

ANN ARBOR HISTORIC DISTRICT COMMISSION**Staff Report****ADDRESS:** 1021 W Huron Street, Application Number HDC20-096**DISTRICT:** Old West Side Historic District**REPORT DATE:** August 9, 2020**REPORT PREPARED BY:** Jill Thacher, Historic Preservation Coordinator**REVIEW COMMITTEE DATE:** August 6, 2020**OWNER****APPLICANT**

Name: John Burhenn
Address: 1203 Edgewood Ave
 Ann Arbor, MI 48103
Phone: (734) 780-5872

Same

BACKGROUND: This single-story home first appears in the Polk City Directory in 1894. It features a hipped roof, wide board trim beneath the eaves, a brick full-width front porch with heavy round half-columns supporting a hipped roof, and a stone foundation. It appears to have been built with a square footprint and a one-story wing added on the back. The lot is the original platted size of 66' x 130'.

LOCATION: The site is located at the southeast corner of West Huron and Ninth Streets.

APPLICATION: The applicant seeks HDC approval to modify the roofline of an existing garage, install three windows in a boarded garage bay, and install new fiber-cement siding and boral trim.

APPLICABLE REGULATIONS:**From the Secretary of the Interior's Standards for Rehabilitation:**

- (2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):

Building Site

Recommended: Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character.

Not Recommended: Removing or radically changing buildings and their features or site features which are important in defining the overall historic character of the building site so that, as a result, the character is diminished.

District or Neighborhood Setting

Not Recommended: Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

From the Ann Arbor Historic District Design Guidelines (other Guidelines may apply):

Residential Accessory Structures

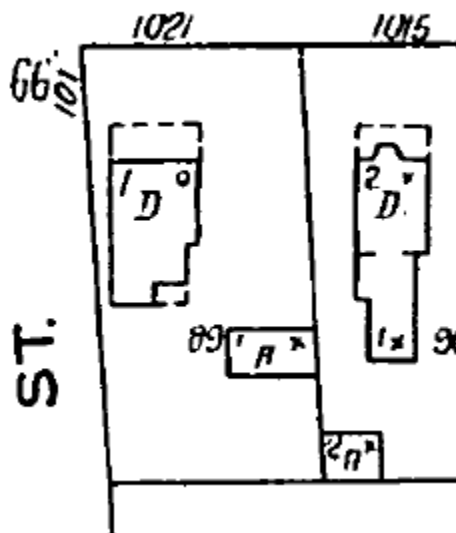
Appropriate: Where elements of historic outbuildings are deteriorated beyond repair, replacing the elements in kind.

Not Appropriate: Altering historic barns, garages, and sheds by using materials, configurations, and designs that do not match the existing or historic appearance.

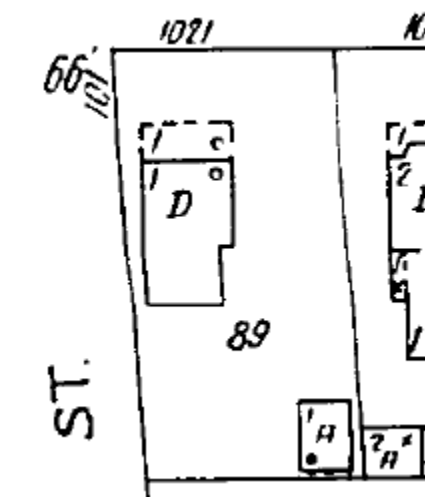
STAFF FINDINGS:

1. The garage at 1021 W Huron first appears on Sanborn Fire Insurance Maps in 1925, with a smaller footprint and east/west orientation. In 1931 it is shown as a north/south rectangle in the rear corner of the lot, and likely sharing the driveway with the house to the east. The 1947 aerial confirms that there is no driveway off Ninth Street, though the building now looks square. Permits were issued to tear the house to the east down in 1965 and a large apartment building replaced it next door. It is believed that 1021's driveway was moved to Ninth Street at that time, and the front of the garage could have been moved to face the new drive to the west.

1925 Sanborn

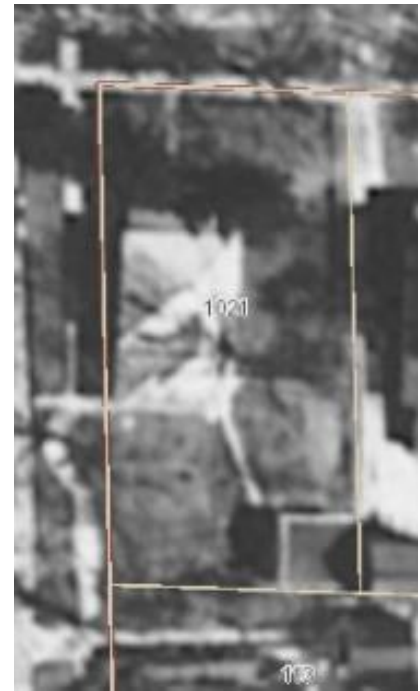


1931 Sanborn



1947 Aerial Photo

2. The north and south (side) elevations are clad in Dutch lap siding. Each has a boarded window with missing and deteriorating trim. The east (rear) elevation has 7 ¼" exposure synthetic clapboard siding with some smooth and some woodgrain finishes. There is a small hinged door that could be a milk door or a boarded window. The front (west) elevation has two car bays: one has a pair of double-leaf doors with six-lite windows and three panels, and the other bay is boarded. There is a gabled front parapet with flattened eaves. The parapet is clad in 5 ¼" Dutch lap siding, and the lower part of the boarded bay has vertical board siding.
3. The roof has a hole and needs to be replaced, and the owner desires to change the roof from nearly flat to a low gable in order to better shed water, gain headroom, and make the building more functional as a workshop. The current roof has rafters spaced 24" on center which does not meet building code. The garage roof pitch would match the pitch of the house roof. The height would be increased from 12' 2 ¾" at the top of the existing parapet to 14' 10 ¾" at the new ridge. This increase is proposed to allow a small amount of loft space and adequate headroom to maneuver lumber within the building. A small access door is proposed within the front gable. There is an eave overhang on three sides, but not on the rear elevation because of its close proximity to the property line.
4. The garage is proposed to be re-clad with 5" exposure smooth fiber cement lap siding. The boarded windows on the side elevations would be sided over. Trim would be smooth boral.
5. The pair of leaf doors would be repaired and remain in place. The plywood in the south garage bay would be replaced with a pair of fixed six-lite windows that match the proportions of the windows on the pair of doors in the other bay. Lap siding is proposed below the new windows. The windows echo those of the leaf doors and are very compatible while still reading as infill.
6. Staff believes the garage's main character defining features are its massing, boxy design, front parapet, and the pair of doors in one of the garage bays. Staff is still unclear on the appearance of the garage in 1944, and how much it has been modified. The condition of the siding and structure, and clues about the age of the garage, will be documented at the site visit.



MOTION

I move that the Commission issue a certificate of appropriateness for the application at 1021 West Huron Street, a contributing property in the Old West Side Historic District, to modify the roofline of an existing garage, install three windows in a boarded garage bay, and install new fiber-cement siding and boral trim. The proposed work is compatible in exterior design, arrangement, materials, and relationship to the house and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation* and *Guidelines for Rehabilitating Historic Buildings*, in particular standards 2 and 9, and the guidelines for building site and neighborhood setting, as well as the *Ann Arbor Historic District Design Guidelines*, particularly for residential accessory structures.

