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JOB NAME 321 North Main

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321 North Main Ann Arbor, MI 48104

ISSUE DATE AND NAME

JOB. NO. 17321

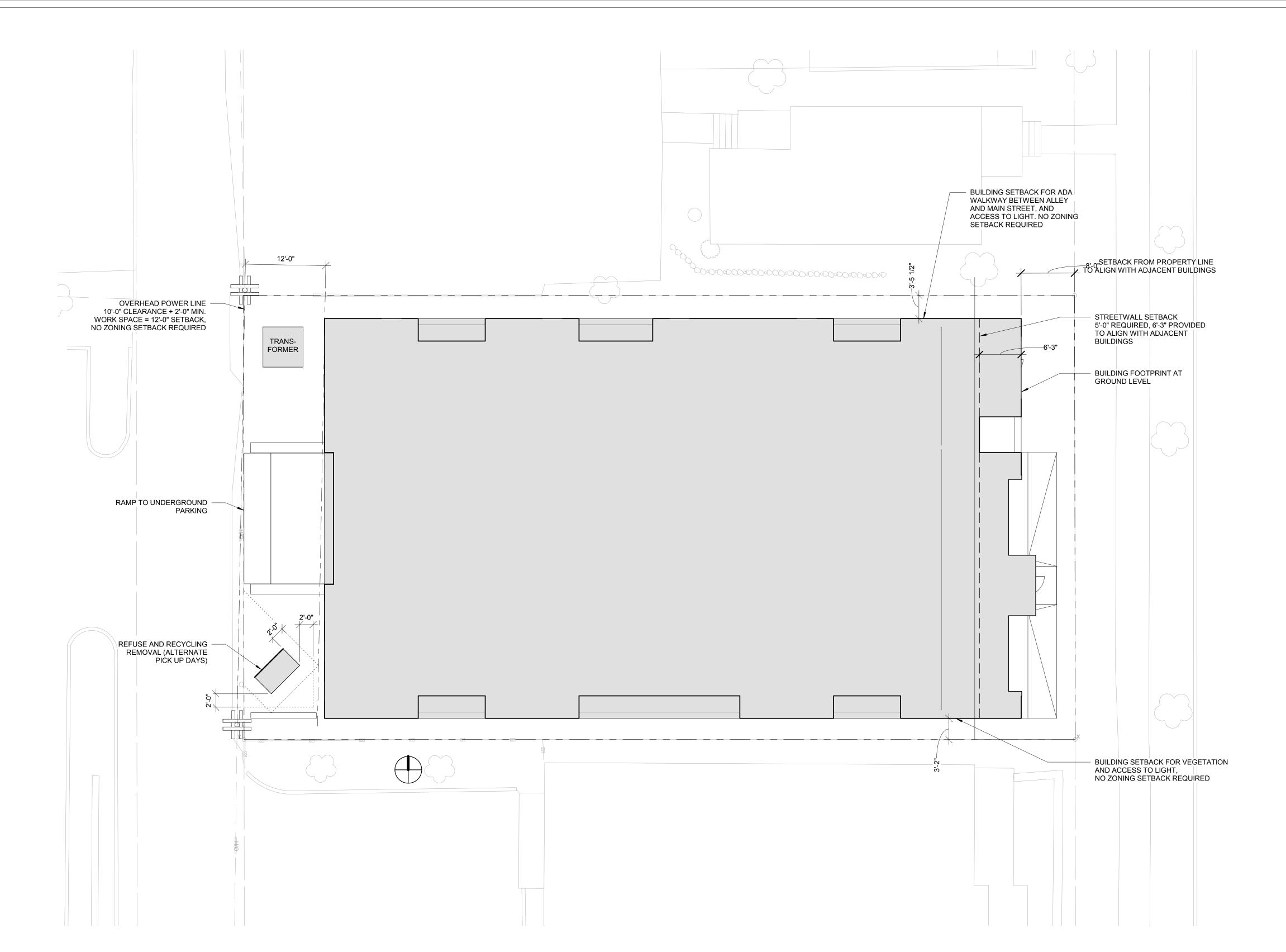
DWG. NAME
Cover Sheet

SCALE

ISSUE DATE 07/15/17

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Site Plan - Building Placement 00-200 Scale: 1/8" = 1'-0"

ZONING

ZONING CLASSIFICATION = D2

CHARACTER OVERLAY DISTRICT = KERRYTOWN

SITE AREA = 8,225 S.F.

BUILDING FOOTPRINT = 6,156 S.F. (74.8%)

OPEN AREA

REQUIRED OPEN AREA (20%) = 1,645 S.F.

OPEN AREA PROVIDED (25.2%) = 2,069 S.F. (424 S.F. ABOVE REQUIRED)

SETBACK REQUIREMENTS

REAR = 0'-0" REQUIRED; 12'-0" PROVIDED

NORTH SIDE SETBACK = 0'-0" REQUIRED, 3'-5 1/2" PROVIDED

SOUTH SIDE SETBACK = 0'-0" REQUIRED, 3'-2" PROVIDED

HEIGHT LIMITS

STREETWALL = 2 STORY MINIMUM, 3 STORY MAXIMUM, BOTH PROVIDED

FRONT SETBACK = 15'-0", SEE 00-201 FOR REQUESTED VARIANCE.

BUILDING HEIGHT = 60'-0", SEE ELEVATION FOR BUILDING HEIGHTS

MASSING ARTICULATION

40'-0" MASSING ARTICULATION REQUIRED ON MAIN STREET, MASSING ARTICULATION PROVIDED ON ALL FACADES.

VARIANCE REQUEST:

DUE TO THE EXISTING POWER LINE AT THE WEST PROPERTY LINE, A 12'-0" SETBACK IS REQUIRED TO CONSTRUCT THE BUILDING. IN ADDITION, PER CITY ZONING A 15'-0" SETBACK IS REQUIRED ALONG THE EAST PROPERTY LINE (MAIN STREET). BUILDING TO THE PROPERTY LINE ON THE NORTH AND THE SOUTH WOULD CREATE A BLANK FAÇADE AND BE INCONSIDERATE TO THE EXISTING BUILDINGS ON EACH SIDE, AS WINDOWS WOULD NOT BE ALLOWED DUE TO FIRE CODE REQUIREMENTS, THEREFORE A SETBACK HAS BEEN PROVIDED ON THE NORTH AND SOUTH PROPERTY LINES AS WELL.

IF THESE SETBACKS ARE ADHERED TO, ALONG WITH A MAXIMUM BUILDING HEIGHT OF 60'-0" AND A STREETWALL SETBACK OF 5'-0", THE BUILDING WOULD HAVE A BUILDING FOOTPRINT OF 5,792 SQUARE FEET (70.4% OF THE PROPERTY), AND ACHIEVE A TOTAL SQUARE FOOTAGE OF 28,360 SQUARE FEET (344% F.A.R.). THESE VALUES ARE SUBSTANTIALLY LESS THAN THE ZONING CODE ALLOWS AND CREATES A PRACTICAL DIFFICULTY IN ACHIEVING THE PROJECT, WHICH AS DESIGNED ACHIEVES MANY GOALS THAT THE CITY HAS EXPRESSED INTEREST IN ACHIEVING THROUGH THE ZONING CODE AND DESIGN GUIDELINES. THOSE INCLUDE ENERGY EFFICIENCY, ENERGY PRODUCTION, SUSTAINABLE DEVELOPMENT, A TRUE MIXED USE BUILDING WITH WORK-FORCE HOUSING, AND AN AESTHETIC THAT PROVIDES AN ACTIVE MAIN STREET WITH VEGETATION AND LANDSCAPING, AMONG OTHERS. THE PROPOSED BUILDING IS SEEKING PLANNED PROJECT VARIANCE FOR THREE CONDITIONS:

1. BUILDING AREA PER 5:10.19

2. BUILDING HEIGHT PER 5:10.20

3. BUILDING SETBACK REQUIREMENT PER 5:10.20 (4)

PER 5:64, THE PROPOSED BUILDING PROVIDES THE FOLLOWING BENEFITS:

1. RESIDENTIAL DEVELOPMENT IN CLOSE PROXIMITY TO THE CITY'S CENTRAL BUSINESS DISTRICT.

EIGHTEEN (18) RESIDENTIAL UNITS ARE BEING PROPOSED; FIFTEEN (15) ONE BEDROOM UNITS AND THREE (3) TWO BEDROOM UNITS TO ACCOMODATE WORK-FORCE HOUSING ADJACENT TO THE CENTRAL BUSINESS DISTRICT. EFFICIENCY AND STUDIO APARTMENTS ARE NOT BEING USED.

