPOLE
- CHAIN LINK FENCE

PROPOSED ZONING C3
SETBACK TABLE:
FACING DISTANCE FROM PROPERTY LINE
FRONT 10 FT
SIDES 9.7 FT
REAR 16.5 FT
BIKE PARKING = 12 SPACES (CLASS A)
30 SPACES (CLASS C)
TOTAL PARKING = 85 SPACES
(INCLUDING 4 HC SPACES)
LOADING ZONE = 1 SPACE (16'x34')

- NO PARKING
FIRE LANE
R7-6-9
12"x18"
- COMPACT
CAR
PARKING
ONLY
K-1851
12"x18"
- RESERVED
PARKING
ONLY
R-1A
18"x12"
- VAN
ACCESSIBLE
R7-8A
12"x6"
- FOR
DELIVERY
PARKING
ONLY
D-1
12"x18"

VICINITY MAP
(NO SCALE)

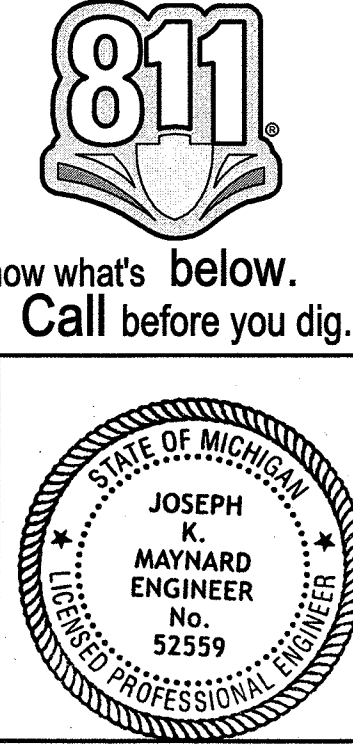


BENCHMARK BM1=ARROW ON HYDRANT ON THE CORNER OF CRESTLAND DR. AND PACKARD RD. ON THE SOUTHWEST PROPERTY CORNER. ELEV=841.87 (NAVD 88).
BM2 MAG NAIL IN UTILITY POLE ON THE EAST SIDE OF BUILDING ±100 FT SOUTH OF ANDERSON AVE., ELEV=841.52 (NAVD 88).

REVISIONS 9-2-2020 PER CITY REVIEW. 9-16-2020 PER CITY REVIEW. 10-15-2020 COMMENTS. 11-12-2020 COMMENTS.

SCALE
0 10 20 40
SCALE: 1"=20'

PREPARED BY *Joseph K. Maynard*
JOSEPH K. MAYNARD P.E., MICH No. 52559



SECTION 4 TOWN 3 SOUTH RANGE 6 EAST
CITY OF ANN ARBOR
WASHTEKAW COUNTY • MICHIGAN
DATE 7-22-20
JOB NO. 32724
DWG NO. 724-516
FIELD BOOK 659
SHEET
C-4.0

PROJECT
2111 PACKARD ST

SHEET
**DIMENSIONAL
SITE PLAN**

CLIENT
**JACKSON DEARBORN
PARTNERS**
404 S. WELLS ST. STE. 400
CHICAGO, IL 60607
TEL (312) 580-2550

CIVIL ENGINEERS
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ENGINEERING**
3526 W. LIBERTY RD
ANN ARBOR, MI 48103
TEL 734-761-9800
FAX 734-761-9530
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11/13/2020 10:28:11 AM, 11/13/2020 10:28:11 AM, 11/13/2020 10:28:11 AM

THE OWNER SHALL NOT USE OR AUTHORIZE ANY OTHER PERSON TO USE THE DRAWINGS, SPECIFICATIONS, OR ANY PART THEREOF FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF WASHTENAW ENGINEERING COMPANY, INC. NO REPRODUCTION SHALL BE MADE WITHOUT PRIOR WRITTEN CONSENT OF WASHTENAW ENGINEERING COMPANY, INC.

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SOIL EROSION CONTROL NOTES:
1. TOTAL AREA OF PARCEL IS 1.69± ACRES.
2. AREA OF PROPOSED EARTH DISRUPTION IS 1.69± ACRES.
3. FEMA FLOOD MAP PANEL 26161C0263C. NOT IN A 100 YEAR FLOOD PLAIN.
4. A PORTABLE CONCRETE WASHOUT CONTAINER IS REQUIRED FOR ANY CONCRETE WORK IN THE CITY OF ANN ARBOR. SEE DETAIL SHEET C-13.0.

CLIENT JACKSON DEARBORN PARTNERS
LOCATION City of Ann Arbor
FOR 2111 PACKARD STREET
JOB # 32724
Prepared By: Joe Maynard

ENGINEER'S OPINION
OF PROBABLE COSTS
DATE: 7-22-2020

ITEM No.	ITEM DESCRIPTION	ESTIMATED QUANTITIES	UNIT	UNIT PRICE	AMOUNT
1	Soil Erosion Controls				
2	Inlet Filters	5	EA	\$83.00	\$415.00
3	Silt Fence	765	LF	\$1.40	\$1,071.00
4	Rip-Rap	2	SY	\$40.00	\$80.00
5	Stabilized Construction Access	1	LS	\$585.00	\$1,170.00
6	Dust Emission Control (Sweeping)	2	LS	\$2,000.00	\$4,000.00
	Portable concrete washout container	1	EA	\$3,000.00	\$3,000.00
	Total Cost				\$7,736.00

Protection of all exposed soil surfaces from erosion should work discontinue

1	Restoration - includes mulch & seed	1.69	ACRE	\$500	\$845.00
	Total Cost				\$8,581.00

SOIL EROSION AND SEDIMENTATION CONTROL NOTES GENERAL

- The contractor shall implement and maintain the soil erosion control measures as shown on the plans at all times during construction on this project. Any modifications or additions to the soil erosion control measures due to construction or changed conditions, shall be complied with as required or directed by the Owner, Project Engineer or the City of Ann Arbor.
- All soil erosion and sedimentation control work shall conform to the permit requirements of the City of Ann Arbor and the laws of the State of Michigan.
- A NPDES Construction Activity Permit is required for all sites with soil disturbance greater than 5 acres.
- Daily Inspections shall be made by the Contractor. Periodic inspections may be made by the Owner/Project Engineer/City to determine the effectiveness of erosion and sedimentation control measures. Any necessary corrections shall be made without delay.
- Erosion and sedimentation from work on the site shall be contained on the site and not be allowed to collect on any off-site areas or in waterways.
- All mud/dirt tracked onto roads from the site due to construction, shall be promptly removed by the Contractor. External streets will be cleaned of any tracked mud immediately following each mud-tracking occurrence.
- Restoration of all disturbed areas, including placement of topsoil, seed, fertilizer and mulch and/or sod shall be done within 5 days of the completion of final grade.
- Construction operations shall be scheduled and performed so that preventive soil erosion control measures are in place prior to excavation in critical areas and temporary stabilization measures are in place immediately following backfilling operations.
- Special precautions will be taken in the use of construction equipment to prevent situations that promote erosion.
- Proper dust control shall be maintained during construction by use of water trucks and/or chloride as required.
- The Contractor shall be responsible for maintaining all temporary soil erosion control measures and removal of some upon authorized completion of project. Completion of project will not be authorized until all site work, home building, road work and utility construction is complete and all soils are stabilized.
- Contractor shall not wash out concrete truck in roadway, but use a dedicated location.
- Existing impervious surface 72,942 sqft. Proposed impervious surface 60,392 sqft.

PROPOSED UTILITY LEGEND

- INFILTRATION AREA
- PROPOSED SANITARY SEWER
- PROPOSED WATER MAIN
- PROPOSED STORM SEWER
- END SECTION
- MANHOLE
- CATCHBASIN
- HYDRANT
- GATE VALVE
- GATE VALVE IN BOX
- GATE VALVE IN WELL
- DOWNSPOUT

PROPOSED LEGEND

- ASPHALT SURFACE
- CONCRETE SURFACE
- CONCRETE BARRIER CURB & GUTTER
- SPILL OUT CONCRETE CURB & GUTTER
- SIGN
- LIGHTPOLE
- CHAIN LINK FENCE

SOIL EROSION CONTROL LEGEND

- INLET FILTER
- SILT FENCING & 6' HIGH CONSTRUCTION FENCE
- LIMITS OF DISTURBANCE/ LIMITS OF CONSTRUCTION
- TEMPORARY EROSION CONTROL
- PERMANENT EROSION CONTROL

MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET S-E-S-C KEYING SYSTEM

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attached).
SS1	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
SS3	STABILIZED CONSTRUCTION ACCESS		Used at every point where construction traffic enters or leaves a construction site.
SS8	INLET PROTECTION		Use of stormwater inlets, especially at construction sites.

• See detail page for S-E-S-C details

CONSTRUCTION NOTES:

- ALL CONSTRUCTION TO COMPLY WITH CITY OF ANN ARBOR STANDARD SPECIFICATIONS AND DETAILS.
- ALL CONSTRUCTION SIGNING SHALL BE IN COMPLIANCE WITH THE CURRENT MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR IS RESPONSIBLE TO ACQUIRE ALL REQUIRED PERMITS FOR THIS PROJECT.

SIDEWALK NOTE:

PER CHAPTER 49, SECTION 4-58 'ALL SIDEWALKS ARE TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME' PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.

WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION

FOX SANDY LOAM, 0 TO 2 PERCENT SLOPES
SOILS BOUNDARY
SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY.

- LEGEND
- LIGHT POLE
 - UTILITY POLE
 - GUY ANCHOR
 - HYDRANT
 - SPOT ELEV.
 - POST
 - GATE VALVE
 - SIGN
 - TOP OF CURB
 - TOP OF WALL
 - MANHOLE
 - CATCHBASIN
 - END SECTION
 - GRAVEL
 - FENCE
 - CONCRETE
 - ASPHALT
 - EXISTING STORM
 - EXISTING SANITARY
 - EXISTING WATER
 - EXISTING GAS
 - EXISTING ELECTRIC
 - EXISTING TELEPHONE

- LANDMARK TREE
- CRITICAL ROOT ZONE
- TREE TAG

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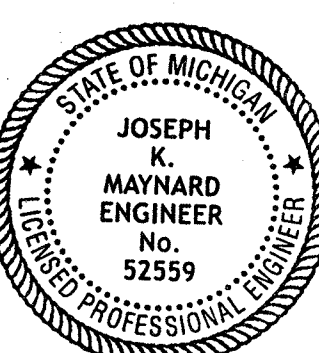
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PREPARED BY
JOSEPH K. MAYNARD P.E., MICH No. 52559



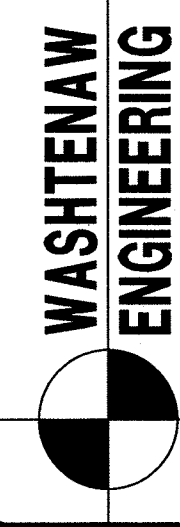
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GRADING AND SOIL EROSION CONTROL PLAN

2111 PACKARD ST

JACKSON DEARBORN PARTNERS



CIVIL ENGINEERS
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LANDSCAPE ARCHITECTS
3526 W. LIBERTY RD
SUITE 400
ANN ARBOR, MI 48103
TEL. 734-761-9530
FAX. 734-761-9530
WASHTENAWENGINEERING.COM

SECTION 4 TOWN 3 SOUTH RANGE 6 EAST
CITY OF ANN ARBOR
WASHTENAW COUNTY • MICHIGAN
JOB NO. 32724
DATE 7-22-20
DWG NO. 724-grd
FIELD BOOK 659
SHEET
C-5.0
FILE NO. 10596

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WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION
FOXY SANDY LOAM, 0 TO 2 PERCENT SLOPES
SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY.

WASHTENAW COUNTY CONTOURS
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--- = EXISTING 5 FT. CONTOUR
FIELDWORK GENERATED CONTOURS
--- = EXISTING 1 FT. CONTOUR
--- = EXISTING 5 FT. CONTOUR

TC = TOP OF CURB
TW = TOP OF WALL
○ = MANHOLE
□ = CATCHBASIN
— = END SECTION

--- = GRAVEL
--- = FENCE
--- = CONCRETE
--- = ASPHALT

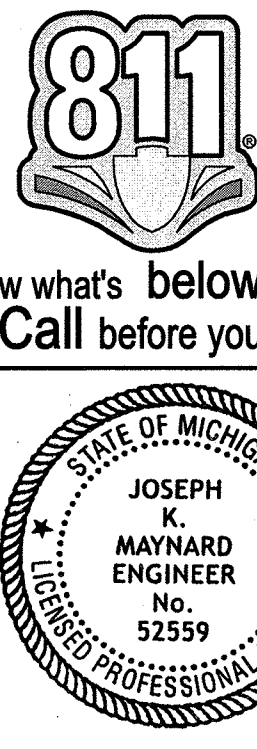
--- = EXISTING STORM
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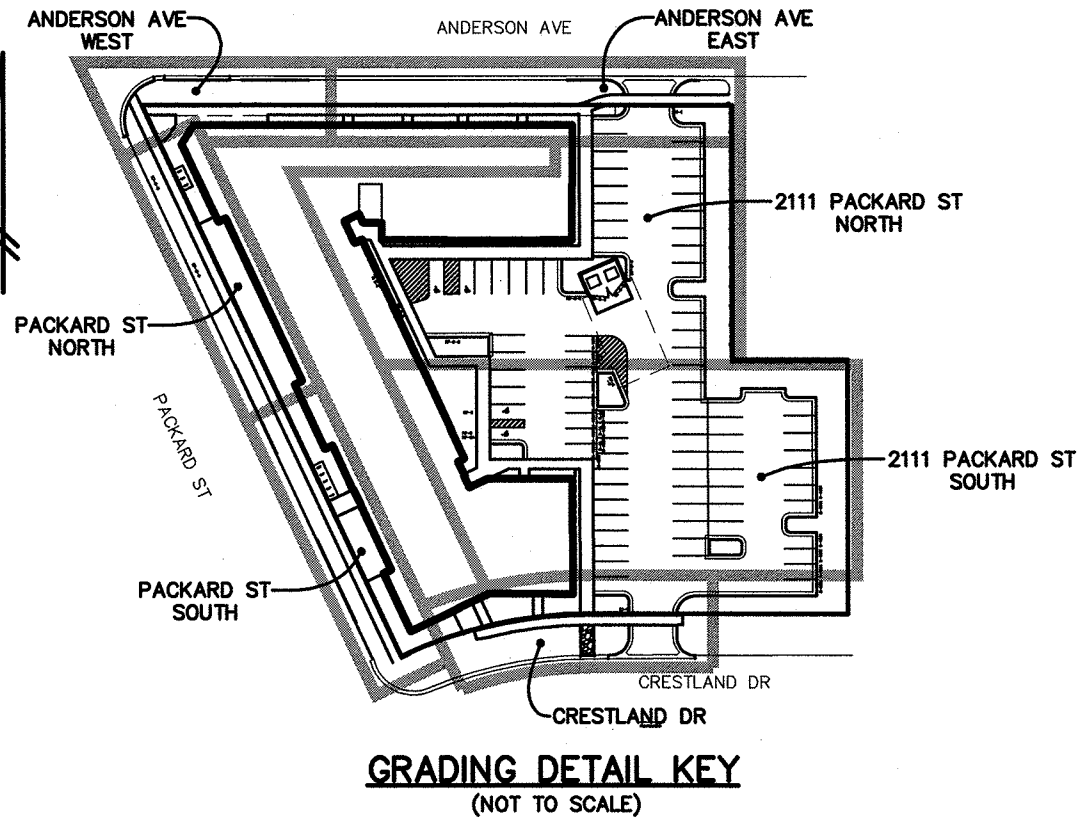
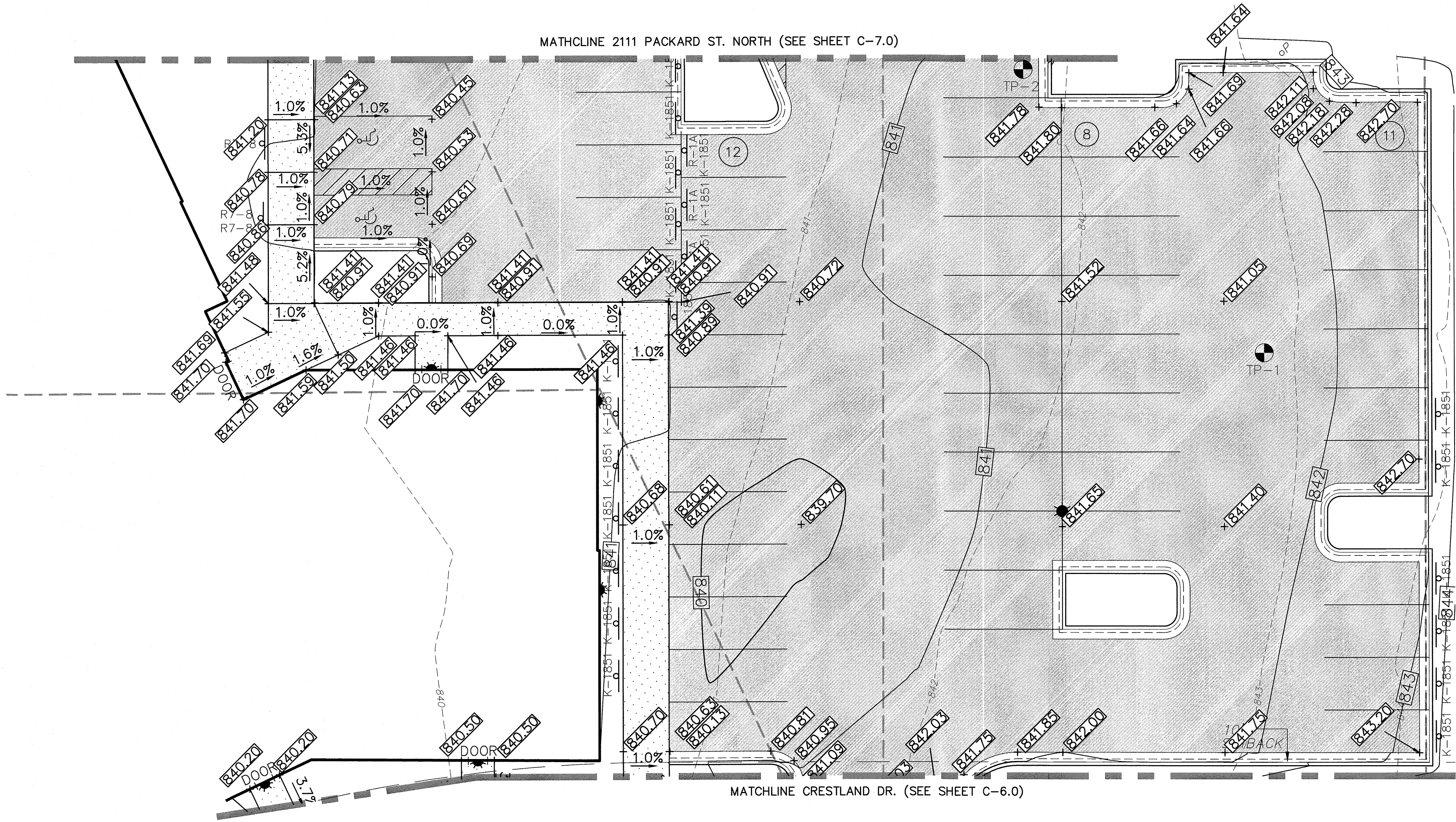
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SCALE
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SCALE: 1"=10'

