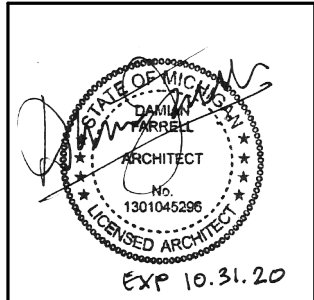




DAMIAN  
FARRELL  
DESIGN  
GROUP

359 METTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
tel: 734.998.1331



SPECIAL EXCEPTION USE PERMIT

2115 SOUTH STATE STREET MARIJUANA GROW +  
RETAIL  
2115 S. STATE ST.  
ANN ARBOR, MI 48104

DATE	DESCRIPTION
9.16.2020	SEU FOR PC rev #6
10.8.2020	SEU FOR PC rev #7
10.28.2020	SEU FOR PC rev #8

DESIGN	Designer
DRAWN	Author
PROJECT NO.	200814_05_16

COVER SHEET

To.o

COMPARISON CHART			
	EXISTING	REQUIRED	PROPOSED
ZONING	M1A-LIMITED LIGHT INDUSTRIAL	M1A-LIMITED LIGHT INDUSTRIAL	M1A-LIMITED LIGHT INDUSTRIAL
LOT AREA	76,806 SF (1.76 ACRES)	13,000 SF	76,806 SF (1.76 ACRES)
FLOOR AREA	6,580 SF	-	6,580 SF
FLOOR AREA RATIO	8.6%	75% MAX.	8.6%
OPEN SPACE	- SF	- SF	- SF
OPEN SPACE (ACTIVE)	-	-	NO CHANGE
SETBACKS			
FRONT	130.1'	15'	130.1'
REAR	255.57'	NONE (EXCEPT 50' ABUTTING RESIDENTIAL ZONED LAND)	255.57'
SIDE	26.15', 27.02'	NONE	26.15', 27.02'
HEIGHT	18'	35' MAX.	18'
PARKING	35+ SPACES	27 SPACES	27 SPACES (2 ACCESSIBLE)
MIN	-	-	-
MAX	-	-	-
BIKE PARKING	0	1 CLASS B	4 CLASS B

**\*\*TRIP GENERATION PER ITE 10TH GENERATION**  
**EXISTING AUTOMOBILE REPAIR DAILY TRIPS**  
AUTOMOBILE PARTS AND SERVICE CENTER KSF: 4.398  
71.60 DAILY TRIPS (4.398 KSF x 16.28 TRIPS/KSF)  
**EXISTING PEAK HOUR TRIPS**  
8.62 AM PEAK HOUR TRIPS (4.398 KSF x 1.96 TRIPS/KSF)  
9.94 PM PEAK HOUR TRIPS (4.398 KSF x 2.26 TRIPS/KSF)

**PROPOSED CLASS A GROWER**  
CLASS A GROWER KSF: 1.969  
3.43 DAILY TRIPS (1.969 KSF x 1.74 TRIPS/KSF)  
PEAK HOUR TRIPS  
.43 AM PEAK HOUR TRIPS (1.969 KSF x .22 TRIPS/KSF)  
.47 PM PEAK HOUR TRIPS (1.969 KSF x .24 TRIPS/KSF)

**PROPOSED PROVISIONING CENTER**  
PROVISIONING CENTER KSF: .216  
54 DAILY TRIPS (.216 KSF x 252 TRIPS/KSF)  
PEAK HOUR TRIPS  
4.51 AM PEAK HOUR TRIPS (.216 KSF x 20.88 TRIPS/KSF)  
4.72 PM PEAK HOUR TRIPS (.216 KSF x 21.83 TRIPS/KSF)

**TOTAL PROPOSED DAILY TRIPS**  
PROVISIONING CENTER AND GROW FACILITY  
57 DAILY TRIPS  
**TOTAL PROPOSED PEAK HOUR TRIPS**  
5 AM PEAK HOUR TRIPS  
5 PM PEAK HOUR TRIPS

THE OVERALL PEAK HOUR TRIPS AND DAILY TRIPS ARE TO BE REDUCED FROM THE PREVIOUS USE.

- ADDITIONAL DEVELOPMENT NOTES:**
- NO ADDITIONAL DEVELOPMENT TO THE BUILDING IS PROPOSED.
  - 2,546 SF OF IMPERVIOUS SURFACE AREA IS TO BE CONVERTED INTO GREEN SPACE

PROJECT DIRECTORY

**OWNER**  
SOUTH STATE STREET HOLDINGS, LLC  
2280 E. MICHIGAN  
YPSILANTI, MI 48198

**APPLICANT/ LESSEE**  
CAMPUS WELLNESS II LLC  
21150 COOLIDGE  
OAK PARK, MI 48327  
ATTENTION: RAY KALASHO  
248.224.6999  
RAY@KALASHO.COM

**ARCHITECT**  
DAMIAN FARRELL DESIGN GROUP PLLC  
359 METTY DRIVE, SUITE 4A  
ANN ARBOR MICHIGAN 48103  
ATTENTION: KYLE GONZALEZ  
PH. 734.998.1331  
KGONZALEZ@DFDGOONLINE.COM

**SURVEYOR**  
ALPINE ENGINEERING, INC.  
46892 WEST ROAD, SUITE 109  
NOVI, MICHIGAN 48377  
ATTENTION: GINGER MICHALSKI-WALLACE  
248.926.3701

LOCATION MAP



GENERAL PROJECT INFORMATION

**LEGAL DESCRIPTION FOR PARCEL, 09-12-04-200-040**  
COM AT THE NW COR OF THE SEC, TN S 1 DEG 27 SEC W 528.66 FT IN THE W LINE OF THE SEC FOR A POB, TN E 425.86 FT, TN S 21 DEG 25 MIN E 172.10 FT, TN W 492.78 FT TO THE W LINE OF THE SEC, TN CONT W 18.65 FT TO THE E LINE OF STATE ST, TN N 0 DEG 26 MIN W 160.26 IN THE E LINE OF SAID RD, TN E 23.94 FT TO THE POB, BEING PT OF THE NW FRACT 1/4 OF SEC 5, AND A PRT OF THE NW FRACT 1/4 OF SEC4, SEC 4, T3S, R6E.

REQUIRED STATEMENTS- LAND DEVELOPMENT REGULATIONS

**DEVELOPMENT PROGRAM -**  
PROPOSED USE AS A MEDICAL MARIJUANA CLASS A GROW & PROVISIONING CENTER.

**COMMUNITY ANALYSIS -**  
THERE ARE NO SCHOOLS WITHIN 1000FT OF THE PROPOSED SITE. AS A RESULT NO IMPACT ON PUBLIC SCHOOLS IS ANTICIPATED.

THE PROPOSED USE CONSISTENT WITH THE PERMITTED USES IN THE ZONING DISTRICT. NO IMPACT IS ANTICIPATED FOR THE ADJACENT COMMERCIAL BUILDING OR RESIDENCES.

THE SITE IS NOT LOCATED IN OR NEAR A HISTORIC DISTRICT.

**NATURAL FEATURES (DESCRIPTION) -**  
THERE ARE NO WETLANDS, WOODLANDS OR STEEP SLOPES EXISTING ON THIS SITE. ALL EXISTING TREES ARE TO REMAIN.

**NATURAL FEATURES (IMPACT) -**  
NO NEW DEVELOPMENT IS PROPOSED, THEREFORE NO IMPACT IS ANTICIPATED.

**TRAFFIC IMPACT -** SEE \*\*TRIP GENERATION NOTES ON T0.0 COVER SHEET.

**HISTORIC IMPACT -**  
THE SITE IS NOT LOCATED IN A HISTORIC DISTRICT, THEREFORE NO IMPACT IS ANTICIPATED

SHEET INDEX

SHEET NUMBER	SHEET NAME
T0.0	COVER SHEET
T1.0	GENERAL NOTES & ABBREVIATIONS
C0.0	ALTA SURVEY
C1.0	SITE PLAN
A1.1	FIRST FLOOR PLAN

EXISTING AND PROPOSED LOT LINES.....	SEE SHEET, AL AND C1.0
MINIMUM REQUIRED SETBACKS.....	SEE SHEET C1.0
EXISTING AND PROPOSED BUILDING FOOTPRINTS.....	SEE SHEET, AL AND C1.0
PARKING SPACES AND AISLES.....	SEE SHEET, AL AND C1.0
SIDEWALKS AND PATHWAYS.....	SEE SHEET, AL AND C1.0
CURB CUTS, DRIVE APPROACHES AND CURB RADII.....	SEE SHEET, AL AND C1.0
OPEN SPACE AND ACTIVE OPEN SPACE.....	SEE SHEET, C1.0
NATURAL FEATURES OPEN SPACE BUFFER.....	NA
CONFLICTING LAND USE BUFFER.....	SEE SHEET, AL AND C1.0
TRASH ENCLOSURE LOCATION AND DIMENSIONS.....	SEE SHEET, C1.0
STANDARD SIDEWALK REPAIR AND MAINTENANCE NOTE.....	SEE SHEET, C1.0