2. REINFORCEMENT OF PEDESTRIAN ACTIVITY ALONG STREETS AND A MIXTURE OF LAND USES.

THE MAIN STREET FACADE OF THE BUILDING HAS BEEN DESIGNED FOR MAXIMUM VISIBILITY AND INTEREST, AND THE BUILDING IS PLANNED TO ACCOMODATE, RETAIL, ATHLETIC, OFFICE, RESIDENTIAL AND UNDERGROUND PARKING IN A TRUE MIXED USE BUILDING

3. EXCELLENCE IN URBAN DESIGN THROUGH THE PROVISION OF OPEN SPACE AND LANDSCAPED APPROACHES TO BUILDINGS.

VEGETATION IS INTENDED ALONG THE EAST, SOUTH AND WEST FACADES WITH VERTICAL LANDSCAPING INCORPORATED INTO THE SOUTH, WEST AND EAST (MAIN STREET) FACADE

4. ENERGY EFFICIENCY AND SUSTAINABLE BULIDINGS.

THE PROPOSED BUILDING IS PLANNED TO UTILIZE GEO-THERMAL HEATING AND COOLING, AN EXTENSIVE ROOFTOP SOLAR ARRAY, HIGH R EXTERIOR ENVELOPE WITH MINIMAL THERMAL BREAKS. IN ADDITION, HIGH EFFICIENCY WINDOWS, MECHANICAL, AND LIGHTING PER THE 2030 CHALLENGE. ADDITIONALLY, THE BUILDING WILL EXCLUDE RED LIST MATERIALS IN ITS CONSTRUCTION, AND THE FIRST FLOOR TENANT IS WORKING TOWARD LIVING BUILDING CHALLENGE CERTIFICATION.

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DWG. NAME Zoning - General

SCALE

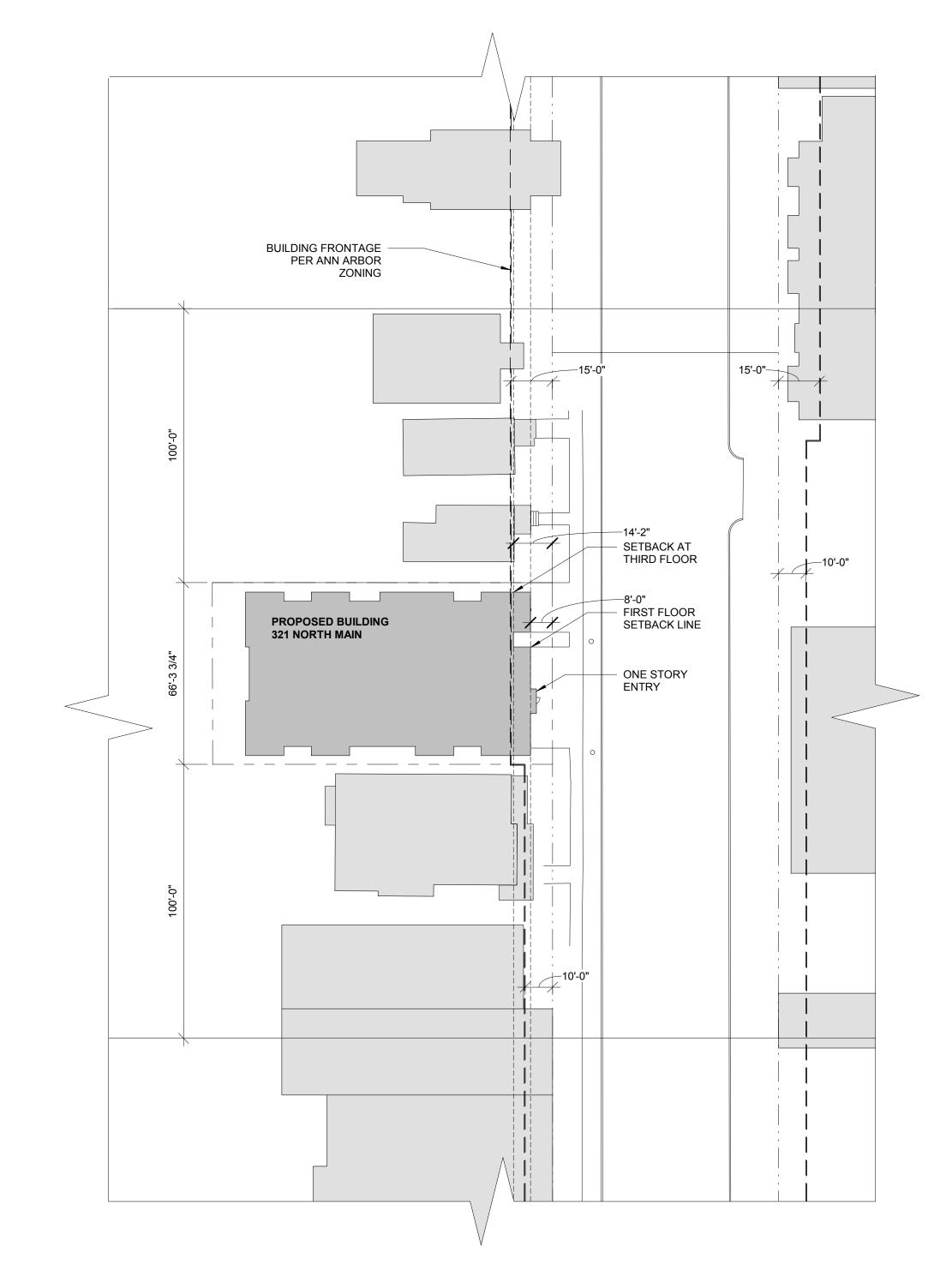
1/8" = 1'-0"

ISSUE DATE 12/10/17

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Building Frontage Standards
Scale: 1" = 30'-0"

00-201

BUILDING FRONTAGE STANDARDS:

PER ANN ARBOR ZONING CODE, TABLE 5:10.20B:

PRIMARY STREET: LOT FRONTAGE WHERE PLACEMENT OF BUILDINGS AT THE FRONT PROPERTY LINE IS DESIRED.

MINIMUM SETBACK = 0.0' MAXIMUM SETBACK = 1.0'

SECONDARY STREET: LOT FRONTAGE WHERE A RANGE OF BUILDING

SETBACKS FROM THE PROPERTY LINE IS ACCEPTABLE.

MINIMUM SETBACK = 0.0' MAXIMUM SETBACK = 10.0'

FRONT YARD STREET: LOT FRONTAGE WHERE A SETBACK FROM THE PROPERTY LINE IS DESIRED.

MINIMUM SETBACK = 15.0' MAXIMUM SETBACK = N.A.

THE PROPERTY IS CLASSIFIED AS A "FRONT YARD STREET", WHICH REQUIRES A SETBACK THAT IS GREATER THAN THE ADJACENT PROPERTIES. THE OWNER IS REQUESTING APPROVAL OF THE FRONT SETBACKS BE ALLOWED BASED ON THE FOLLOWING FACTORS:

1. ANN ARBOR ZONING CODE STATES "THE AVERAGE OF THE ESTABLISHED FRONT SETBACK OF BUILDINGS WITHIN 100 FEET MAY BE USED, IF LESS THAN 15 FEET.THIS PROPERTY QUALIFIES FOR THAT EXCEPTION, AND THE BUILDING SETBACK AND PLACEMENT IS BASED ON THE MIX OF SETBACKS ALONG THE STREET.

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Zoning - Building Setbacks

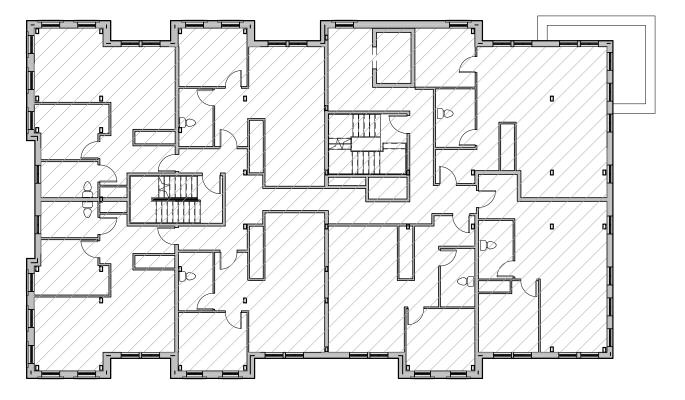
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1" = 30'-0"

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FLOOR AREA CALCULATIONS:

USABLE (GROSS) FLOOR AREA (A.A. ZONING) = 5,476 S.F. BUILDING AREA (M.B.C.) = 5,098 S.F.