PREPARED BY: JOSEPH K. MAYNARD P.E., MICH No. 52559



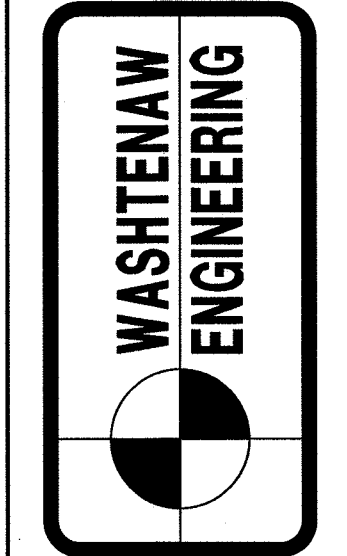
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SECTION 4 TOWN 3 SOUTH RANGE 6 EAST
CITY OF ANN ARBOR
WASHTENAW COUNTY • MICHIGAN
DATE 7-22-20 JOB NO. 32724
DWS NO. 724-grd-det FIELD BOOK 659
SHEET C-8.0 FILE NO. 10596

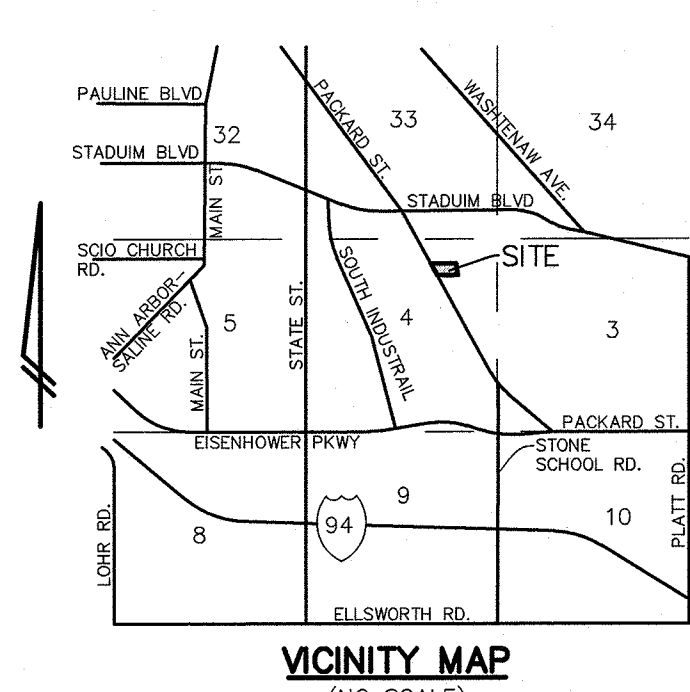
GRADING DETAIL

JACKSON DEARBORN PARTNERS
404 S. WELLS ST., STE. 400
CHICAGO, IL 60607
TEL (312) 580-2550



CIVIL ENGINEERS
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SIDEWALK NOTE:

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CONSTRUCTION NOTE:

ALL CONSTRUCTION SHALL MEET THE CURRENT CITY OF ANN ARBOR STANDARDS.

STORM SEWER NOTES:

1. STORM SEWER PIPE IS TO BE SMOOTH LINED CORRUGATED PLASTIC PIPE (SLCPP).
2. SMOOTH LINED CORRUGATED PLASTIC PIPE (SLCPP) SHALL BE ADS N-12 OR EQUIVALENT. THE PIPE MATERIAL MUST CONFORM WITH THE REQUIREMENTS OF DIVISION III, SECTION 28 OF THE PUBLIC SERVICES STANDARD SPECIFICATIONS FOR CONSTRUCTION.
3. FOOTING DRAINS TO CONNECT TO INFILTRATION BASIN.
4. ALL ROOF DRAINS TO BE TIED IN TO STORM SEWER SYSTEM.

SANITARY SEWER NOTES:

1. THE PLAN PROPOSES TO BUILD AS ONE (1) SINGLE INDEPENDENT BUILDING. ONLY ONE (1) SANITARY SEWER LEAD IS PROPOSED. THE BUILDING DOES NOT CONTAIN ANY FIRE WALLS.
2. THE PROPOSED CONNECTION TO THE EXISTING SANITARY SEWER WILL BE MADE WITH A NEW 10"X8"X10" WYE CUT INTO THE SEWER MAIN WITH SEWER REPAIR JOINTS, PER THE PUBLIC SERVICES STANDARD SPECIFICATIONS.

SANITARY SEWER FLOW MITIGATION CALCULATIONS:				
TYPE OF USE	RATE FROM TABLE A	PROPOSED USE	DESIGN FLOW	GPD
EXISTING BUILDING TO BE REMOVED				
RETAIL STORE (NO PROCESS WATER DISCHARGE)				
1ST FLOOR	0.03	GPD/SQ. FT.	15643 SQ. FT.	469
			TOTAL	= 469 GPD
PROPOSED BUILDING				
CONDOS				
UP TO 600 SQ. FT. (Studio 475sqft)	175	GPD/UNIT	13 UNITS	2275
601-1200 SQ. FT. (11 650sqft or 2/2 950sqft)	250	GPD/UNIT	59 UNITS	14750
RESTAURANT (OTHER THAN FAST FOOD)				
BISTRO/CAFE/LOUNGE	30	GPD/SEAT	70 SEATS	2100
WAREHOUSE				
MAINTENANCE, STORAGE & RECEIVING				
MECHANICAL, ELECTRICAL	0.06	GPD/SQ. FT.	2250 SQ. FT.	135
NON-MEDICAL OFFICE SPACE				
LOBBY/AMENITY SPACE	0.06	GPD/SQ. FT.	2682 SQ. FT.	161
RETAIL				
1ST FLOOR	0.03	GPD/SQ. FT.	3720 SQ. FT.	112
SPA, COUNTRY CLUB				
FITNESS/BEAUTY SHOP	0.3	GPD/SQ. FT.	1350 SQ. FT.	405
			TOTAL	= 19,938 GPD
Adjusted for flow credit for existing building = 19,938 - 469 = 19,469 gallons per day				
Peak Flow = 19,469 x 4 x 1.1 = 85,664 gallons per day = 59.5 GPM				
or 60 Peak Flow to be Mitigated				

WATER SYSTEM NOTES:

- NO WATER BOOSTER PUMPS WILL BE USED FOR THE BUILDING WATER SERVICE LEADS.
- WATER SERVICE METERING SHALL OCCUR AT THE POINT THE SERVICE LEADS ENTER THE BUILDING. NOTE THAT EACH WATER SERVICE WILL HAVE ONE WATER METER. SUBMETERING AMONG DIFFERENT UNITS/TENANTS IS THE RESPONSIBILITY OF THE PROPERTY OWNER IF DESIRED.

PROPOSED UTILITY LEGEND

- INFILTRATION AREA
- 4" = PROPOSED SANITARY SEWER
- 12" = PROPOSED WATER MAIN
- 12" = PROPOSED STORM SEWER
- END SECTION
- MANHOLE
- CATCHBASIN
- HYDRANT
- GATE VALVE
- GATE VALVE IN BOX
- GATE VALVE IN WELL
- DOWNSPOUT

PROPOSED LEGEND

- ASPHALT SURFACE
- CONCRETE SURFACE
- CONCRETE BARRIER CURB & GUTTER
- SPILL OUT CONCRETE CURB & GUTTER
- SIGN
- LIGHTPOLE
- CHAIN LINK FENCE

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- SOILS BOUNDARY

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LANDMARK TREE CRITICAL ROOT ZONE

TREE TAG

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PREPARED BY

JOSEPH K. MAYNARD P.E., MICH No. 52559



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SHEET
UTILITY PLAN

PROJECT
2111 PACKARD ST

SECTION 4 TOWN 3 SOUTH RANGE 6 EAST
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C-9.0

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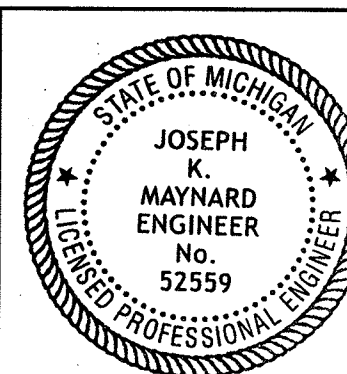
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PREPARED BY *Joseph K. Maynard*
JOSEPH K. MAYNARD P.E., MICH No. 52559



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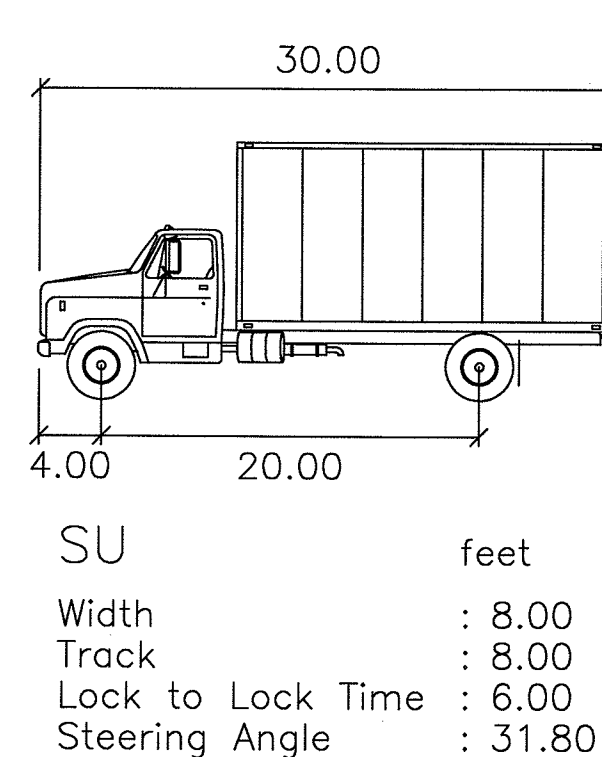
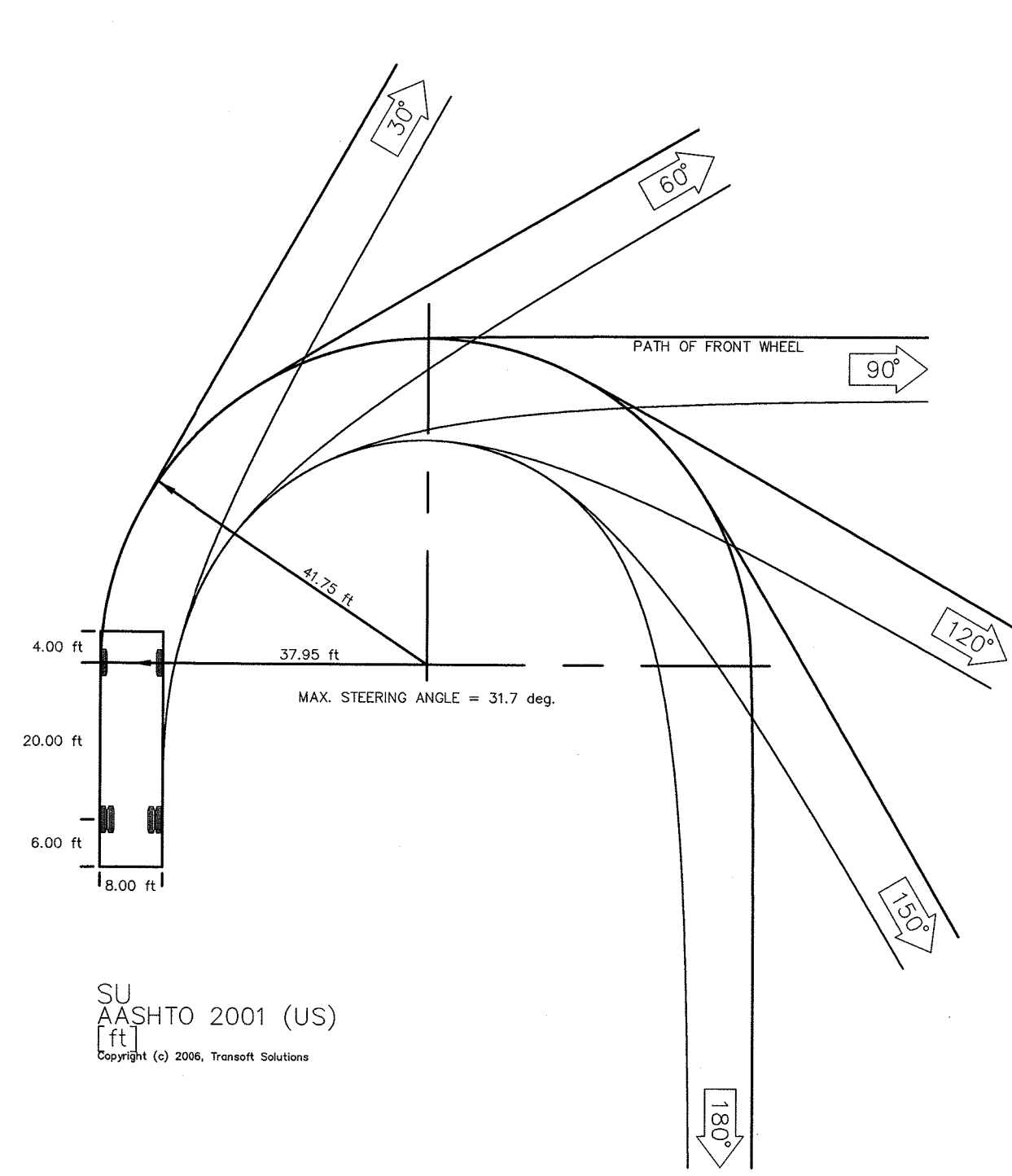
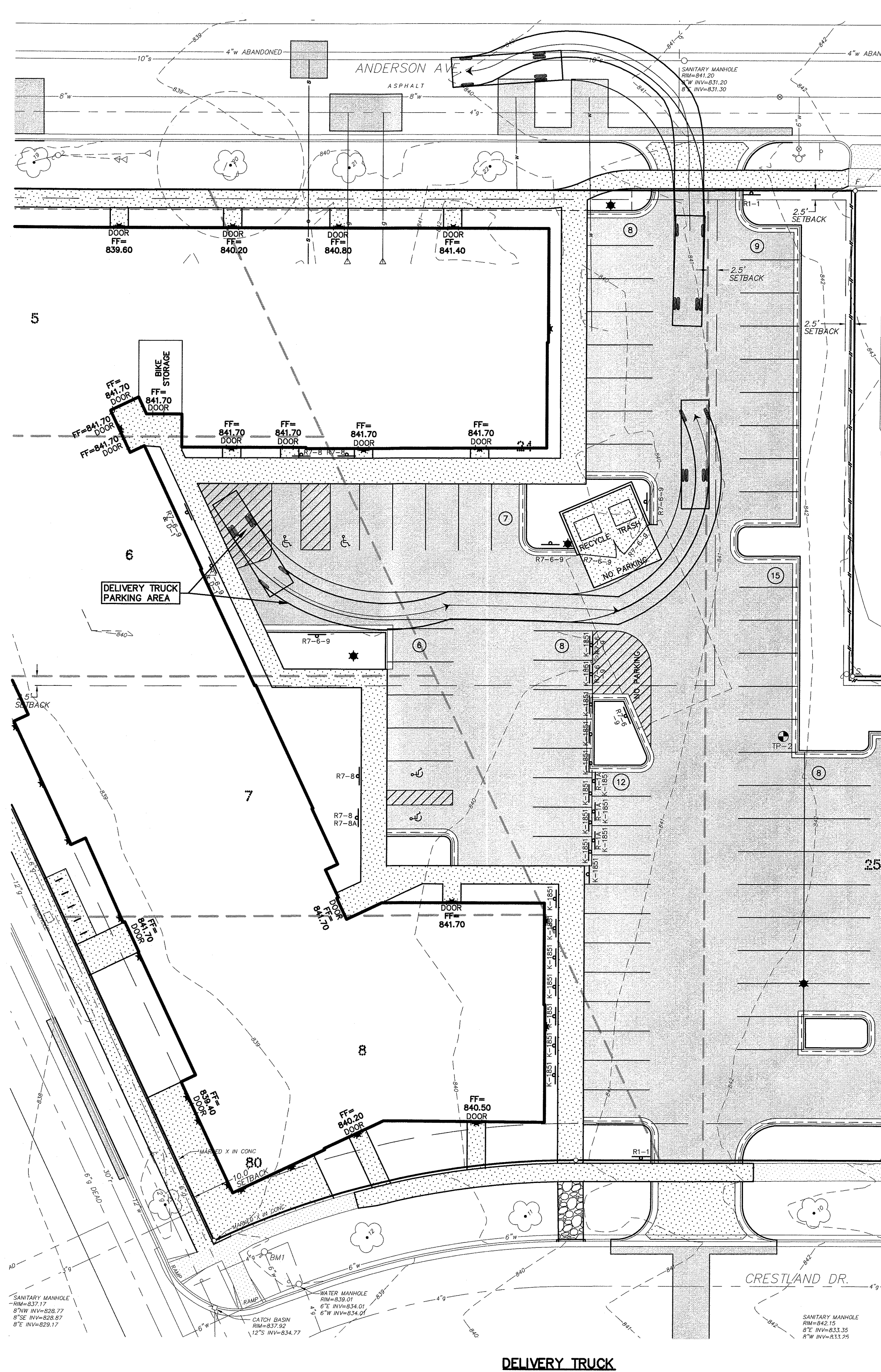
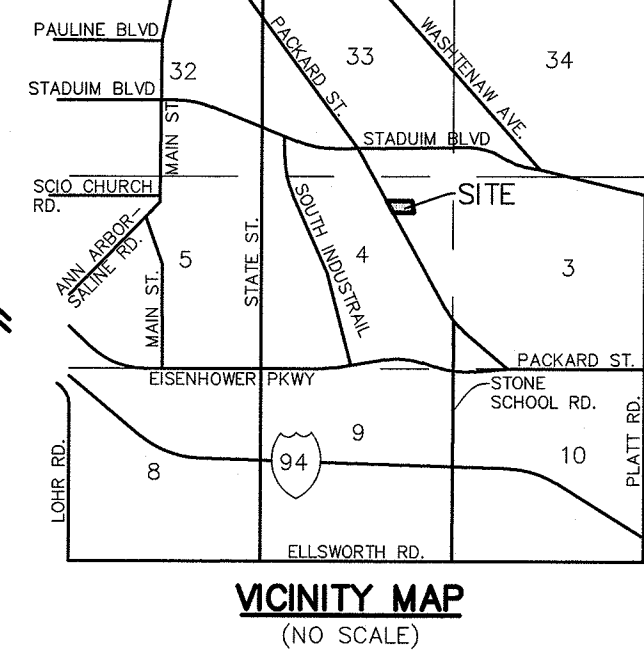
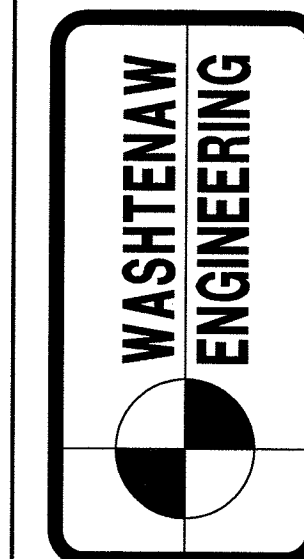
SECTION 4 TOWN 3 SOUTH RANGE 6 EAST
CITY OF ANN ARBOR
WASHTENAW COUNTY • MICHIGAN
JOB NO. 32724
DWG NO. 724-Turn
FIELD BOOK 659
FILE NO. 10596
DATE 7-22-20
SHEET C-14.0