MOTION WORKSHEET

I move that the Commission issue a Certificate of Appropriateness for the work at 1021 W Huron Street in the Old West Side Historic District

_____ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

ATTACHMENTS: application, letter, drawings, photos

1021 W Huron (2007 survey photo)





HISTORIC DISTRICT COMMISSION

PLANNING AND DEVELOPMENT SERVICES

City Hall: 301 E. Huron St. Ann Arbor, MI 48104-6120

Mailing: P.O. Box 8647, Ann Arbor, MI 48107-8647

Phone: 734.794.6265 ext. 42608

Fax: 734.994.8460

jthacher@a2gov.org

OFFICE USE ONLY	
Permit Number	HDC# _____
	BLDG# _____
DATE STAMP	

APPLICATION MUST BE FILLED OUT COMPLETELY

PROPERTY LOCATION/OWNER INFORMATION

NAME OF PROPERTY OWNER John Burhenn		HISTORIC DISTRICT Old West Side	
PROPERTY ADDRESS 1021 West Huron Street		CITY ANN ARBOR	
ZIPCODE 48103	DAYTIME PHONE NUMBER (734) 780-5872	EMAIL ADDRESS upheaval99@sbcglobal.net	
PROPERTY OWNER'S ADDRESS (IF DIFFERENT FROM ABOVE) 1203 Edgewood Avenue		CITY Ann Arbor	STATE, ZIP MI 48103

PROPERTY OWNER'S SIGNATURE

SIGN HERE		PRINT NAME	JOHN BURHENN	DATE	6.10.20
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APPLICANT INFORMATION

NAME OF APPLICANT (IF DIFFERENT FROM ABOVE)			
ADDRESS OF APPLICANT			CITY
STATE	ZIPCODE	PHONE / CELL #	FAX No
		()	()
EMAIL ADDRESS			

APPLICANT'S SIGNATURE (if different from Property Owner)

SIGN HERE	PRINT NAME	DATE
	X	

BUILDING USE – CHECK ALL THAT APPLY

<input checked="" type="checkbox"/> SINGLE FAMILY	<input type="checkbox"/> DUPLEX	<input checked="" type="checkbox"/> RENTAL	<input type="checkbox"/> MULTIPLE FAMILY	<input type="checkbox"/> COMMERCIAL	<input type="checkbox"/> INSTITUTIONAL
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PROPOSED WORK

Describe in detail each proposed exterior alteration, improvement and/or repair (use additional paper, if necessary).

Demo existing flat mineral surfaced flat roof and roof structure and replace with new 6/12 gable shingled roof on new roof structure

Demo existing deteriorated siding of multiple types and replace with new 5" exposure lap siding similar to primary residence

Demo existing exposed OSB sheathing and replace with new fixed wood/glass windows replicating upper portion of existing doors.

DESCRIBE CONDITIONS THAT JUSTIFY THE PROPOSED CHANGES:

Existing roof is significantly deteriorated, unsafe, and contains a large hole. Existing flat roof structure is overstressed and not able to meet loading requirements due to span and snow loads.

Existing siding is significantly deteriorated, of multiple types, and not coherent. Wood siding contains significant lead hazard from lead containing paint. Wood siding and trim elements are too close to ground leading to systemic rot conditions.

Owner would like to rehab entire exterior with materials that can be maintained given building location (under large maple tree) and close distance of siding to grade.

For Further Assistance With Required Attachments, please visit www.a2gov.org/hdc



HISTORIC DISTRICT COMMISSION APPLICATION

FEE CHART

DESCRIPTION	
STAFF REVIEW FEES	
Application for Staff Approval	\$35.00
Work started without approvals	Additional \$50.00
HISTORIC DISTRICT COMMISSION FEES	
All other proposed work not listed below	\$100.00
Work started without approvals	Additional \$250.00
RESIDENTIAL – Single and 2-story Structure	
Addition: single story	\$300.00
Addition: taller than single story	\$550.00
New Structure - Accessory	\$100.00
New Structure – Principal	\$850.00
Replacement of single and 2-family window(s)	\$100 + \$25/window
COMMERCIAL – includes multi-family (3 or more unit) structures	
Additions	\$700.00
Replacement of multi-family and commercial window (s)	\$100 + \$50/window
Replacement of commercial storefront	\$250.00
DEMOLITION and RELOCATION	
Demolition of a contributing structure	\$1000.0
Demolition of a non-contributing structure	\$250.00
Relocation of a contributing structure	\$750.00
Relocation of a non-contributing structure	\$250.00

FOR COMMISSION REVIEWS:

- Application withdrawals made before public notice is published will qualify for a 50% refund of the application fee.
- Application withdrawals made after public notice is sent but before the public hearing will qualify for a 25% refund of the application fee.

INSTRUCTIONS FOR SUBMITTING APPLICATIONS

All HDC applications must be signed by the property owner and the applicant, if different, with the exception of staff approvals, which may be signed by only the applicant.

All completed HDC applications and their attachments may be submitted to Planning and Development Services by mail, in person (paper or digital), faxed, or via email to building@a2gov.org.

We accept CASH, CHECK, and all major credit cards. Checks should be made payable to “City of Ann Arbor”

HDC applications that are incomplete or not submitted with the required documentation or payment will not be processed or approved.

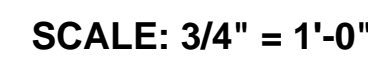
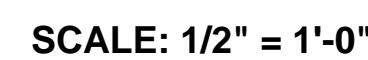
APPLICATION EXPIRATION

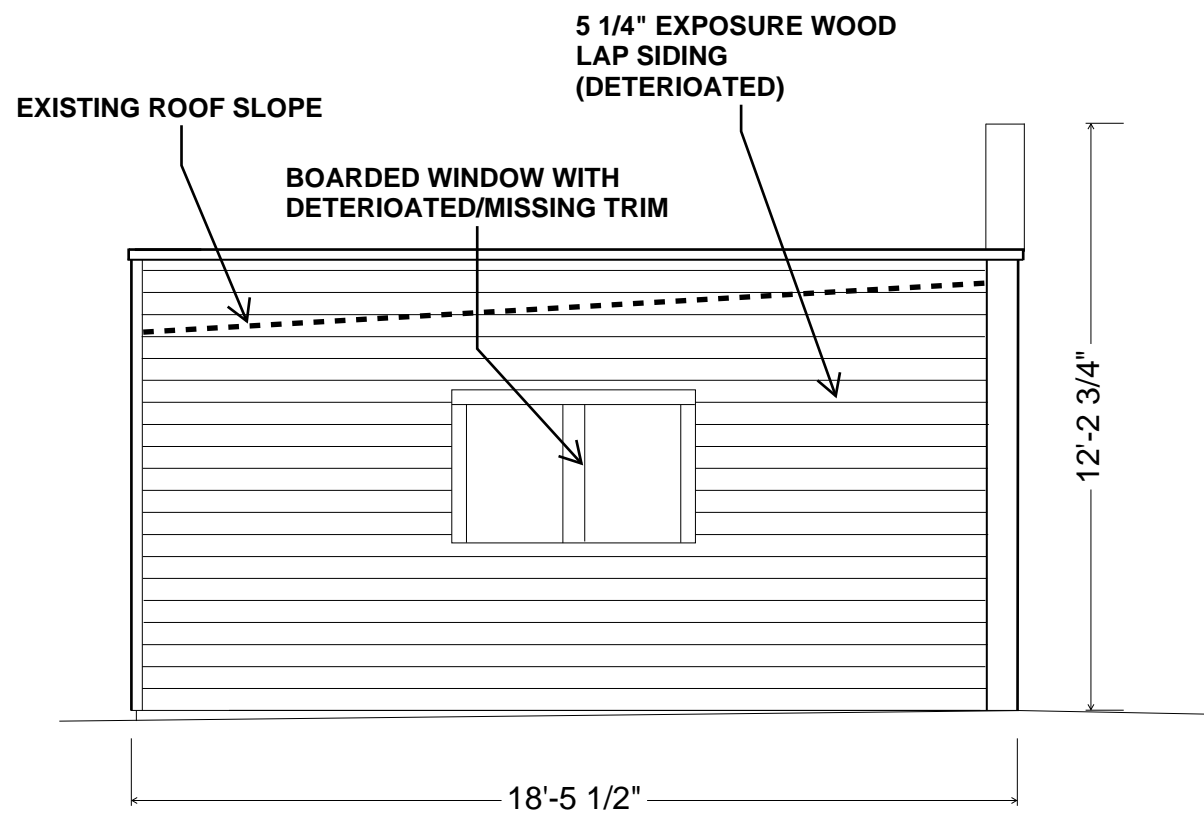
HDC applications expire three (3) years after the date of approval.