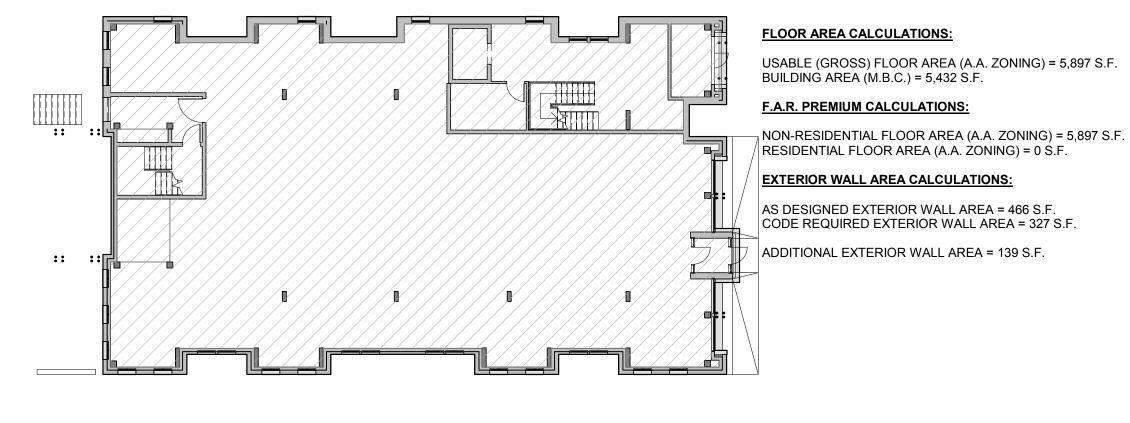
F.A.R. PREMIUM CALCULATIONS:

NON-RESIDENTIAL FLOOR AREA (A.A. ZONING) = 0 S.F. RESIDENTIAL FLOOR AREA (A.A. ZONING) = 5,476 S.F.

EXTERIOR WALL AREA CALCULATIONS:

AS DESIGNED EXTERIOR WALL AREA = 379 S.F. CODE REQUIRED EXTERIOR WALL AREA = 257 S.F.

ADDITIONAL EXTERIOR WALL AREA = 122 S.F.



First Floor - Floor Areas Scale: 1/16" = 1'-0"

Fourth Floor - Floor Areas

Fifth Floor - Floor Areas

Sixth Floor - Floor Areas

Scale: 1/16" = 1'-0"

Scale: 1/16" = 1'-0"

Scale: 1/16" = 1'-0"

00-202

00-202

00-202

FLOOR AREA CALCULATIONS:

USABLE (GROSS) FLOOR AREA (A.A. ZONING) = 5,476 S.F. BUILDING AREA (M.B.C.) = 5,098 S.F.

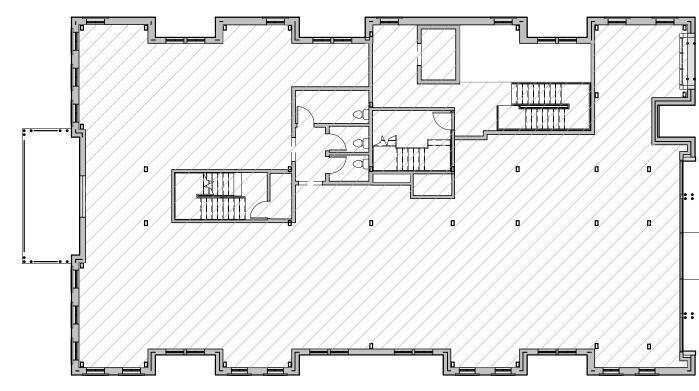
F.A.R. PREMIUM CALCULATIONS:

NON-RESIDENTIAL FLOOR AREA (A.A. ZONING) = 0 S.F. RESIDENTIAL FLOOR AREA (A.A. ZONING) = 5,476 S.F.

EXTERIOR WALL AREA CALCULATIONS:

AS DESIGNED EXTERIOR WALL AREA = 379 S.F. CODE REQUIRED EXTERIOR WALL AREA = 257 S.F.

ADDITIONAL EXTERIOR WALL AREA = 122 S.F.



FLOOR AREA CALCULATIONS:

USABLE (GROSS) FLOOR AREA (A.A. ZONING) = 5,829 S.F. BUILDING AREA (M.B.C.) = 5,225 S.F.

F.A.R. PREMIUM CALCULATIONS:

FLOOR AREA CALCULATIONS:

BUILDING AREA (M.B.C.) = 5,200 S.F.

EXTERIOR WALL AREA CALCULATIONS:

F.A.R. PREMIUM CALCULATIONS:

USABLE (GROSS) FLOOR AREA (A.A. ZONING) = 5,608 S.F.

NON-RESIDENTIAL FLOOR AREA (A.A. ZONING) = x,xxx S.F.

RESIDENTIAL FLOOR AREA (A.A. ZONING) = 0 S.F.

AS DESIGNED EXTERIOR WALL AREA = 408 S.F.

ADDITIONAL EXTERIOR WALL AREA = 129 S.F.

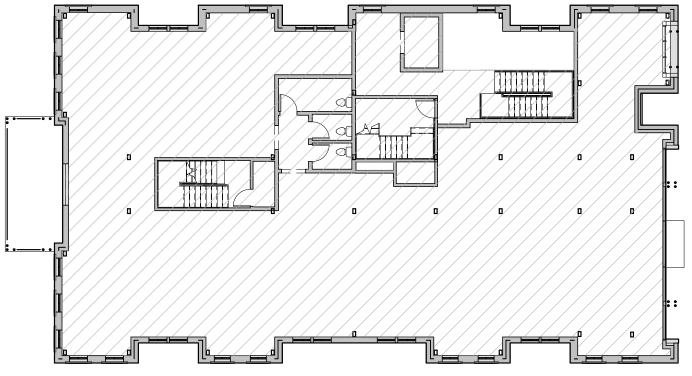
CODE REQUIRED EXTERIOR WALL AREA = 279 S.F.

NON-RESIDENTIAL FLOOR AREA (A.A. ZONING) = 5,829 S.F. RESIDENTIAL FLOOR AREA (A.A. ZONING) = 0 S.F.

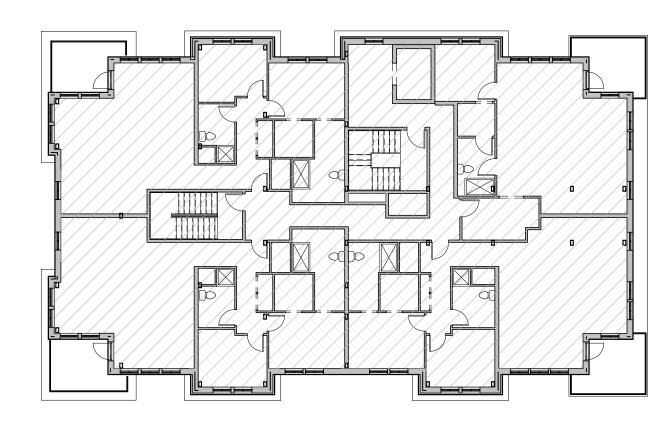
EXTERIOR WALL AREA CALCULATIONS:

AS DESIGNED EXTERIOR WALL AREA = 426 S.F. CODE REQUIRED EXTERIOR WALL AREA = 290 S.F.

ADDITIONAL EXTERIOR WALL AREA = 136 S.F.



Second Floor - Floor Areas Scale: 1/16" = 1'-0"



FLOOR AREA CALCULATIONS:

USABLE (GROSS) FLOOR AREA (A.A. ZONING) = 5,170 S.F. BUILDING AREA (M.B.C.) = 4,815 S.F.

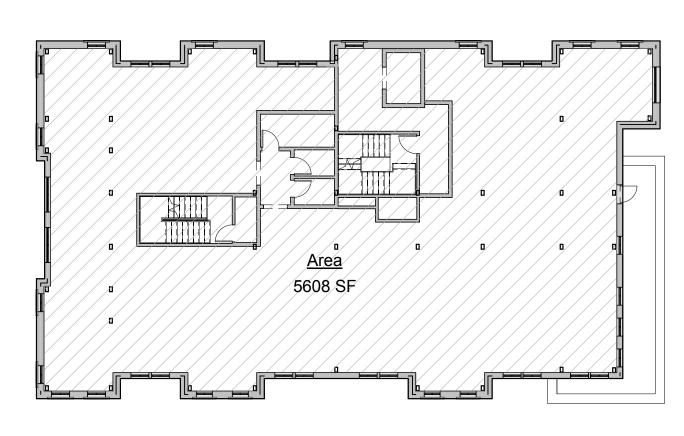
F.A.R. PREMIUM CALCULATIONS:

NON-RESIDENTIAL FLOOR AREA (A.A. ZONING) = 0 S.F. RESIDENTIAL FLOOR AREA (A.A. ZONING) = 5,170 S.F.

EXTERIOR WALL AREA CALCULATIONS:

AS DESIGNED EXTERIOR WALL AREA = 340 S.F. CODE REQUIRED EXTERIOR WALL AREA = 223 S.F.

ADDITIONAL EXTERIOR WALL AREA = 177 S.F.



Third Floor Floor Areas 00-202 Scale: 1/16" = 1'-0"

FLOOR AREA RATIO CALCULATIONS:

SITE AREA = 8,225 S.F.

200% F.A.R. = 16,450 S.F. (BY RIGHT)

RESIDENTIAL PREMIUM = 0.75 x RESIDENTIAL AREA (16,122) = 12,092 S.F.

LEED SILVER PREMIUM = 50% OF SITE AREA = 4,113 S.F.

TOTAL PREMIUM AREA = 16,205 S.F.

ALLOWABLE FLOOR AREA AS PROPOSED = 32,655 S.F.