PROJECT
2111 PACKARD ST

SHEET
TURNING TEMPLATE
DELIVERY TRUCK

CLIENT
JACKSON DEARBORN PARTNERS
404 S. WELLS ST. STE. 400
CHICAGO, IL 60607
TEL (312) 560-2550

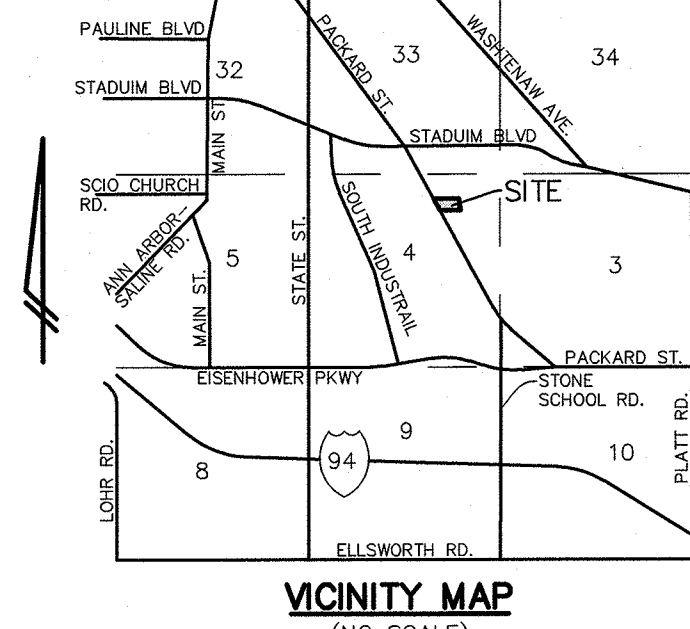
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PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS
3526 W. LIBERTY RD
ANN ARBOR, MI 48103
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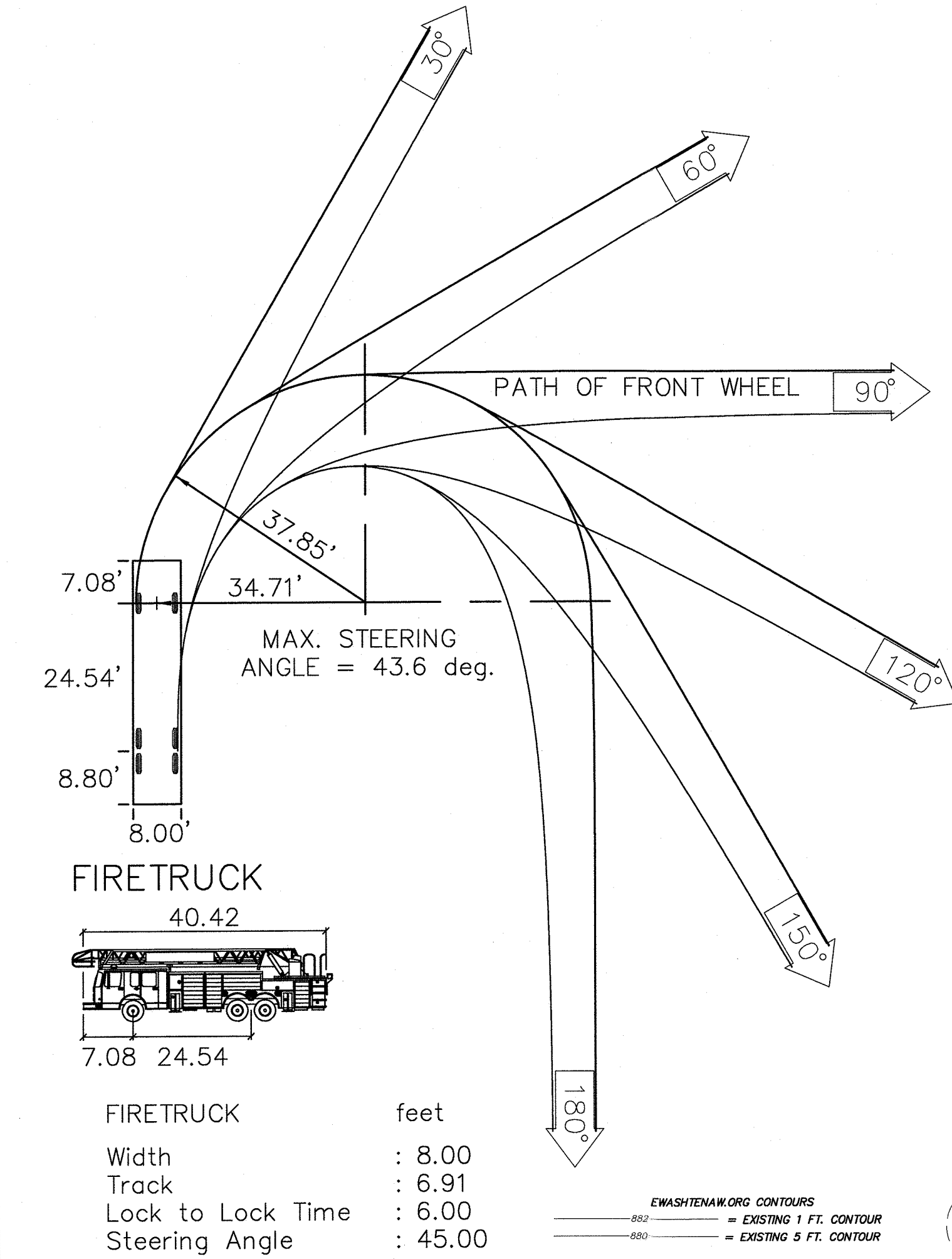


- ### FIRE PROTECTION NOTES:
- Project proposes a three story multi-use building which includes retail, fitness center, lobby, cafe and 72 residential units.
 - Storage area for construction materials shall not interfere with fire/emergency site access.
 - Hydrants shall be in service during construction.
 - Hydrants providing protection coverage for the building shall be in service and approved by both Engineering before Fire Department will support permit issuance for new construction phase and before combustible material are placed on the job site.
 - Landscaping shall not be planted within a 3' radius of the FDC or the hydrants.
 - FDC connection shall fall within the 100' maximum distance for a supporting hydrant.
 - A horn/strobe device shall be installed above the FDC that activates upon water flow in the automatic sprinkler system.
 - Knox Box shall be mounted on an exterior location for emergency access to the building between 5' and 6' high.
 - Building will meet NFPA 13 fire protection.
 - See Architectural sheet for street address locations.
 - Building does not contain any fire walls.

WATER FLOW TEST

DATED: 7-6-2020

FLOW HYDRANT(S)	02-04325
SIZE OPENING:	2.5
COEFFICIENT:	0.8
PITOT READING:	36
GPM:	895
TOTAL FLOW DURING TEST:	1790 GPM
STATIC READING:	65 PSI
RESIDUAL READING:	60 PSI
RESULTS:	
AT 20 PSI RESIDUAL	5863 GPM
AT 0 PSI	7150 GPM
ESTIMATED CONSUMPTION:	8949 GAL

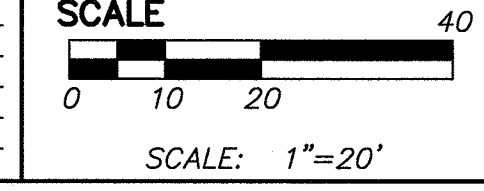


- ### LEGEND
- | | | | |
|------------------|----------------|----------------|--------------------------|
| ● = LIGHT POLE | ○ = SPOT ELEV. | --- = GRAVEL | --- = EXISTING STORM |
| ○ = UTILITY POLE | ○ = POST | --- = FENCE | --- = EXISTING SANITARY |
| ○ = GUY ANCHOR | ○ = GATE VALVE | --- = CONCRETE | --- = EXISTING WATER |
| ○ = HYDRANT | ○ = SIGN | --- = ASPHALT | --- = EXISTING GAS |
| | | | --- = EXISTING ELECTRIC |
| | | | --- = EXISTING TELEPHONE |
- TC = TOP OF CURB
TW = TOP OF WALL
○ = MANHOLE
□ = CATCHBASIN
--- = END SECTION

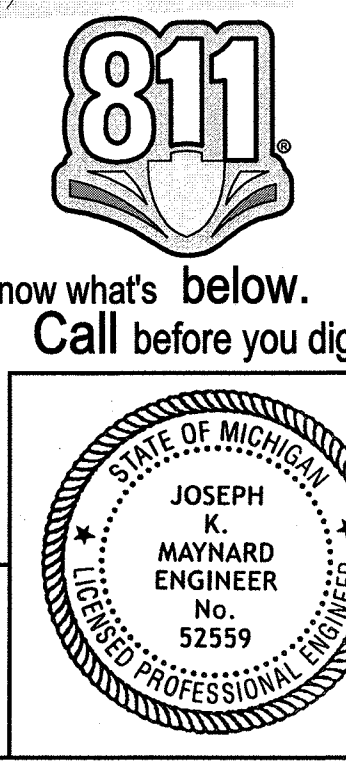
BENCHMARK BM1=ARROW ON HYDRANT ON THE CORNER OF CRESTLAND DR. AND PACKARD RD. ON THE SOUTHWEST PROPERTY CORNER. ELEV=841.87 (NAVD 88).
BM2 MAG NAIL IN UTILITY POLE ON THE EAST SIDE OF BUILDING ±100 FT SOUTH OF ANDERSON AVE., ELEV=841.52 (NAVD 88).

REVISIONS

NO.	DATE	DESCRIPTION
1	9-2-2020	PER CITY REVIEW
2	9-16-2020	PER CITY REVIEW
3	10-15-2020	PER CITY REVIEW
4	11-12-2020	COMMENTS.



PREPARED BY: *Joseph K. Maynard*
JOSEPH K. MAYNARD P.E., MICH NO. 52559

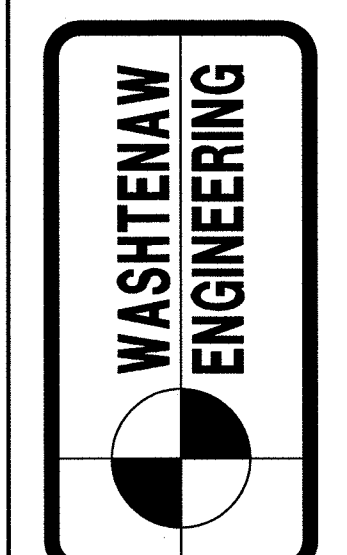


SECTION	4	TOWN	3	RANGE	6	EAST
CITY OF ANN ARBOR						
WASHTENAW COUNTY • MICHIGAN						
JOB NO.	37724					
DWG NO.	724-site					
FIELD BOOK	659					
FILE NO.	10596					

