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ISSUE DATE AND NAME

JOB. NO.
17321

DWG. NAME
Cover Sheet

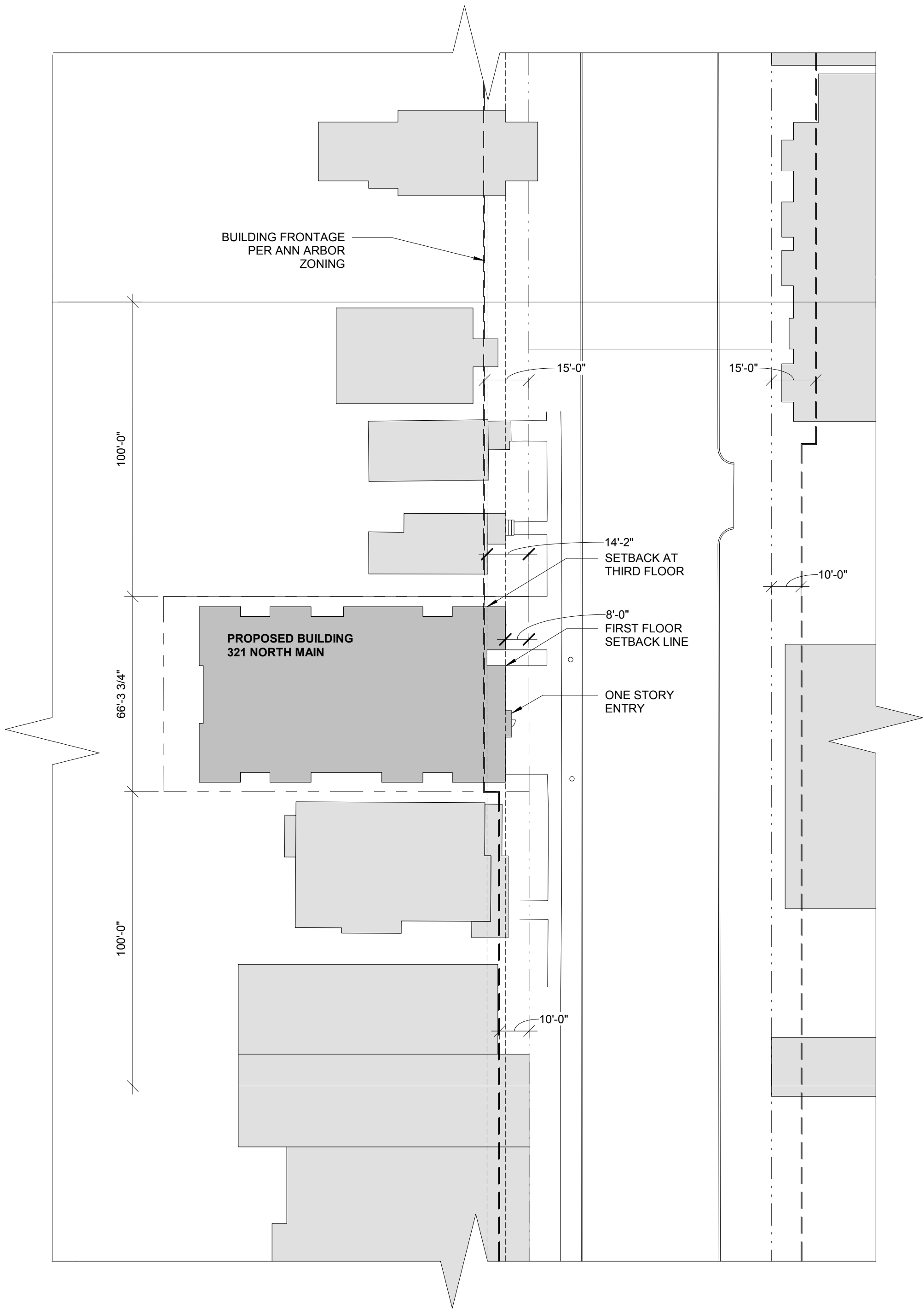
SCALE

ISSUE DATE
07/15/17

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DWG. NO.
00-000





BUILDING FRONTAGE STANDARDS:

PER ANN ARBOR ZONING CODE, TABLE 5:10.20B:

PRIMARY STREET: LOT FRONTAGE WHERE PLACEMENT OF BUILDINGS AT THE FRONT PROPERTY LINE IS DESIRED.

MINIMUM SETBACK = 0.0'
MAXIMUM SETBACK = 1.0'

SECONDARY STREET: LOT FRONTAGE WHERE A RANGE OF BUILDING SETBACKS FROM THE PROPERTY LINE IS ACCEPTABLE.

MINIMUM SETBACK = 0.0'
MAXIMUM SETBACK = 10.0'

FRONT YARD STREET: LOT FRONTAGE WHERE A SETBACK FROM THE PROPERTY LINE IS DESIRED.

MINIMUM SETBACK = 15.0'
MAXIMUM SETBACK = N.A.

THE PROPERTY IS CLASSIFIED AS A "FRONT YARD STREET", WHICH REQUIRES A SETBACK THAT IS GREATER THAN THE ADJACENT PROPERTIES. THE OWNER IS REQUESTING APPROVAL OF THE FRONT SETBACKS BE ALLOWED BASED ON THE FOLLOWING FACTORS:

1. ANN ARBOR ZONING CODE STATES "THE AVERAGE OF THE ESTABLISHED FRONT SETBACK OF BUILDINGS WITHIN 100 FEET MAY BE USED, IF LESS THAN 15 FEET. THIS PROPERTY QUALIFIES FOR THAT EXCEPTION, AND THE BUILDING SETBACK AND PLACEMENT IS BASED ON THE MIX OF SETBACKS ALONG THE STREET."

1
00-201 | Building Frontage Standards
Scale: 1" = 30'-0"

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**Zoning - Building
Setbacks**

SCALE

1" = 30'-0"