SEU FOR PC rev #8

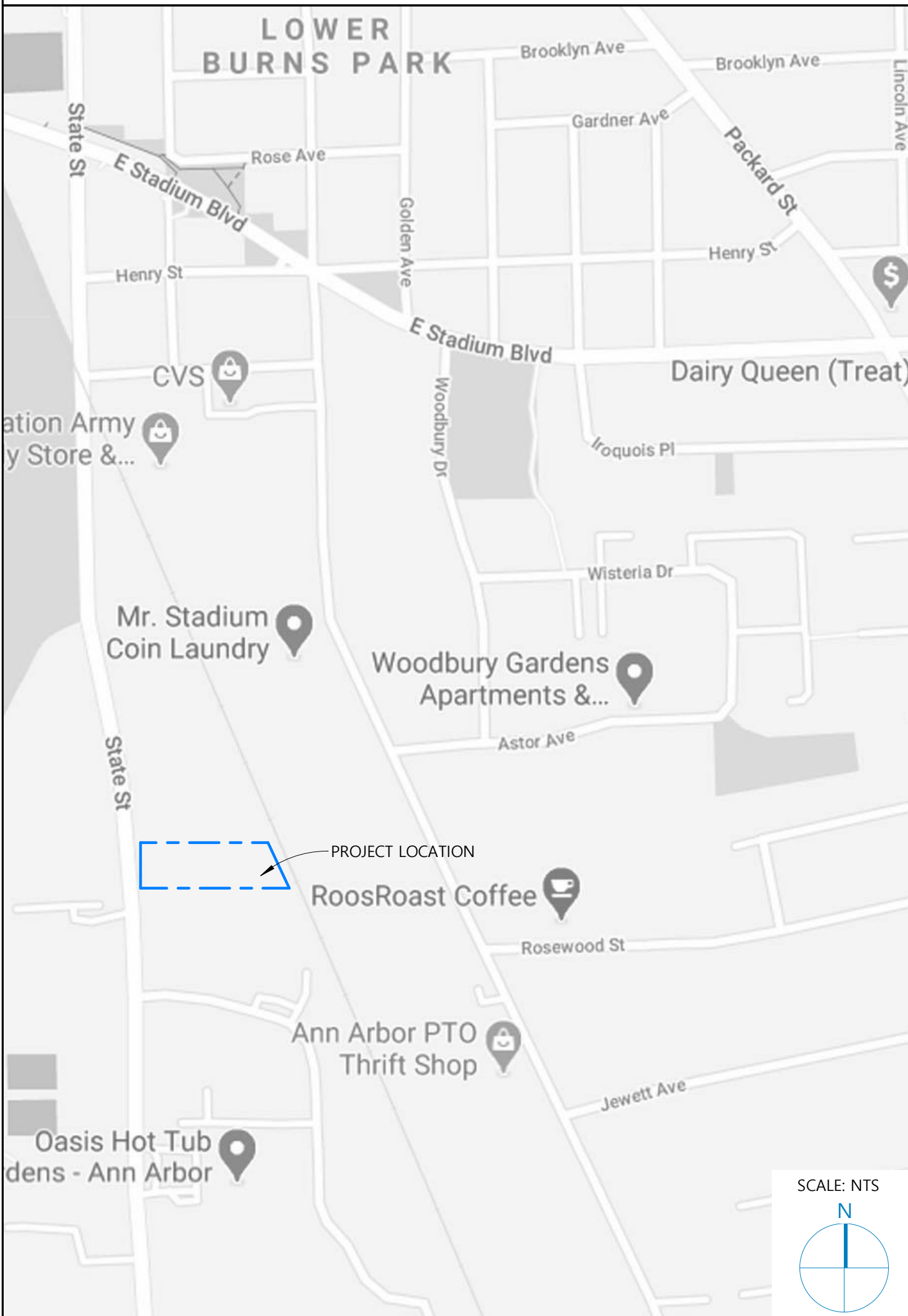
PROJECT NUMBER 200814\_05\_16

DATE 10.28.2020

2115 SOUTH STATE STREET  
MARIJUANA GROW + RETAIL

2115 S. STATE ST.  
ANN ARBOR, MI 48104

VICINITY MAP



C:\Users\architect.DFDG\Documents\200826\_2115 S State St\_architect.rvt



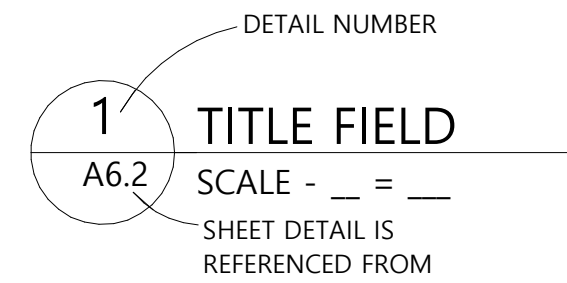
C:\Users\Warchitect.DFDG1\Documents\#200826\_2115 S State St\_architect.rvt

ABBREVIATIONS

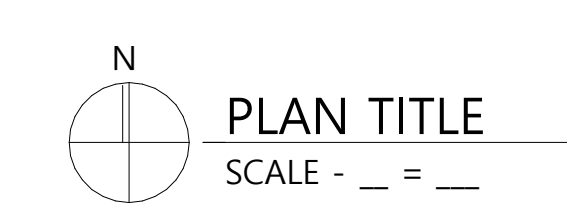
#	POUND/NUMBER	EQ	EQUAL	P.C.	PRECAST
&	AND	EQUIP	EQUIPMENT	P.O.C.	POINT OF CONNECTION
(D)	DEMO	EXP	EXPANSION	P.T.	PRESSURE TREATED
(E)	EXISTING	EXT	EXTERIOR	P/L	PROPERTY LINE
(F)	FUTURE	F.A.	FIRE ALARM	PERF.	PERFORATED
(N)	NEW	F.D.	FLOOR DRAIN	PL	PLATE
<	ANGLE	F.E.	FIRE EXTINGUISHER	PLAM	PLASTIC LAMINATE
@	AT	F.O.	FACE OF	PLYWD	PLYWOOD
ø/DIA.	DIAMETER/ROUND	F.O.C.	FACE OF CONCRETE/CURB	PNT	PAINT
		F.O.F.	FACE OF FINISH	PR	PAIR
		F.O.M.	FACE OF MASONRY	PT.	POINT
		F.O.S.	FACE OF STUDS	PTL BD	PARTICLE BOARD
		F.R.	FIRE RATED	PTN	PARTITION
		F.R.P.	FIBER-REINFORCED PLASTIC	PVC	POLYVINYL CHLORIDE
		F.R.T.	FIRE RETARDANT TREATED	PVMT	PAVEMENT
		F.S.	FIRE SPRINKLER		
		FDC	FIRE DEPARTMENT CONNECTION	Q.T.	QUARRY TILE
		FDN	FOUNDATION		
		FEC	FIRE EXTINGUISHER CABINET	R	RISER/RADIUS
		FF	FINISH FLOOR		
		FFE	FINISH FLOOR ELEVATION	R.D.	ROOF DRAIN
		FH	FIRE HYDRANT	R.O.	ROUGH OPENING
		FHVC	FIRE HOSE VALVE CABINET	R.O.W.	RIGHT OF WAY
		FIN.	FINISH	RB	RUBBER OR RESILIENT BASE
		FLR	FLOORING	RE	REFERENCE
		FLUOR	FLUORESCENT	REF.	REFRIGERATOR
		FRMG	FRAMING	REINF	REINFORCED
		FT	FOOT/FEET	REQD	REQUIRED
		FTG	FOOTING	RESIL	RESILIENT
		FURR	FURRING	REV	REVISED
				RH	ROOF HATCH
B.O.	BOTTOM OF	G.F.R.G.	GLASS FIBER REINFORCED GYPSUM	RM	ROOM
BD	BOARD	G.I.	GALVANIZED IRON	RTU	ROOF TOP UNIT
BDF	BUILDING DISTRIBUTION FACILITY	GA	GAUGE		
BFP	BACK FLOW PREVENTER	GALV	GALVANIZED	S.	SOUTH
BIT	BITUMINOUS	GB	GRAB BAR	S.C.	SOLID CORE
BLDG	BUILDING	GC	GENERAL CONTRACTOR	S.F.	STOREFRONT
BLK	BLOCK	GFI	GROUND FAULT INTERRUPTED	S.V.	SHEET VINYL
BLKG	BLOCKING	GL	GLASS	SCHED	SCHEDULE
BM	BEAM	GYP. BD.	GYPSUM BOARD	SD	STORM DRAIN OR SMOKE DETECTOR
BOT	BOTTOM			SECT.	SECTION
BRG	BEARING	H.M.	HOLLOW METAL	SGT	STRUCTURAL GLAZED TILE
BTWN	BETWEEN	HB	HOSE BIBB	SH	SHELF
BW	BACK OF WALK	HC	HANDICAP ACCESSIBLE	SHT	SHEET
		HDR	HEADER	SHTG	SHEATHING
C.B.	CATCH BASIN	HDWRE	HARDWARE	SHWR	SHOWER
C.G.	CORNER GUARD	HGT	HEIGHT	SIM.	SIMILAR
C.I.	CAST IRON	HORIZ	HORIZONTAL	SKY	SKYLIGHT
C.J.	CONTROL JOINT	HR	HOUR	SMH	SEWER MANHOLE
C.L.	CENTERLINE	HRV	HEAT RECOVERY UNIT	SPEC	SPECIFICATION
C.O.	CLEAN OUT	HSS.	HOLLOW STEEL SECTION	SQ.	SQUARE
CAB	CABINET	HVAC	HEATING/VENTILATING/ AIR CONDITIONING	SS	SOLID SURFACE
CEM	CEMENT			SST	STAINLESS STEEL
CFL	COUNTERFLASHING	I.D.	INSIDE DIAMETER/DIMENSION	STD	STANDARD
CID	CLEAR INSIDE DIMENSION	INC'D	INCLUDED	STL	STEEL
CLG	CEILING	INSUL	INSULATION	STOR.	STORAGE
CLKG	CAULKING	INT	INTERIOR	STRUC	STRUCTURAL
CLO	CLOSET	JAN	JANITOR	SUSP.	SUSPENDED
CLR	CLEAR	JT	JOINT	SYM.	SYMMETRICAL
CMU	CONCRETE MASONRY UNIT			T&B	TOP AND BOTTOM
CNTR	COUNTER	KIT	KITCHEN	T&G	TONGUE AND GROOVE
COL	COLUMN			T.	TREAD
CONC	CONCRETE	LAB	LABORATORY	T.O.	TOP OF
CONN	CONNECTION	LAV	LAVATORY	T.O.C.	TOP OF CONCRETE
CONSTR	CONSTRUCTION	LKR	LOCKER	T.O.M.	TOP OF MASONRY
CONT	CONTINUOUS	LT	LIGHT	T.O.S.	TOP OF STEEL
COORD	COORDINATE	LVR	LOUVER	T.S.	TUBE STEEL
CORR	CORRIDOR			T.V.	TELEVISION
CPT	CARPET	M.O.	MASONRY OPENING	TEL	TELEPHONE
CSK	COUNTERSINK/COUNTERSUNK	MATL	MATERIAL	TER	TERAZZO
CSMT	CASEMENT	MAX.	MAXIMUM	TRANS	TRANSITION
CT	CERAMIC OR PORCELIN TILE	MDF	MEDIUM DENSITY FIBERBOARD	TYP.	TYPICAL
CU FT	CUBIC FOOT/FEET	MECH	MECHANICAL		
		MEMB	MEMBRANE	U.N.O.	UNLESS NOTED OTHERWISE
D.F.	DRINKING FOUNTAIN	MFR	MANUFACTURER	UNFIN.	UNFINISHED
D.I.	DRAIN INLET	MH	MANHOLE	UR	URINAL
D.O.	DOOR OPENING	MIN.	MINIMUM		
DBL	DOUBLE	MIRR	MIRROR	VCT.	VINYL COMPOSITION TILE
DEG	DEGREE	MISC.	MISCELLANEOUS	VERT	VERTICAL
DEPT	DEPARTMENT	MTD	MOUNTED	VEST	VESTIBULE
DIA	DIAMETER	MTL	METAL	VIF	VERIFY IN FIELD
DIAG	DIAGONAL	MULL	MULLION	VWC	VINYL WALL COVERING
DIM	DIMENSION				
DISP	DISPENSER	N.	NORTH	W.	WEST
DIV	DIVISION	N.I.C.	NOT IN CONTRACT	W.C.	WATER CLOSET
DN	DOWN	N.R.	NOT RATED	W/	WITH
DR	DOOR	N.T.S.	NOT TO SCALE	W/O	WITHOUT
DS	DOWNSPOUT	NO.	NUMBER	WD	WOOD
DTL	DETAIL	NOM	NOMINAL	WDW	WINDOW
DWG	DRAWING	O.C.	ON CENTER	WF	WIDE FLANGE
DWR	DRAWER	O.D.	OVERFLOW DRAIN	WH	WATER HEATER
		O.H.	OVERHEAD	WP	WATERPROOF
E	EXISTING NOTED IN EQUIPMENT TAG	O.F.	OWNER FURNISH/ CONTRACTOR INSTALL	WRB	WEATHER-RESISTIVE BARRIER
E.	EAST	OF/CI		WT.	WEIGHT
EJ.	EXPANSION JOINT	OF/OI	OWNER FURNISH/ OWNER INSTALL	WTR	WATER
EW.	EACH WAY	OFF.	OFFICE	WWF	WELDED WIRE FABRIC
EA.	EACH	OPNG	OPENING		
ELEC	ELECTRICAL	OPP	OPPOSITE	XFMR	TRANSFORMER
ELEV.	ELEVATION				
EMER	EMERGENCY				
ENCL	ENCLOSURE				
EPDM	ETHYLENE PROPYLENE DIENE MONOMER				