400% F.A.R. = 32,900

F.A.R. PROPOSED: 33,456 S.F. (407% F.A.R.)

THE BUILDING USABLE FLOOR AREA THAT IS BEING PROPOSED IS 33,456 SQUARE FEET, WHICH RESULTS IN A USABLE FLOOR AREA THAT IS 801 SQUARE FEET OVER THE ALLOWABLE FLOOR AREA, OR 556 SQUARE FEET OVER A 400% FAR.

OWNER IS REQUESTING THE ADDITIONAL FLOOR AREA BE ALLOWED BASED ON THE

1. THE BUILDING SIZE HAS BEEN REDUCED AS MUCH AS POSSIBLE TO ACCOMODATE FRONT SETBACK REQUIREMENTS, REAR SETBACKS REQUIRED DUE TO OVERHEAD POWER LINES, AND SIDE SETBACKS PROVIDED PER DESIGN GUIDELINE RECOMMEDNATIONS, WHILE STILL ALLOWING FOR REASONABLE ROOM SIZES THAT MEET BUILDING CODE AND ADA REQUIREMENTS ON THE RESIDENTIAL FLOORS. FURTHER REDUCTION IN SIZE OF THE BUILDING WOULD RESULT IN LOSS OF RESIDENTIAL UNITS. A REDUCTION OF TYPE A UNITS PROVIDED, OR CHANGING ONE BEDROOM UNITS TO EFFICIENCY OR STUDIO UNITS.

2. IN ORDER TO PROVIDE AN ENERGY EFFICIENT EXTERIOR ENVELOPE, THE EXTERIOR WALL THICKNESS IS GREATER THAN REQUIRED TO ACHIEVE MINIMUM CODE STANDARDS OR LEED SILVER REQUIREMENTS. THE EXTERIOR WALL AS DESIGNED USES 6" METAL STUDS, RATHER THAN 3 5/8" METAL STUDS, AND IS USING 3" OF RIGID INSULATION AROUND THE PERIMETER, RATHER THAN 2". THE ADDITIONAL WALL THICKNESS THROUGHOUT THE EXTERIOR IS 3 3/8" THICK. PROVIDING AN ADDITIONAL R-15 OF INSULATION. THE TOTAL AREA OF EXTERIOR WALL AS DESIGNED IS 2,398 SQUARE FEET. ALTERNATIVELY, A WALL THAT IS THINNER THAT STILL ACHIEVES CODE MINIMUM AND LEED SILVER REQUIREMENTS WOULD ONLY OCCUPY A TOTAL AREA OF 1,633 SQUARE FEET, RESULTING IN A DIFFERENCE OF 765 SQUARE FEET.

THE BUILDING COULD BE REDUCED IN SIZE TO MEET ZONING REQUIRMENTS BY REDUCING THE EXTERIOR WALL THICKNESS, HOWEVER, THE OWNER IS REQUESTING APPROVAL OF THE ADDITIONAL NOMINAL FLOOR AREA SUCH THAT A MORE ENERGY EFFICIENT BUILDING CAN BE PROVIDED ALONG WITH WORK-FORCE HOUSING AND A MIXED USE PROGRAM.

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DWG. NAME Zoning - FAR

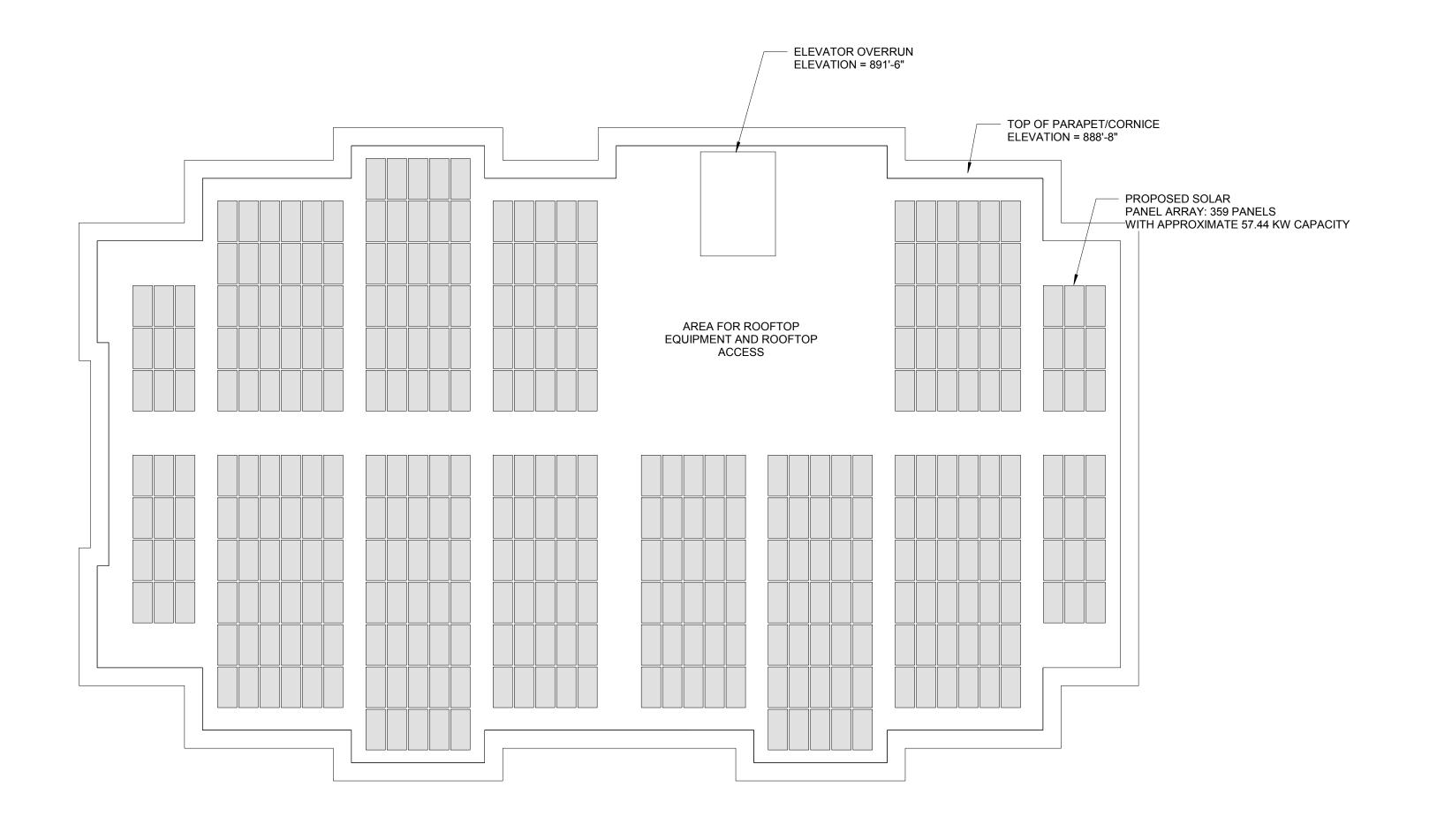
SCALE

1/16" = 1'-0" ISSUE DATE

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11/21/17

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Roof - P.V. Diagram

Scale: 1/8" = 1'-0"

00-203

BUILDING HEIGHT:

PER THE ZONING CODE, A MAXIMUM BUILDING HEIGHT OF 60'-0" IS ALLOWED FROM AVERAGE GRADE. THE SITE SLOPES APPROXIMATELY 5'-10" DOWN FROM THE EAST (MAIN STREET) TO THE WEST, CREATING AN AVERAGE GRADE THAT IS 2'-11" BELOW MAIN STREET. BECAUSE OF THE SETBACKS PROVIDED, THE AMOUNT OF BUILDABLE AREA IS REDUCED, TO COMPENSATE FOR THIS, AN ADDITIONAL FLOOR IS PROPOSED TO MAXIMIZE THE SQUARE FOOTAGE ON SITE. TO ACHIEVE THIS ADDITIONAL FLOOR, THE HEIGHT OF THE BUILDING EXCEEDS THE 60'-0" MAXIMUM.

THE OWNER IS REQUESTING THE ADDITIONAL HEIGHT BE ALLOWED BASED ON THE FOLLOWING:

1. THE BUILDING DESIGN INTENDS TO INCORPORATE GEOTHERMAL WELLS TO THE EXTENT POSSIBLE ON THE SITE TO PROVIDE HEATING AND COOLING TO THE BUILDING AS PART OF THE SUSTAINABLE ENERGY PLAN FOR THE BUILDING. BASED ON PRELIMINARY CALCULATIONS, 23 TO 25 WELLS WILL BE NECESSARY.

2. THE BUILDING DESIGN INTENDS TO UTLIZE THE ROOFTOP TO THE GREATEST EXTENT POSSIBLE FOR A PHOTOVOLTAIC SOLAR ARRAY. BASED ON PRELIMINARY CALCULATIONS A 57.44 KILOWAT SYSTEM IS ACHIEVABLE.