ISSUE DATE

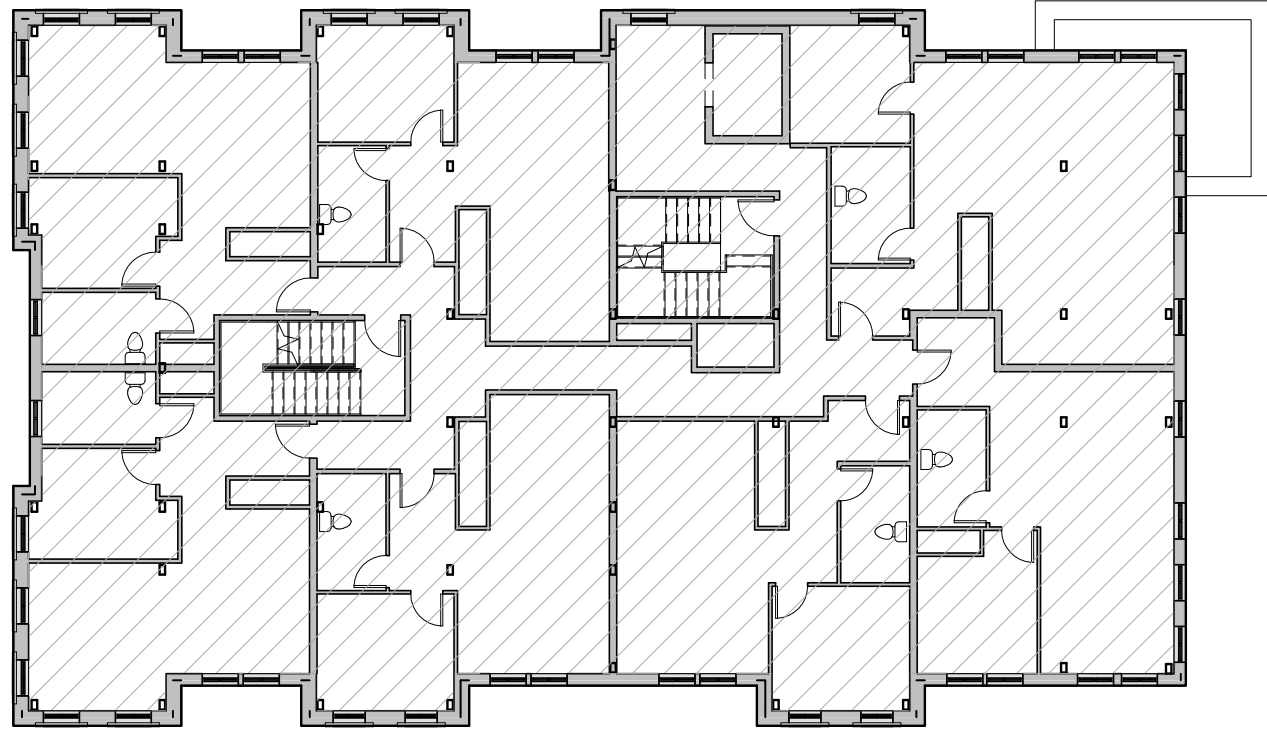
11/21/17

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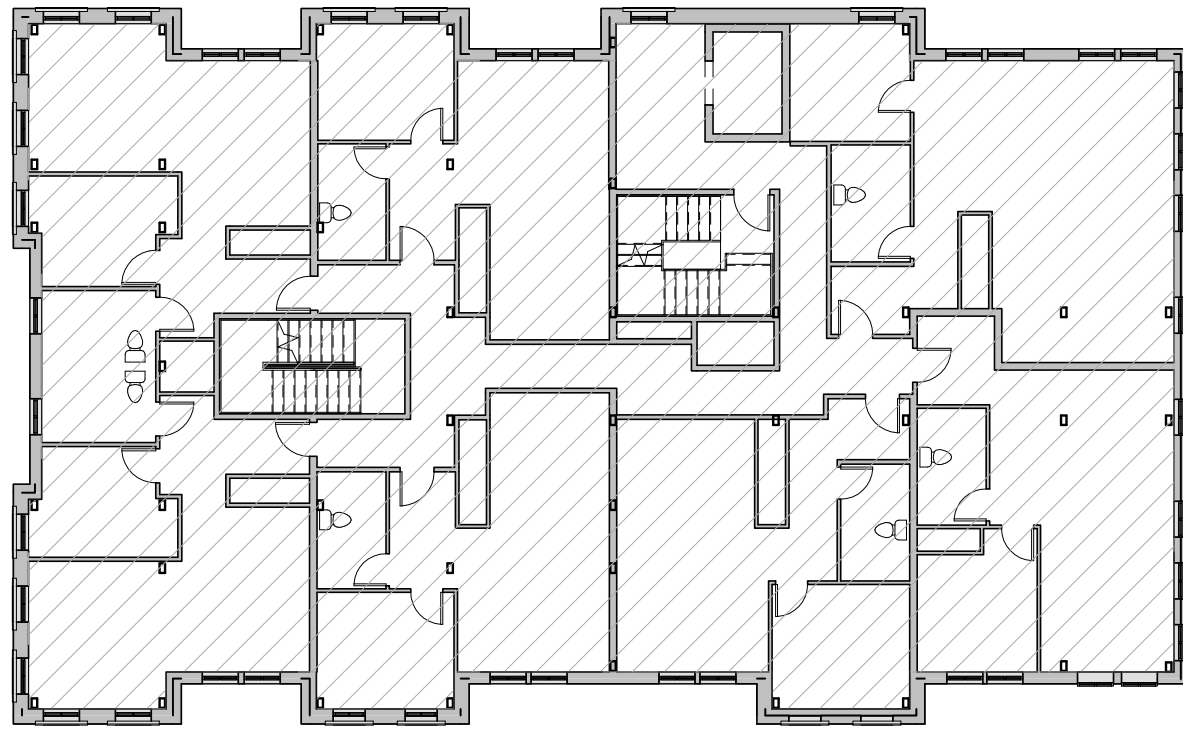
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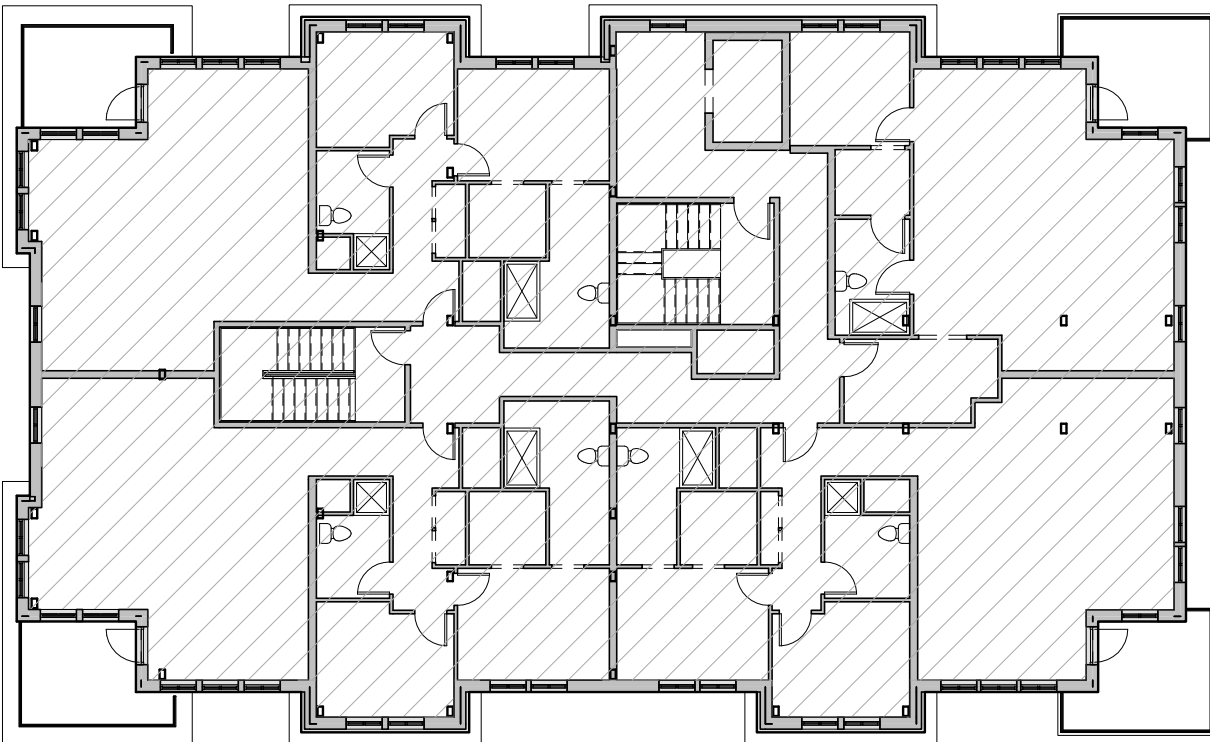
00-201



4
00-202 | Fourth Floor - Floor Areas
Scale: 1/16" = 1'-0"



5
00-202 | Fifth Floor - Floor Areas
Scale: 1/16" = 1'-0"



6
00-202 | Sixth Floor - Floor Areas
Scale: 1/16" = 1'-0"

FLOOR AREA CALCULATIONS:

USABLE (GROSS) FLOOR AREA (A.A. ZONING) = 5,476 S.F.
BUILDING AREA (M.B.C.) = 5,098 S.F.

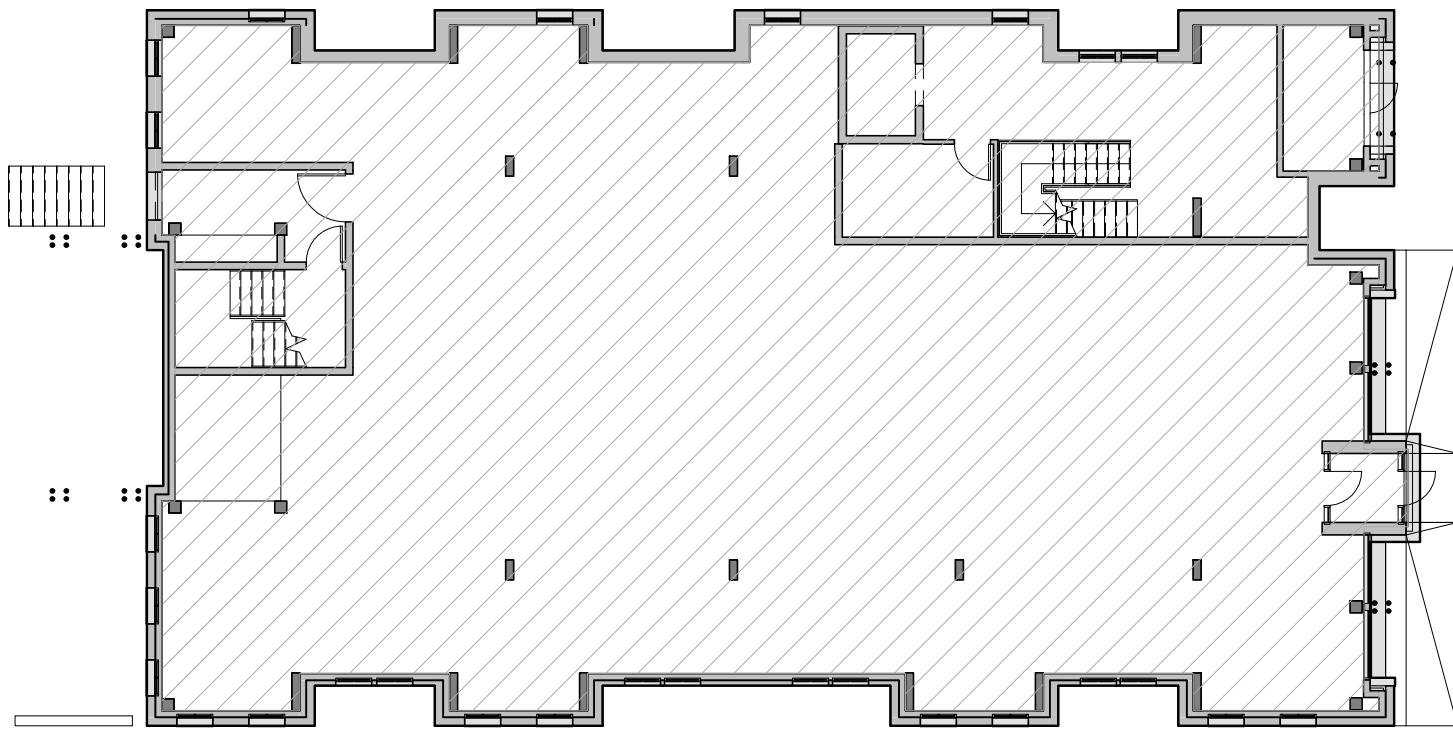
F.A.R. PREMIUM CALCULATIONS:

NON-RESIDENTIAL FLOOR AREA (A.A. ZONING) = 0 S.F.
RESIDENTIAL FLOOR AREA (A.A. ZONING) = 5,476 S.F.