SYMBOLS LEGEND

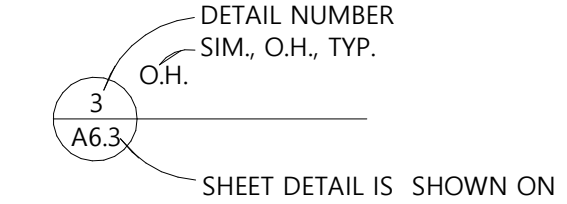
DETAIL SYMBOL



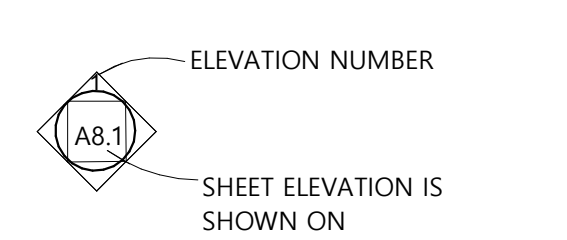
PLAN TITLE & NORTH ARROW



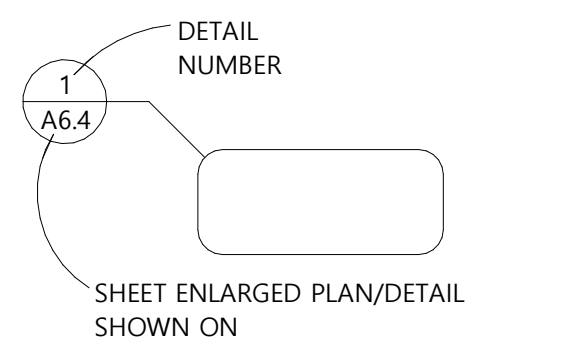
DETAIL/WALL SECTION CUT SYMBOL



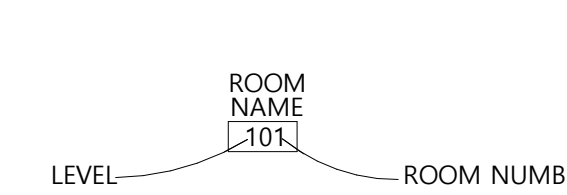
INTERIOR ELEV. SYMBOL



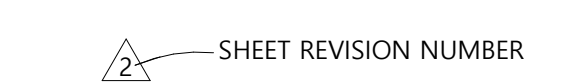
ENLARGED PLAN/DETAIL



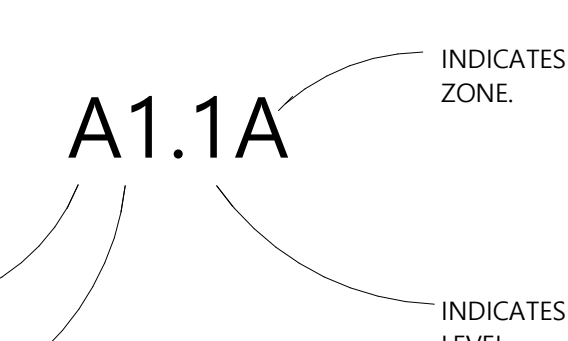
ROOM NUMBER/CEILING HEIGHT



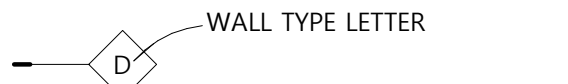
REVISIONS



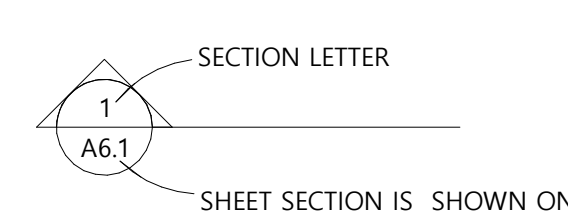
SHEET NUMBERING



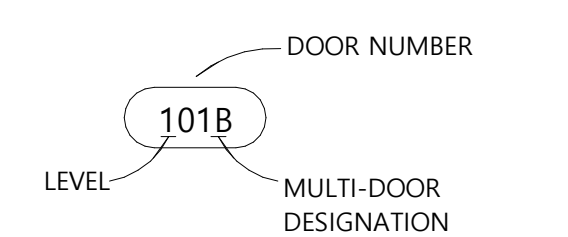
WALL TYPE



BUILDING SECTION CUT



DOOR NUMBER



GENERAL NOTES

- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO BIDDING AND START OF CONSTRUCTION. IF ANY DISCREPANCIES, INCONSISTENCIES OR OMISSIONS ARE FOUND THE ARCHITECT SHALL BE NOTIFIED, IN WRITING FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL RELY ON ON WRITTEN DIMENSIONS AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR AND COORDINATED WITH ALL THE WORK OF ALL TRADES. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING FOR CLARIFICATION BEFORE COMMENCEMENT OR RESUMPTION OF THE WORK.
- ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. NOTIFY THE ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDING, BUT NOT LIMITED TO: STRUCTURAL MEMBERS, MECHANICAL DUCTS AND INSULATION, CONDUITS, RACEWAYS, SPRINKLER SYSTEM, LIGHT FIXTURES, CEILING SYSTEM, AND ANY SPECIAL STRUCTURAL SUPPORTS REQUIRED) AND SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE FINISHED FLOOR INDICATED IN THE DRAWINGS AND THE FINISH SCHEDULE. (CEILING HEIGHT DIMENSIONS ARE TO THE FINISH SURFACE OF THE CEILING).
- ACCESS PANELS SHALL BE PROVIDED AND INSTALLED WHEREVER REQUIRED BY BUILDING CODE OR FOR THE PROPER OPERATION OR MAINTENANCE OF MECHANICAL OR ELECTRICAL EQUIPMENT, WHETHER OR NOT INDICATE ON THE DRAWINGS. CONTRACTOR SHALL COORDINATE SIZE, LOCATION, AND TYPE OF ACCESS PANEL WITH OTHER CONTRACTORS WORK AND RECEIVE APPROVAL OF THE ARCHITECT. ACCESS PANEL SHALL BE LOCATED, FRAMED OR INSTALLED WITHOUT EXPRESSED APPROVAL OF THE ARCHITECT.
- DIMENSIONS SHOWN ON THE FLOOR PLANS, SECTIONS, ELEVATIONS, AND DETAILS ARE TO FACE OF STUD, MASONRY, CONCRETE OR GRINDLINES, UNLESS OTHERWISE NOTED.
- IN THE CASE OF A CONFLICT BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, SPECIFICATIONS SHALL TAKE PRECEDENCE. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY CONFLICT BEFORE PROCESSING WITH THE WORK.
- ALL DUCT PENETRATION THROUGH PARTITIONS AND CEILINGS SHALL BE PROVIDED WITH NECESSARY FRAMES AND BRACING AROUND THE OPENING AND SHALL BE PROVIDED WITH AUTOMATIC FIRE DAMPERS AND REQUIRED BY THE BUILDING DEPARTMENT FOR FIRE-RATED PENETRATIONS.
- THE SPECIFICATIONS AND ALL CONSULTANT DRAWINGS ARE SUPPLEMENTAL TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF ANY OF THE CONSULTANT'S WORK AND TO BRING ANY DISCREPANCIES OR CONFLICT TO THE ARCHITECT'S ATTENTION IN WRITING, FOR CLARIFICATION. IMPROPERLY INSTALLED WORK SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT HIS EXPENSE AND AT NOT EXPENSE TO THE ARCHITECT, HIS CONSULTANTS, OR THE OWNER.
- CONTRACTOR SHALL PROVIDE AND INSTALL ACCESS PANELS WHERE SHOWN ON THE REFLECTED CEILING PLANS AND AS REQUIRED BY THE BUILDING DEPARTMENT OR NORMAL GOOD PRACTICE TO PROVIDE ACCESS TO ALL TERMINAL BOXES, VOLUME DAMPERS, AND VALVES, ETC. (ALSO SEE NOTE 5)
- THE ARCHITECT SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO AN EXISTING STRUCTURAL PORTION OF ANY BUILDING IS EITHER EXPEDIENT OR NECESSARY, PRIOR TO PROCEEDING WITH WORK, REINFORCEMENT AND/OR SUPPORT SATISFACTORY TO ARCHITECT AND STRUCTURAL ENGINEER SHALL BE PROVIDED BY CONTRACTOR PRIOR TO CUTTING INTO STRUCTURAL PORTIONS OF ANY BUILDING.
- ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT AND SHALL BE ACCESSIBLE BY THE HANDICAPPED.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED THE FOLLOWING: - INTERIOR DOORS: 5 LBS - EXTERIOR DOORS: 8.5 LBS - FIRE DOORS: 15 LBS
- LEGAL EXITS SHALL NOT BE BLOCKED AT ANYTIME.
- ALL EXIT LIGHTING AND SIGNS TO HAVE MINIMUM 6-INCH-HIGH LETTERS IN ACCORDANCE WITH SECTION 19, CHAPTER 33 OF THE CODE.
- EMERGENCY LIGHTING SHALL BE PROVIDED GIVING A VALUE ONE FOOTCANDLE AT FLOOR LEVEL. EXIT SIGNS SHALL BE ILLUMINATED BY TWO SEPARATE SOURCES OF POWER PER LOCAL FIRE DEPARTMENT. (ONE SOURCE ON EMERGENCY POWER, SEE ELEC. DWGS.)
- TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY CITY CODE.
- FINAL CLEAN UP AND DISPOSAL: REMOVE DEBRIS, RUBBISH AND WASTE MATERIAL FROM THE OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA AND PAY ALL HAULING AND DUMPING COSTS. CONFORM TO PERTAINING FEDERAL STATE AND LOCAL LAWS, REGULATIONS AND ORDERS UPON COMPLETION OF WORK, ALL CONSTRUCTION AREAS SHALL BE LEFT VACUUM-CLEAN AND FREE FROM DEBRIS. CLEAN ALL DUST, DIRT, STAINS, HAND MARKS, PAINT SPOTS, DROPPINGS, AND OTHER BLEMISHES.
- PRIOR TO INSPECTION OF THE EXISTING FACILITY, THE CONTRACTOR MUST RECEIVE PERMISSION FOR SITE ACCESS FROM THE OWNER OR THE DESIGNATED REPRESENTATIVE.
- WHEN IT IS NECESSARY TO INTERRUPT ANY EXISTING UTILITY SERVICE TO MAKE CORRECTIONS AND/OR CONNECTION, A MINIMUM OF 48 HOURS ADVANCE NOTICE SHALL BE GIVEN THE OWNER. INTERRUPTIONS IN UTILITY SERVICES SHALL BE OF THE SHORTEST POSSIBLE DURATION FOR THE WORK AT AND HAND AND SHALL BE APPROVED IN ADVANCE BY THE OWNER.
- IN THE EVENT THE UTILITY SERVICE IS INTERRUPTED WITHOUT THE REQUIRED 48 HOURS NOTICE, THEN THE CONTRACTOR SHALL BE FINANCIALLY LIABLE FOR ALL DAMAGES SUFFERED BY THE OWNER DUE TO THE UNAUTHORIZED INTERRUPTION. RECONNECTION SHALL BE MADE IMMEDIATELY.