3. AS DESCRIBED EARLIER, THE BUILDING IS SET BACK FROM THE NEIGHBORING PROPERTIES AND STEPPED TO ALLOW ACCESS TO LIGHT IN ADDITION TO THIS BUILDING. ADDITIONAL SETBACKS ARE PROVIDED AT THE UPPER LEVEL BALCONIES.

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Zoning - Height

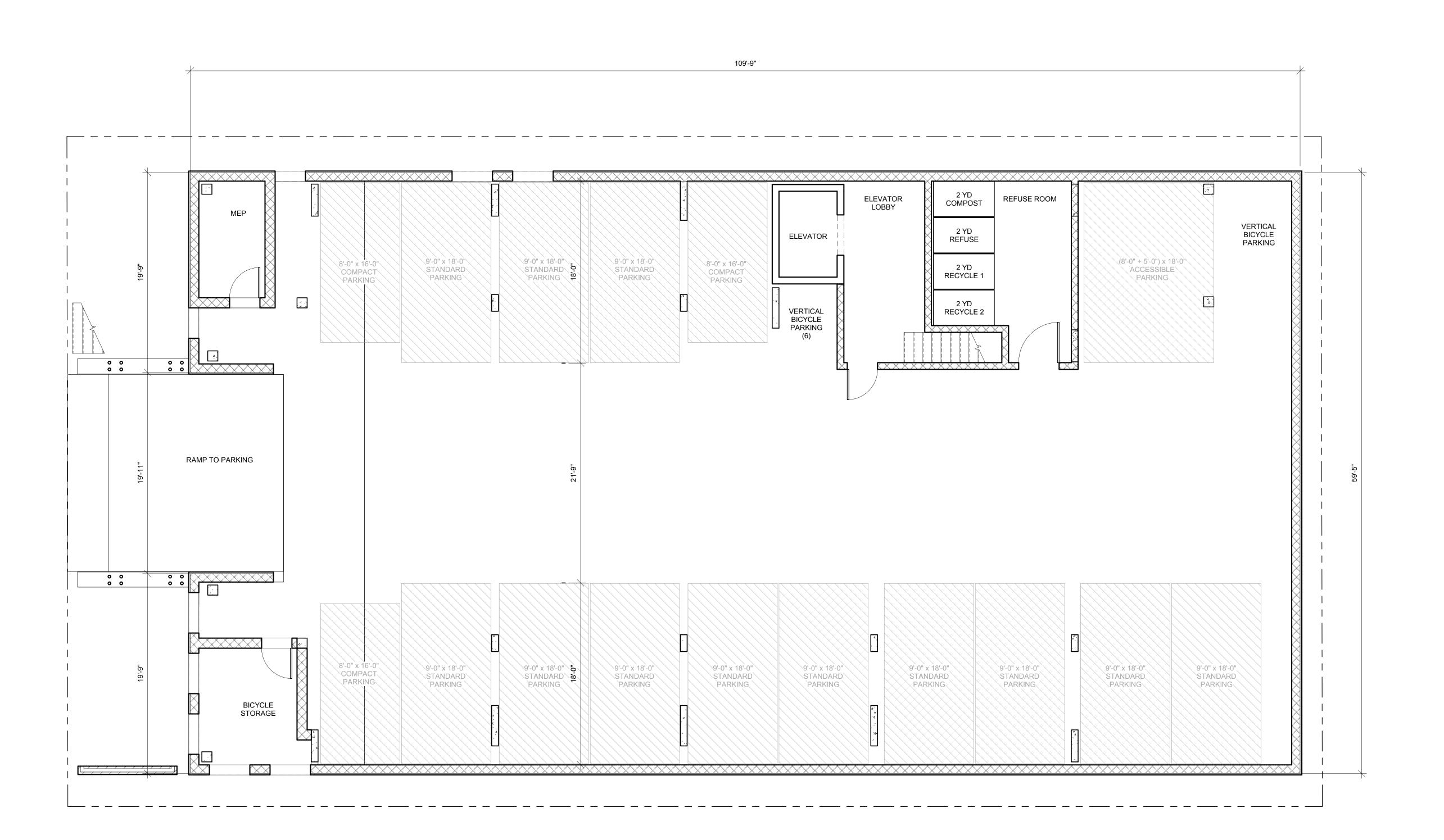
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Lower Level Plan

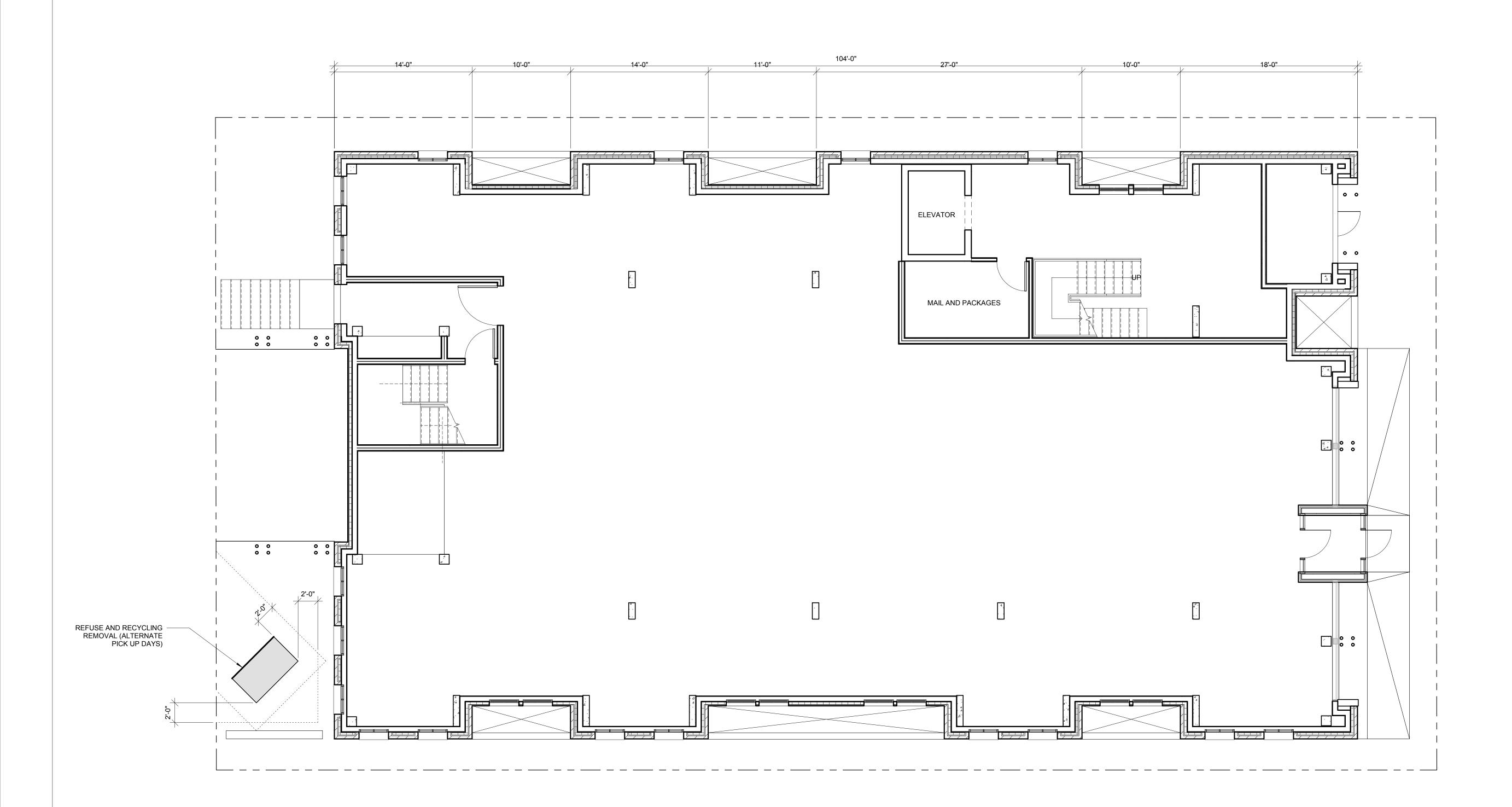
SCALE

3/16" = 1'-0"