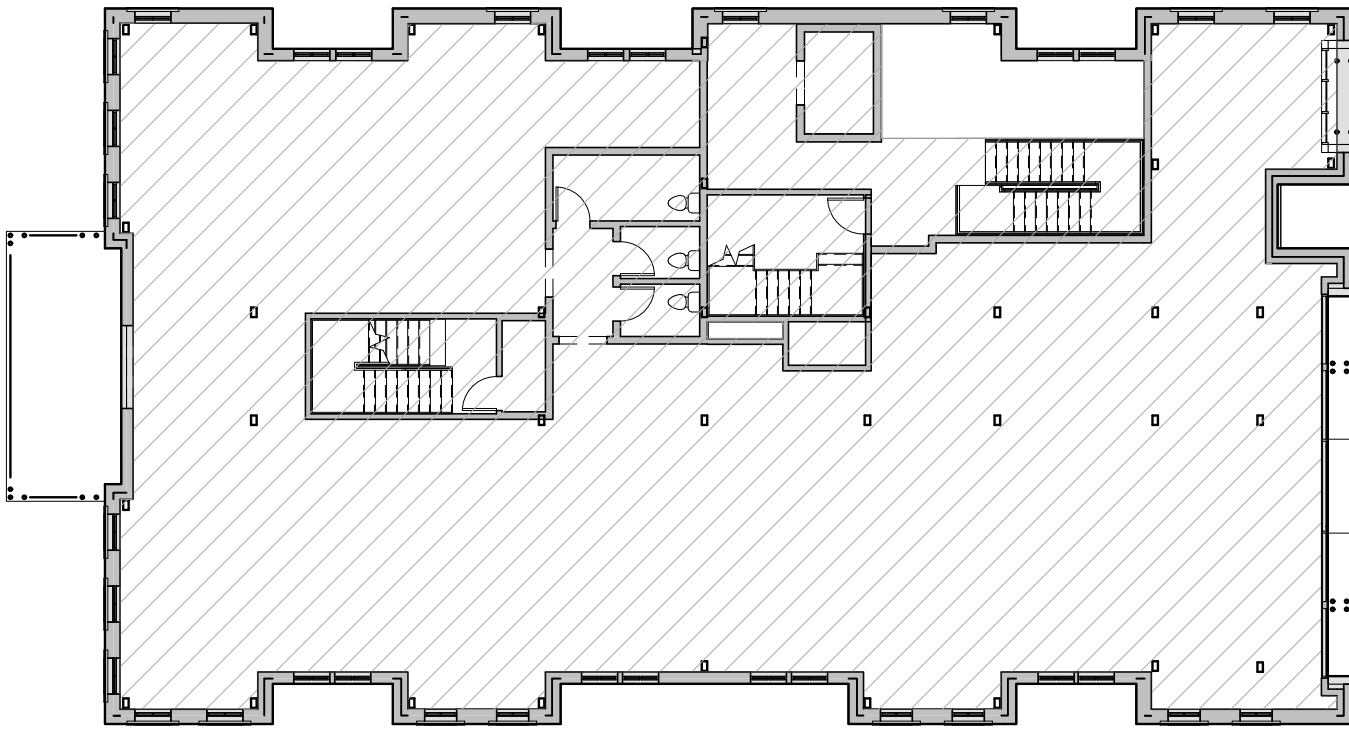
EXTERIOR WALL AREA CALCULATIONS:

AS DESIGNED EXTERIOR WALL AREA = 379 S.F.
CODE REQUIRED EXTERIOR WALL AREA = 257 S.F.

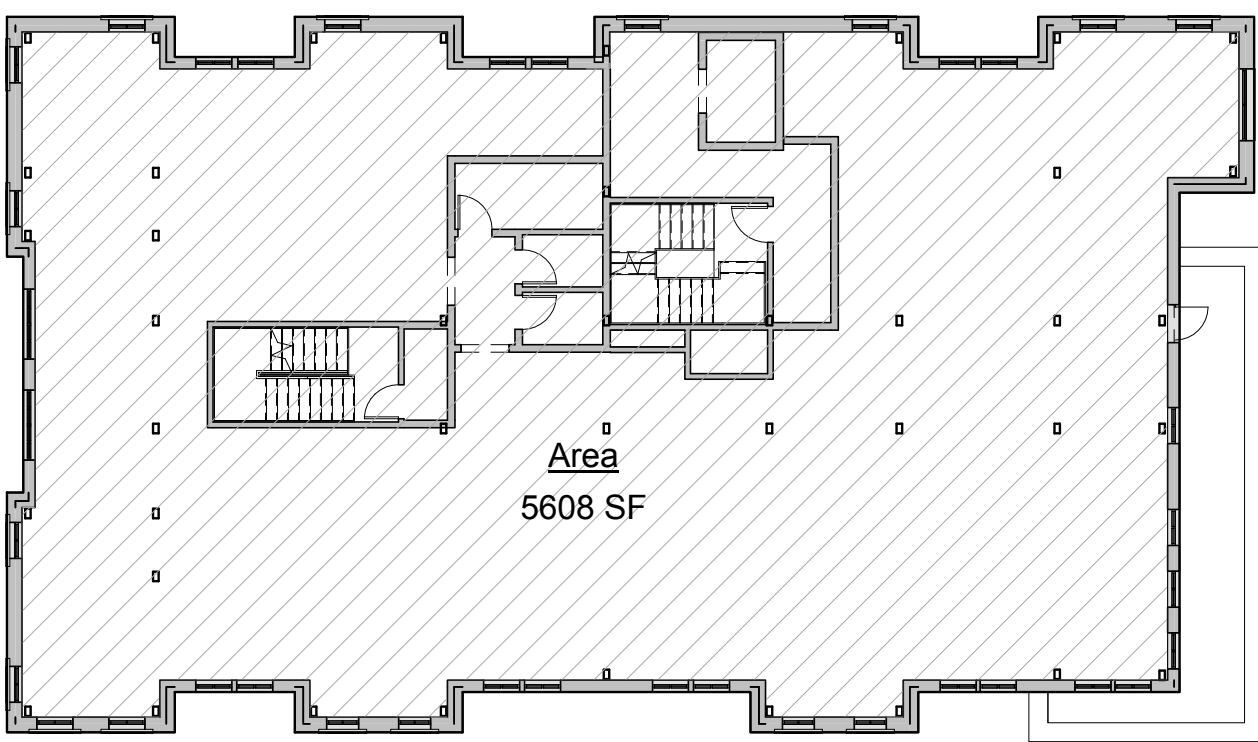
ADDITIONAL EXTERIOR WALL AREA = 122 S.F.



1
00-202 | First Floor - Floor Areas
Scale: 1/16" = 1'-0"



2
00-202 | Second Floor - Floor Areas
Scale: 1/16" = 1'-0"



3
00-202 | Third Floor - Floor Areas
Scale: 1/16" = 1'-0"

FLOOR AREA CALCULATIONS:

USABLE (GROSS) FLOOR AREA (A.A. ZONING) = 5,897 S.F.
BUILDING AREA (M.B.C.) = 5,432 S.F.

F.A.R. PREMIUM CALCULATIONS:

NON-RESIDENTIAL FLOOR AREA (A.A. ZONING) = 5,897 S.F.
RESIDENTIAL FLOOR AREA (A.A. ZONING) = 0 S.F.

EXTERIOR WALL AREA CALCULATIONS:

AS DESIGNED EXTERIOR WALL AREA = 466 S.F.
CODE REQUIRED EXTERIOR WALL AREA = 327 S.F.

ADDITIONAL EXTERIOR WALL AREA = 139 S.F.