OFFICE USE ONLY

Date of Hearing:		
Action	<input type="checkbox"/> HDC COA	<input type="checkbox"/> HDC Denial
	<input type="checkbox"/> HDC NTP	<input type="checkbox"/> Staff COA
Staff Signature		
Comments		
Fee:	\$ _____	
Payment Type	<input type="checkbox"/> Check: # _____ <input type="checkbox"/> Cash <input type="checkbox"/> Credit Card	

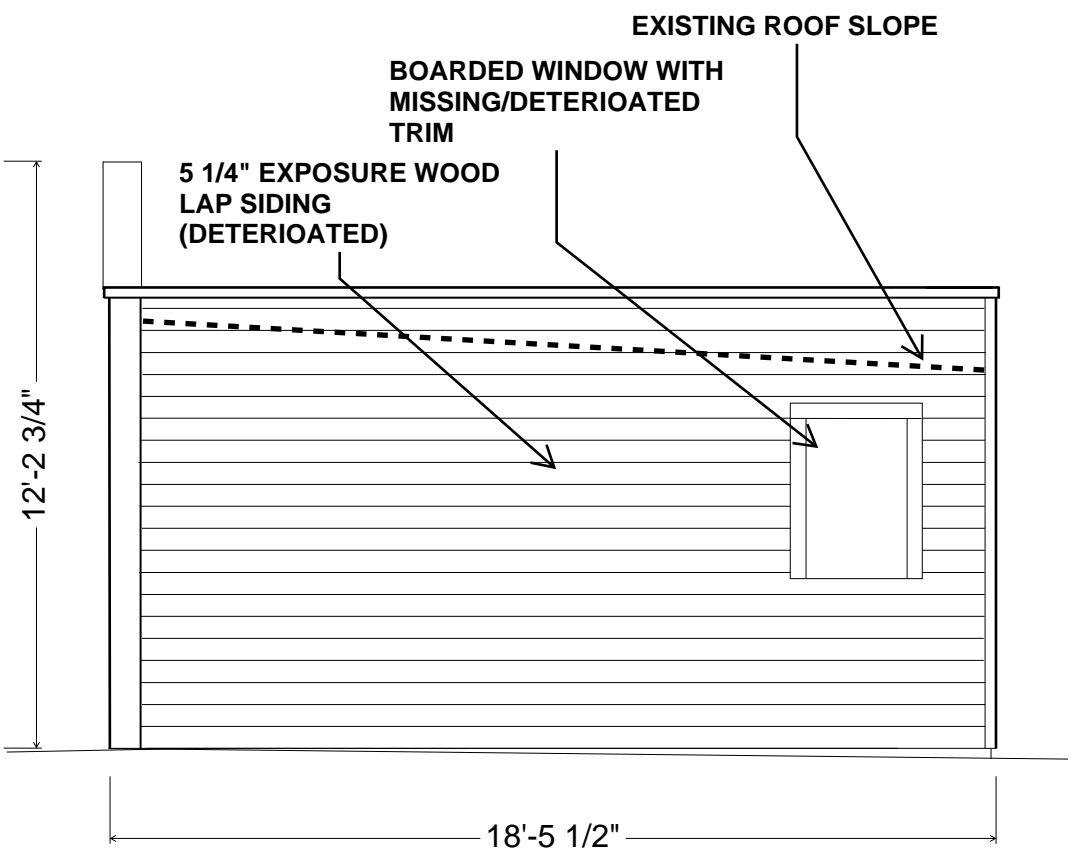
ALLOWABLE SPAN FOR ABOVE CONDITIONS PER SPAN TABLES: 19'-7"





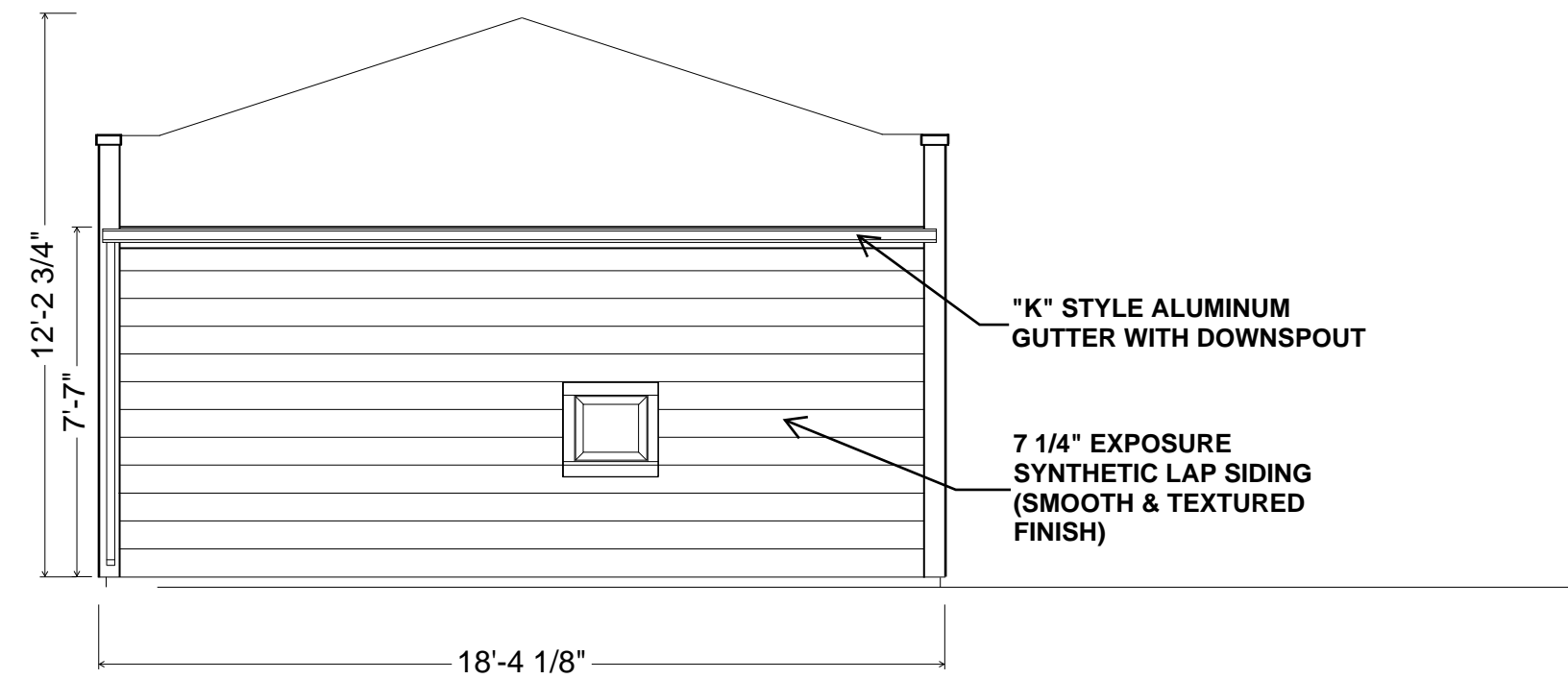
EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