- IF THE CONTRACTOR ASCERTAINS AT ANY TIME THAT REQUIREMENTS OF THIS CONTRACT CONFLICT WITH, OR ARE IN VIOLATION OF, APPLICABLE LAWS, CODES, REGULATIONS AND ORDINANCES, HE SHALL NOT PROCEED WITH WORK IN QUESTION. EXCEPT AT HIS OWN RISK, UNTIL ARCHITECT HAS BEEN NOTIFIED IN WRITING AND WRITTEN DETERMINATION IS MADE BY THE ARCHITECT. WHERE COMPLETED OR PARTIALLY COMPLETED WORK IS DISCOVERED TO BE IN VIOLATION WITH APPLICABLE LAWS, CODES, AND REGULATIONS AND ORDINANCES, CONTRACTOR SHALL BE REQUIRED TO REMOVE THAT WORK FROM THE PROJECT AND REPLACE SUCH WORK WITH ALL NEW COMPLYING WORK AT NOT ADDITIONAL COST TO THE OWNER OR ARCHITECT.
- ANY WORK INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NOT ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT, OR CONSULTANTS.
- FINISH FLOOR ELEVATIONS ARE AS ESTABLISHED BY DATUM LINE, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING FLOOR-TO-FLOOR ELEVATIONS. THE NEW BUILDING EXPANSIONS GROUND FLOOR SHALL ALIGN IN ELEVATION WITH RESPECTIVE FLOORS IN EXISTING BUILDING.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION AND SERVICES NECESSARY FOR THE SATISFACTORY COMPLETION OF WORK UNLESS DESIGNATED (N.I.C.) OR (O.F.O.I.) ALL EQUIPMENT, WORK AND MATERIALS SHALL COMPLY WITH CURRENT AND LOCAL APPLICABLE CODES AND GOVERNING REGULATIONS, AND THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PROTECT ALL FINISH WORK AND SURFACES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION AND SHALL REPLACE AND/OR REPAIR ALL DAMAGED SURFACES CAUSED BY CONTRACTOR OR SUBCONTRACTOR PERSONNEL TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND INSPECTIONS.
- SIZE OF MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY DIMENSIONS WITH RESPECTIVE EQUIPMENT MANUFACTURER.
- SPECIAL NOTICE TO CONTRACTORS: ALL CONTRACTORS PERFORMING WORK ON THE PREMISES SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING A REASONABLE AND PRUDENT SAFETY PROGRAM INCLUDING BUT NOT LIMITED TO THE ISOLATION OF OWNER AREAS AND THE PROMPT REMOVAL OF ANY DEBRIS OR TOOLS WHICH MIGHT ENDANGER VISITORS AND STAFF OF THE OWNER OR ARCHITECT.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ACCESSORIES AND OF ALL FLOOR-MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITY BELOW GARDE AND RELATED SERVICE CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANIES.
- THE CONTRACTOR SHALL COORDINATE THE REMOVAL, ABANDONMENT, AND/OR RELOCATION OF THE EXISTING ABOVE OR BELOW GRADE WITH THE RESPECTIVE UTILITY COMPANIES.
- THE CONTRACTOR SHALL PERFORM ALL WORK WITHIN PUBLIC RIGHT-OF-WAY ACCORDING TO THE LOCAL JURIDISTRICTION STANDARD PLANS AND SPECIFICATIONS. CONTRACTOR SHALL OBTAIN PERMIT FROM APPROPRIATE AGENCIES.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACES, SHORES AND GUYS REQUIRED TO SUPPORT ALL LOADS TO WHICH THE BUILDING STRUCTURES, UTILITIES AND RIGHT-OF-WAY MAY BE SUBJECTED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE SANITARY FACILITIES FOR WORKERS' USE. EXISTING FACILITIES SHALL NOT BE USED.
- THE CONTRACTOR SHALL OBTAIN OSHA PERMITS FOR ANY VERTICAL EXCAVATIONS OVER 5'-0" DEEP INTO WHICH PERSONS MUST DESCEND.
- THE CONTRACTOR SHALL COORDINATE WITH REPRESENTATIVES OF WATER, ELECTRICAL, GAS, TELEPHONE AND TELEVISIONS COMPANIES TO VERIFY AVAILABLE FACILITIES AND, IF APPLICABLE, TO ESTABLISH TEMPORARY FACILITIES.
- CONTRACTOR SHALL VERIFY ALL COLUMN COORDINATES AND CHECK THEM AGAINST DIMENSIONS SHOWN ON PLANS AND DETAILS. CONSTRUCTION MANAGER SHOULD BE NOTIFIED OF ANY DISCREPANCIES DURING STAKING.
- CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND FEES REQUIRED, NOT NORMALLY COVERED BY THE BUILDING PERMITS.
- SUBSTITUTIONS: - REFERENCE TO MAKERS, BRAND, MODELS, ETC., IS TO ESTABLISH THE TYPE QUALITY DESIRED; SUBSTITUTION OF ACCEPTABLE EQUIVALENTS WILL BE PERMITTED IF APPROVED BY THE ARCHITECT AND OWNER PRIOR TO BID (UNLESS NOTED OTHERWISE). - THE ARCHITECT, ACTING AS THE OWNER'S DESIGNATED AGENT FOR THE DESIGN FOR THE PROJECT, WILL EXERCISE SOLE AUTHORITY FOR DETERMINING CONFORMANCE OF MATERIALS, EQUIPMENT AND SYSTEMS WITH THE INTENT OF THE DESIGN.
- ONLY NEW MATERIALS AND EQUIPMENT OF RECENT MANUFACTURE, OF QUALITY SPECIFIED, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK.
- SHOP DRAWINGS: - SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL EQUIPMENT AND MATERIALS WHICH MUST INTERFACE AND COORDINATE WITH OTHERS, WHETHER DETAILED OR NOT. - SHOP DRAWINGS SHALL BE SUBMITTED IN A MINIMUM OF 3 COPIES AND ONE OZALID TRANSPARENCY; BROCHURES IN NOT LESS THAN 8 COPIES/
- TEMPORARY FACILITIES: - THE CONTRACTOR SHALL PROVIDE A STAGING AND MATERIAL STORAGE AREA ADJACENT TO THE AREA OF CONSTRUCTION. LOCATION SHALL BE COORDINATED WITH THE OWNER. - THE CONTRACTOR SHALL MAKE NECESSARY CONNECTIONS TO THE EXISTING UTILITIES FOR TEMPORARY POWER AND WATER SUPPLIES, AND SHALL COORDINATE SUCH USE WITH THE OWNER PRIOR TO CONNECTION. - THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES TO SEPARATE CONSTRUCTION AREAS FOR PUBLIC SAFETY AROUND ENTIRE PERIMETER OF CONSTRUCTION AREA.
- THE CONTRACTOR SHALL PROVIDE A BLANKET ONE (1) YEAR GUARANTEE FOR THE CONTRACT PROJECT WITH SEPARATE GUARANTEES AS SPECIFIED FOR TRADES/EQUIPMENT ITEMS WITH NAMES OF LOCAL REPRESENTATIVES TO BE CONTACTED FOR SERVICE. PROVIDE OPERATING MAINTENANCE BROCHURES, AND GUARANTEES AS REQUIRED.
- THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF AS-BUILT DRAWINGS INDICATING ALL DISCREPANCIES, CHANGES, ETC., AND ACTUAL LOCATIONS OF CONCEALED WORK TO THE ARCHITECT AT THE COMPLETION OF WORK PRIOR TO FINAL PAYMENTS. CHANGED MUST BE DRAFTED. NO FREEHAND REVISIONS WILL BE ACCEPTED.
- DRAWINGS OF EXISTING CONDITIONS HAVE BEEN COMPILED FROM EXISTING DATA SUPPLIED BY THE OWNER TO THE ARCHITECT. THE ARCHITECT MAKES NO WARRANTY EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING INFORMATION RECORDED. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS. NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- THE EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1" BELOW THE THRESHOLD 3304(h).
- A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS IS REQUIRED FOR A PROTECTION FENCE OR CANOPY ON OR OVER ANY STREET OR PUBLIC SPACE
- APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET.