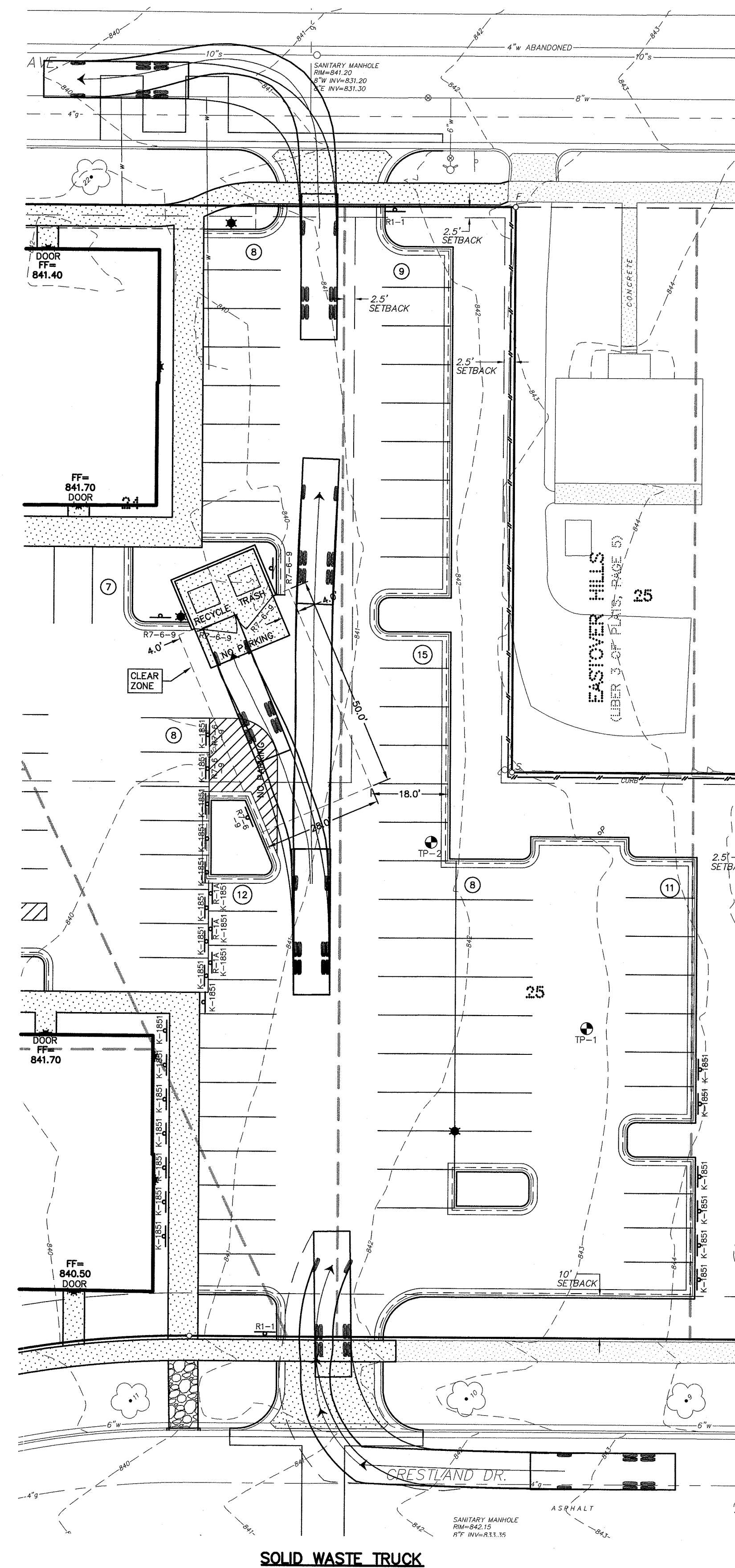
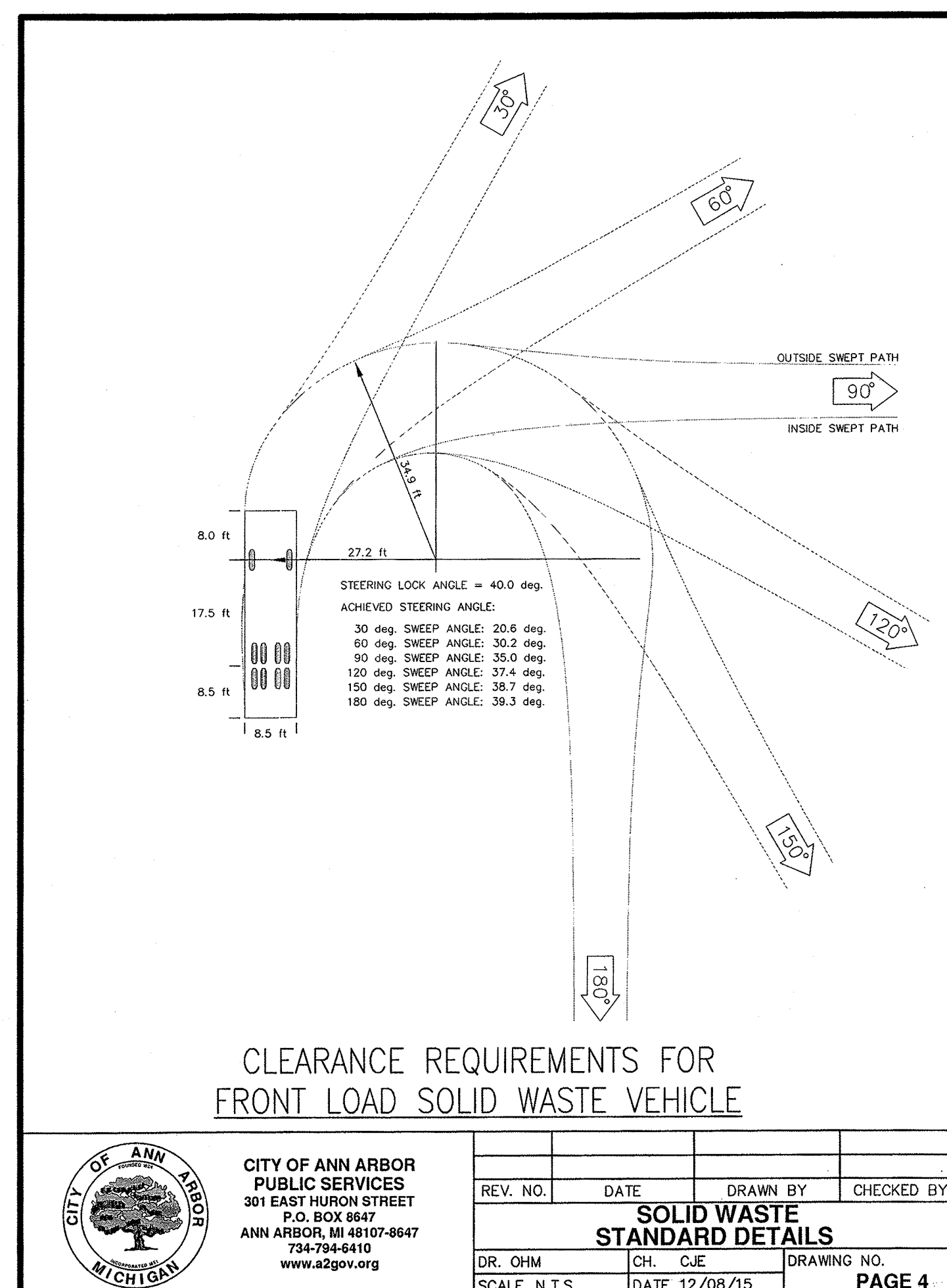
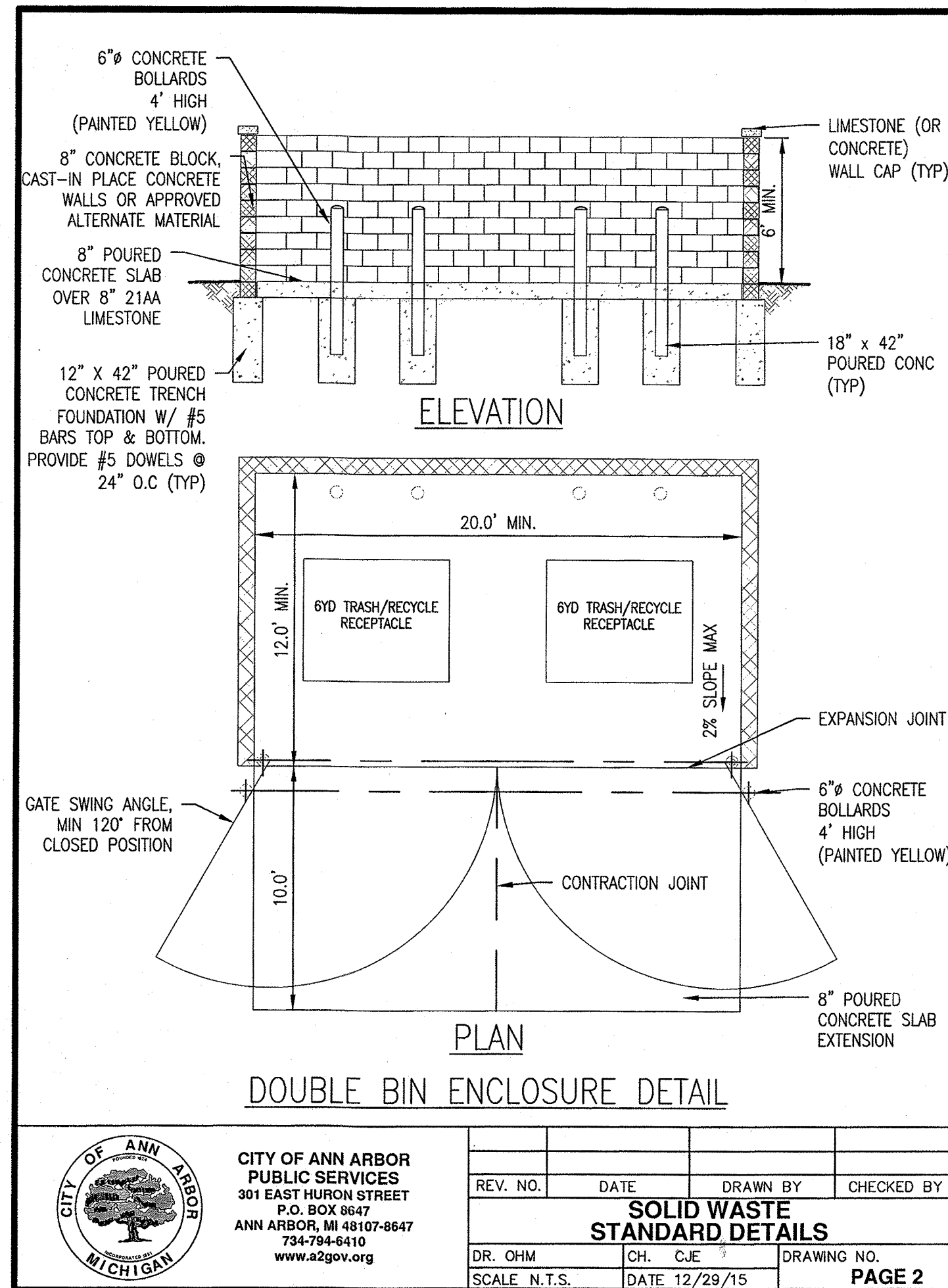
2111 PACKARD ST

TURNING TEMPLATE FIRE TRUCK

JACKSON DEARBORN PARTNERS
404 S. WELLS ST. STE. 400
CHICAGO, IL 60607
TEL (312) 580-2550

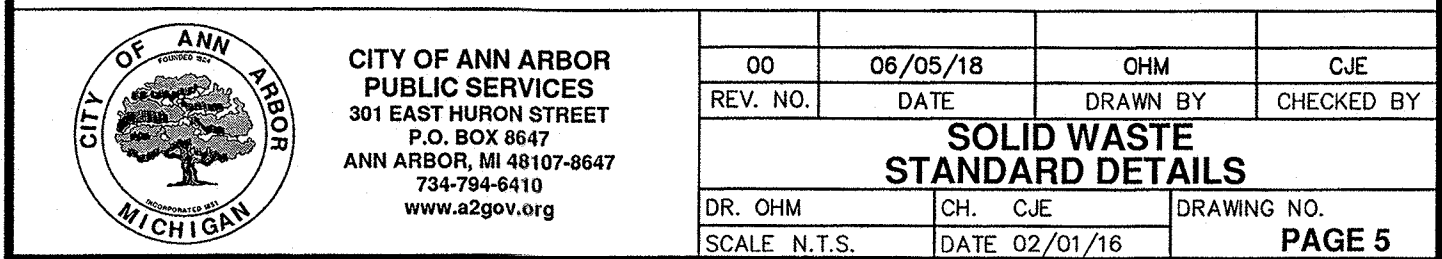


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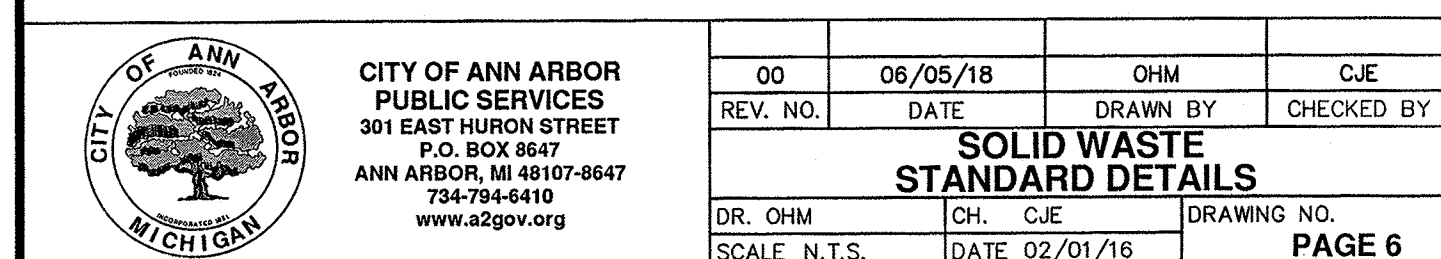
GENERAL NOTES:

1. A CLEAR SPACE MUST BE MAINTAINED DIRECTLY IN FRONT OF THE SOLID WASTE ENCLOSURE. THE CLEAR SPACE SHALL BE A MINIMUM OF FIFTY (50) FEET LONG BY THE WIDTH OF THE INSIDE DIMENSION OF THE ENCLOSURE PLUS FOUR (4) FEET ON BOTH SIDES. A MINIMUM VERTICAL CLEARANCE OF AT LEAST TWENTY-FIVE (25) FEET MUST BE PROVIDED ABOVE THIS AREA.
2. INGRESS AND EGRESS ROUTES MUST BE DEVELOPED BASED ON SOLID WASTE SWEEP PATH REQUIREMENTS. A MINIMUM HORIZONTAL CLEARANCE OF TWO (2) FEET FROM THE EDGE OF THE SWEEP PATH AND A MINIMUM VERTICAL CLEARANCE OF AT LEAST FIFTEEN (15) FEET MUST BE PROVIDED ALONG THE ENTIRE ROUTE.
3. GATES ON ENCLOSURES MUST BE DESIGNED TO OPEN A MINIMUM OF 120 DEGREES FROM THE CLOSED POSITION. THE GATES MUST NOT REDUCE THE REQUIRED ENCLOSURE OPENING WIDTH, BLOCK ADJACENT PARKING SPOTS, OR BE IMPEDED BY ADJACENT CURBS OR LANDSCAPING.
4. GATES MUST BE DESIGNED TO BE FREE STANDING WITHOUT A CENTER POLE. IF A CENTER POLE DESIGN IS NECESSARY, 12-INCHES SHALL BE ADDED TO THE OVERALL WIDTH OF THE ENCLOSURE.
5. GATE DESIGN SHALL INCLUDE A RELIABLE MEANS TO SECURE THE DOOR IN BOTH THE OPEN AND CLOSED POSITIONS.
6. THE CONCRETE SLAB IN FRONT OF THE BIN ENCLOSURE SHALL HAVE PAVEMENT MARKINGS TO INDICATE "NO PARKING", AS APPROVED BY CITY.
7. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF NO PARKING SIGNS ALONG THE SOLID WASTE INGRESS/EGRESS ROUTE TO ENSURE THE ROUTE REMAINS FREE OF OBSTRUCTIONS.
8. REFER TO ASSOCIATED STANDARD DETAILS FOR REQUIREMENTS ON SINGLE AND DOUBLE WIDE SOLID WASTE BIN ENCLOSURE LAYOUT AND DESIGN CRITERIA. THE CITY SHALL HAVE THE ABILITY TO MODIFY OR INTERPRET THESE DETAILS AS NECESSARY, TO ACCOMMODATE THE CITY OR CITY CONTRACTOR NEEDS IN REGARDS TO SOLID WASTE PICK-UP.
9. SOLID WASTE ACCESS ROADS AND SERVICE AREA SURFACES SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF COLLECTION TRUCKS WEIGHING UP TO 66,000 LBS GROSS VEHICLE WEIGHT (GVW) AND SHALL BE PROVIDED WITH AN APPROVED SURFACE SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL SNOW AND ICE REMOVAL REQUIRED FOR SAFE ACCESS OF SOLID WASTE VEHICLES.
10. THE SOLID WASTE COLLECTION LOCATION SHALL BE LOCATED A MINIMUM OF TEN (10) FEET AWAY FROM MAJOR ELECTRICAL EQUIPMENT, ABOVE GROUND UTILITY SERVICES, TREE BRANCHES, BALCONIES OR OTHER OVERHANGING OBSTRUCTIONS.



GENERAL NOTES CONTINUED:

11. IF FORWARD ACCESS TO THE PUBLIC STREET IS NOT AVAILABLE FOR THE SOLID WASTE TRUCK, THE SITE DEVELOPMENT LAYOUT MUST ACCOMMODATE A TURN-AROUND LOCATION.
12. FOR SITES THAT CANNOT ACCOMMODATE A TURN-AROUND, THE FOLLOWING REQUIREMENTS MUST BE MET:
 - 12.1. SOLID WASTE TRUCKS MUST BE ABLE TO SERVICE DUMPSTERS WITHOUT IMPEDING THE PUBLIC STREET OR SIDEWALK.
 - 12.2. THE DUMPSTER COLLECTION LOCATION SHALL BE CLEARLY DELINEATED AND NOT HAVE A SLOPE GREATER THAN 2% IN ANY DIRECTION.
 - 12.3. BOLLARDS OR ADEQUATE CLEAR SPACE MUST BE PROVIDED BEHIND THE LIFT POINT SO THE DUMPSTERS ARE NOT POTENTIALLY PUSHED INTO ANY BUILDING OR ACCESS ROUTE.
 - 12.4. ALL SWEEP-PATH CLEARANCE REQUIREMENTS PREVIOUSLY IDENTIFIED SHALL BE PROVIDED.
 - 12.5. A VERTICAL CLEARANCE OF 25 FEET SHALL BE PROVIDED ABOVE THE COLLECTION LOCATION.
13. FOR SITES THAT CANNOT ACCOMMODATE A STANDARD DUMPSTER ENCLOSURE, THE DUMPSTERS MAY BE ROLLED OUT OF A BUILDING OR ALTERNATE ENCLOSURE BY THE PROPERTY OWNER TO A PROPOSED COLLECTION LOCATION. A COLLECTION SCHEDULE FOR RECYCLING AND TRASH COLLECTION SHALL BE PROVIDED ON THE SITE PLAN.
14. FOR SITES ADJACENT TO A PUBLIC ALLEY, SOLID WASTE TRUCKS ARE PERMITTED TO ACCESS THE PROPERTY THROUGH THE ALLEY IF SWEEP-PATH CLEARANCE REQUIREMENTS CAN BE PROVIDED.
15. SOLID WASTE COLLECTION LOCATIONS MUST BE LOCATED WITHIN THE BOUNDARIES OF THE PROPERTY.




BENCHMARK BM1=ARROW ON HYDRANT ON THE CORNER OF CRESTLAND DR. AND
PACKARD RD. ON THE SOUTHWEST PROPERTY CORNER. ELEV=841.87 (NAVD 88).

BM2 MAG NAIL IN UTILITY POLE ON THE EAST SIDE OF BUILDING ±100 FT SOUTH OF
ANDERSON AVE., ELEV=841.52 (NAVD 88).

REVISIONS 9-2-2020 PER CITY REVIEW 9-16-2020 PER CITY REVIEW. 10-15-2020
COMMENTS: 11-12-2020 COMMENTS.

SCALE

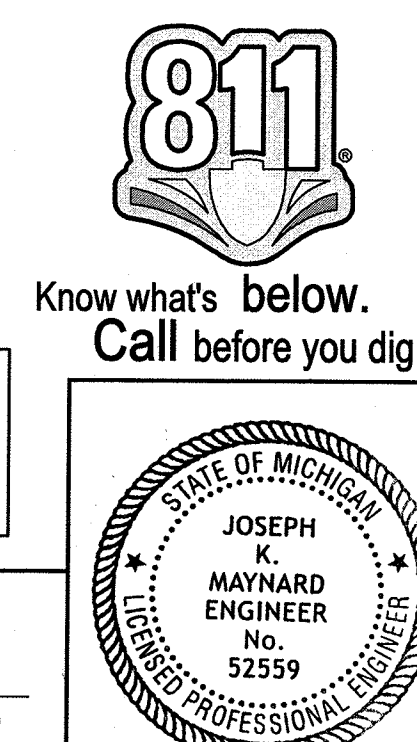


0 10 20 40

SCALE: 1"=20'

PREPARED BY Joseph K. Maynard
JOSEPH K. MAYNARD P.E., MICH No. 52559

- ACCESS NOTES:**
1. TRASH TRUCK ACCESS IS OFF OF CRESTLINE ROAD ONLY.
 2. DUMPSTER SHALL BE CLEARLY MARKED, ONE (1) FOR "TRASH".
 3. DUMPSTER TO HAVE A NO-PARKING SIGN ON DOOR.