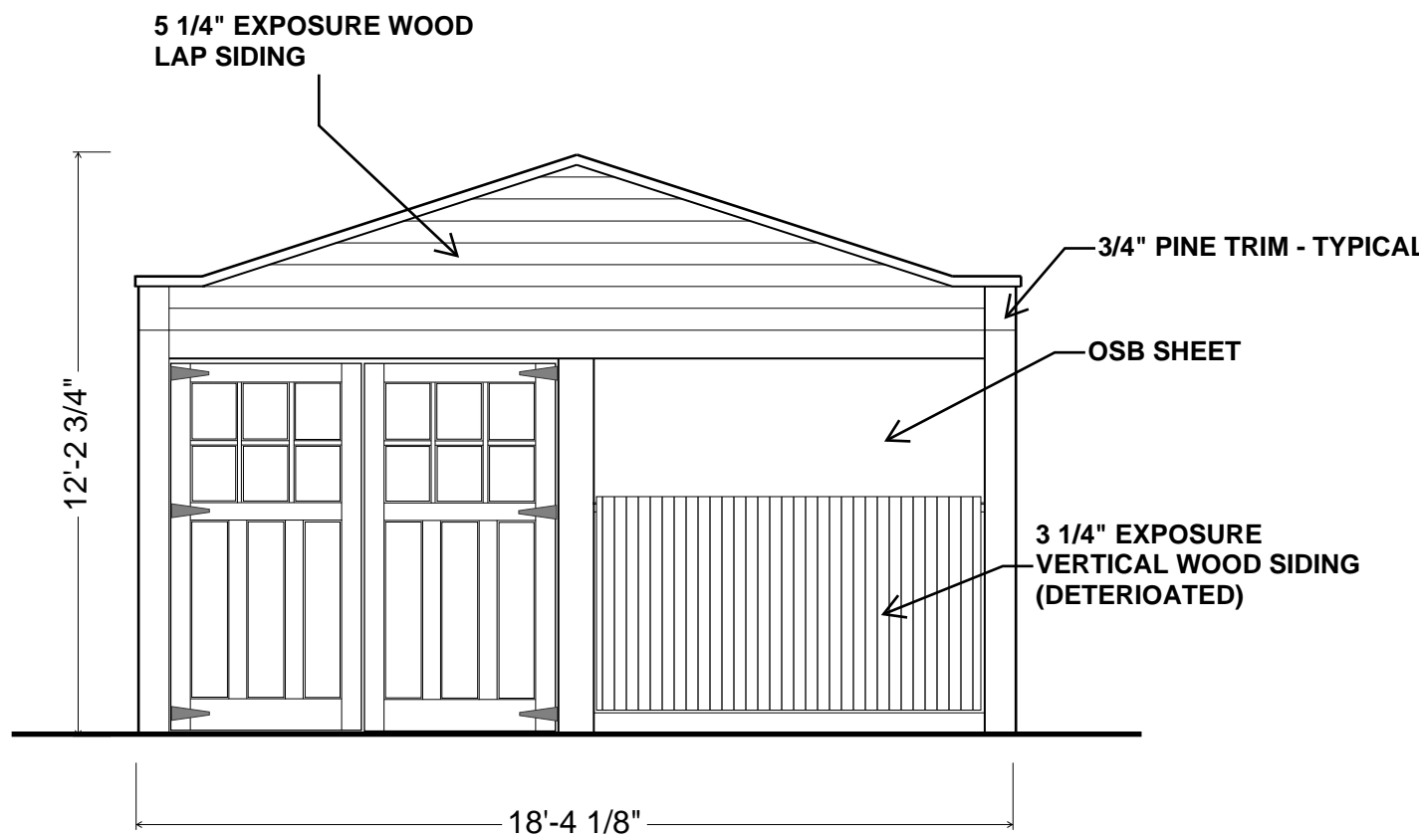
EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION

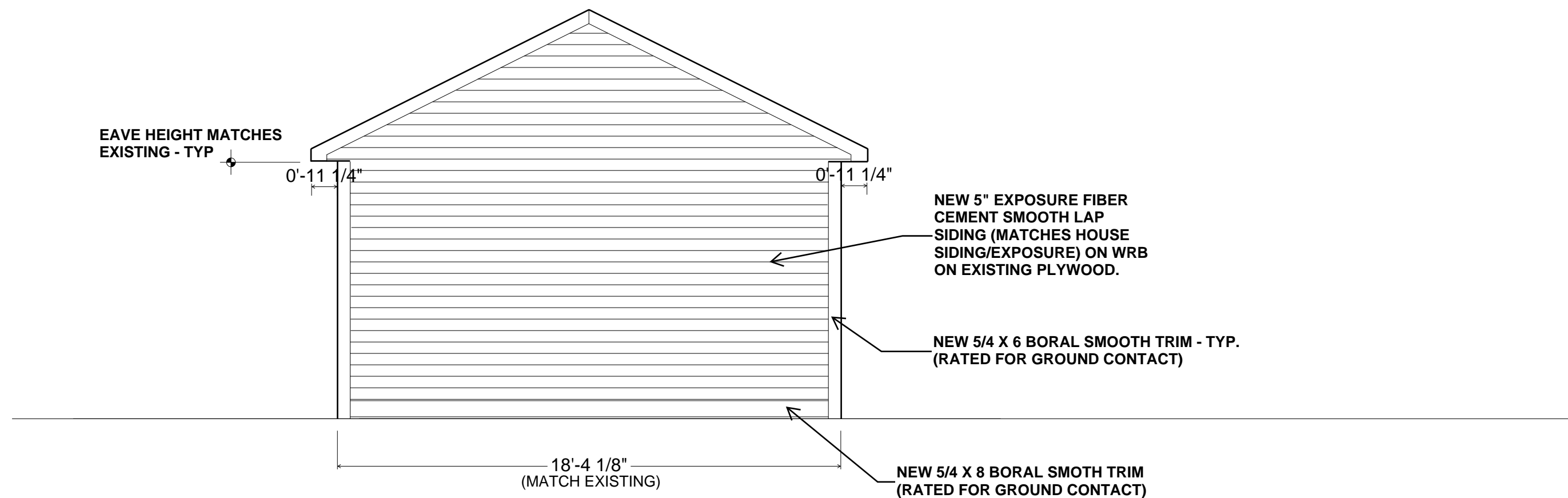
SCALE: 1/4" = 1'-0"



EXISTING WEST ELEVATION

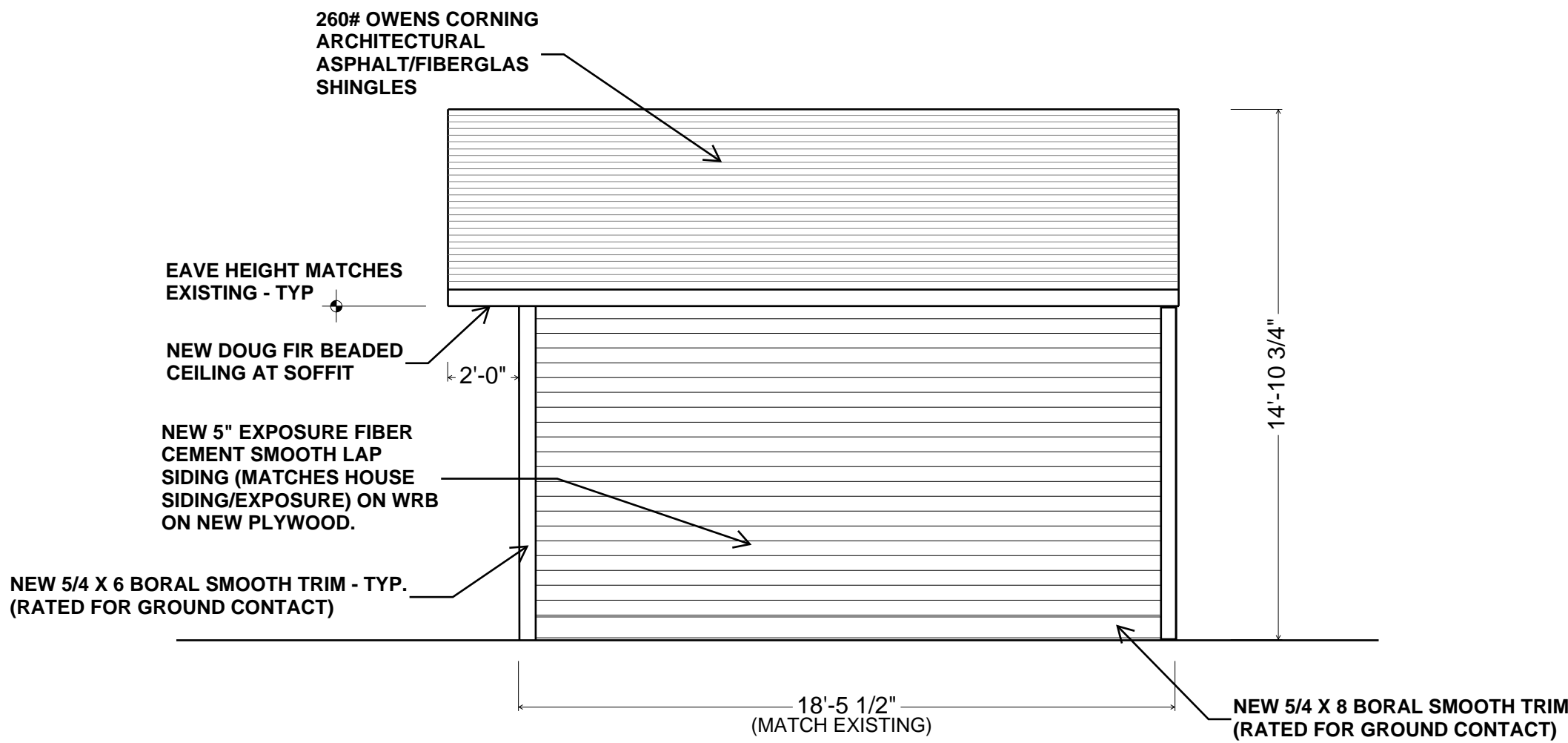
SCALE: 1/4" = 1'-0"