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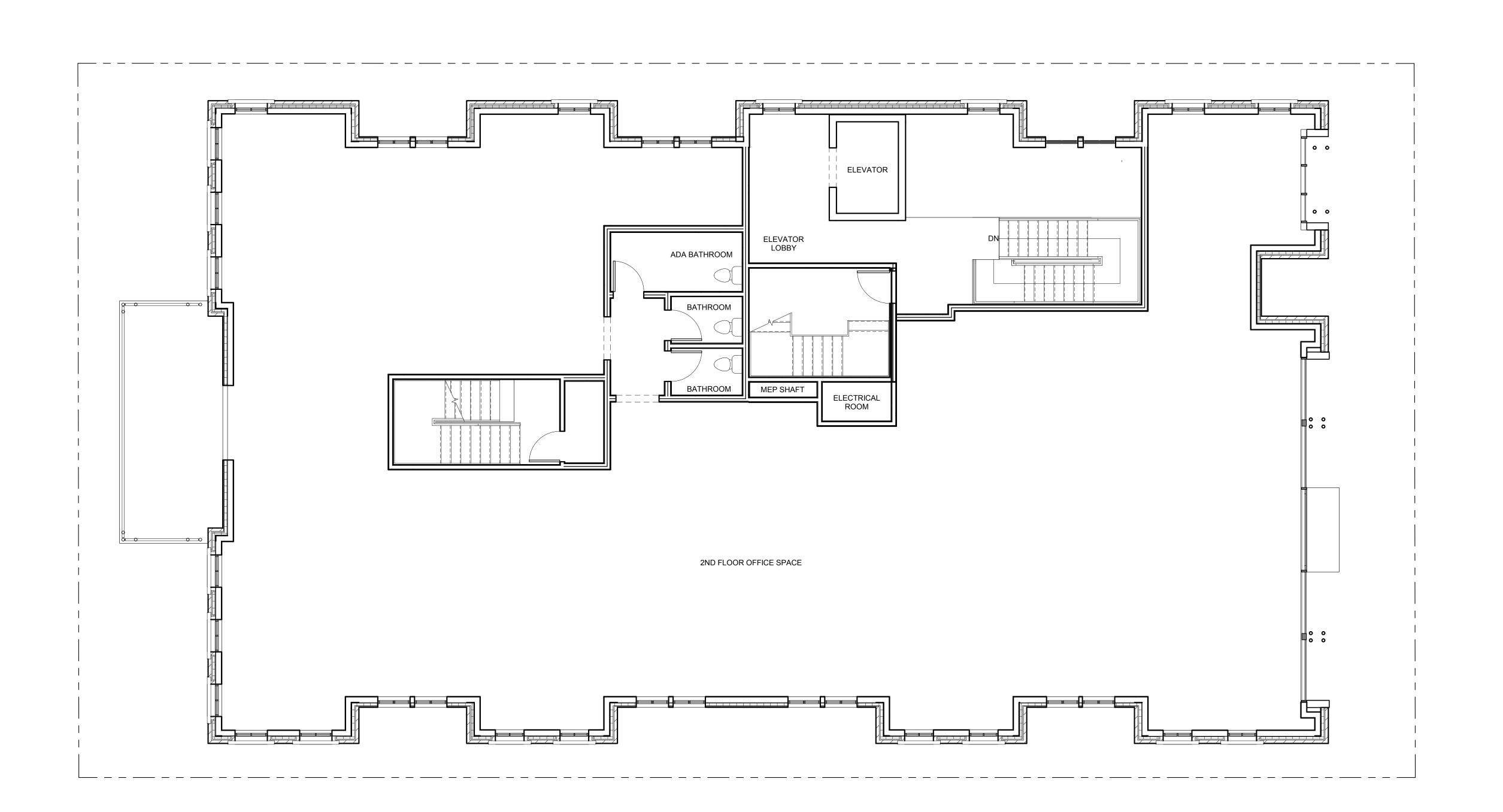
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Second Floor Plan

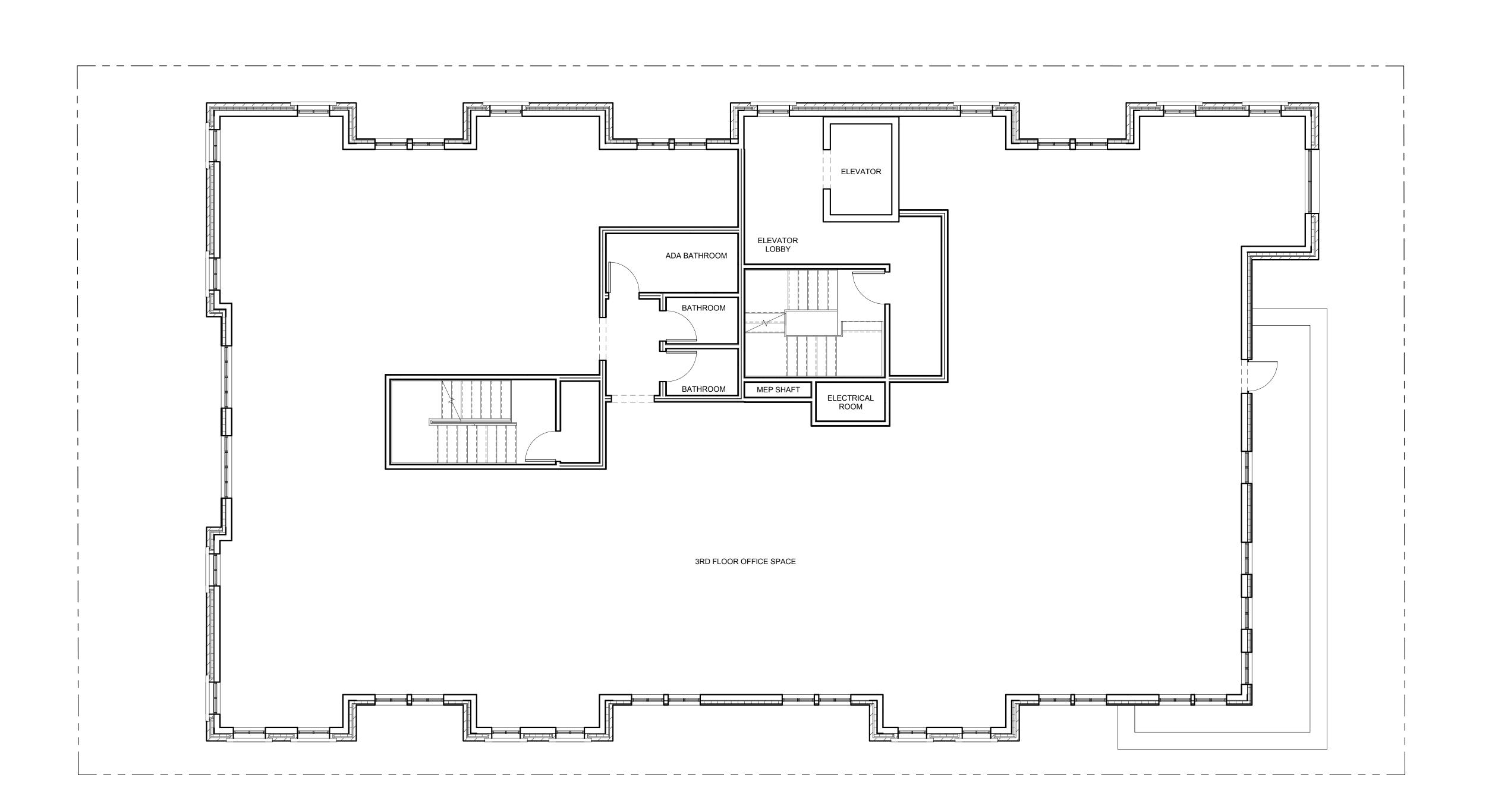
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Third Floor Plan

SCALE

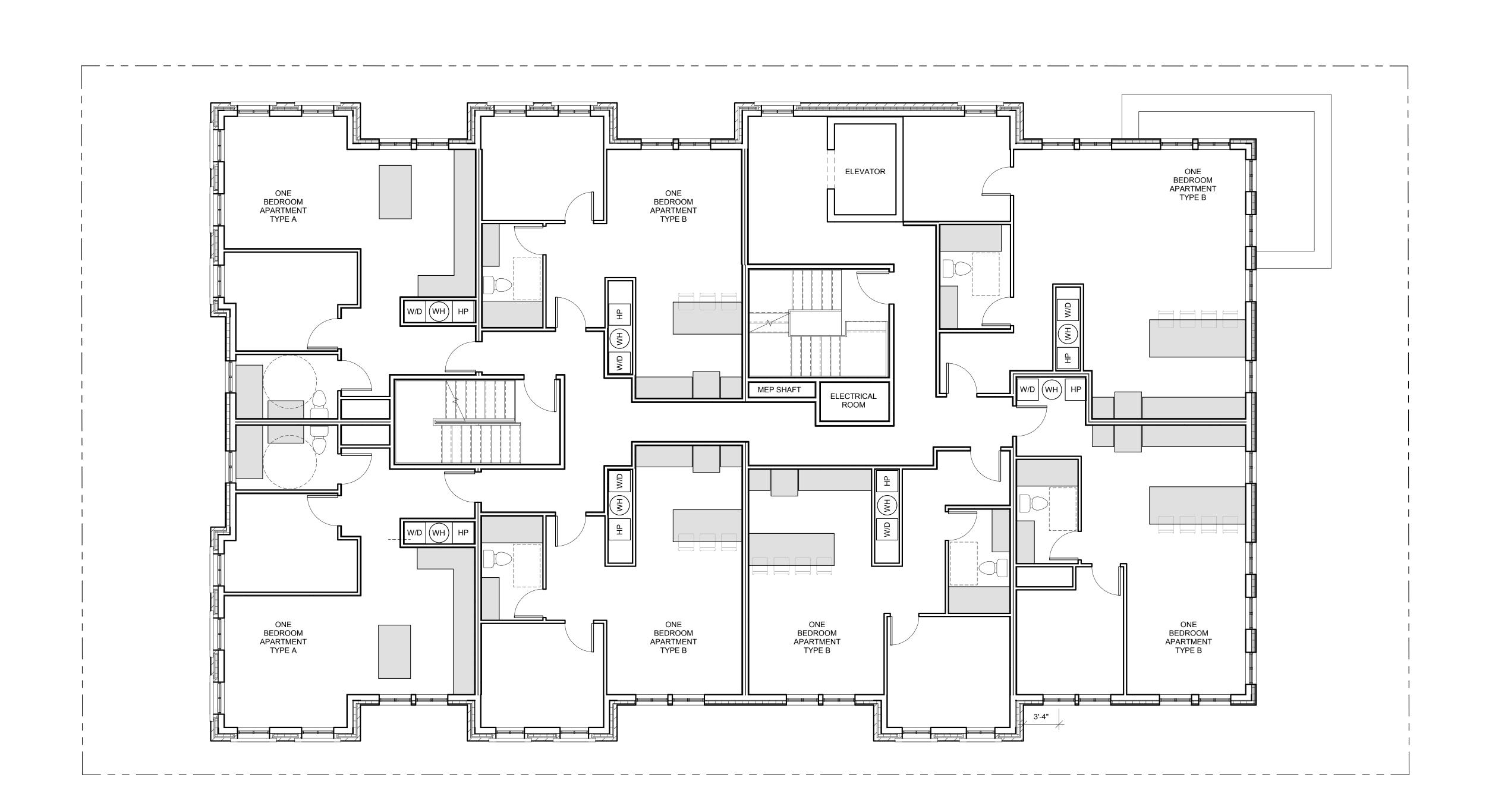
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Fourth Floor Plan