DAMIAN  
FARRELL  
DESIGN  
GROUP

359 METTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
tel: 734.998.1331

SPECIAL EXCEPTION USE PERMIT

2115 SOUTH STATE STREET MARIJUANA GROW +  
RETAIL

2115 S. STATE ST.  
ANN ARBOR, MI 48104

DATE	DESCRIPTION
9.16.2020	SEU FOR PC rev #8
10.28.2020	SEU FOR PC rev #8

DESIGN  
DRAWN  
PROJECT NO.

Designer
Author
200814_05_16

GENERAL NOTES &  
ABBREVIATIONS

T1.0



LEGEND

- EX. CATCH BASIN  
EX. MANHOLE  
EX. END SECTION  
EX. OVERFLOW STRUCTURE  
EX. CLEANOUT  
EX. HYDRANT  
EX. WATER SHUTOFF  
EX. FIRE DEPT. CONNECTION  
EX. WATER WELL  
EX. LIGHTPOLE  
EX. UTILITY POLE  
EX. GUY ANCHOR  
EX. TRAFFIC SIGNAL  
EX. GAS SHUTOFF  
EX. GAS VENT  
EX. HANDHOLE  
EX. PEDESTAL  
EX. TRANSFORMER  
EX. GENERATOR  
EX. GAS METER  
EX. ELECTRIC METER  
EX. UTILITY MARKER  
EX. AIR CONDITIONER  
EX. RAILROAD SIGNAL  
EX. SIGN  
EX. POST/BOLLARD  
EX. FLAGPOLE  
EX. MAILBOX  
EX. PARKING METER  
EX. SATELLITE DISH  
EX. SOIL BORING  
EX. MONITOR WELL  
EX. FOUND IRON  
EX. SET IRON  
EX. BOULDER  
EX. TREE STUMP  
EX. TREE  
EX. TREE TAG & NUMBER  
EX. TREE LINE  
EX. FENCE  
EX. SANITARY SEWER  
EX. STORM SEWER  
EX. WATER MAIN  
EX. ELECTRIC CABLE  
EX. COMMUNICATION  
EX. GAS LINE  
EX. OVERHEAD LINE

STATE ST. (PUBLIC)

DESCRIPTION:

PARCEL 1:  
COMMENCING AT AN IRON PIPE IN THE WEST LINE OF SECTION FOUR, PITTSFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN, 528.66 FEET SOUTH 1 DEGREES 27 MINUTES WEST OF THE NORTHWEST CORNER OF SECTION 4; THENCE EAST 425.86 FEET TO THE WEST LINE OF ANN ARBOR RAILROAD COMPANY'S RIGHT OF WAY; THENCE SOUTH 21 DEGREES 25 MINUTES EAST ALONG SAID RIGHT OF WAY 172.10 FEET; THENCE WEST 492.78 FEET TO THE WEST LINE OF SECTION 4; THENCE NORTH 01 DEGREES 27 MINUTES EAST IN THE SECTION LINE, 160.26 FEET TO THE PLACE OF BEGINNING, BEING A PART OF THE NORTHWEST QUARTER OF SECTION 4, TOWN 3 SOUTH, RANGE 6 EAST, PITTSFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN.

PARCEL 2:  
COMMENCING AT AN IRON PIPE IN THE EAST LINE OF SECTION FIVE, PITTSFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN, 528.66 FEET SOUTH 01 DEGREES, 27 MINUTES WEST OF THE NORTHEAST CORNER OF SECTION 5; THENCE SOUTH 1 DEGREES, 27 MINUTES WEST IN THE EAST LINE OF THE SECTION, 160.26 FEET; THENCE WEST 18.65 FEET TO THE EAST LINE OF SOUTH STATE STREET; THENCE NORTH 00 DEGREES 26 MINUTES WEST ALONG THE EAST LINE OF SOUTH STATE STREET, 160.26 FEET; THENCE EAST 23.94 FEET TO THE PLACE OF BEGINNING, BEING A PART OF THE NORTHEAST QUARTER OF SECTION 5, TOWN 3 SOUTH, RANGE 6 EAST, PITTSFIELD TOWNSHIP, WASHTENAW COUNTY, MICHIGAN.

NOTICE:

CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

SCHEDULE B, PART II - EXCEPTIONS:

PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. 823221, DATED 7/27/2018

7. THE INTEREST OF SOUTH STATE PROPERTY, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, VENDEE(S), FROM JOURDEN'S PROPERTIES, LLC, A MICHIGAN LIMITED LIABILITY COMPANY, VENDOR(S), AND THE TERMS, COVENANTS, CONDITIONS AND PROVISIONS OF SAID LAND CONTRACT, AS DISCLOSED BY MEMORANDUM OF LAND CONTRACT DATED AUGUST 24, 2016, RECORDED SEPTEMBER 1, 2016, IN LIBER 5167, PAGE 566. **AFFECTS PARCEL, NOT PLOTTABLE**

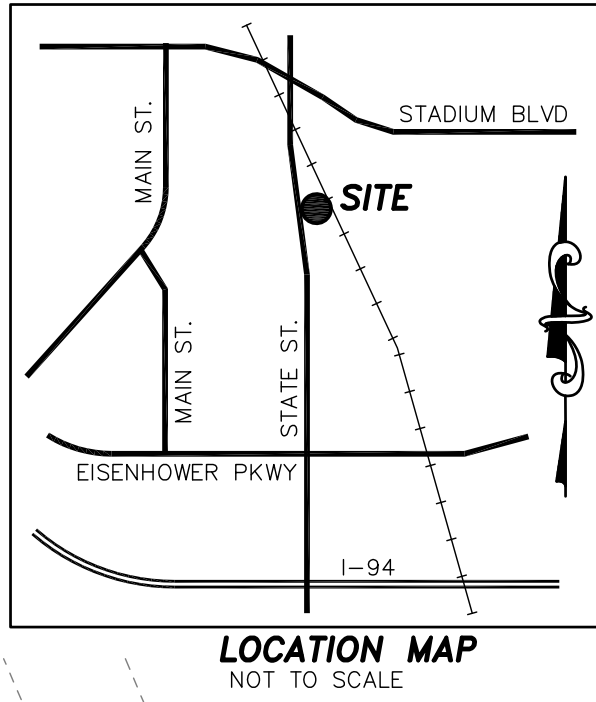
8. RIGHT OF WAY AGREEMENT IN FAVOR OF CITY OF ANN ARBOR AND THE COVENANTS, CONDITIONS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED IN LIBER 1332, PAGE 935. **AFFECTS PARCEL, AS SHOWN**

9. TERMS AND CONDITIONS CONTAINED IN WARRANTY DEED AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 3350, PAGE 652. **AFFECTS PARCEL, NOT PLOTTABLE**

10. TERMS AND CONDITIONS CONTAINED IN RESOLUTION AUTHORIZING WATER MAIN AND SANITARY SEWER IMPROVEMENT CHARGES FOR 2115 SOUTH STATE STREET AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 3115, PAGE 560. **AFFECTS PARCEL, NOT PLOTTABLE**

11. TERMS AND CONDITIONS CONTAINED IN REVISED RESOLUTION AUTHORIZING SANITARY SEWER IMPROVEMENT CHARGES FOR 2115 SOUTH STATE STREET AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 3498, PAGE 741. **AFFECTS PARCEL, NOT PLOTTABLE**

12. TERMS AND CONDITIONS CONTAINED IN REVISED RESOLUTION AUTHORIZING IMPROVEMENT CHARGES TO 2115 SOUTH STATE STREET AS DISCLOSED BY INSTRUMENT RECORDED IN LIBER 3860, PAGE 679. **AFFECTS PARCEL, NOT PLOTTABLE**



COMMERCIAL  
SITE PLANNING  
SURVEYS  
INDUSTRIAL & MULTIFAMILY  
LAND SURVEYING  
CONSTRUCTION LAYOUT

SURVEYING  
ALTA SURVEYS  
TOPOGRAPHIC SURVEYS  
PARCEL SPLITS

RESIDENTIAL  
SUBDIVISIONS  
STATIONING  
MULTIFAMILY  
PLOT PLANS  
CONSTRUCTION LAYOUT

ALPINE  
ENGINEERING, INC.  
CIVIL ENGINEERS & LAND SURVEYORS

811  
Know what's below  
Call before you dig.

ALTA/NSPS LAND TITLE SURVEY

CLIENT: RAY KALASHO

RANGE: 6E

SECTION: 4 & 5

TOWNSHIP: 3S

CITY OF ANN ARBOR

WASHTENAW COUNTY

MICHIGAN

REVISED  
7/24/20: ADD CONTOURS

DATE: 8-22-18  
DRAWN BY: JRV  
CHECKED BY: GLM

FBK: 342  
CHF: LL  
SCALE: HOR 1"=20 FT.  
VER 1"=5 FT.  
1  
18-473

CERTIFICATION:

TO: THOMAS ELROD, MARY ELROD, AND FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS. THE FIELD WORK WAS COMPLETED ON 7-24-2020.