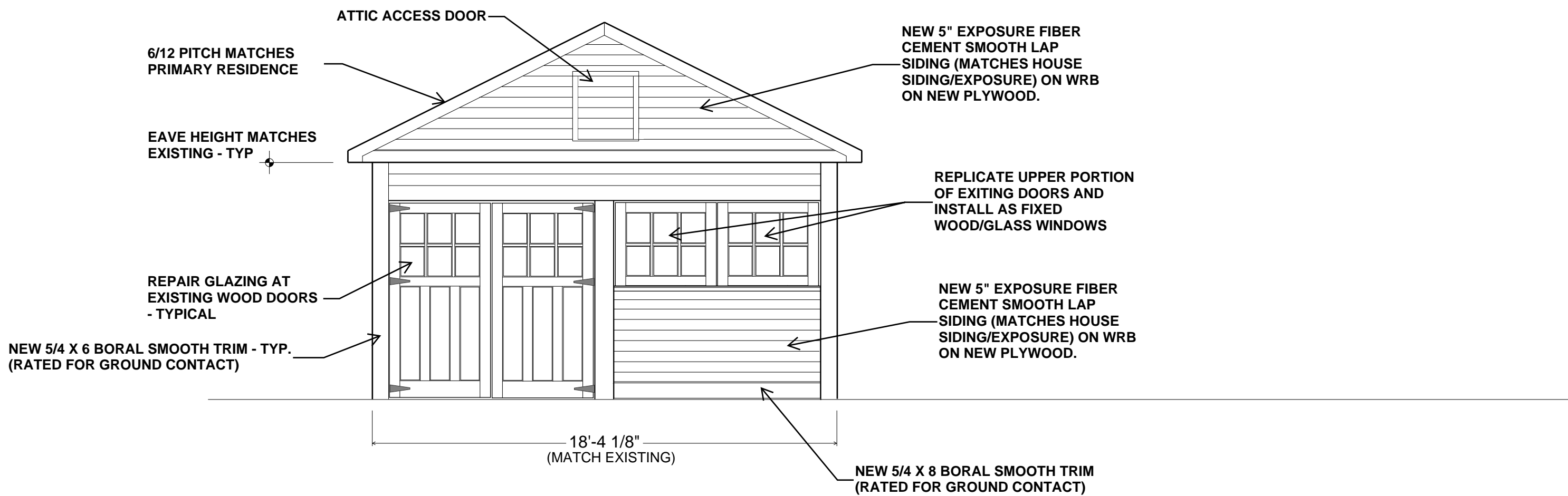
PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



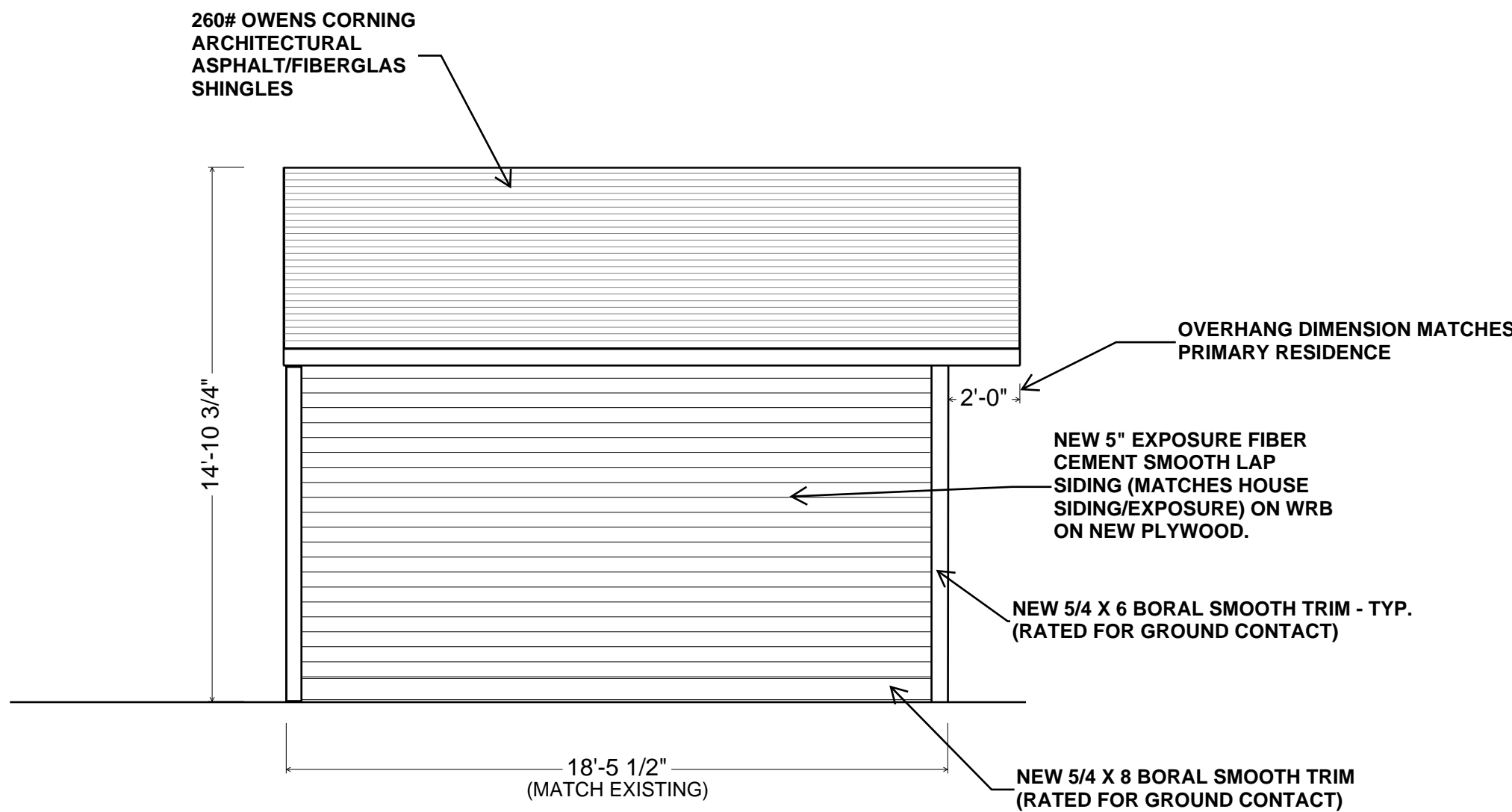
PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