TURNING TEMPLATE
SOLID WASTE
TRUCK

ECT

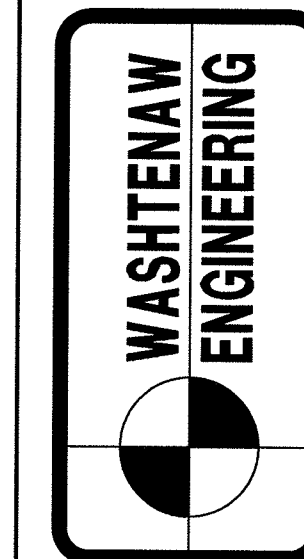
2111 PACKARD ST

SECTION	4	TOWN	3	SOUTH	RANGE	6	EAST
<u>CITY OF ANN ARBOR</u>							
WASHTENAW COUNTY • MICHIGAN							
DATE	7-22-20		JOB NO.	32724			
C-16.0			DWG NO.	724—turn garbage			
			FIELD BOOK	659			
			FILE NO.	10596			

**JACKSON DEARBORN
PARTNERS**

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CHICAGO, ILL. 60607
TEL (517)-580-2550

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LUMICON

LWP - FC - CM
LED Wall Pack

Catalog Number:

Project:

Comments:

Prepared By:

Date:

Description

The LWP-FC-CM full cut-off wall pack will deliver the illumination performance to replace up to 1 FT50W LED fixture overhead. The compact design of the LWP-FC-CM makes this an energy saving solution for outdoor building facades, general security, storage areas, and entry door lighting.

Performance Data

Model	Watts	Inputs	Effective Lumens	Efficiency
LWP-FC-CM-15	15W	150W/HID	1,693 LM	113 LP/W
LWP-FC-CM-15-HID	15W	150W/HID	1,433 LM	107 LP/W
LWP-FC-CM-25	25W	175W/HID	2,621 LM	114 LP/W
LWP-FC-CM-25-HID	25W	175W/HID	2,343 LM	100 LP/W

Dimensions & Weights

Model	Width	Height	Depth	Weight
LWP-FC-CM	8 3/4"	6 5/8"	9 1/2"	72 lbs.

Technical Specifications

Input Voltage: 120/277V 3F/4W-0

Mounting: Cast aluminum housing with Hinged full cut-off front and sealed back and architectural silicone gasket. Also fits over a chrome or anodized stainless steel mounting plate with 4-D-ring for cord and 4 pot/terminal installation.

Lens: Tempered Clear Glass Lens

Mounting: Cast aluminum for mounting directly over a 4" recessed outlet box, or use 1/2" surface contact.

Effective Life Span (at 80%): 5.0 x 10⁴ h

Color Temperature: 2700K, 3000K, 3500K, 4000K, 5000K (standard), 5000K, 6000K.

Life Expectancy: All LEDs are rated for a minimum of 100,000 hours of continuous operation at ambient temperatures between 40°F/4°C to 99°F/37°C.

Color Rendering Index (CRI): Minimum of 80 to 95.

Dimming: 3-10V instant dimming capability.

Burge Protection: Thermally protected. 2700K-4000K variants have surge suppression and meets ANSI C83.9-2010. Extreme Load. Also meets IEC60949-11 Class 1 and IEC60949-11 Type 1, and UL Dept of Energy MISLC Model Spec for surge protection. Color Temperature is 2700K. The surge protection input power is in order to better protect the terminals when consumed, protecting the LED module supply and circuit boards from additional electrical stress.

Lumicon ETD™ System: The enhanced thermal dissipation system engineers are able to build into a system. Thermal dissipation is the ability of the fixture to return heat to the environment. The LED light engine panel from Lumicon and common, the LED light engine panel is uniformly coated with a UV stabilized acrylic polymer resin that meets MIL and ASTM dielectric standards, UL and IPC standards for flammability, moisture resistance and thermal shock.

Battery Back-Up (Optional): Battery Back-Up (Optional): When triggered by its emergency mode, the EBD can store the LEDs for a solid-continuous 30 minutes. When AC power is restored, the device automatically returns to charging mode. The EBD is a UL recognized component and meets all applicable safety standards. Lumicon's Emergency Emitter has been listed in accordance with the standards and rules in UL 924, "Emergency Lighting and Power Equipment" and with the standards contained in C22.2 No. 141, "UL Equipment for Emergency Lighting." Our Emergency LED driver is a UL Component Recognized and CSA Certified for factory installation into UL Listed Emergency luminaires that exceeds National Electrical Code (NEC), UL Safety Code (NFPA70), National Building Code of Canada (NBC), National Fire Code of Canada (NFCC) and UL 10-minute requirements.

Certification Data: ETL Listed in UL 1585, UL 1570 and CSA 22.2 No. 252 for Wet Locations. Full compliance and meet all specifications is available for T-1, T-1.5, T-2, T-3, T-4, T-5, T-6, T-7, T-8, T-9, T-10, T-11, T-12, T-13, T-14, T-15, T-16, T-17, T-18, T-19, T-20, T-21, T-22, T-23, T-24, T-25, T-26, T-27, T-28, T-29, T-30, T-31, T-32, T-33, T-34, T-35, T-36, T-37, T-38, T-39, T-40, T-41, T-42, T-43, T-44, T-45, T-46, T-47, T-48, T-49, T-50, T-51, T-52, T-53, T-54, T-55, T-56, T-57, T-58, T-59, T-60, T-61, T-62, T-63, T-64, T-65, T-66, T-67, T-68, T-69, T-70, T-71, T-72, T-73, T-74, T-75, T-76, T-77, T-78, T-79, T-80, T-81, T-82, T-83, T-84, T-85, T-86, T-87, T-88, T-89, T-90, T-91, T-92, T-93, T-94, T-95, T-96, T-97, T-98, T-99, T-100, T-101, T-102, T-103, T-104, T-105, T-106, T-107, T-108, T-109, T-110, T-111, T-112, T-113, T-114, T-115, T-116, T-117, T-118, T-119, T-120, T-121, T-122, T-123, T-124, T-125, T-126, T-127, T-128, T-129, T-130, T-131, T-132, T-133, T-134, T-135, T-136, T-137, T-138, T-139, T-140, T-141, T-142, T-143, T-144, T-145, T-146, T-147, T-148, T-149, T-150, T-151, T-152, T-153, T-154, T-155, T-156, T-157, T-158, T-159, T-160, T-161, T-162, T-163, T-164, T-165, T-166, T-167, T-168, T-169, T-170, T-171, T-172, T-173, T-174, T-175, T-176, T-177, T-178, T-179, T-180, T-181, T-182, T-183, T-184, T-185, T-186, T-187, T-188, T-189, T-190, T-191, T-192, T-193, T-194, T-195, T-196, T-197, T-198, T-199, T-200, T-201, T-202, T-203, T-204, T-205, T-206, T-207, T-208, T-209, T-210, T-211, T-212, T-213, T-214, T-215, T-216, T-217, T-218, T-219, T-220, T-221, T-222, T-223, T-224, T-225, T-226, T-227, T-228, T-229, T-230, T-231, T-232, T-233, T-234, T-235, T-236, T-237, T-238, T-239, T-240, T-241, T-242, T-243, T-244, T-245, T-246, T-247, T-248, T-249, T-250, T-251, T-252, T-253, T-254, T-255, T-256, T-257, T-258, T-259, T-260, T-261, T-262, T-263, T-264, T-265, T-266, T-267, T-268, T-269, T-270, T-271, T-272, T-273, T-274, T-275, T-276, T-277, T-278, T-279, T-280, T-281, T-282, T-283, T-284, T-285, T-286, T-287, T-288, T-289, T-290, T-291, T-292, T-293, T-294, T-295, T-296, T-297, T-298, T-299, T-300, T-301, T-302, T-303, T-304, T-305, T-306, T-307, T-308, T-309, T-310, T-311, T-312, T-313, T-31

Lumece

Description

The WMP-FC is a dark oxide coated, full cutoff wall panel. The WMP-FC can replace up to 200W HPS or 400W MH or even existing a perfect fixture for building interiors, general security, outdoor lighting, and entry door applications.

Performance Data

Model	Watts	Equiv.	Delivered Lum.	Efficiency
WMP-FC-25	25W	175W HPS	2,487 Lm	111 LPW
WMP-FC-20	20W	175W HPS	2,445 Lm	104 LPW
WMP-FC-60	60W	250W HPS	5,014 Lm	105 LPW
WMP-FC-60-20	60W	250W HPS	5,548 Lm	101 LPW

Dimensions & Weights

Model	Width	Height	Depth	Weight
WMP-FC	14 1/4"	9 1/8"	11 3/8"	12.05 lbs.

Catalog Number:

Project:

Comments:

Prepared By:

Date:

Technical Specifications

Input Voltage: 120V-277V or 347-480V

Housing: Die cast aluminum housing with forged full cutoff frame and textured architectural finish. LED's are mounted on a clear corrosion cast frame and "LED's" are held with O-rings at cast & phos-phor treated locations.

Lens: Tempered Glass Lenses.

Warning: Tempered lens is capable for shattering directly upon a recessed ball tool, or on 1/2" diameter ball.

Effective Projecting Illuminance (EPI): 0.72 ft

Cold Temperature: 2700K Warm: 4000K Cool: 4000K MH (standard), 5000K CW

LED Lifetime: 50,000 hrs. LED's are rated for a minimum of 100,000 hours of continuous operation at ambient temperature between 40°F-147°F or 5°F-95°F.

Color Rendering Index (CRI): Minimum of 80 to 90+.

Dimming: 0-10V standard dimming capability.

Surge Protection: Thermally protected 200k 400V varistor type surge suppressor is installed and meets ANSI C82-2015. Extreme Level. Also meets EIC-64-64.1 Class II EMI/RFI 140-141.1 type 1 and US Dept Of Energy MELSP model power supply for surge protection. This device is used in series with the luminaire input power in order to internal power and at ambient temperature between 40°F-147°F or 5°F-95°F.

Color Rendering Index (CRI): Minimum of 80 to 90+.

LED Lifetime: 50,000 hrs. The enhanced thermal-dissipation system ensures are thermally bonded to provide maximum thermal dissipation to the exterior of the fixture to ensure long life. To protect the light engine panel from moisture and corrosion, the LED light engine panel is uniformly coated with a UV stabilized acrylic polymer resin that meets MIL and ASTM dielectric standards, i.e., and IP65 standards for hermeticity, moisture resistance and thermal shock.

Battery Back-up (charging): When triggered into emergency mode, the BBU operates the LEDs for a user-selectable 0-90 minutes. When BBU is recharged, the drive automatically returns to charging mode. The BBU is a UL recognized component and meets all applicable safety standards. Lumece's Emergency LED light has been tested in accordance with the standards set forth in UL 924, "Emergency Lighting and Power Equipment" and with the standards set forth in CEN 2-20, 1-41, "Test Equipment for Emergency Lighting". Lumece's LED drivers are UL Component Recognized and CSA Certified for factory installation only. Emergency lighting mode exceeds the National Electrical Code (NEC), UL Safety Code (NFPA-70E), National Building Code of Canada (NBC), National Fire Protection Association (NFPA) and UL-924.

Certification: Data: ETL Listed to UL 1055, UL 9790 and UL 2592 for Wet Locations. Total compliance and documentation is available for M7421, M7423, LM40, ETL Listing UL-1055 and UL-9790 and UL21.

Design/Install Considerations: (DLC Qualified Product): The 4000K MH is DLC Qualified. Unless noted, not all versions of this product may be DLC Qualified. For a complete list of Lumece (DLC) Qualified products visit our design/engr site.

Occupancy Sensor (Optional): Microwave sensor technology rated for 10' to 120'. Available in off and dim/flash functionality.

Manufacturing Origin: US Manufactured and Assembled

Buy American: Items Buy American requirements within the AUSA.

Warranty: 10 Year 1 year Lumece performance warranty. For full warranty terms, please visit our website: www.lumece.com

Email: sales@lumece.com Website: www.lumece.com Phone: 264-477-0008
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(Please see www.lumece.com for the complete specifications and documentation.)

Lumecon LED DETECT SERIES

LDS - SAL LED Small Area Light

Catalog Number:

Project:

Comments:

Prepared By:

Date:

Description

The LDS-SAL small area light is the first of its kind in Lumecon's LED Detect Series. Combining a sleek fixture design with energy efficient performance allows this fixture to be used in parking lots, roadway, pathways and general area lighting applications requiring existing luminaire up to 400W HPS or low-voltage.

Dimensions & Weights

Model	Width	Height	Weight
LDS-SAL	13.25"	19.25"	4.35" 0.72 (MAG) 10.37 (BFL)

Technical Specifications

Input Voltage: 120/277V 50/60Hz

Heating: Cold aluminum housing and front frame with thermal architecture. Bronze powder coat finish over a chromalox conversion coating. Housing features an integrated metal heat sink and direct conduction path from the fixture output. Optional positive accessory available.

Mounting: Mounting arm equipped for a square round post (standard). Additional mounting options include a pole mounting kit available.

Color Temperature: 2700V, 3000V, 4000V, 5000K (standard), 5000V CRI

LED Lifetime: All LEDs are tested for a minimum of 100,000 hours of continuous operation at ambient temperature from -40°F to 40°C to 90°F to 100°C.

Color Rendering Index (CRI): Minimum of 70; 90 for higher; CRI 90 or above optional upon request.

Dimming: 0-10V standard dimming capability.

Surge Protection: Thermally protected 20MAI MOV varistor type surge arrester is included and meets ANSI C10.2-2010. ESD/Static Level: Also meets IEC60647-1 Class II ESD/ESDAS 11 Type 2 and 30 dB of EMI/RFI. Model types are ESD/Static Protected. The device is wired in series with the luminaire input power in order to divert power from the luminaire when normal. Preventing the LED power supply and circuit boards from additional electrical and thermal shock.

Lumecon ETD™ System: The enhanced LED power supply and circuit boards are thermally isolated to provide maximum thermal dissipation to the interior of the fixture to life. To protect the light engine panel from moisture and corrosion, the LED light engine panel is fully coated with a UV stabilizable acrylic polymer resin that meets UL and ASTM electronic standards. UL and IPC standards for flammability, moisture resistance and thermal shock.

Certification Data: PSE, CSA Listed to UL 1585, UL 8750 and CSA 22.2 No. 250 for Vibration Testing. Full compliance and test documentation is available for FCC, UL849 and UL854.

Manufacturing Origin: US Manufactured and Assembled.

Buy American: Meets Buy American requirements within the ARRA.

Warranty: 5 Year, 10 Year, 15 Year performance based warranty. For full warranty terms, please visit our website: www.lumecon.com

Universal Lumecon Control: Turn every Lumecon light into a smart city light by control with advanced light control and provide data reporting. Universal Lumecon light allows for enhanced light control via Universal Control Panel at zones are self-programming on power on and are global control. CIE compatible with its Gateway or Concentrators requires. Single 0/1V 120 to 480V operation, 2x Satellite Output, RGB and Colorful Color. Simultaneous Monitoring for Line and Load, High Accuracy T8 and Universal sensor, 10 second Latency and Non-volatile Memory, CTA Updates and a 10 year warranty. Ask your local Lumecon Representative for more information.

Email: sales@lumecon.com Phone: 248-587-5522
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Note: Specifications and photographs data are subject to change at any time without notice.

Lumicon

LWP-FC-MN-25 LED Wall Pack

Ordering Information

Ordering Example: LWP-FC-MN-25-DB-ST-1-WW-X-X-X

Voltage	Color	Distribution	Voltage	Color Temperature	Battery Back-Up	Split Circuit
15 - 15 Watts 25 - 25 Watts	DB - Dark Bronze C - Custom	ST - Standard WD - Wide (Type II)	1 - 120v-277v 2 - 347v-480v	WW - 2700K OW - 3000K NW - 4000K CW - 5000K *LCR qualified	X - None B81 - 120v BBU B82 - 277v BBU B83 - 120v BBU Cold Temp Rated B82 - 277v BBU Cold Temp Rated	X - None SC - Split Circuit

Photocell	In-line Fuse
X - None	X - None
PC1 - 120v-277v PC	F - In-line Fuse, 2.5A
PC3 - 347v PC	
PC4 - 480v PC	

Photometric Data

For JES files of this product, please visit the downloads tabs on the LWP-FC-MN product page: <http://lumicon.com/products/lwp-fc-mn-wall-pack/>

LWP-FC-MN-15 Standard Distribution

Beam Diameter: 10.0 ft
Beam Spread: 120°
Beam Diameter at 100 ft: 100.0 ft

LWP-FC-MN-15 Wide Distribution

Beam Diameter: 10.0 ft
Beam Spread: 120°
Beam Diameter at 100 ft: 100.0 ft

LWP-FC-MN-25 Standard Distribution


Beam Diameter: 10.0 ft
Beam Spread: 120°
Beam Diameter at 100 ft: 100.0 ft

LWP-FC-MN-25 Wide Distribution

Beam Diameter: 10.0 ft
Beam Spread: 120°
Beam Diameter at 100 ft: 100.0 ft

Email: sales@lumicon.com Website: www.lumicon.com Phone: 248-477-0009
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Please see www.lumicon.com for current specifications and documentation.

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LWP - FC

LED Wall Pack

Ordering Information

Ordering Example: LWP-FC-25-DB-ST-W-1-G-NW-X-X-X-PC1-3-X

Wattage	Color	Distribution	Mounting Methods	Voltage	Lens	Color Temperature
25 - 25 Watts 60 - 60 Watts	DB - Dark Bronze	ST - Standard WD - Wide (Type III)	W - Wall	1 - 120V-277V 2 - 24V-480V	G - Clear Glass PR - Prismatic Glass P - Polycarbonate	WW - 2700K CW - 3000K WN - 4000K CW - 5000K


Switch	Safety Inter-Lock	Switch Circuit	Preload	Occupancy Sensor	Interim Fuse
X - None Y - None W - Wire	EB1 - 120V 8BU BB2 - 277V 8BU BBC1 - 120V 8BU Cold Temp Rated BBC2 - 277V 8BU Cold Temp Rated	SC - Spk Circuit	X - None PC1 - 120V-277V PC3 - 347V PC4 - 480V	X - None OC1 - On/Off OC2 - Dns/Hgh	X - None F - Inline Fuse, 2.5A

Options & Accessories Images

LWP-FC Wire Guard

LWP-FC Polycarbonate Guard

sales@lumecon.com WebSite: www.lumecon.com Phone: 248-477-9229
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 See www.lumecon.com for current specifications and documentation.