FLOOR AREA CALCULATIONS:

USABLE (GROSS) FLOOR AREA (A.A. ZONING) = 5,829 S.F.
BUILDING AREA (M.B.C.) = 5,225 S.F.

F.A.R. PREMIUM CALCULATIONS:

NON-RESIDENTIAL FLOOR AREA (A.A. ZONING) = 5,829 S.F.
RESIDENTIAL FLOOR AREA (A.A. ZONING) = 0 S.F.

EXTERIOR WALL AREA CALCULATIONS:

AS DESIGNED EXTERIOR WALL AREA = 426 S.F.
CODE REQUIRED EXTERIOR WALL AREA = 290 S.F.

ADDITIONAL EXTERIOR WALL AREA = 136 S.F.

FLOOR AREA CALCULATIONS:

USABLE (GROSS) FLOOR AREA (A.A. ZONING) = 5,608 S.F.
BUILDING AREA (M.B.C.) = 5,200 S.F.

F.A.R. PREMIUM CALCULATIONS:

NON-RESIDENTIAL FLOOR AREA (A.A. ZONING) = x,xxx S.F.
RESIDENTIAL FLOOR AREA (A.A. ZONING) = 0 S.F.

EXTERIOR WALL AREA CALCULATIONS:

AS DESIGNED EXTERIOR WALL AREA = 408 S.F.
CODE REQUIRED EXTERIOR WALL AREA = 279 S.F.

ADDITIONAL EXTERIOR WALL AREA = 129 S.F.

FLOOR AREA RATIO CALCULATIONS:

SITE AREA = 8,225 S.F.

200% F.A.R. = 16,450 S.F. (BY RIGHT)

RESIDENTIAL PREMIUM = 0.75 x RESIDENTIAL AREA (16,122) = 12,092 S.F.

LEED SILVER PREMIUM = 50% OF SITE AREA = 4,113 S.F.

TOTAL PREMIUM AREA = 16,205 S.F.

ALLOWABLE FLOOR AREA AS PROPOSED = 32,655 S.F.

400% F.A.R. = 32,900

F.A.R. PROPOSED: 33,456 S.F. (407% F.A.R.)

THE BUILDING USABLE FLOOR AREA THAT IS BEING PROPOSED IS 33,456 SQUARE FEET, WHICH RESULTS IN A USABLE FLOOR AREA THAT IS 801 SQUARE FEET OVER THE ALLOWABLE FLOOR AREA, OR 556 SQUARE FEET OVER A 400% FAR.

OWNER IS REQUESTING THE ADDITIONAL FLOOR AREA BE ALLOWED BASED ON THE FOLLOWING:

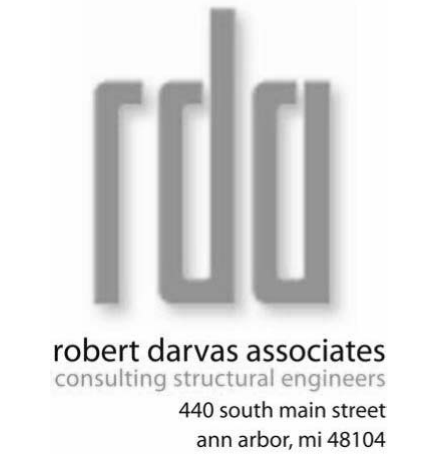
1. THE BUILDING SIZE HAS BEEN REDUCED AS MUCH AS POSSIBLE TO ACCOMMODATE FRONT SETBACK REQUIREMENTS, REAR SETBACKS REQUIRED DUE TO OVERHEAD POWER LINES, AND SIDE SETBACKS PROVIDED PER DESIGN GUIDELINE RECOMMENDATIONS, WHILE STILL ALLOWING FOR REASONABLE ROOM SIZES THAT MEET BUILDING CODE AND ADA REQUIREMENTS ON THE RESIDENTIAL FLOORS. FURTHER REDUCTION IN SIZE OF THE BUILDING WOULD RESULT IN LOSS OF RESIDENTIAL UNITS, A REDUCTION OF TYPE A UNITS PROVIDED, OR CHANGING ONE BEDROOM UNITS TO EFFICIENCY OR STUDIO UNITS.

2. IN ORDER TO PROVIDE AN ENERGY EFFICIENT EXTERIOR ENVELOPE, THE EXTERIOR WALL THICKNESS IS GREATER THAN REQUIRED TO ACHIEVE MINIMUM CODE STANDARDS OR LEED SILVER REQUIREMENTS. THE EXTERIOR WALL AS DESIGNED USES 6" METAL STUDS, RATHER THAN 3 5/8" METAL STUDS, AND IS USING 3" OF RIGID INSULATION AROUND THE PERIMETER, RATHER THAN 2". THE ADDITIONAL WALL THICKNESS THROUGHOUT THE EXTERIOR IS 3 3/8" THICK, PROVIDING AN ADDITIONAL R-15 OF INSULATION. THE TOTAL AREA OF EXTERIOR WALL AS DESIGNED IS 2,398 SQUARE FEET. ALTERNATIVELY, A WALL THAT IS THINNER THAT STILL ACHIEVES CODE MINIMUM AND LEED SILVER REQUIREMENTS WOULD ONLY OCCUPY A TOTAL AREA OF 1,633 SQUARE FEET, RESULTING IN A DIFFERENCE OF 765 SQUARE FEET.

THE BUILDING COULD BE REDUCED IN SIZE TO MEET ZONING REQUIREMENTS BY REDUCING THE EXTERIOR WALL THICKNESS, HOWEVER, THE OWNER IS REQUESTING APPROVAL OF THE ADDITIONAL NOMINAL FLOOR AREA SUCH THAT A MORE ENERGY EFFICIENT BUILDING CAN BE PROVIDED ALONG WITH WORK-FORCE HOUSING AND A MIXED USE PROGRAM.

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Zoning - FAR

SCALE

1/16" = 1'-0"

ISSUE DATE

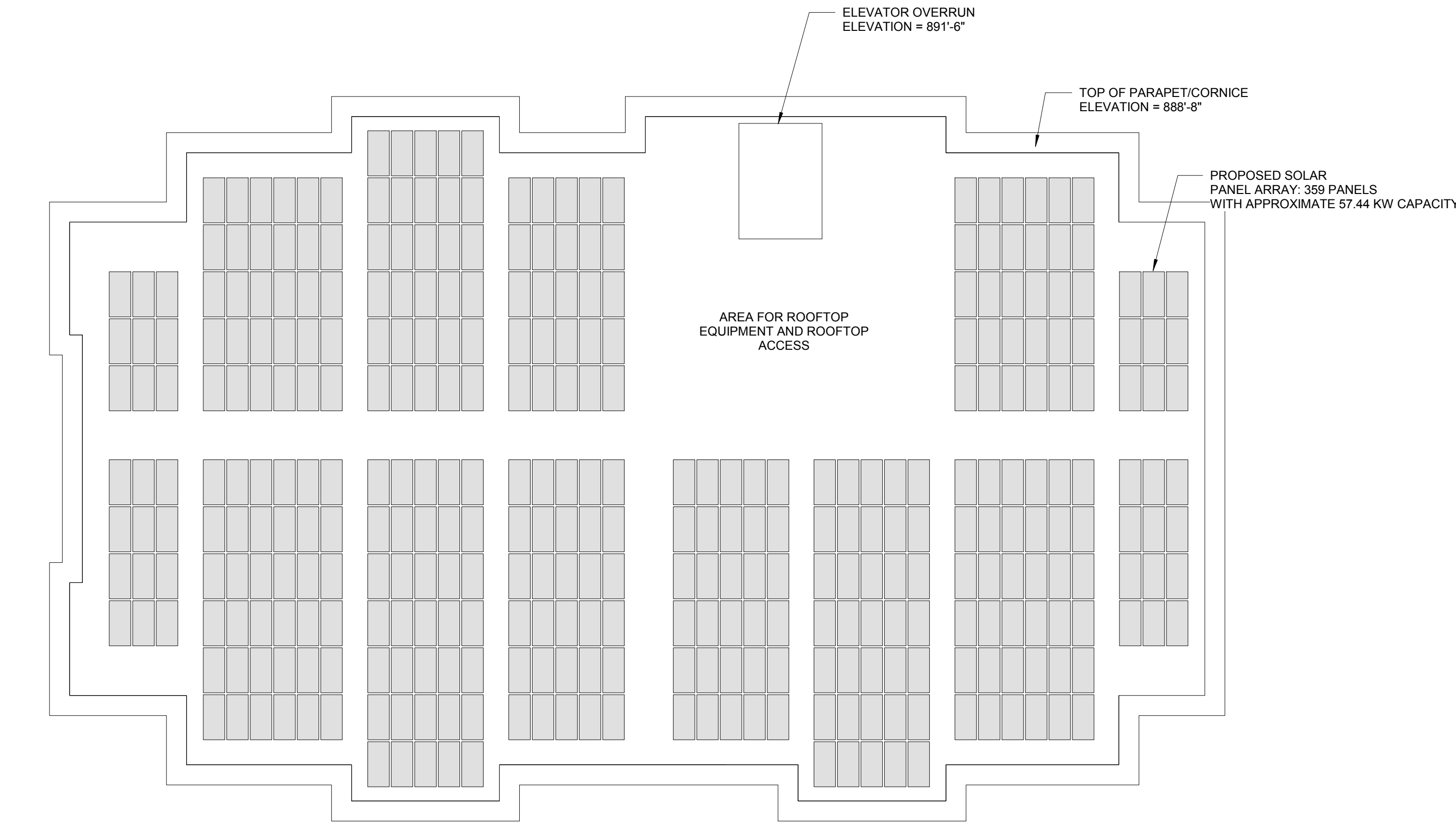
11/21/17

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00-202



1
00-203 | Roof - P.V. Diagram
Scale: 1/8" = 1'-0"