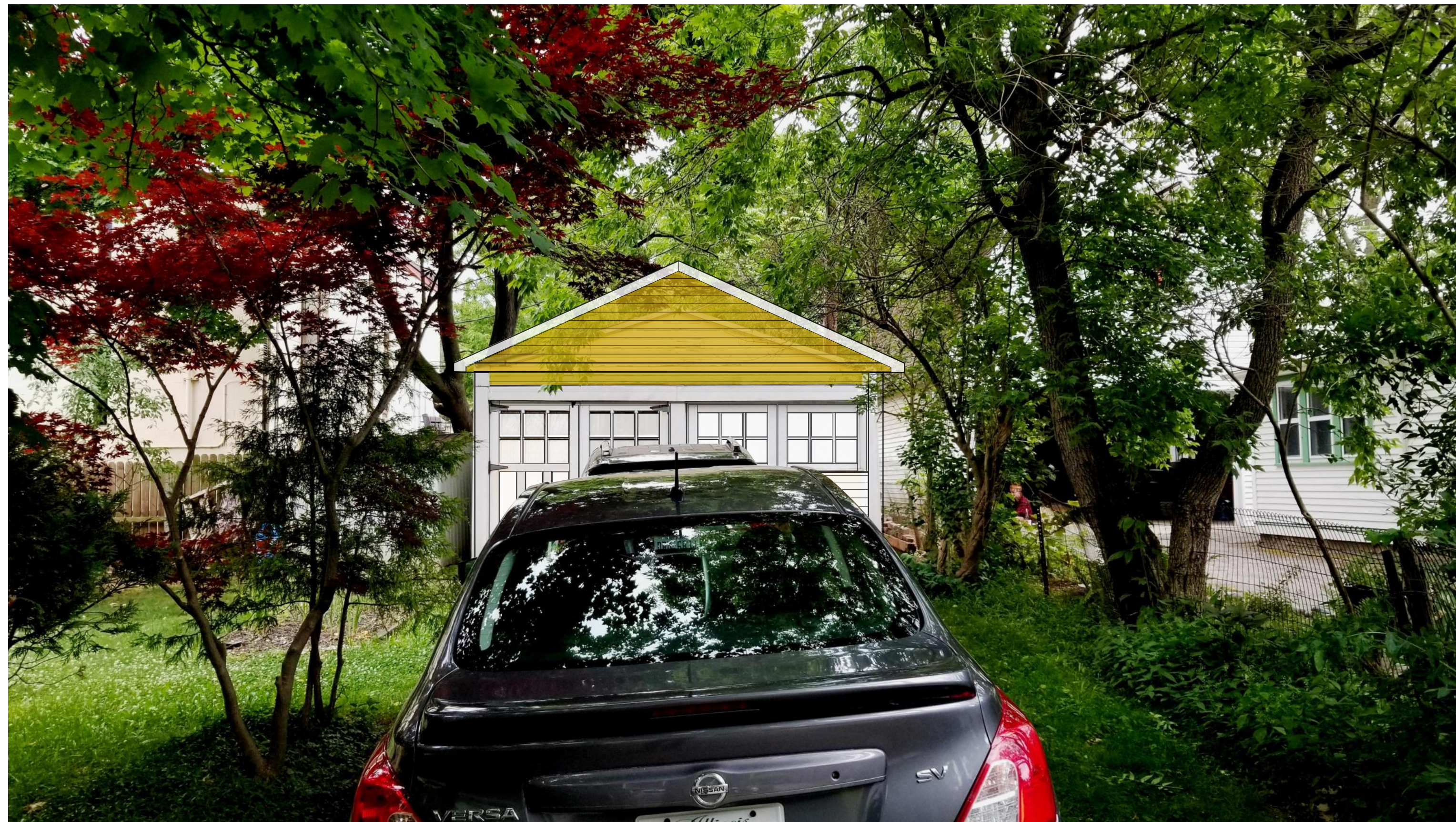
PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION

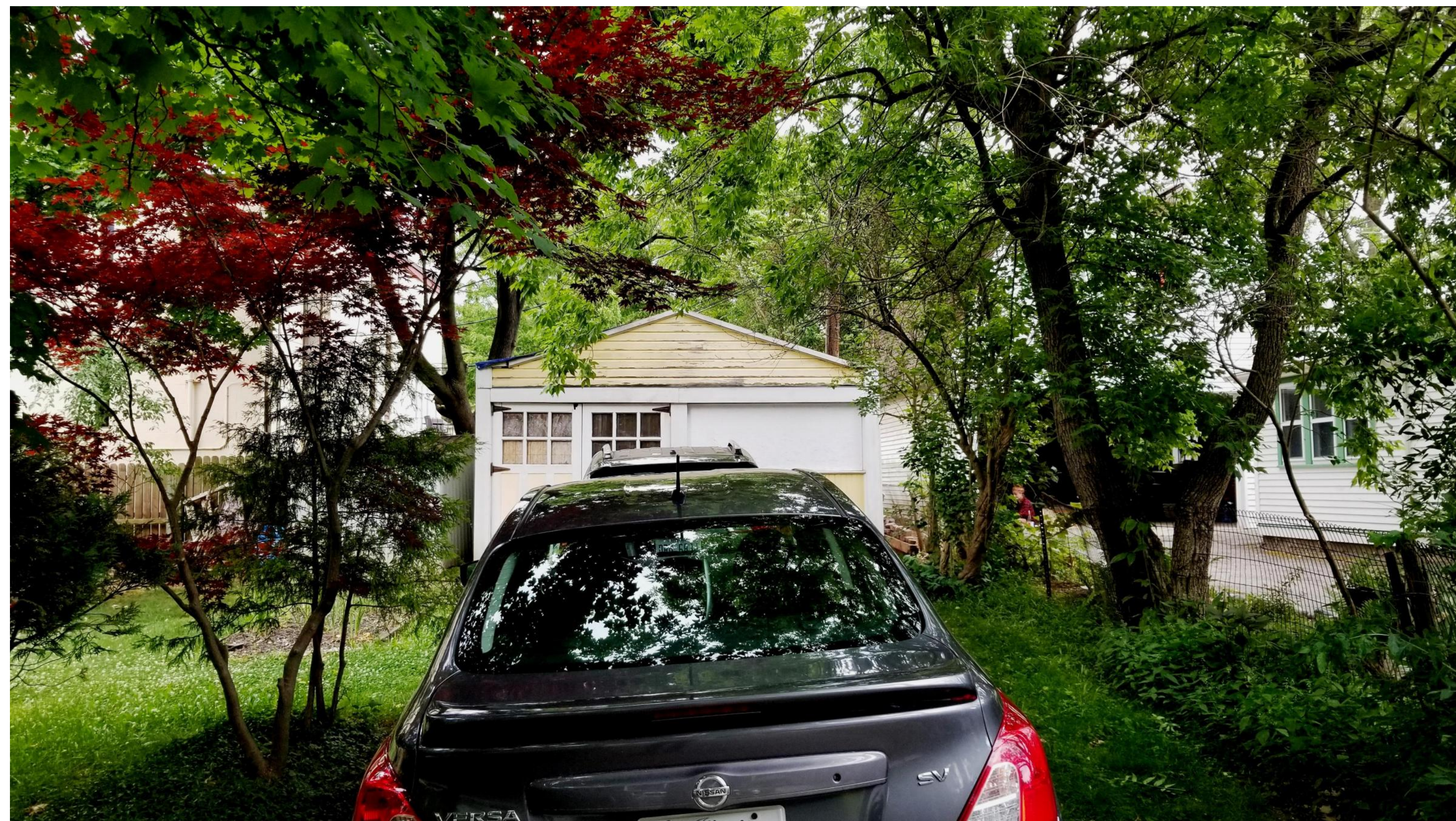
SCALE: 1/4" = 1'-0"