LDS - ALS

LED Small Area Light

Ordering Information

LDS-ALS - Options - Ordering Example LDS-ALS-10-DS-T5-1-CW30-0-MAAS

Wavelength	Color	Distribution	Voltage	Color Temperature	CRI	Mounting Hardware
30 - 30 Watts	DB - Dark Blue	T2 - Type II	1 - 120V-277V	WW - 2700K	70 - 70 CRI	MAA - Mounting Arm (Square Pole)
45 - 45 Watts	G - Gray	T3 - Type III	2 - 240V-480V	OW - 3000K	80 - 80 CRI	MAA - Mounting Arm (Round Pole)
60 - 60 Watts	B - Black	T4 - Type IV		HW - 4000K	90 - 90 CRI	TM - Tension Mount
80 - 80 Watts	W - White	T5 - Type V		CV - 5000K	97 - Slip Fitter	SB - Swivel Bracket
110 - 110 Watts						
125 - 125 Watts						
160 - 160 Watts						

Options & Accessories

R - Receptacle Only

OC1 - On/Off¹

RS - Receptacle Only with Shorting Cup

OC2 - On/High¹

7P - Seven-pin Twist Lock Photocoupled Receptacle Only¹

OC3 - On/Off with Photo¹

PC1 - 120-277V Button Eye Photocoupled

OC4 - On/High/High Photo¹

PC2 - 247V-480V Button Eye Photocoupled

UR - UltraPure Wireless Controls¹

PC3 - 120-277V Twist Lock Photocoupled (10 year warranty)

PC4 - 247V-480V Twist Lock Photocoupled (10 year warranty)

Notes:

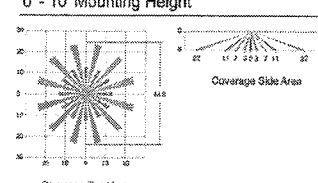
- For units with 7P the mounting must be restricted to $\pm 45^\circ$ from horizontal aim per ANSI C136.10-2010. If more than a 45° Tilt, use PC1 or PC2.
- Consistent with Occupancy Sensor System. Use OC2 or OC4 when Occupancy Sensor and Photocoupled are needed and aiming greater than 45° from horizontal.
- Must note on PO Mounting Height for proper lens application
- Use Occupancy Sensor Default Settings Table
- USB requires 7P option to be selected. OC1 or OC2 are optional

If OC2 Sensor Option is selected, mounting height specifications need to be clarified:
 • Mounting height and aim must not specified when ordered. Default mounting height is 9'-6" lens and sensor height specifications.

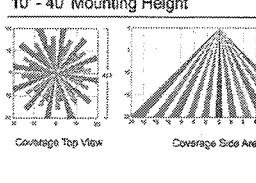
- Mounting height between 0' - 10'
- Mounting height between 10' - 20'
- Mounting height over 20'

OC2 Sensor Patterns

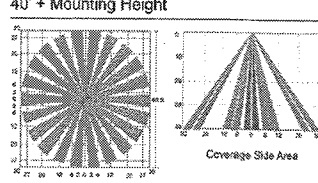
0' - 10' Mounting Height



10' - 47' Mounting Height



47' + Mounting Height
























Occupancy Sensor Default Settings - Option OC2					
Option	Default Status (Unoccupied)	High Level (When Occupied)	Photocell Reaction (OCA Option Only)	Dwell Time (Occupancy Time delay)	Ramp-up Time (From unoccupied to occupied)
OC2 and OCA	Approx. 25% Output	100% Output	On/High @ 1.5 FC ¹	5 Minutes	Disabled
					Disabled

*Note: OC2 and OCA settings including photocell set point, high/low data rates, and occupancy sensor time delay are all configurable by using the WebManager App. If other settings and options are desired to be on the factory, please note these changes on Purchase Order.

Email: sales@lumecon.com Website: www.lumecon.com Phone: 248-477-5000
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 Note: Specifications and submittal data are subject to change at any time without notice.
 Please email us for assistance for a complete list of accessories.

[illegible]

LEGEND		TC = TOP OF CURB	 = GRAVEL	 = EXISTING STORM
 = LIGHT POLE	 = SPOT ELEV.	TW = TOP OF WALL	 = FENCE	 = EXISTING SANITARY
 = UTILITY POLE	 = POST	 = MANHOLE	 = CONCRETE	 = EXISTING WATER
 = GUY ANCHOR	 = GATE VALVE	 = CATCHBASIN	 = ASPHALT	 = EXISTING GAS
 = HYDRANT	 = SIGN	 = END SECTION		 = EXISTING ELECTRIC
				 = EXISTING TELEPHONE

BENCHMARK BM1=ARROW ON HYDRANT ON THE CORNER OF CRESTLAND DR. AND
PACKARD RD. ON THE SOUTHWEST PROPERTY CORNER. ELEV=841.87 (NAVD 88).

BM2 MAG NAIL IN UTILITY POLE ON THE EAST SIDE OF BUILDING ±100 FT SOUTH OF
ANDERSON AVE., ELEV=841.52 (NAVD 88).

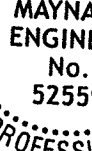
REVISIONS 9-2-2020 PER CITY REVIEW 9-16-2020 PER CITY REVIEW. 10-15-2020
COMMENTS. 11-12-2020 COMMENTS.

SCALE

0 10 20 4

SCALE: 1"=20'


PREPARED BY JOSEPH K. MAYNARD P.E., MICH No. 52559



JOSEPH
K.
MAYNARD
ENGINEER
No.
52559

STATE OF MICHIGAN

LICENSED PROFESSIONAL ENGINEER

SECTION <u>4</u>		TOWN <u>3</u>	SOUTH	RANGE <u>6</u>	EAST
PROJECT <u>2111 PACKARD ST</u> CITY OF ANN ARBOR WASHTEENAW COUNTY • MICHIGAN					
DATE <u>09-20-2018</u> JOB NO. <u>32724</u> DWG NO. <u>395-det-lighting</u> FIELD BOOK <u>659</u> FILE NO. <u>10296</u>					
SHEET <u>1</u> OF <u>1</u>					
PROJECT <u>PHOTOMETRIC DETAILS</u>					
CLIENT <u>JACKSON DEARBORN PARTNERS</u> 404 S. WELLS ST. STE. 400 CHICAGO, IL 60607 TEL (517)-580-2550					
 CIVIL ENGINEERS PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS 3525 W. LIBERTY RD SUITE 400 ANN ARBOR, MI 48103 TEL (517)-580-2550 FAX (517)-761-9530 WASHTENAWENGINEERING.COM					

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING RECORDS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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LEGEND
☆ = LIGHT POLE
○ = UTILITY POLE
⊕ = GUY ANCHOR
⊙ = HYDRANT

SITE PLAN LAYOUT JUSTIFICATION

The Natural Feature found on site are limited to several existing trees along the eastern property line of which are of poor condition invasive species except for one (1) Red Cedar Juniper which is being saved. This area is grassed and will be restored as a C.L.U.B. environment. City street trees are found along all three (3) adjoining streets within the graded median. Trees will remain unchanged, although (5) street trees along Packard St. and (1) tree at Packard St. and Anderson Ave will be replaced to relocate City sidewalks. No other Natural Features are found on site. This property has been fully developed with buildings and paved parking as it is found today since the early 1950's.

The proposed plan is to demolish the existing building and place a new structure that fronts Packard St., Crestland Dr. and Anderson St., with parking to the east within the interior of the site. Both the V.U.A. and the C.L.U.B. at the east property line will be landscape per City Ordinance. Seven (7) mitigation trees will be located on site.

STREET TREE ESCROW CALCULATIONS

REQUIREMENT:	\$1.30 PER LF FRONTAGE
FRONTAGE ON PACKARD ST:	316.49 LF
FRONTAGE ON ANDERSON AVE:	308.48 LF
FRONTAGE ON CRESTLAND DR:	236.71 LF
TOTAL FRONTAGE:	861.66 LF (\$1.30)=\$1,120.16
LESS CREDIT FOR REMAINING TREES:	10 TREES
X 45 FEET PER EXISTING TREES:	\$450.00
	\$1,120.16-\$450.00=\$670.16
TOTAL REQUIRED ESCROW:	\$670.16

LANDSCAPE REQUIREMENT CALCULATIONS

5.20.4 CONFLICTING LAND USE BUFFERS C.L.U.B.	REQUIRED	EXISTING	PROPOSED
(1) TREE / 15 LIN FT			
NORTH - 264 LIN FT	18	1	17
EAST - 60 LIN FT	4	0	4

5.20.3A VEHICLE USE - RIGHT-OF-WAY SCREENING	REQUIRED	EXISTING	PROPOSED
(1) TREE / 30 LIN FT			
ANDERSON AVENUE - 60 LIN FT	2	0	2
CRESTLAND DRIVE - 115 LIN FT	4	0	4
PACKARD STREET - 0 LIN FT	0	0	0

5.20.10 STREET TREES IN PUBLIC RIGHTS-OF-WAY	REQUIRED	EXISTING	PROPOSED
(1) TREE / 45' REQUIRED			
ANDERSON AVENUE - 308.49 LIN FT	7	5	2
CRESTLAND DRIVE - 236.71 LIN FT	6	4	2
PACKARD STREET - 316.53 LIN FT	6	1	6

5.20.6.F.4 NATURAL FEATURES MITIGATION (LMR)	REQUIRED	EXISTING	PROPOSED
Note: Per Directive by the Ann Arbor Planning Commission			
* Petitioner will reimburse the City in advance for this mitigation of (1) one landmark tree (tag no. 20) located on Anderson Avenue.			
(1) 24" tree @ 50% = 12" Mitigation or (6) Trees (2-1/2" cal.)	6	0	5
(3" cal.)			

To assure that if damaged during the project its replacement is assured.
(6) 3" cal. Trees provided on site

5.20.3.B VEHICLE USE / INTERIOR LANDSCAPE ISLAND (ILI)	REQUIRED	EXISTING	PROPOSED
Vehicle Use Area = 26,863 SQ FT			
Interior Landscape Area Required	19%		
26,863 SF / 15 SF = 1,790.87 SF			

VUA INTERIOR LANDSCAPE TREES REQUIRED	REQUIRED	EXISTING	PROPOSED
1,790.87 SF / 250 SQ = 7.16 or 8 TREES	8	0	9
INTERIOR LANDSCAPE AREA REQUIRED	1,790.87	0	1800

DEPRESSED BIORETENTION AREA REQUIRED	REQUIRED	EXISTING	PROPOSED
VUA 26,863 / 15 = 1,790.87 x 50% = 895.44 SF	895.44 SF	0	1000 SF

EXISTING TREE SURVEY SUMMARY

COUNT		
TOTAL SURVEYED TREES	22	290.5" DBH
TOTAL STREET TREES	16	33" DBH
TOTAL DEAD TREES	1	21" DBH
TOTAL INVASIVE TREES	6	77" DBH
TOTAL LANDMARK TREES	1	24" DBH
LANDMARK TREES TO BE REMOVED	0	

GREENSPACE PROVIDED

Total site (minus R.O.W.)	73,798 sf
Imperious Area	60,433 sf
Open Space Provided	19%
Open Lawn Space Provided	13,365 sf
Active Open Space Provided	186 sf/unit

NOTE: PER DIRECTIVE BY THE ANN ARBOR PLANNING COMMISSION

- PETITIONER WILL REIMBURSE THE CITY IN ADVANCE FOR THIS MITIGATION OF (1) ONE LANDMARK TREE (TAG NO. 20) LOCATED ON ANDERSON AVE.
 - (1) 24" TREE @ 50% = 12" MITIGATION OR (6) TREES.
 - TO ASSURE THAT IF DAMAGED DURING THE PROJECT ITS REPLACEMENT IS ASSURED.
 - (2) TREES PROVIDED ON SITE.
 - (2) TREES @ \$200.00 EA. = \$400.00 COMMITTED TO CITY OF ANN ARBOR PARKS TREE FUND.

WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION	
FOXY SANDY LOAM, 0 TO 2 PERCENT SLOPES	
SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY.	

WASHTENAW COUNTY SOIL SURVEY CLASSIFICATION	
FOXY SANDY LOAM, 0 TO 2 PERCENT SLOPES	
SOILS ARE BASED ON USDA SOIL SURVEY OF WASHTENAW COUNTY.	

LEGEND	
☆ = LIGHT POLE	⊙ = SPOT ELEV.
○ = UTILITY POLE	⊙ = POST
⊕ = GUY ANCHOR	⊙ = GATE VALVE
⊙ = HYDRANT	⊙ = CATCHBASIN
	⊙ = END SECTION

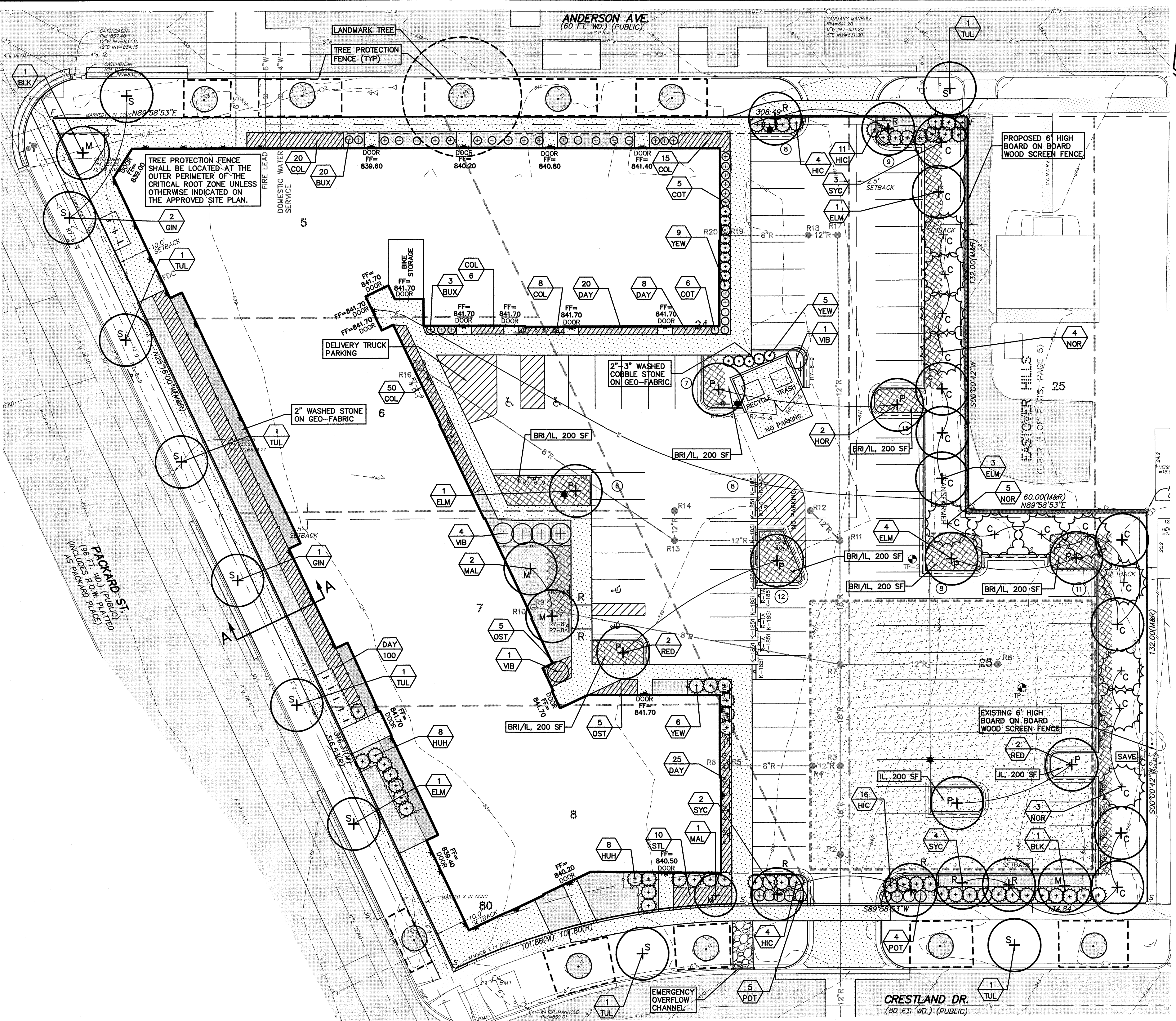
LEGEND	
⊙ = EXISTING TREE TO REMAIN	⊙ = PROPOSED RIP RAP
⊙ = PROPOSED DECIDUOUS TREE	⊙ = PERENNIAL & GROUND COVER
⊙ = PROPOSED EVERGREEN TREE	⊙ = IRRIGATION ZONE (ALL SPRAY HEADS)
⊙ = PROPOSED DECIDUOUS SHRUBS (LANDSCAPE)	⊙ = 2" WASHED STONE ON GEO-FABRIC
⊙ = PROPOSED EVERGREEN SHRUBS (LANDSCAPE)	
⊙ = TREE PROTECTION FENCING	
⊙ = TREE TAG	
⊙ = SNOW STORAGE	
⊙ = INFILTRATION AREA	

PROPOSED LEGEND	
⊙ = ASPHALT SURFACE	
⊙ = CONCRETE SURFACE	
⊙ = CONCRETE BARRIER CURB & GUTTER	
⊙ = SPILL OUT CONCRETE CURB & GUTTER	
⊙ = SIGN	
⊙ = LIGHTPOLE	
⊙ = CHAIN LINK FENCE	

PROPOSED LEGEND	
⊙ = INFILTRATION AREA	
⊙ = PROPOSED SANITARY SEWER	
⊙ = PROPOSED WATER MAIN	
⊙ = PROPOSED STORM SEWER	
⊙ = END SECTION	
⊙ = MANHOLE	
⊙ = CATCHBASIN	
⊙ = HYDRANT	
⊙ = GATE VALVE	
⊙ = GATE VALVE IN BOX	
⊙ = GATE VALVE IN WELL	
⊙ = DOWNSPOUT	

GENERAL LANDSCAPING NOTES:

- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO CITY OF ANN ARBOR STANDARDS AND SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE SIZES AND MEASUREMENTS CONFORMING TO THE USA STANDARD FOR NURSERY STOCK. ALL PLANT MATERIAL SHALL BE OF SELECTED SPECIMEN QUALITY AND HAVE A NORMAL HABIT OF GROWTH. ALL PLANT MATERIAL IS SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED STOCK OR CONTAINER STOCK. NO BASE ROOT STOCK IS PERMITTED. ALL PLANT BALLS SHALL BE FIRM, INTACT AND SECURELY WRAPPED AND BOUND.
- ALL PLANT BEDS SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND OTHER EXTRANEOUS OBJECTS AND POOR SOILS TO A MINIMUM DEPTH OF TWELVE INCHES (12") AND ALL BACKFILLED TO GRADE WITH PLANTING MIX (SEE BELOW).
- PLANTING GROWTH MEDIA SHALL BE 33% COMPOSTED LEAF MOLD & 67% FRAGILE LOAM SOIL. INCLUDE 'MYKE' BRAND ROOT STIMULATOR PER MANUFACTURERS DIRECTIONS.
- ALL PLANT BEDS AND INDIVIDUAL PLANTS SHALL BE MULCHED WITH A THREE INCH (3") LAYER OF SHREDDED BARK MULCH. MULCH SHALL CONFORM TO 2012 M.D.O.T. SPECIFICATION 917.14
- C.L.U.B. AREAS ALONG THE NORTH BOUNDARY IS OCCUPIED BY MATURE, HARDWOOD TREES CRITICAL ROOT ZONE PREVENTS THIS ADDITION OF TREES IN THE C.L.U.B..
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE THE WORK IS ACCEPTED, IN WRITING, BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE, WITHOUT COST TO THE OWNER, WITHIN A SPECIFIED PERIOD OF TIME, ALL DEAD PLANTS, AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE ARCHITECT DURING AND AT THE END OF A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE ARCHITECT DURING AND AT THE END OF THE GUARANTEE PERIOD. REPLACEMENT STOCK SHALL CONFORM TO THE ORIGINAL REQUIREMENTS.
- EDGING, WHERE NOTED ON THE PLANS, SHALL BE RYERSON STEEL EDGING, 1/2" X 4". INSTALL PER MANUFACTURER'S INSTRUCTIONS. ALL EDGING SHALL BE INSTALLED IN STRAIGHT, TRUE LINES WITHOUT IRREGULARITIES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH A DENSE LAWN OF PERMANENT GRASSES, FREE OF LUMPS AND DEPRESSIONS. ANY PART OF THE AREA THAT FAILS TO SHOW A UNIFORM GERMINATION SHALL BE RESEED AND SUCH RESEEDING SHALL CONTINUE UNTIL A DENSE LAWN IS ESTABLISHED. DAMAGE TO SEEDS AREAS RESULTING FROM EROSION SHALL BE REPAIRED BY THE CONTRACTOR.
- ALL AREAS OF THE SITE SCHEDULED FOR SEEDING SHALL BE DISCED AND GRADED IN CONFORMANCE WITH THE EROSION SHALL BE REPAIRED BY THE CONTRACTOR. GRADING PLAN.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE THE UTILITIES, BOTH ABOVE AND UNDERGROUND PRIOR TO LANDSCAPING. ANY CONFLICTS BETWEEN UTILITIES AND PLANT MATERIAL SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT.
- ALL DISEASED, DAMAGED, OR DEAD MATERIAL SHALL BE REPLACED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF ANN ARBOR ZONING ORDINANCE AND BY THE END OF THE FOLLOWING PLANTING SEASON, AS A CONTINUING OBLIGATION FOR THE DURATION OF THE SITE.
- MULCH ALL SHRUB BEDS AND TREE PLANTING TO RECEIVE 3" DEPTH OF HARDWOOD SHREDDED BARK MULCH UNDER ENTRY CANOPY SHALL RECEIVE 5"-6" SIZE WASHED COBBLE STONE ON GEO-FABRIC. ALL CURB AREAS TO RECEIVE 3" DEPTH OF HARDWOOD SHREDDED BARK MULCH.
- TREATMENT OF COMPACTED SOILS ROOT ZONE SOILS AROUND EXISTING, REMAINING TREES SHALL BE PROTECTED FROM CONSTRUCTION VEHICLES BY CONSTRUCTION MATS. ANY SOIL COMPACTED BY CONSTRUCTION IN EXCESS OF 83% PROCTOR SHALL BE AERATED MECHANICALLY USING A DISC, ROTO-TILLER AND/OR SURFACE AERATOR IMPLEMENT.
- LANDSCAPE MAINTENANCE TREE PLANTING, SHALL BE WATERED AT TIME OF PLANTING AND RECEIVE 20-GALLON TREE WATERING BAGS TO MAINTAIN ADEQUATE MOISTURE THROUGHOUT THE GROWING SEASON. BAGS WILL BE FILLED WEEKLY BY INSTALLATION CONTRACTOR. SHRUB, FLOWER BEDS, SHALL BE WATERED VIA AUTOMATIC IRRIGATION SYSTEM. PLANT HEALTH WILL BE MONITORED AND CARED TO BY THE INSTALLATION CONTRACTOR FOR THE 1ST GROWING SEASON. LAWN AREAS, SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM. FERTILIZATION WILL BE APPLIED 3X PER SEASON USING A NO PHOSPHORUS FERTILIZER. MOWING WILL BE CONDUCTED WEEKLY IN THE 1ST GROWING SEASON. LAWN HEIGHT WILL BE MAINTAINED 2.25 INCHES.
- BIO-SWALES PLANTING WILL BE MONITORED MONTHLY DURING THE 1ST GROWING SEASON. WEED CONTROL, SUPPLEMENT WATER AND CLEARING MISCELLANEOUS DEBRIS WILL BE ATTENDED TO IN THE 1ST GROWING SEASON.
- THE CITY OF ANN ARBOR HAS ADOPTED AN ORDINANCE LIMITING PHOSPHORUS IN FERTILIZERS. THE PROPERTY DEVELOPER WILL RESTRICT THE APPLICATIONS OF FERTILIZER BEYOND THE INITIAL TOPSOIL AND SEEDING AND SHALL BE A FERTILIZER COMPOSITION WITH NO PHOSPHORUS.
- THERE WILL NOT BE FALL PLANTINGS OF EVERGREEN TREES, AUG 1ST THRU MARCH 15TH.
- RAINBIRD BRAND AUTOMATIC LAWN & SHRUB/FLOWER BED SPRINKLER HEADS WITH 8 STATION CONTROL CLOCKS WILL BE INSTALLED AROUND THE BUILDING PROPERTY AND 30 FT. EACH SIDE OF PROJECT ENTRY DRIVES.
- CLASS 'A' SOD SHALL BE PLACED ADJACENT TO THE BUILDING PROPERTY. ALL OTHER AREAS TO BE SEED WITH NOTED MIXES.
- SNOW STORAGE SHALL NOT BE PUSHED ONTO INTERIOR LANDSCAPE ISLANDS UNLESS DESIGNED FOR SNOW STORAGE
- NO PLANTING SUBSTITUTIONS ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE CITY OF ANN ARBOR



PLANT LIST

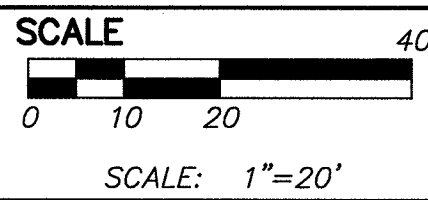
Qty.	Sym.	Botanical	Common	Size	Comment
10.	SYC	Platanus x acerfolia	LONDON PLANE TREE	2.5" CAL.	B & B
10.	ELM	Ulmus americana 'Princeton'	ELM PRINCETON	2.5" CAL.	B & B
2	HOR	Ostrya virginiana	AMERICAN HOPHORNBEAM	2.5" CAL.	B & B
12	NOR	Picea abies	NORWAY SPRUCE	7" HT.	B & B
6	TUL	Liriodendron tulipifera	TULIP TREE	3.0" CAL.	B & B
3	GIN	Ginkgo biloba	GINKGO	3.0" CAL.	B & B
3	MAL	Malus coronaria	WILD CRABAPPLE (MITIGATION)	3.0" CAL.	B & B
2	BLK	Nyssa sylvatica	BLACK GUM (MITIGATION)	3.0" CAL.	B & B
4	RED	Acer rubrum	RED MAPLE	3.0" CAL.	B & B
52	TOTAL				

PERENNIALS/GROUND COVER

Qty.	Sym.	Botanical	Common	Size	Comment
99	COL	Euonymus colorados	PURPLELEAF WINTERCREEPER	#1	POT
10	STL	Hemerocallis stellata d'oro	STELLA DORO DAYLILY	#3	POT
153	DAY	Hemerocallis fulva	TIGER DAYLILY	#3	POT
10	OST	Matteuccia struthiopteris	OSTRICH FERN	#3	POT
272	TOTAL				

REVISIONS 9-2-2020 PER CITY REVIEW. 9-16-2020 PER CITY REVIEW. 10-15-2020 COMMENTS. 11-12-2020 COMMENTS.

BENCHMARK BM1=ARROW ON HYDRANT ON THE CORNER OF CRESTLAND DR. AND PACKARD RD. ON THE SOUTHWEST PROPERTY CORNER. ELEV=841.87 (NAVD 88). BM2 MAG NAIL IN UTILITY POLE ON THE EAST SIDE OF BUILDING ±100 FT SOUTH OF ANDERSON AVE., ELEV=841.52 (NAVD 88).



SHRUBS

Qty.	Sym.	Botanical	Common	Size	Comment
12	COT	Cotoneaster apiculata	CRANBERRY COTONEASTER	24"	CONTAINER
20	YEW	Taxus x media 'Wardii'	WARD'S YEW	24"	CONTAINER
35	HIC	Taxus hispida	HICK'S YEW	36"	CONTAINER
23	BUX	buxus sempervirens	COMMON BOXWOOD	24"	CONTAINER
6	VIB	Viburnum burkwoodii	BURKWOOD VIRBURNUM	36"	CONTAINER
9	POT	Potentilla cinquefol	GOLD DROP POTENTILLA	24"	CONTAINER
16	HUH	Juniperus horizontalis	'HUGHES' JUNIPER	24"	CONTAINER

LAWN MIX

30% KY BLUEGRASS
35% TURF TYPE PRAIRIE
25% CR. RED FESCUE
10% BARON KY. BLUE
10% KENBLUE. KY. BLUE
SPREAD RATE: 3LBS. PER 1,000 SF
SPREAD FERTILIZER 15-30-15 AT 5.75LBS. PER 1,000 SF
SPREAD EZ STRAW MULCH

ROAD FRONTAGE MIX

45% CR. RED FESCUE
30% TURF TYPE PRAIRIE
15% KY. BLUEGRASS
10% FULTS SALT GRASS
CR-CEREAL RYE
SPREAD RATE: 3LBS. PER 1,000 SF
SPREAD FERTILIZER: 15-30-15 AT 5.75LBS. PER 1,000 SF
SPREAD EZ STRAW MULCH

BIO-RETENTION ISLAND PLANTS

5#/AC 12% PURPLE TOP
5#/AC 12% CANADA WILD EYE
3#/AC 5% BROOMSEDGE BLUESTEM
32#/AC 71% SEED OATS
SEED RATE: 1/2# OF MIX PER BRI



PREPARED BY Gerald J. Sosnowski RLA, MICH No. 982

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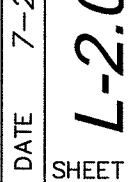
PROJECT
SECTION 4 TOWN 3 SOUTH RANGE 6 EAST
CITY OF ANN ARBOR
WASHTENAW COUNTY - MICHIGAN
JOB NO. 337224
DATE 7-22-20
DWG NO. 724-site
FIELD BOOK 659
FILE NO. 10596

2111 PACKARD ST

LANDSCAPE PLAN

SHEET
L-1.0

OWNER SHALL NOT USE OR AUTHORIZE ANY OTHER PERSON TO USE THE DRAWINGS, SPECIFICATIONS, TELEPHONE DATA AND ANY INSTRUMENTS OF SERVICE ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THE PROJECT BY OTHERS SO LONG AS WASHTECH ENGINEERING COMPANY (WECO) IS NOT ADDUDED TO BE IN DEFAULT UNDER THIS AGREEMENT. THE OWNER'S SOLE RISK AND WITHOUT LIABILITY TO WECO, WECO'S CONSULTANTS AND AGENTS AND EMPLOYEES OF ANY OF THEM SHALL MAINTAIN INDEMNITY AND HOLD HARMLESS WECO, WECO'S CONSULTANTS AND AGENTS AND EMPLOYEES OF ANY OF THEM FROM AND AGAINST CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING BUT NOT LIMITED TO ATTORNEYS' FEES, ARISING OUT OF OR FROM THIS AGREEMENT.



WA
DATE 7-22-
SHEET L-2.0

ANDERSON AVE.

PACKARD ST.

CRESTLAND DR.

NOTE: ALL ADDRESS SIGNAGE WILL BE VISIBLE FROM THE STREET; MINIMUM 4 INCH HIGH NUMBERS

NOTE: REFER TO CIVIL DRAWINGS FOR MORE INFORMATION ON ALL EXISTING SITE FEATURES AND PROPOSED SITE IMPROVEMENTS

APPROVALS



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TBD
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CONTACT:
PHONE: XXX.XXX.XXX EMAIL:

STRUCTURAL ENGINEER
TBD
ADDRESS
CONTACT:
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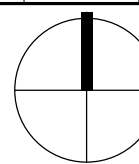
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JD

PROJECT ARCH

JM

NO	DATE	DESCRIPTION
1	07.23.20	SITE PLAN REVIEW
2	09.02.20	SITE PLAN REVIEW
3	09.16.20	SITE PLAN REVIEW



JOB NO
18032
DATE
09.16.2020

ARCHITECTURAL SITE PLAN

A1.0

ANDERSON AVE.



NOTE: REFER TO CIVIL DRAWINGS FOR MORE INFORMATION ON ALL EXISTING SITE FEATURES AND PROPOSED SITE IMPROVEMENTS

EV-INSTALLED SPACES
10% RESIDENTIAL = 7.2 SPACES
10% RETAIL = 1.2 SPACES
9 SPACES PROPOSED

EV-READY SPACES
25% RESIDENTIAL = 18 SPACES
10% RETAIL = 1.2 SPACES
20 SPACES PROPOSED

EV-CAPABLE SPACES
65% RESIDENTIAL = 46.8 SPACES
47 SPACES PROPOSED

PENDING ADOPTION OF CITY OF
ANN ARBOR'S PROPOSED ELECTRIC
VEHICLE PARKING REQUIREMENTS

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CONTACT: JOSH DAWSON
PHONE: 906 273 2200 EMAIL: JDAWSON@MYEFSKI.COM

NAME OF ENGINEER
TBD
ADDRESS
CONTACT:

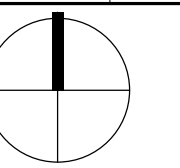
PHONE: XXX-XXX-XXX EMAIL: _____
STRUCTURAL ENGINEER
TBD

CONTACT:
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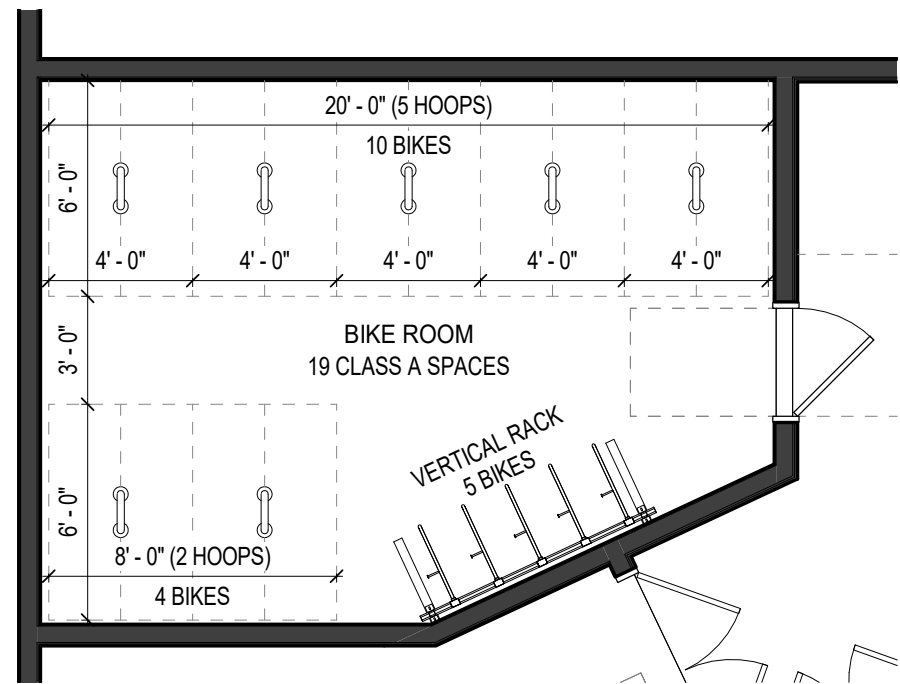
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3	09.16.20	SITE PLAN REVIEW