2
00-203 | Building Height Diagram
Scale: 3/32" = 1'-0"

BUILDING HEIGHT:

PER THE ZONING CODE, A MAXIMUM BUILDING HEIGHT OF 60'-0" IS ALLOWED FROM AVERAGE GRADE. THE SITE SLOPES APPROXIMATELY 5'-10" DOWN FROM THE EAST (MAIN STREET) TO THE WEST, CREATING AN AVERAGE GRADE THAT IS 2'-11" BELOW MAIN STREET. BECAUSE OF THE SETBACKS PROVIDED, THE AMOUNT OF BUILDABLE AREA IS REDUCED, TO COMPENSATE FOR THIS, AN ADDITIONAL FLOOR IS PROPOSED TO MAXIMIZE THE SQUARE FOOTAGE ON SITE. TO ACHIEVE THIS ADDITIONAL FLOOR, THE HEIGHT OF THE BUILDING EXCEEDS THE 60'-0" MAXIMUM.

THE OWNER IS REQUESTING THE ADDITIONAL HEIGHT BE ALLOWED BASED ON THE FOLLOWING:

1. THE BUILDING DESIGN INTENDS TO INCORPORATE GEOTHERMAL WELLS TO THE EXTENT POSSIBLE ON THE SITE TO PROVIDE HEATING AND COOLING TO THE BUILDING AS PART OF THE SUSTAINABLE ENERGY PLAN FOR THE BUILDING. BASED ON PRELIMINARY CALCULATIONS, 23 TO 25 WELLS WILL BE NECESSARY.
2. THE BUILDING DESIGN INTENDS TO UTILIZE THE ROOFTOP TO THE GREATEST EXTENT POSSIBLE FOR A PHOTOVOLTAIC SOLAR ARRAY. BASED ON PRELIMINARY CALCULATIONS A 57.44 KILOWAT SYSTEM IS ACHIEVABLE.
3. AS DESCRIBED EARLIER, THE BUILDING IS SET BACK FROM THE NEIGHBORING PROPERTIES AND STEPPED TO ALLOW ACCESS TO LIGHT IN ADDITION TO THIS BUILDING. ADDITIONAL SETBACKS ARE PROVIDED AT THE UPPER LEVEL BALCONIES.

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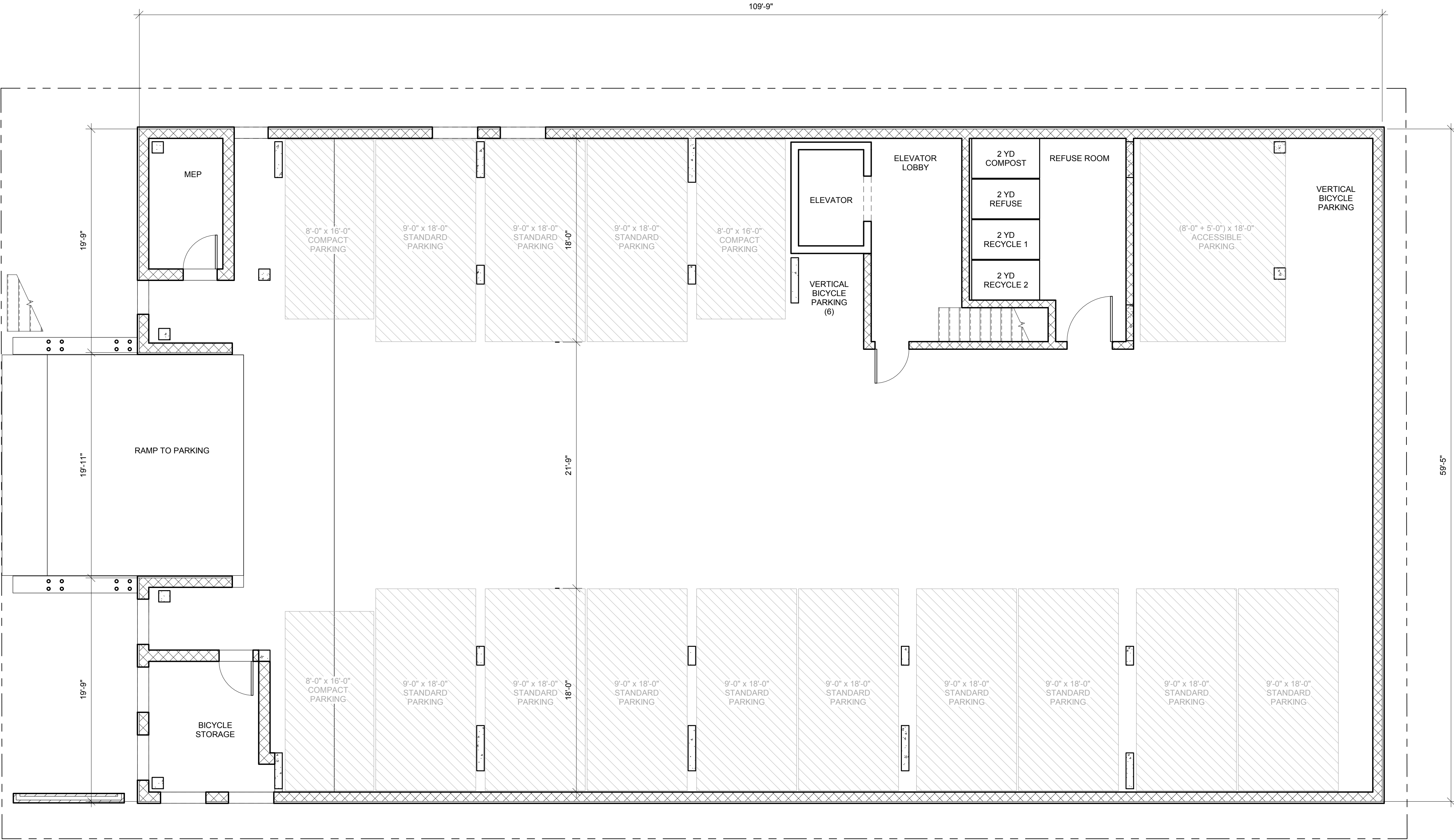
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Zoning - Height

SCALE
As indicated

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DWG. NAME
Lower Level Plan

SCALE
3/16" = 1'-0"