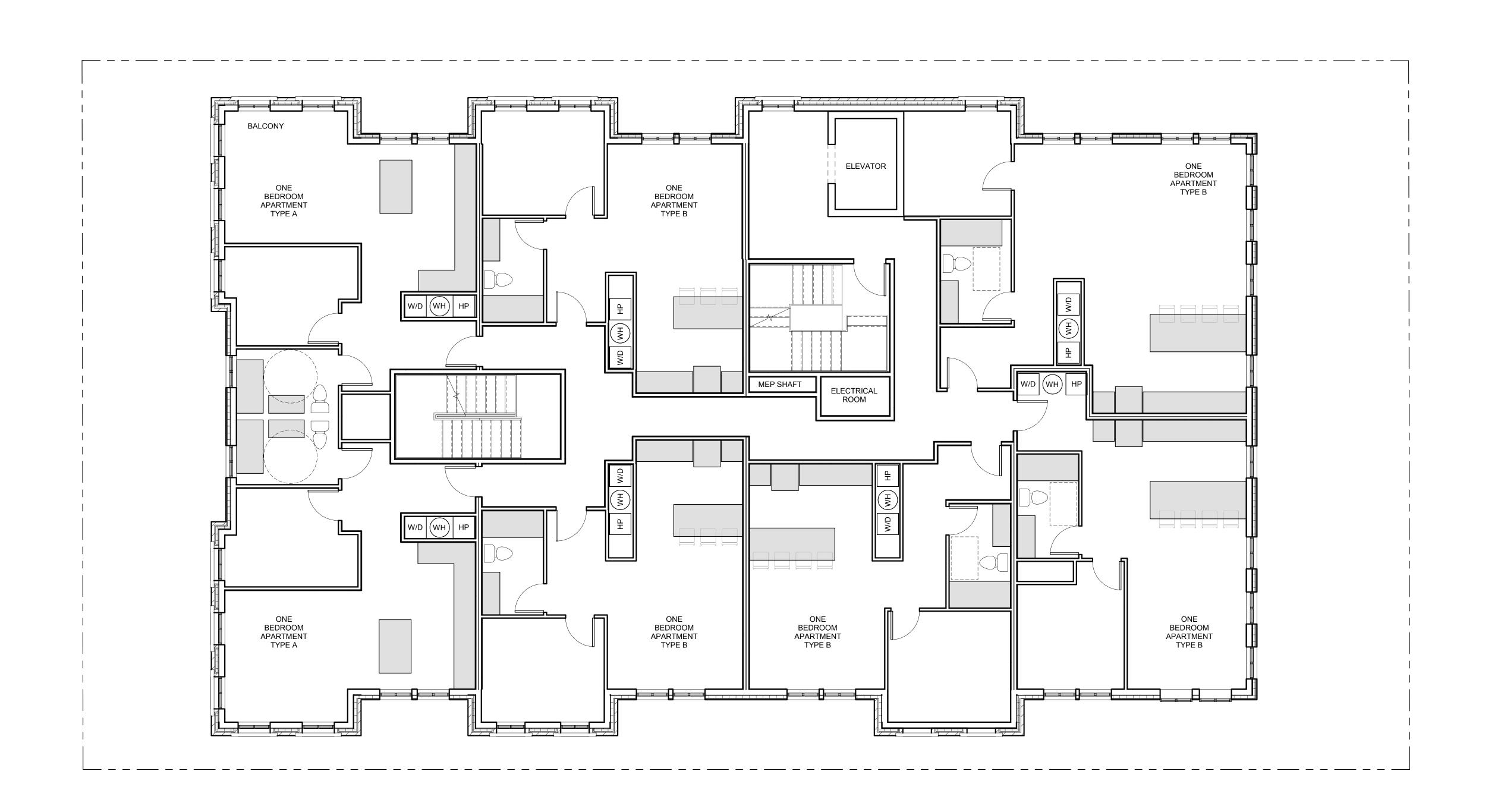
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DWG. NAME
Fifth Floor Plan

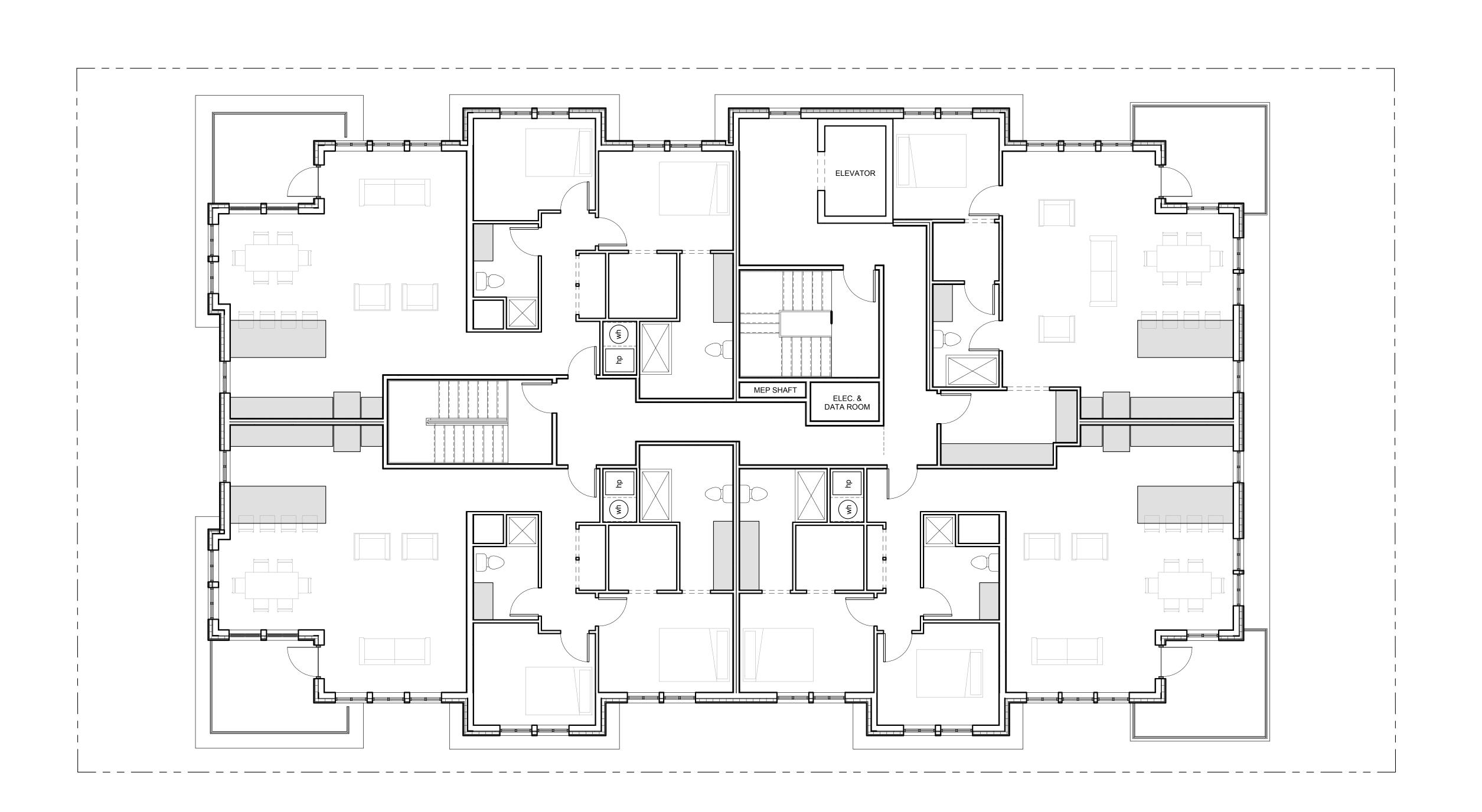
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Sixth Floor Plan