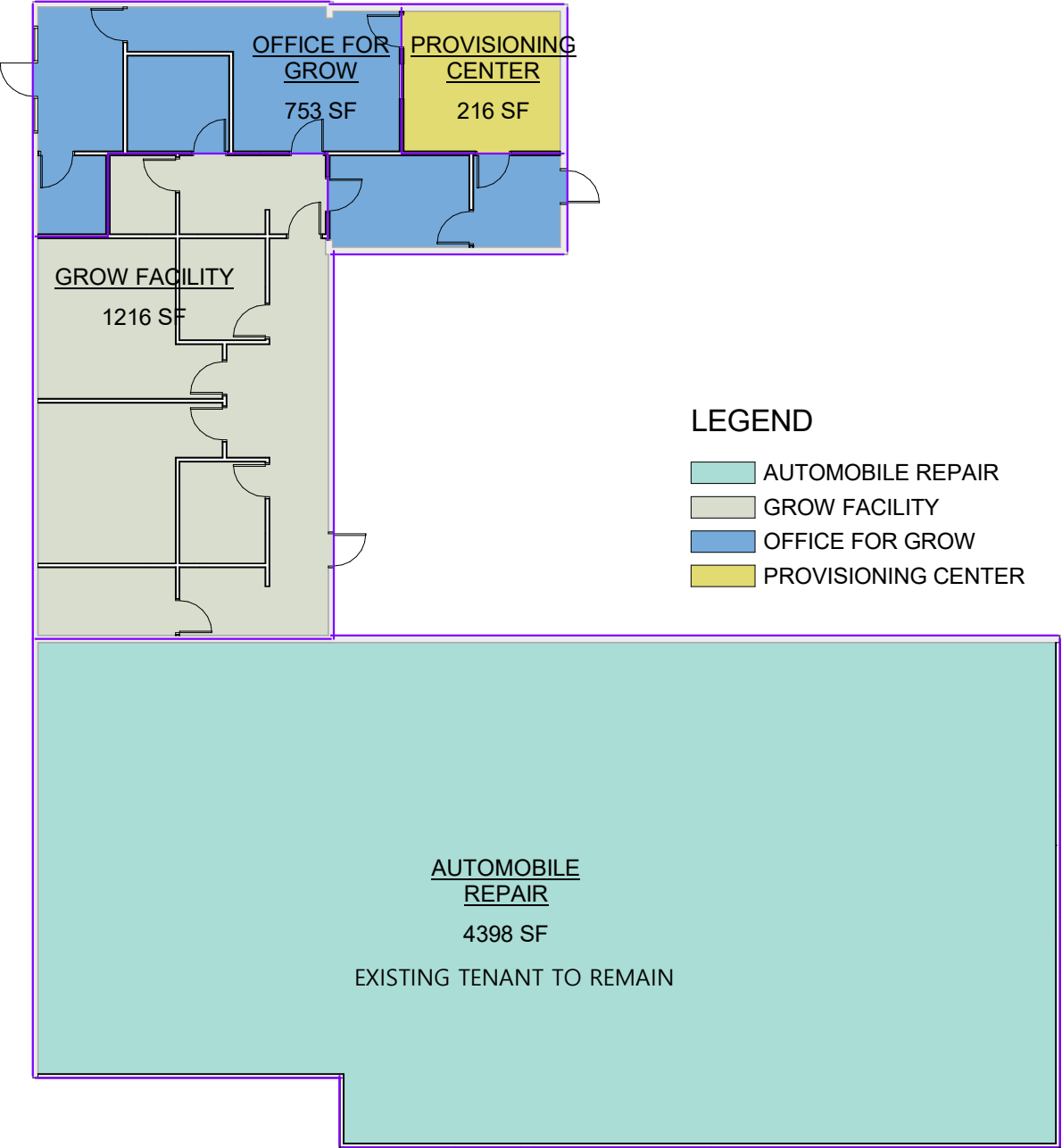
GINGER MICHALSKI-WALLACE  
PROFESSIONAL SURVEYOR NO. 47964  
EMAIL: GINGER@ALPINE-INC.NET

7/24/20

DATE



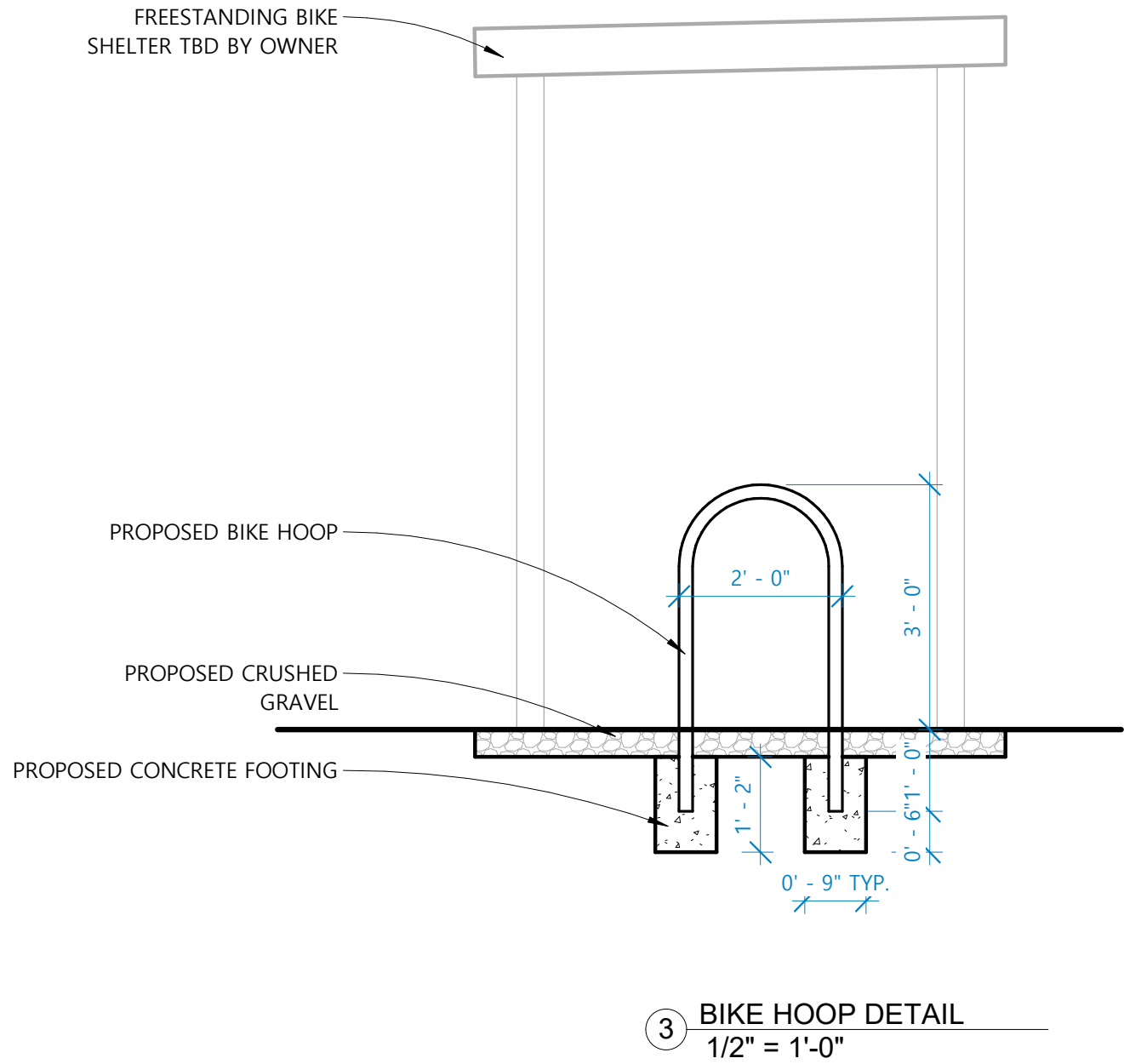
C:\Users\Warchitect.DFDG1\Documents\200826\_2115 S State St\_architect.rvt



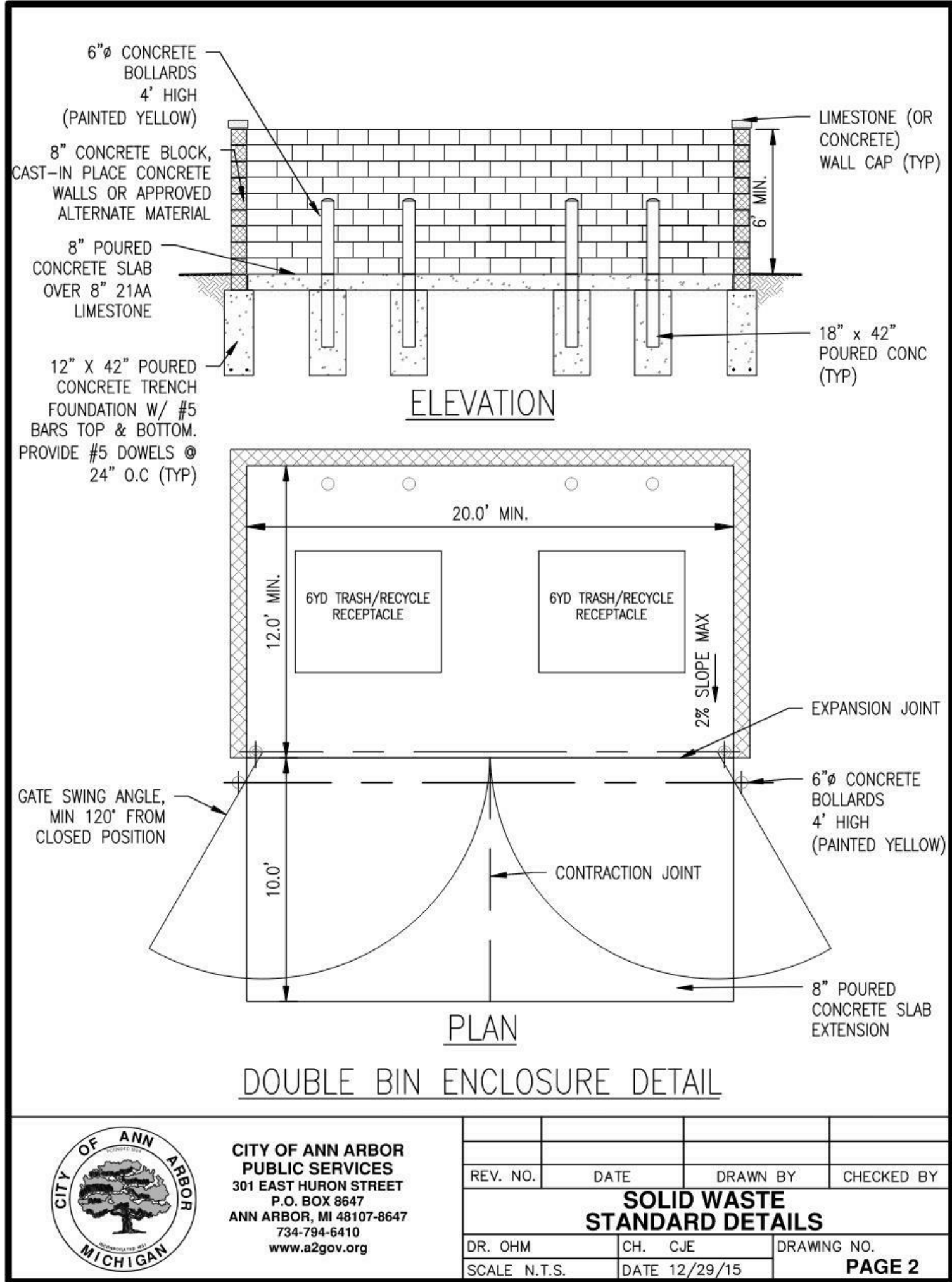
2 AREA PLAN  
1/16" = 1'-0"