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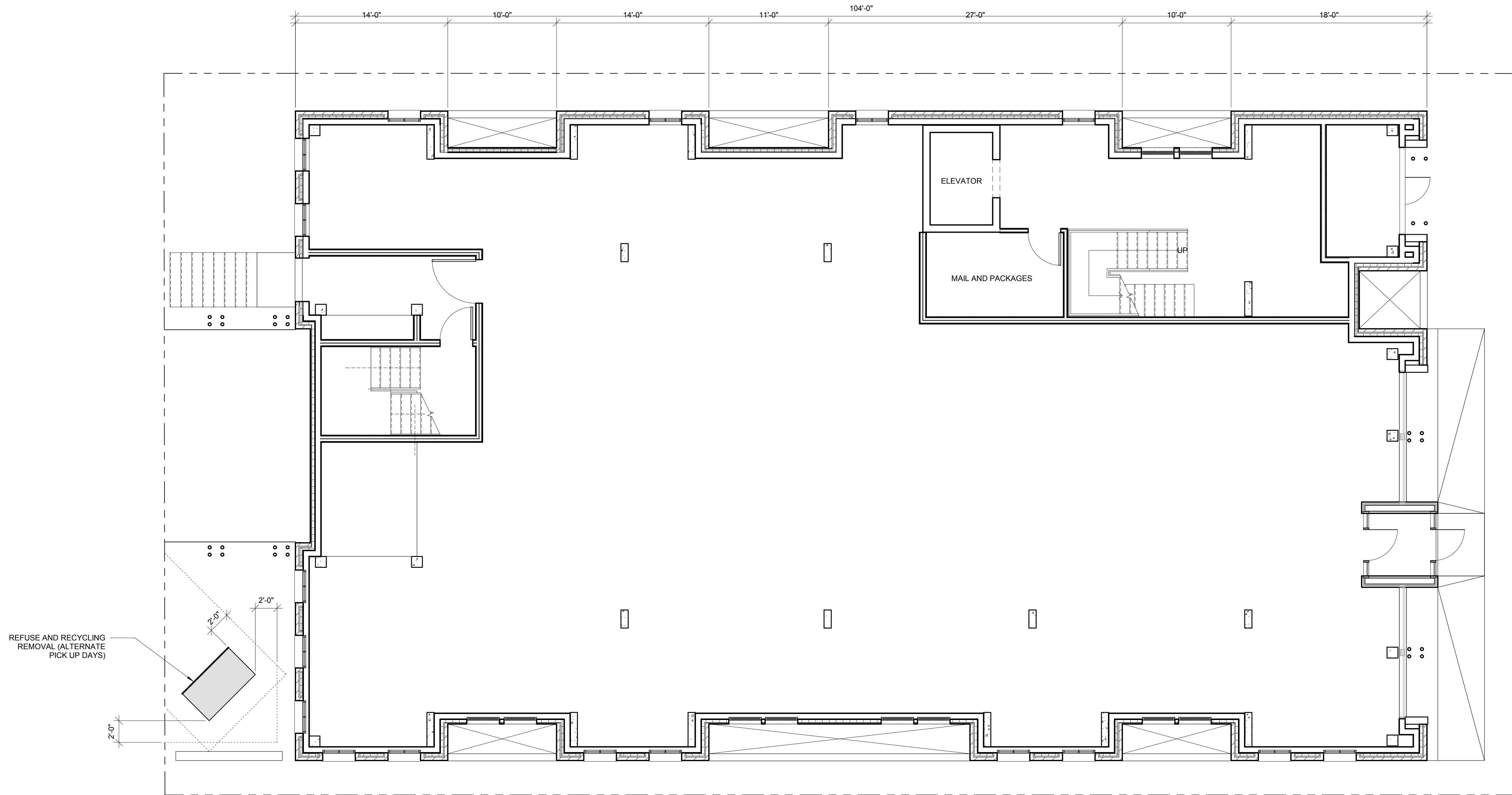
DWG. NAME
First Floor Plan

SCALE
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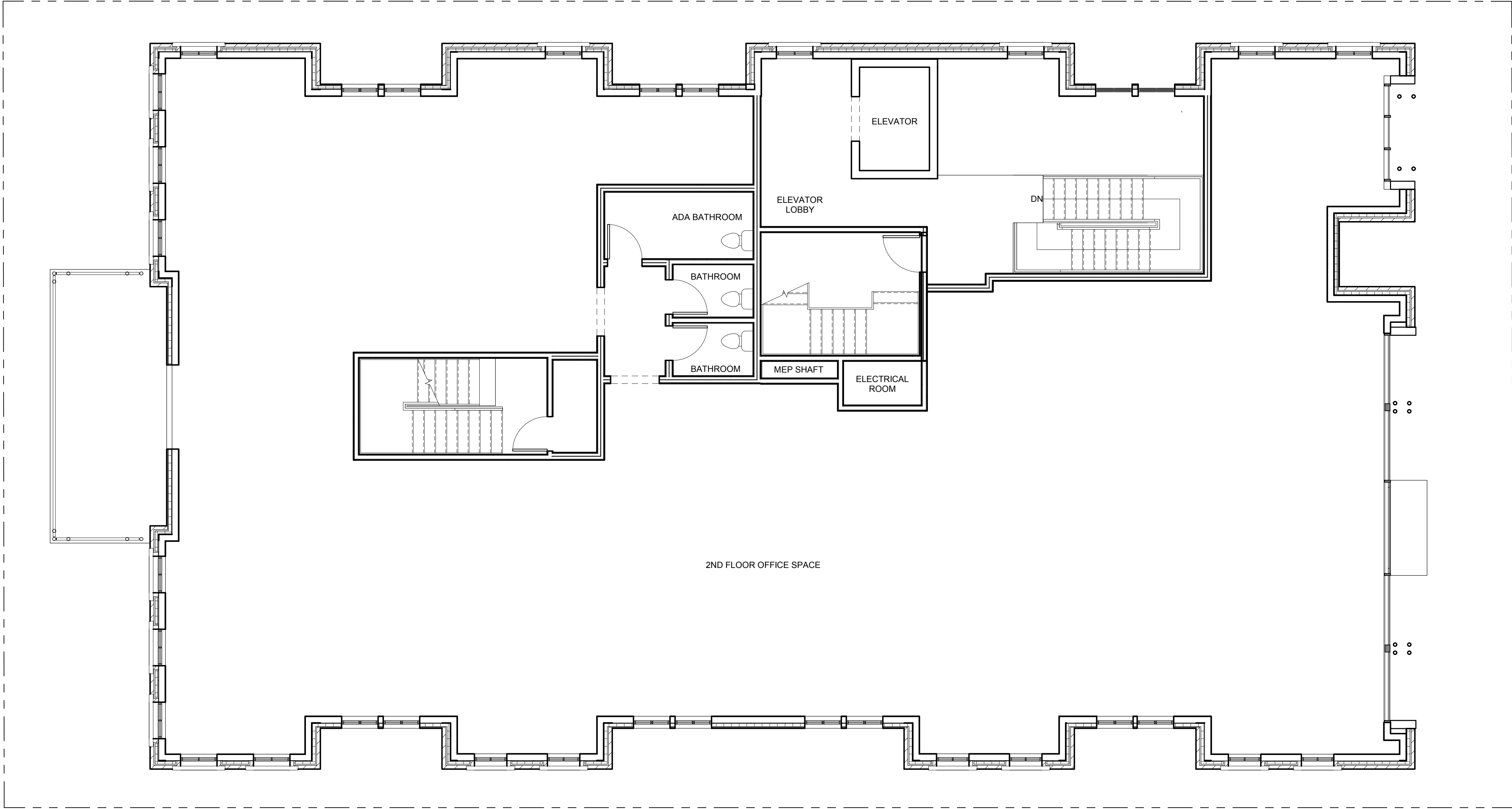
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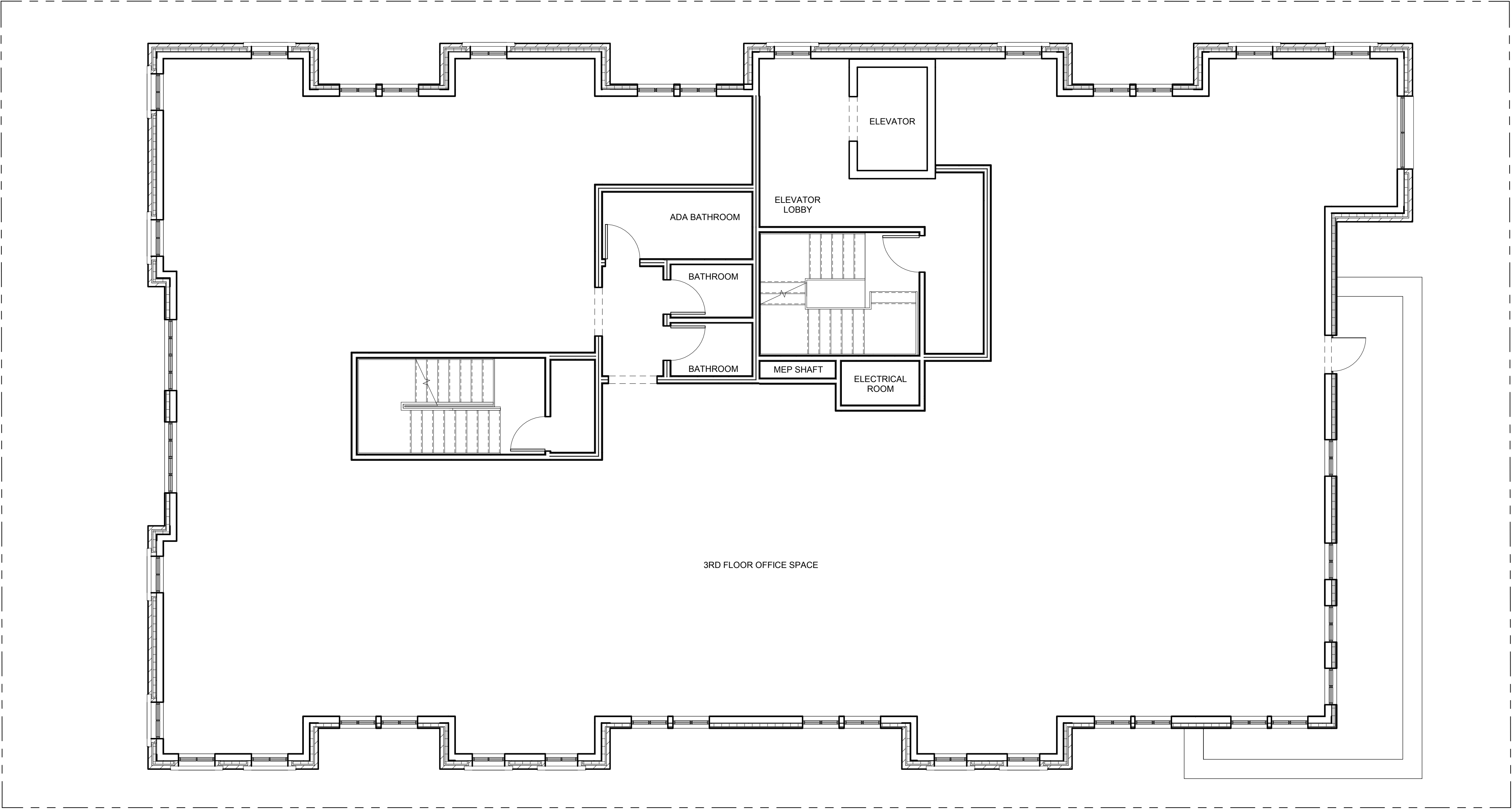
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JOB. NO.
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DWG. NAME
Second Floor Plan