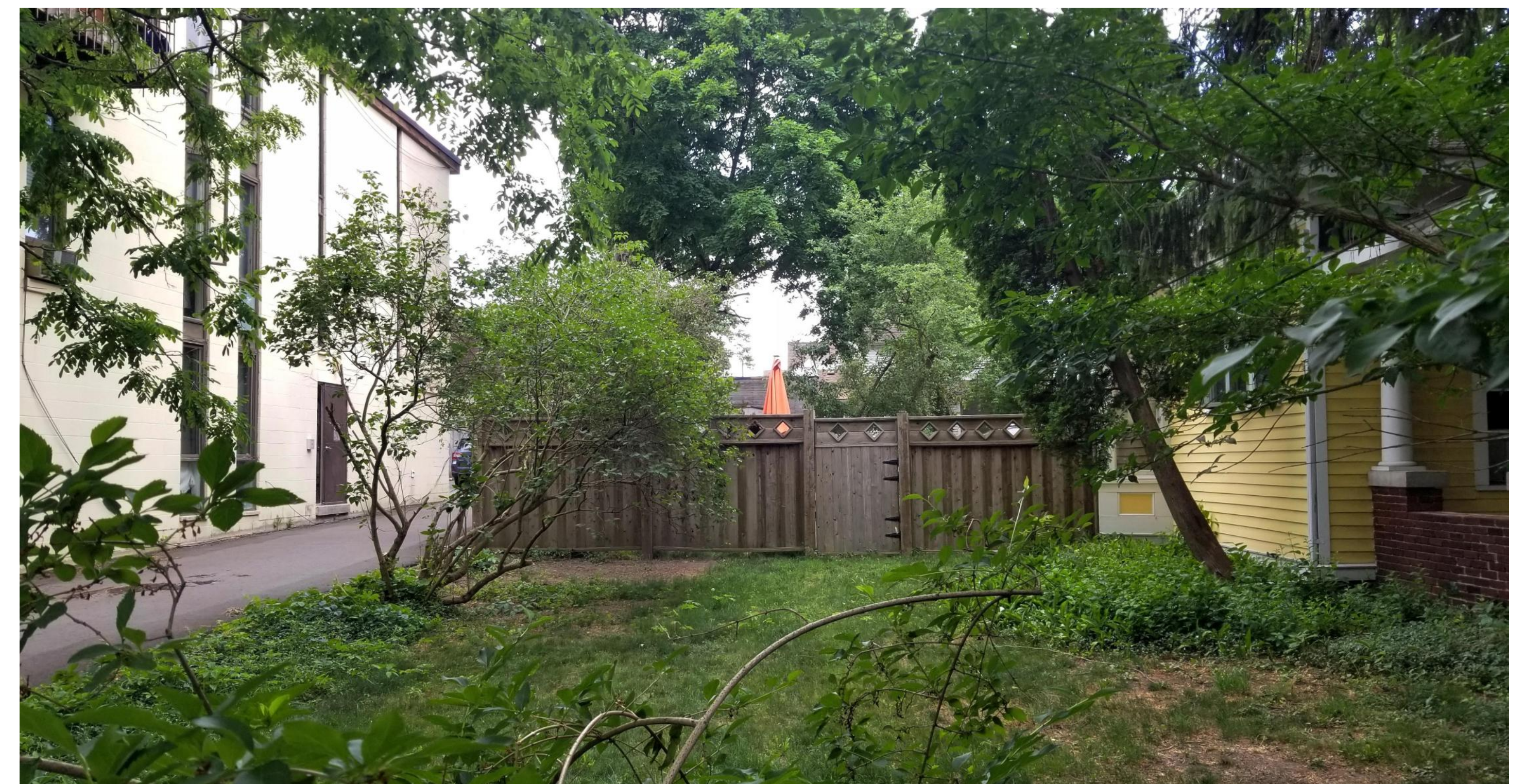
PROPOSED VIEW FROM NINTH STREET SIDEWALK



EXISTING VIEW FROM HURON STREET SIDEWALK



EXISTING VIEW FROM NINTH STREET SIDEWALK



EXISTING VIEW FROM HURON STREET SIDEWALK

**OLD WEST SIDE RECONNAISSANCE LEVEL RE-SURVEY
APRIL, 2009**

ADDRESS

Number	1021	Direction	W	Street	HURON
City	Ann Arbor	County	Washtenaw	Parcel ID	09-09-30-100-002

NR STATUS: NR Listed - Contributing

NAME

Historic Name		Common Name	
Historic Use	DO/Single Dwelling	Current Use	DO/Single Dwelling

DATE/PROPERTY TYPE/STYLE

Date Built	1894	Source of date	Polk Directory
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MATERIALS

Foundation	Stone
Walls	Wod/Weatherboard
Roof	Asphalt

DESCRIPTIVE NOTES:

OTHER BUILDINGS/FEATURES

HISTORY

COMMENTS

PHOTO INFO

File name Huron_1021_4.JPG

Photographer K. Kidorf

Date April-May, 2008



**Property east of subject property along east property line at
1015 West Huron Street**

**OLD WEST SIDE RECONNAISSANCE LEVEL RE-SURVEY
APRIL, 2009**

ADDRESS

Number	1015	Direction	W	Street	HURON
City	Ann Arbor	County	Washtenaw	Parcel ID	09-09-30-100-001

NR STATUS: NR Listed - Non-Contrib

NAME

Historic Name		Common Name	
Historic Use		Current Use	DO/Apartment Building

DATE/PROPERTY TYPE/STYLE

Date Built	c. 1960	Source of date	Sanborn
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MATERIALS

Foundation	Concrete block
Walls	Concrete block Wood/Plywood
Roof	Asphalt

DESCRIPTIVE NOTES:

OTHER BUILDINGS/FEATURES

HISTORY

COMMENTS

PHOTO INFO

File name Huron_1015_2.JPG
Photographer K. Kidorf
Date April-May, 2008



Property south of subject property along south property line at
113 Ninth Street

**OLD WEST SIDE RECONNAISSANCE LEVEL RE-SURVEY
APRIL, 2009**

ADDRESS

Number 113

Direction

Street NINTH

City Ann Arbor

County

Washtenaw

Parcel ID 09-09-30-100-007

NR STATUS: NR Listed - Contributing

NAME

Historic Name

Common Name

Historic Use DO/Single Dwelling

Current Use DO/Single Dwelling

DATE/PROPERTY TYPE/STYLE

Date Built 1897

Source of date

Polk

MATERIALS

Foundation Stone

Walls Wood/Weatherboard

Roof Asphalt

DESCRIPTIVE NOTES:

OTHER BUILDINGS/FEATURES

Barn aluminum sided

HISTORY

Chas. W. Allmand, motorman

COMMENTS

PHOTO INFO

File name Ninth_113.JPG

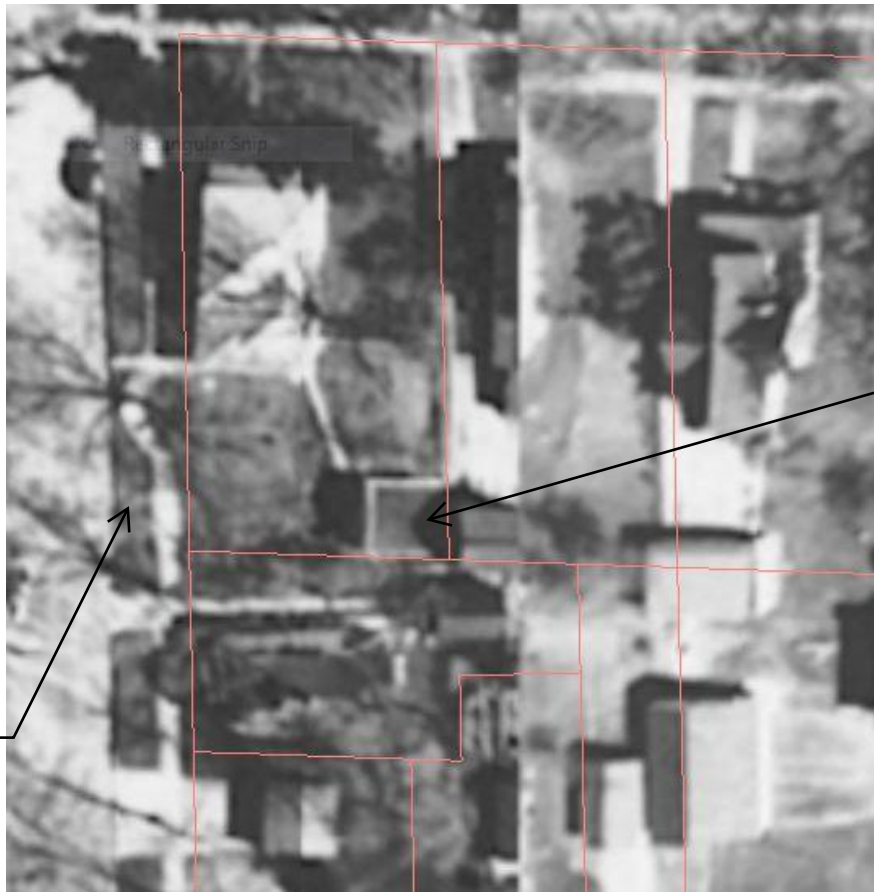
Photographer K. Kidorf

Date April-May, 2008





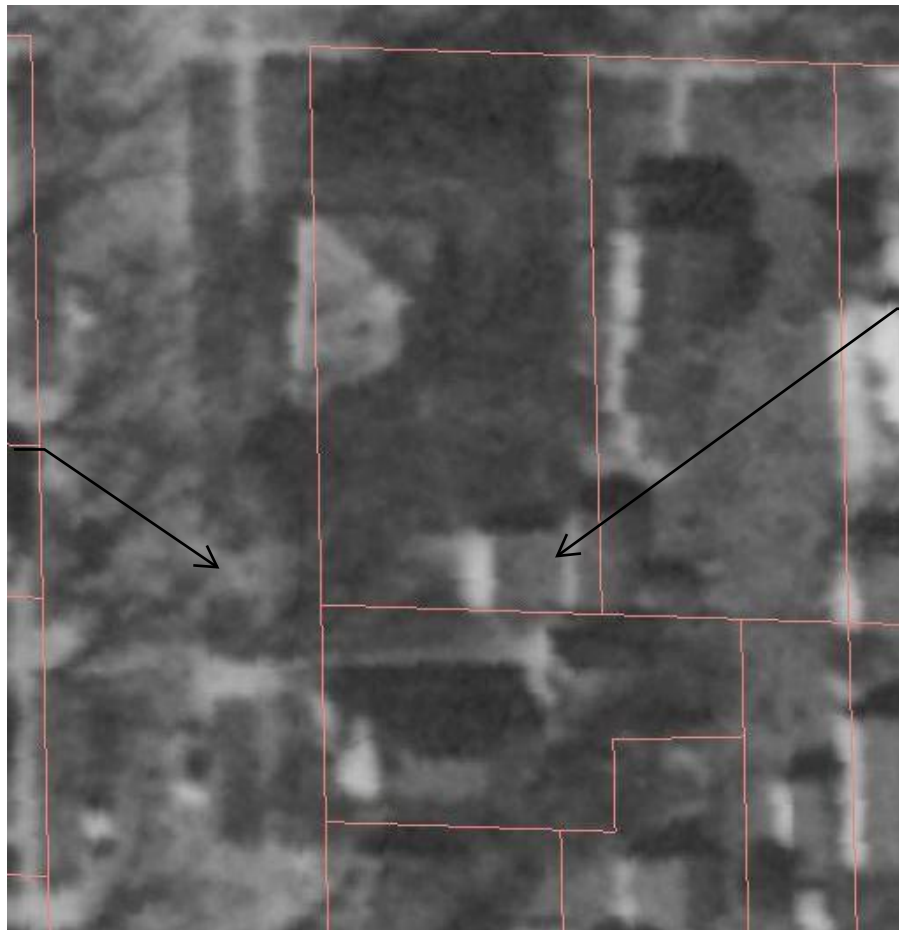
Photo of residence at 1021 West Huron Street
(taken from NW corner of property at Huron and Ninth Streets)



SHED LOCATION

NO EVIDENCE OF
CURB CUT FOR
DRIVEWAY. NO
EVIDENCE OF
DRIVEWAY

1947 AERIAL PHOTO



ROOF CONSTRUCTION
DETAILS APPEARED TO
HAVE CHANGED

POSSIBLE CURB CUT
FOR DRIVEWAY? NO
STRONG EVIDENCE OF
DRIVEWAY

1960 AERIAL PHOTO

I want to...



APARTMENT BUILDING
CONSTRUCTED EARLY
1960'S - MAY HAVE
ALTERED APPROACH TO
SHED

ROOF CONSTRUCTION
APPEARS TO HAVE
CHANGED AGAIN

CLEAR INDICATION
OF CURB CUT AND
DRIVEWAY

1997 AERIAL PHOTO



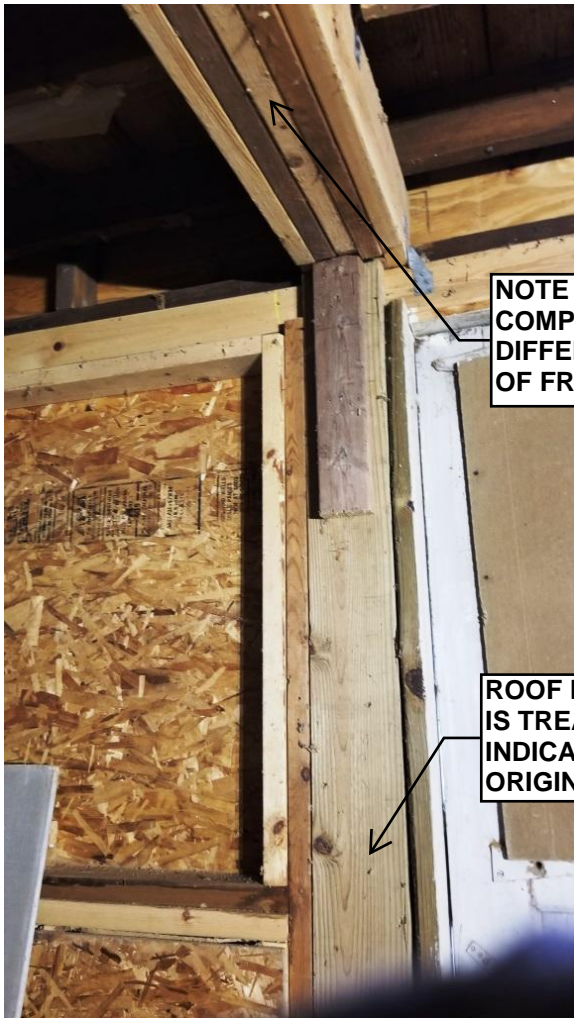
RECENT ROOF DAMAGE DUE TO ROT AT SHALLOW
SLOPED ROOF

ROOF JOISTS ARE OF
DIFFERENT AGES AND
DIMENSIONS

NOTE MULTIPLE TYPES
OF ROOF SHEATHING



INTERIOR VIEW OF NORTH WALL



NOTE ROOF BEAM IS
COMPOSED OF
DIFFERENT AGES/SIZES
OF FRAMING MEMBERS

ROOF BEAM SUPPORT
IS TREATED MEMBER -
INDICATING NOT
ORIGINAL

PLYWOOD USED AS
ROOF SHEATHING AT
MULTIPLE PLACES IN
LIEU OF 1 x 8'S

INTERIOR VIEW OF WEST WALL



INTERIOR VIEW OF ROOF



ROOF JOISTS ARE
OVER STRESSED AND
SEVERLY CAMBERED

DIFFERENT TYPE/AGES
OF ROOF SHEATHING
EVIDENT

INTERIOR VIEW OF ROOF



INTERIOR VIEW OF
SOUTH WALL

NOTE EAST WALL IS OF
DIFFERENT
CONSTRUCTION: USE
OF OSB AND STUD
SPACING IS DIFFERENT



INTERIOR VIEW OF EAST WALL



INTERIOR VIEW OF NORTH WALL

NOTE WALL
CONSTRUCTION IS
DIFFERENT: STUD AGE,
SPACING AND USE OF
OSB

NOTE WALL CONSTRUCTION IS
DIFFERENT: STUD SPACING,
USE OF PLYWOOD AT UPPER
PORTION OF WALL - THIS IS
DIFFERENT FROM OLDER
PORTIONS OF SHED STRUTURE



INTERIOR VIEW OF WEST WALL