**PARKING CALCULATIONS:**  
**PROVISIONING CENTER:**  
1/265 SF (216SF) = 1 SPACE  
**OFFICE:**  
1/250 SF (753SF) = 3 SPACES  
**MEDICAL MARIJUANA GROW:**  
1/2000 SF (1,216 SF) = 1 SPACE  
**AUTOMOBILE REPAIR:**  
1/200 SF (4,398 SF) = 22 SPACES

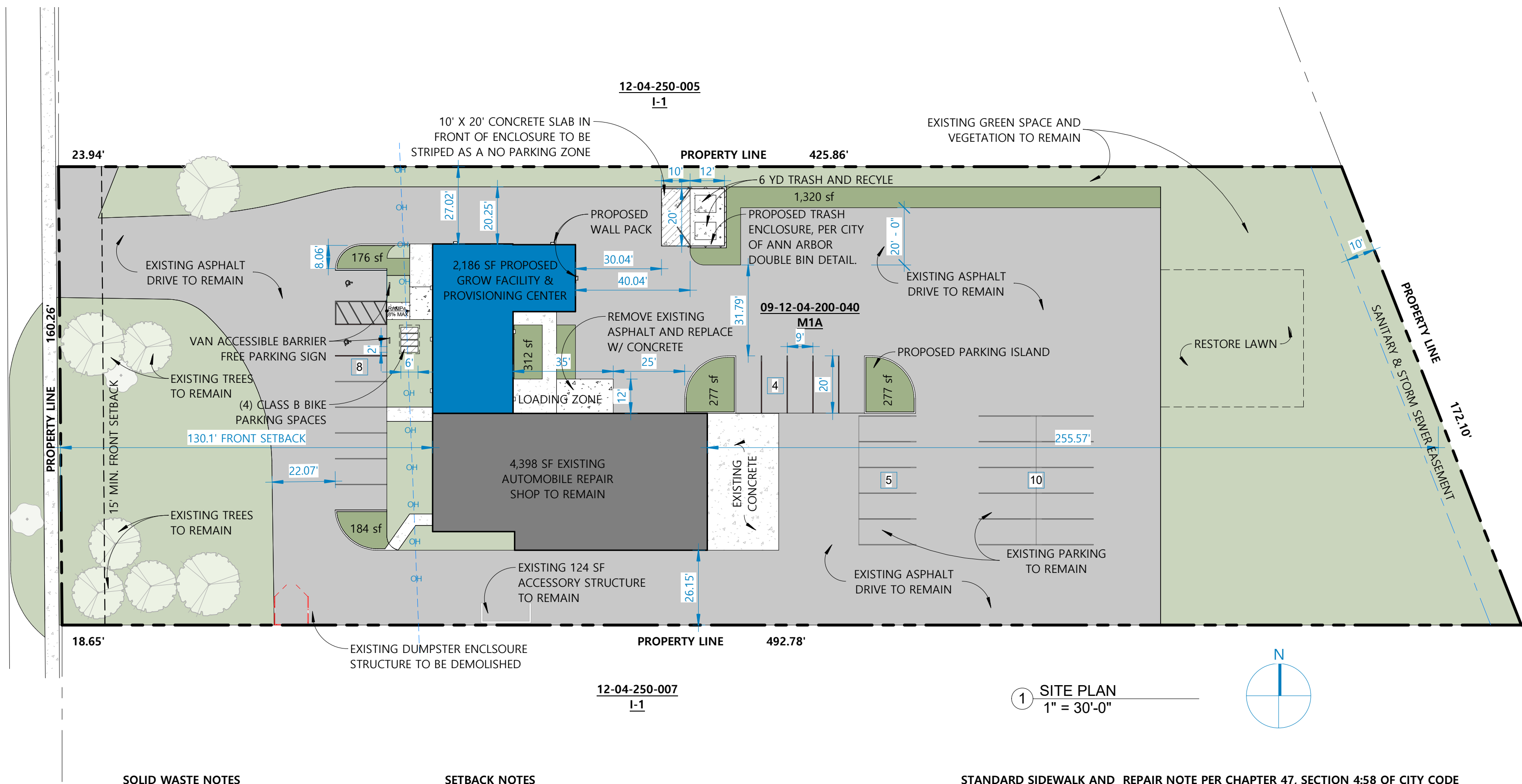
TOTAL = 27 SPACES MAX.



3 BIKE HOOP DETAIL  
1/2" = 1'-0"



- TRASH ENCLOSURE NOTES**  
**FROM CITY OF ANN ARBOR PUBLIC SERVICES**  
**SOLID WASTE STANDARD DETAILS**
- A CLEAR SPACE MUST BE MAINTAINED DIRECTLY IN FRONT OF THE SOLID WASTE ENCLOSURE. THE A CLEAR SPACE MUST BE MAINTAINED DIRECTLY IN FRONT OF THE SOLID WASTE ENCLOSURE. THE CLEAR SPACE SHALL BE A MINIMUM OF FIFTY (50) FEET LONG BY THE WIDTH OF THE INSIDE DIMENSION OF THE ENCLOSURE PLUS FOUR (4) FEET ON BOTH SIDES. A MINIMUM VERTICAL CLEARANCE OF AT LEAST TWENTY-FIVE (25) FEET MUST BE PROVIDED ABOVE THIS AREA.
  - INGRESS AND EGRESS ROUTES MUST BE DEVELOPED BASED ON SOLID WASTE SWEEP PATH INGRESS AND EGRESS ROUTES MUST BE DEVELOPED BASED ON SOLID WASTE SWEEP PATH REQUIREMENTS. A MINIMUM HORIZONTAL CLEARANCE OF TWO (2) FEET FROM THE EDGE OF THE SWEEP PATH AND A MINIMUM VERTICAL CLEARANCE OF AT LEAST FIFTEEN (15) FEET MUST BE PROVIDED ALONG THE ENTIRE ROUTE.
  - GATES ON ENCLOSURES MUST BE DESIGNED TO OPEN A MINIMUM OF 120 DEGREES FROM THE CLOSED GATES ON ENCLOSURES MUST BE DESIGNED TO OPEN A MINIMUM OF 120 DEGREES FROM THE CLOSED POSITION. THE GATES MUST NOT REDUCE THE REQUIRED ENCLOSURE OPENING WIDTH, BLOCK ADJACENT PARKING SPOTS, OR BE IMPEDED BY ADJACENT CURBS OR LANDSCAPING.
  - GATES SHALL BE DESIGNED TO BE FREE STANDING WITHOUT A CENTER POLE. IF A CENTER POLE GATES SHALL BE DESIGNED TO BE FREE STANDING WITHOUT A CENTER POLE. IF A CENTER POLE DESIGN IS NECESSARY, 12-INCHES SHALL BE ADDED TO THE OVERALL WIDTH OF THE ENCLOSURE.
  - GATE DESIGN SHALL INCLUDE A RELIABLE MEANS TO SECURE THE DOOR IN BOTH THE OPEN AND GATE DESIGN SHALL INCLUDE A RELIABLE MEANS TO SECURE THE DOOR IN BOTH THE OPEN AND CLOSED POSITIONS.
  - THE CONCRETE SLAB IN FRONT OF THE BIN ENCLOSURE SHALL HAVE PAVEMENT MARKINGS TO INDICATE THE CONCRETE SLAB IN FRONT OF THE BIN ENCLOSURE SHALL HAVE PAVEMENT MARKINGS TO INDICATE NO PARKING, AS APPROVED BY CITY. , AS APPROVED BY CITY.
  - THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF NO THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF NO PARKING SIGNS ALONG THE SOLID WASTE INGRESS/EGRESS ROUTE TO ENSURE THE ROUTE REMAINS FREE OF OBSTRUCTIONS.
  - REFER TO ASSOCIATED STANDARD DETAILS FOR REQUIREMENTS ON SINGLE AND DOUBLE WIDE SOLID REFER TO ASSOCIATED STANDARD DETAILS FOR REQUIREMENTS ON SINGLE AND DOUBLE WIDE SOLID WASTE BIN ENCLOSURE LAYOUT AND DESIGN CRITERIA. THE CITY SHALL HAVE THE ABILITY TO MODIFY OR INTERPRET THESE DETAILS AS NECESSARY, TO ACCOMMODATE THE CITY OR CITY CONTRACTOR NEEDS IN REGARDS TO SOLID WASTE PICK-UP.
  - SOLID WASTE ACCESS ROADS AND SERVICE AREA SURFACES SHALL BE DESIGNED AND MAINTAINED TO SOLID WASTE ACCESS ROADS AND SERVICE AREA SURFACES SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF COLLECTION TRUCKS WEIGHING UP TO 66,000 LBS GROSS VEHICLE WEIGHT (GVW) AND SHALL BE PROVIDED WITH AN APPROVED SURFACE SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL SNOW AND ICE REMOVAL REQUIRED FOR SAFE ACCESS OF SOLID WASTE VEHICLES.
  - THE SOLID WASTE COLLECTION LOCATION SHALL BE LOCATED A MINIMUM OF TEN (10) FEET AWAY FROM THE SOLID WASTE COLLECTION LOCATION SHALL BE LOCATED A MINIMUM OF TEN (10) FEET AWAY FROM MAJOR ELECTRICAL EQUIPMENT, ABOVE GROUND UTILITY SERVICES, TREE BRANCHES, BALCONIES OR OTHER OVERHEAD OBSTRUCTIONS.
  - IF FORWARD ACCESS TO THE PUBLIC STREET IS NOT AVAILABLE FOR THE SOLID WASTE TRUCK, THE IF FORWARD ACCESS TO THE PUBLIC STREET IS NOT AVAILABLE FOR THE SOLID WASTE TRUCK, THE SITE DEVELOPMENT LAYOUT MUST ACCOMMODATE A TURN-AROUND LOCATION.
  - FOR SITES THAT CANNOT ACCOMMODATE A TURN-AROUND, THE FOLLOWING REQUIREMENTS MUST BE FOR SITES THAT CANNOT ACCOMMODATE A TURN-AROUND, THE FOLLOWING REQUIREMENTS MUST BE MET:
    - SOLID WASTE TRUCKS MUST BE ABLE TO SERVICE DUMPSTERS WITHOUT IMPEDING THE PUBLIC SOLID WASTE TRUCKS MUST BE ABLE TO SERVICE DUMPSTERS WITHOUT IMPEDING THE PUBLIC STREET OR SIDEWALK.
    - THE DUMPSTER COLLECTION LOCATION SHALL BE CLEARLY DELINEATED AND NOT HAVE A SLOPE THE DUMPSTER COLLECTION LOCATION SHALL BE CLEARLY DELINEATED AND NOT HAVE A SLOPE GREATER THAN 2% IN ANY DIRECTION.
    - BOLLARDS OR ADEQUATE CLEAR SPACE MUST BE PROVIDED BEHIND THE LIFT POINT SO THE BOLLARDS OR ADEQUATE CLEAR SPACE MUST BE PROVIDED BEHIND THE LIFT POINT SO THE DUMPSTERS ARE NOT POTENTIALLY PUSHED INTO ANY BUILDING OR ACCESS ROUTE.
    - ALL SWEEP-PATH CLEARANCE REQUIREMENTS PREVIOUSLY IDENTIFIED SHALL BE PROVIDED. ALL SWEEP-PATH CLEARANCE REQUIREMENTS PREVIOUSLY IDENTIFIED SHALL BE PROVIDED.
    - A VERTICAL CLEARANCE OF 25 FEET SHALL BE PROVIDED ABOVE THE COLLECTION LOCATION. A VERTICAL CLEARANCE OF 25 FEET SHALL BE PROVIDED ABOVE THE COLLECTION LOCATION.