SCALE
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ISSUE DATE
07/05/17

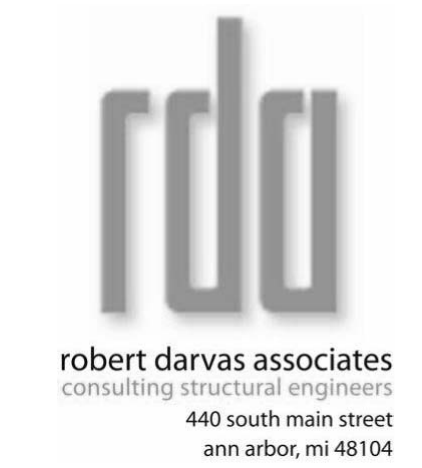
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DWG. NAME
Third Floor Plan

SCALE
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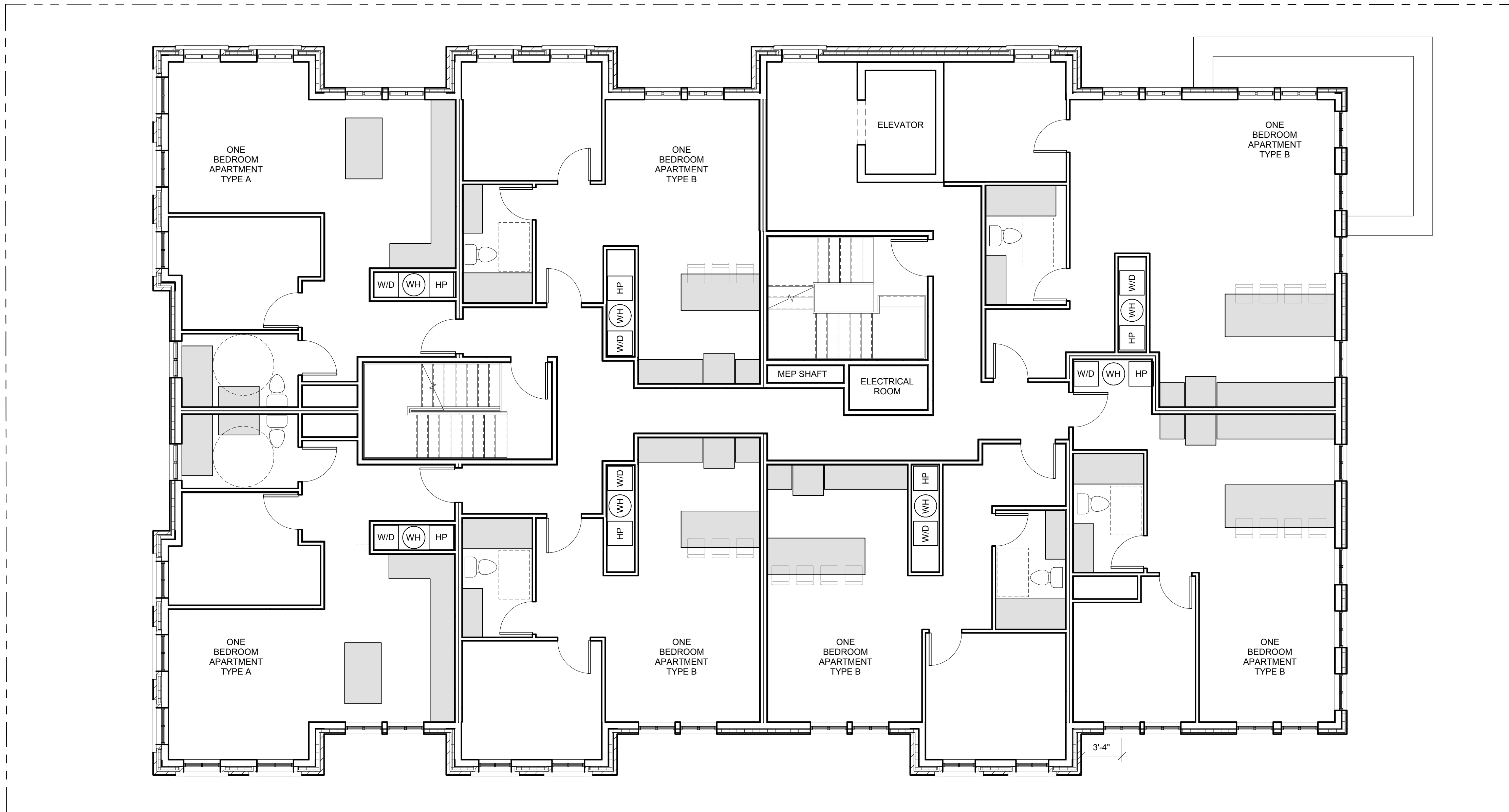
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Fourth Floor Plan

SCALE
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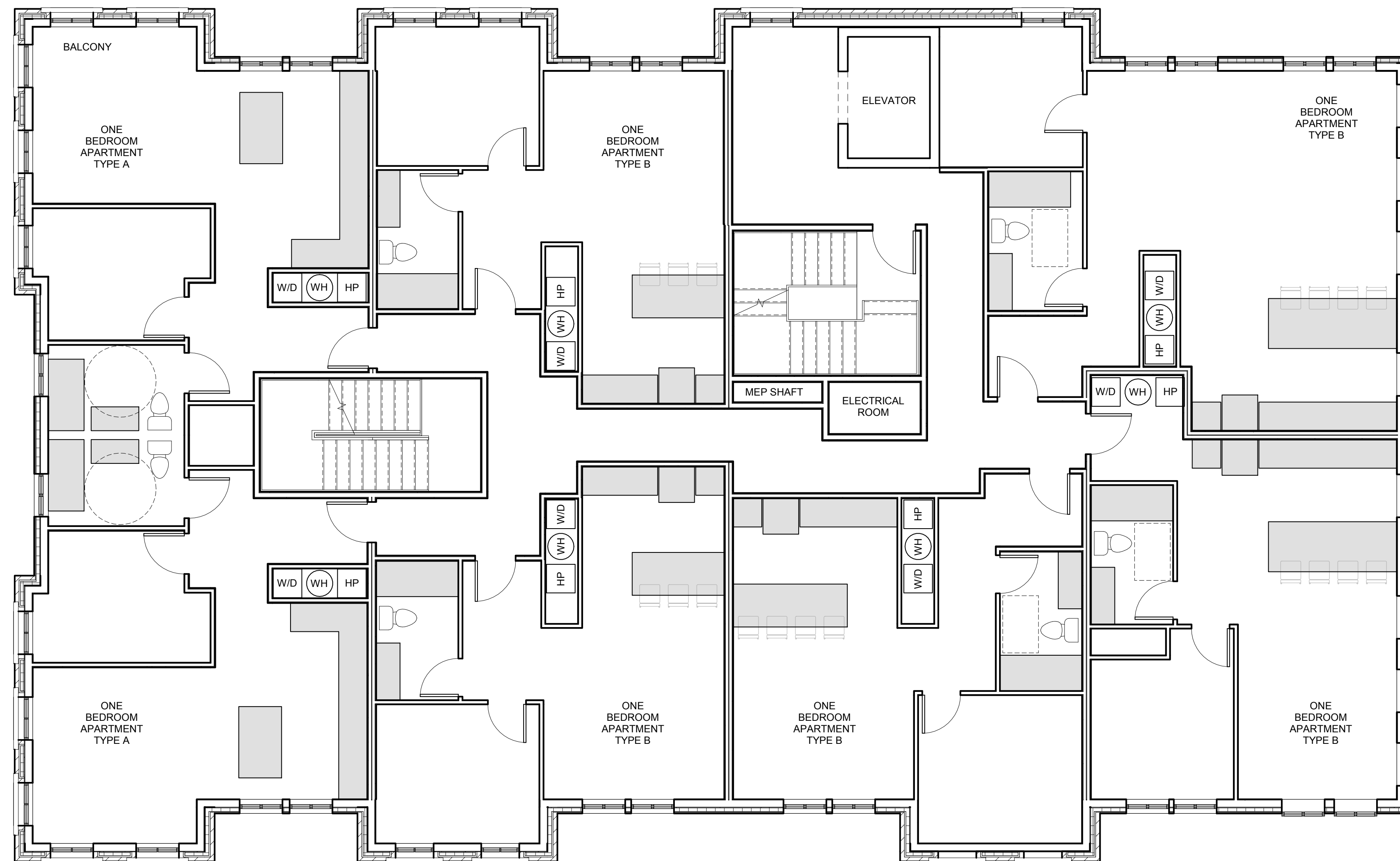
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Fifth Floor Plan