OBJ NO	8032
DATE	9.16.2020

ALTERNATE ELECTRIC VEHICLE
PARKING PLAN

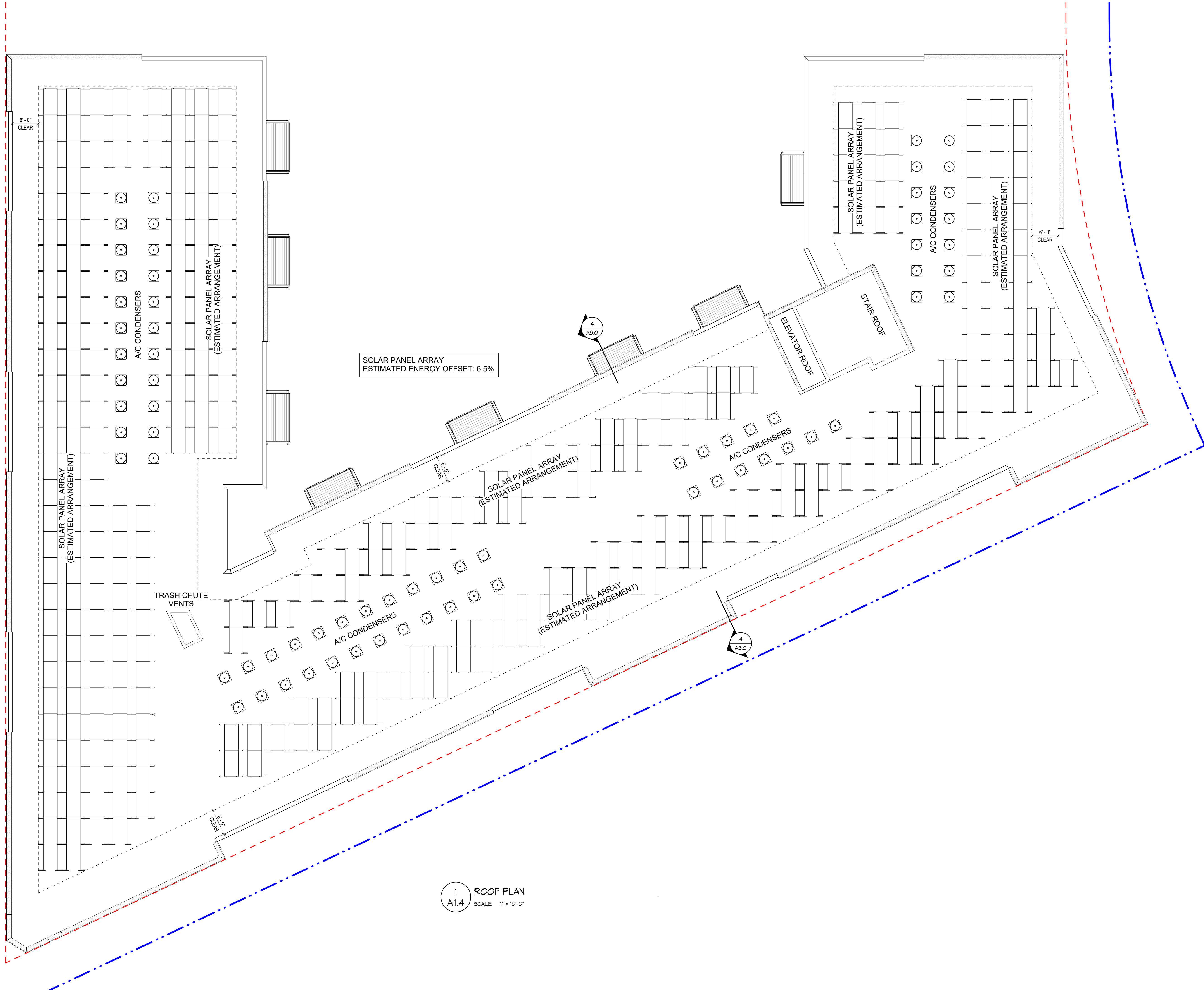
A1.0B



A1.1



A1.2



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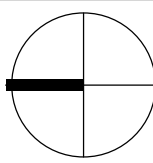
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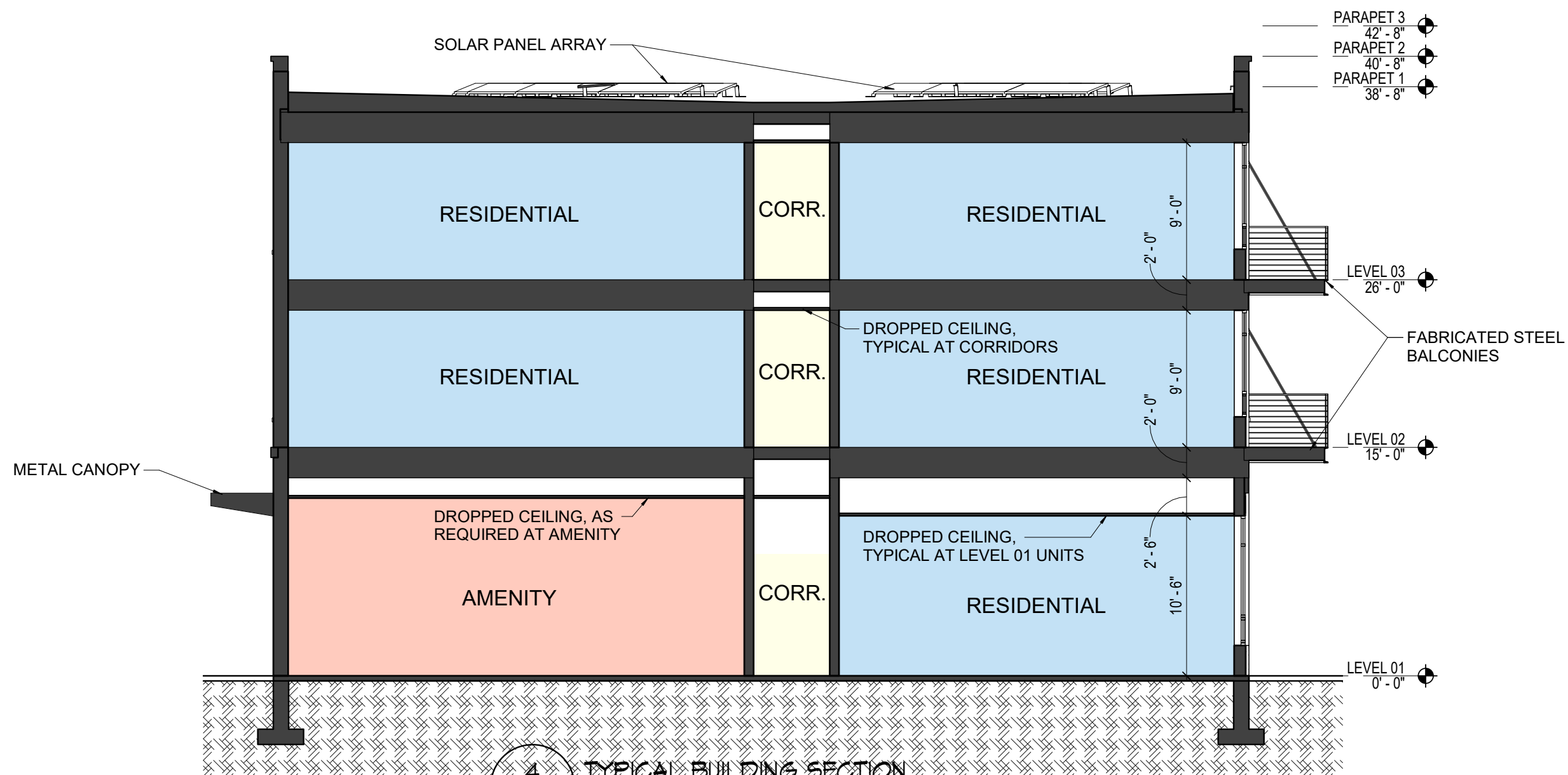
JOB NO
18032
DATE
09.16.2020

ROOF PLAN

A1.4



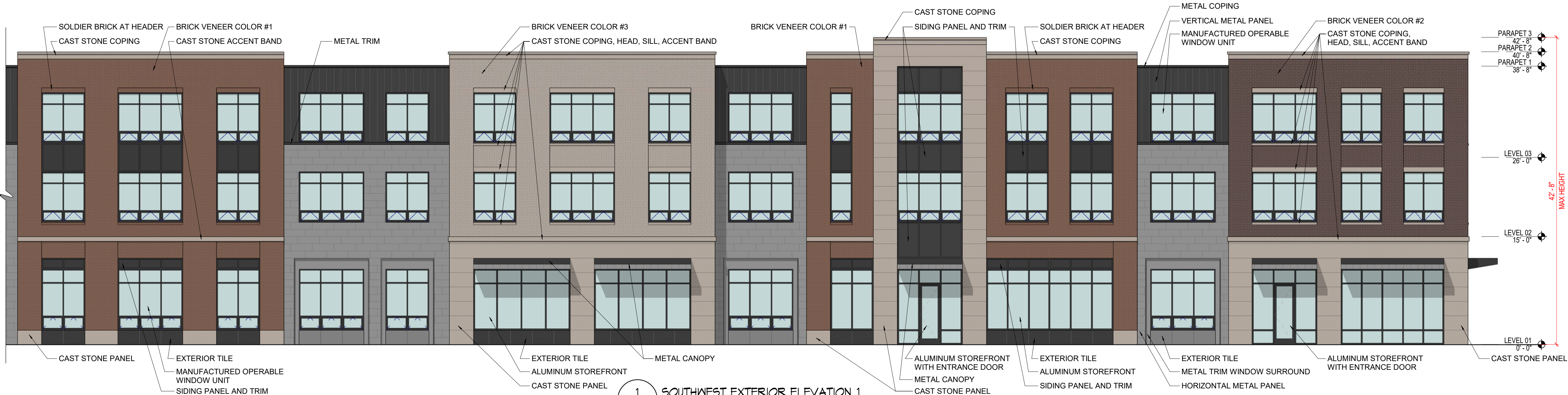
3 NORTH EXTERIOR ELEVATION
A3.0 SCALE: 1/8" = 1'-0"



4 TYPICAL BUILDING SECTION
A3.0 SCALE: 1/8" = 1'-0"



2 SOUTHWEST EXTERIOR ELEVATION 2
A3.0 SCALE: 1/8" = 1'-0"



1 SOUTHWEST EXTERIOR ELEVATION 1
A3.0 SCALE: 1/8" = 1'-0"

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MEP ENGINEER: TBD
ADDRESS: TBD
CONTACT: PHONE: XXXXXXXX EMAIL: XXXXXXXX

STRUCTURAL ENGINEER: TBD
ADDRESS: TBD
CONTACT: PHONE: XXXXXXXX EMAIL: XXXXXXXX

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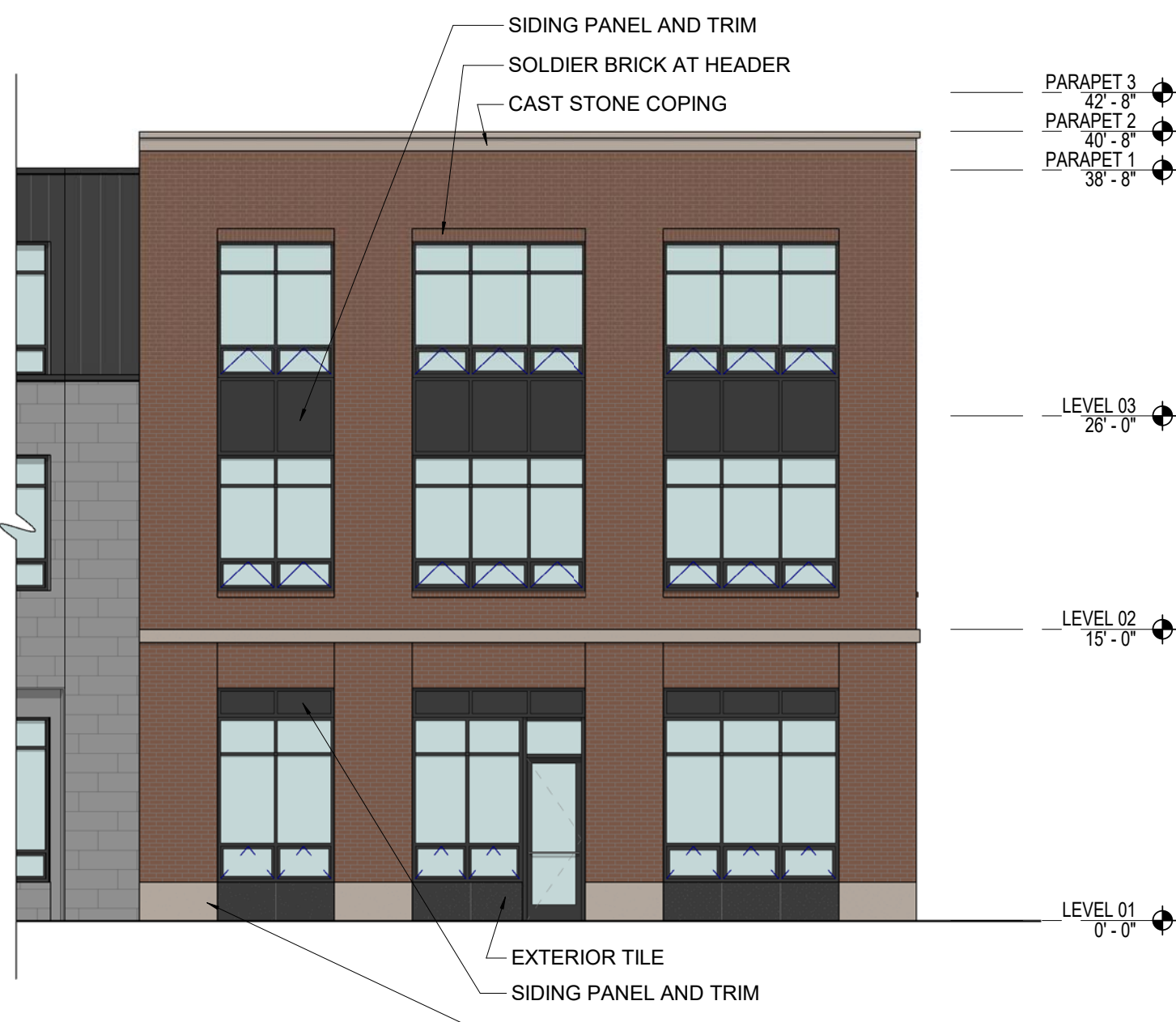
JOB NO	18032
DATE	09.16.2020

EXTERIOR ELEVATIONS

A3.0



7 SOUTHEAST EXTERIOR ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



6 SOUTH EXTERIOR ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



5 EAST EXTERIOR ELEVATION 2
A3.1 SCALE: 1/8" = 1'-0"



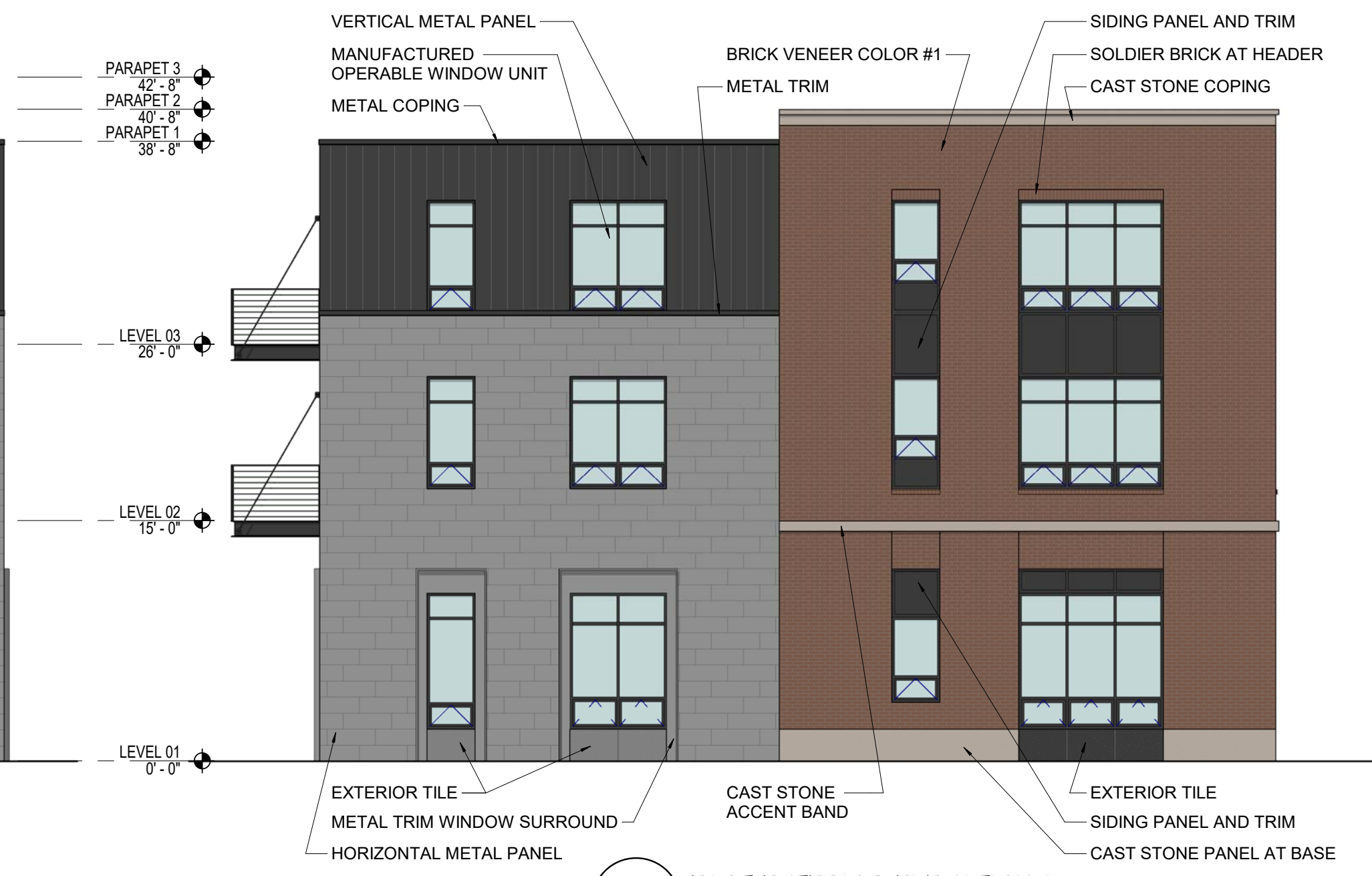
4 NORTH COURTYARD ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



3 NORTHEAST COURTYARD ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



2 SOUTH COURTYARD ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



1 EAST EXTERIOR ELEVATION 1
A3.1 SCALE: 1/8" = 1'-0"

APPROVALS



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MEP ENGINEER
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CONTACT: XXXXXXXXXX EMAIL:

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PROJECT ARCH JM

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EXTERIOR ELEVATIONS

A3.1