1 SITE PLAN  
1" = 30'-0"

**SOLID WASTE NOTES**  
PROPOSED DOUBLE BIN DUMPSTER ENCLOSURE TO BE SHARED BY BOTH SUITES  
(1) 6 YARD TRASH  
(1) 6 YARD RECYCLE

**SETBACK NOTES**  
15' MIN. FRONT SETBACK  
NO SIDE SETBACKS  
NO REAR SETBACK EXCEPT 50' ABUTTING RESIDENTIAL ZONED LAND

**STANDARD SIDEWALK AND REPAIR NOTE PER CHAPTER 47, SECTION 4:58 OF CITY CODE**  
ALL SIDEWALKS ARE TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME. PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS IN NEED OF REPAIR MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.

LEGEND	
	EXISTING ASPHALT DRIVE TO REMAIN
	EXISTING BUILDING TO BE RENOVATED
	PROPOSED CONCRETE
	EXISTING CONCRETE
	PROPOSED GREEN SPACE
	EXISTING GREEN SPACE
	PROPERTY LINE
	SETBACK LINE
	EXISTING FENCE
	EXISTING RETAINING WALL
	SS EXISTING SANITARY SERVICE LEAD
	W EXISTING WATER LEAD
	ST EXISTING STORM LEAD
	G EXISTING GAS LEAD

SPECIAL EXCEPTION USE PERMIT

DATE	DESCRIPTION
9.16.2020	SEU FOR PC rev #6
10.8.2020	SEU FOR PC rev #7
10.28.2020	SEU FOR PC rev #8

DESIGN	Designer
DRAWN	Author
PROJECT NO.	200814_05_16

SITE PLAN

C1.0



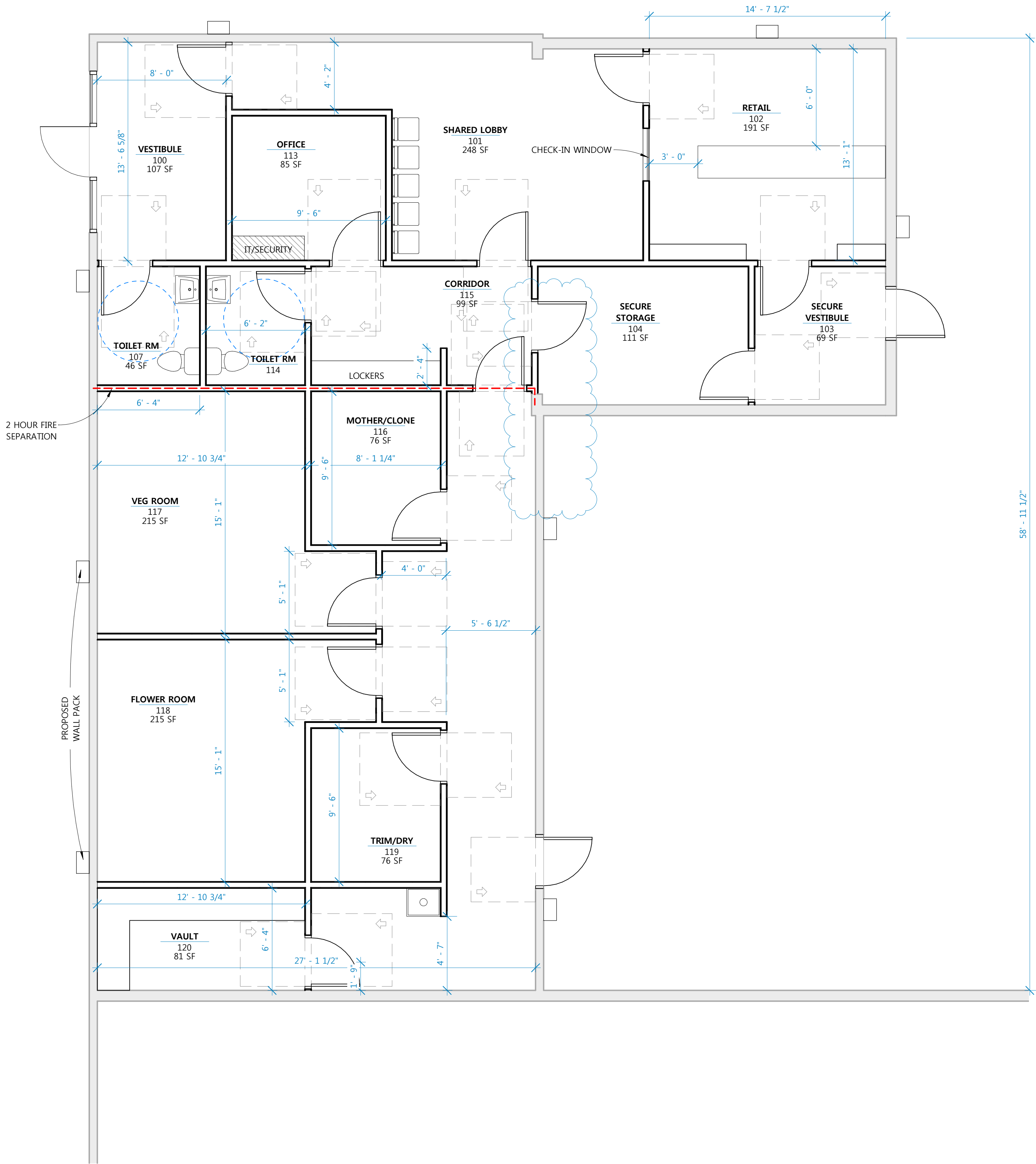
DAMIAN  
FARRELL  
DESIGN  
GROUP

359 METTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
tel: 734.998.1331

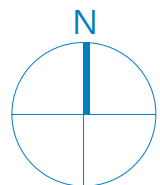
2115 SOUTH STATE STREET MARIJUANA GROW +  
RETAIL  
2115 S. STATE ST.  
ANN ARBOR, MI 48104



C:\Users\Wgonzalez\Documents\W200826\_2115 S State St\_kgonzalez@dfdgroup.rvt



1 FIRST FLOOR PLAN  
1/4" = 1'-0"



#### GENERAL NOTES

1. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION.
2. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
3. DASHED LINES INDICATE REQUIRED ADA CLEARANCES.
4. VERIFY ALL DIMENSIONS WITH EXISTING CONDITIONS.



DAMIAN  
FARRELL  
DESIGN  
GROUP

359 METTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
tel: 734.998.1331

#### SPECIAL EXCEPTION USE PERMIT

2115 SOUTH STATE STREET MARIJUANA GROW +  
RETAIL  
2115 S. STATE ST.  
ANN ARBOR, MI 48104

#### DATE

9.16.2020  
10.8.2020  
10.28.2020

#### DESCRIPTION

SEU FOR PC rev #6  
SEU FOR PC rev #7  
SEU FOR PC rev #8

#### WALL TYPES LEGEND

TAG / VISUAL	DESCRIPTION
	5/8" GYPSUM BOARD ON EACH SIDE OF 3 5/8" METAL STUD
	5/8" GYPSUM BOARD ON EACH SIDE OF 6" METAL STUD
	8" CMU WALL

#### LEGEND

	NEW CONSTRUCTION
	EXISTING TO REMAIN

DESIGN  
DRAWN  
PROJECT NO.

Designer  
Author  
200814\_05\_16

#### FIRST FLOOR PLAN

A1.1