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DWG. NAME
Sixth Floor Plan

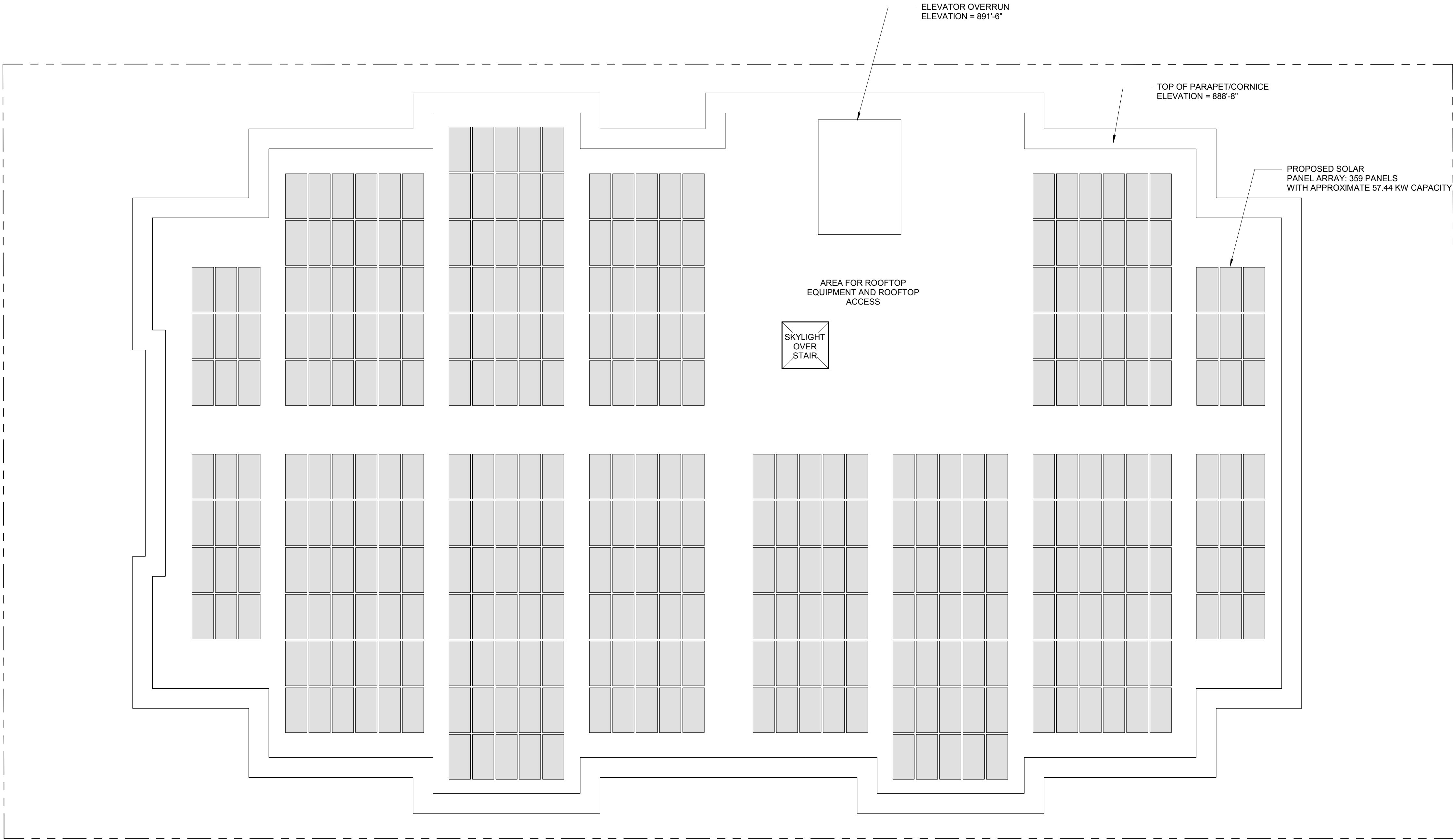
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Roof Plan

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East Elevation

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South Elevation

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West Elevation

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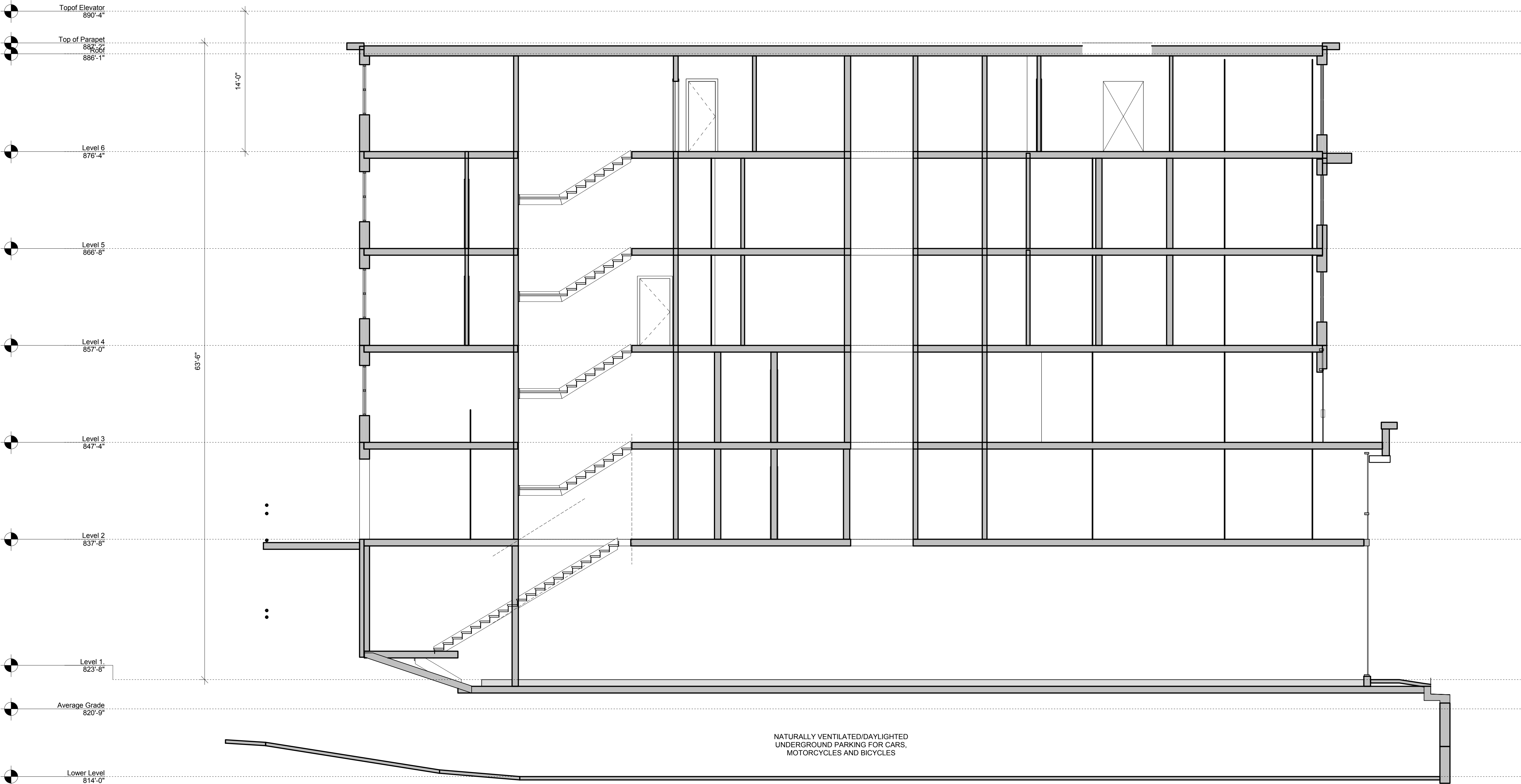
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