SCALE

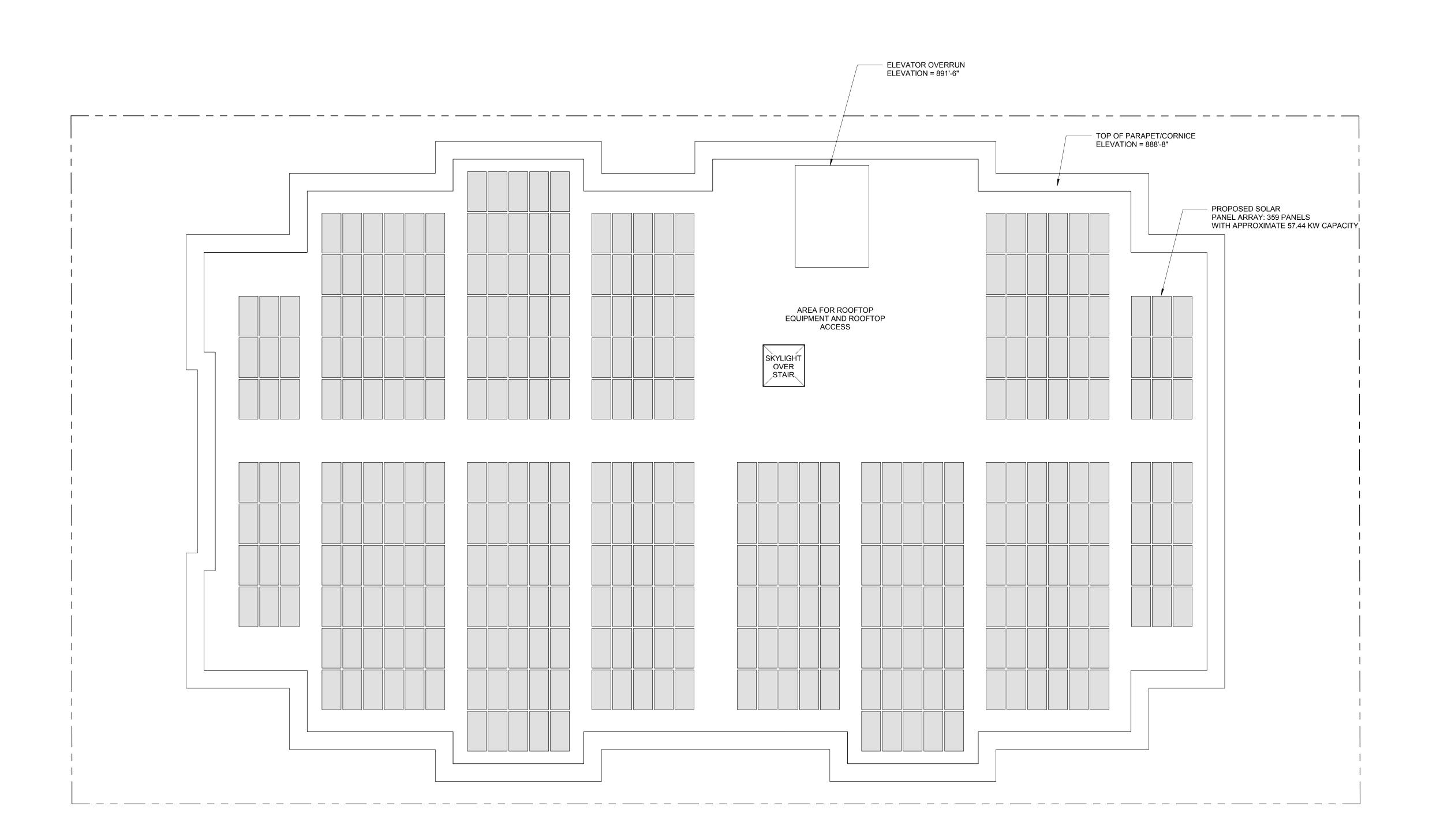
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JOB. NO. 17321

DWG. NAME Roof Plan

SCALE

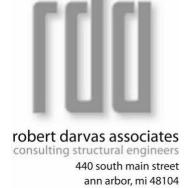
3/16" = 1'-0"

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JOB NAME

321 North Main

ADDRESS

321 North Main Ann Arbor, MI 48104

ISSUE DATE AND NAME

JOB. NO. 17321

DWG. NAME
East Elevation

SCALE

3/16" = 1'-0"

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robert darvas associates consulting structural engineers 440 south main street ann arbor, mi 48104

JOB NAME

321 North Main

ADDRESS

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South Elevation

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JOB NAME 321 North Main

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West Elevation

SCALE

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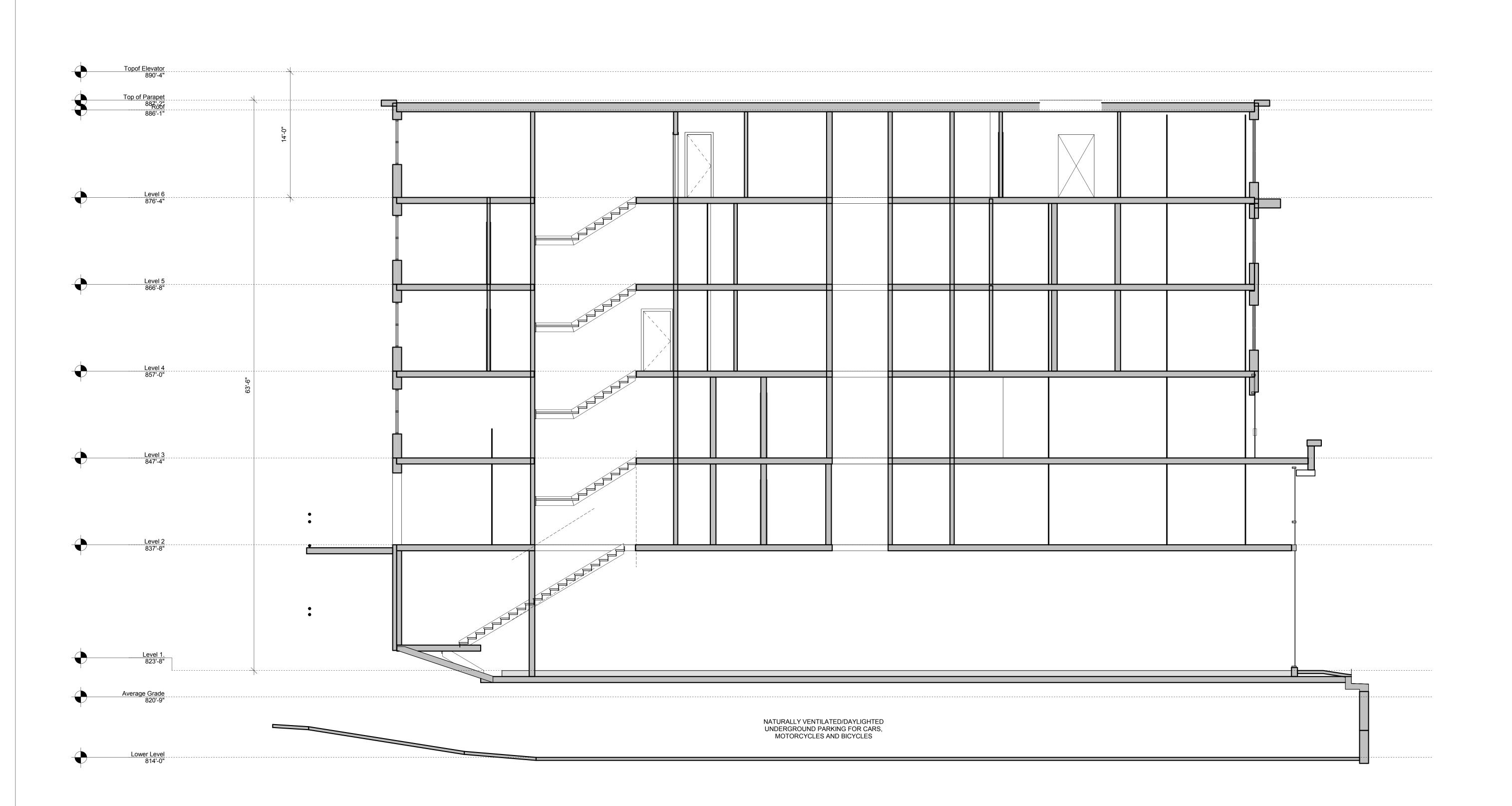
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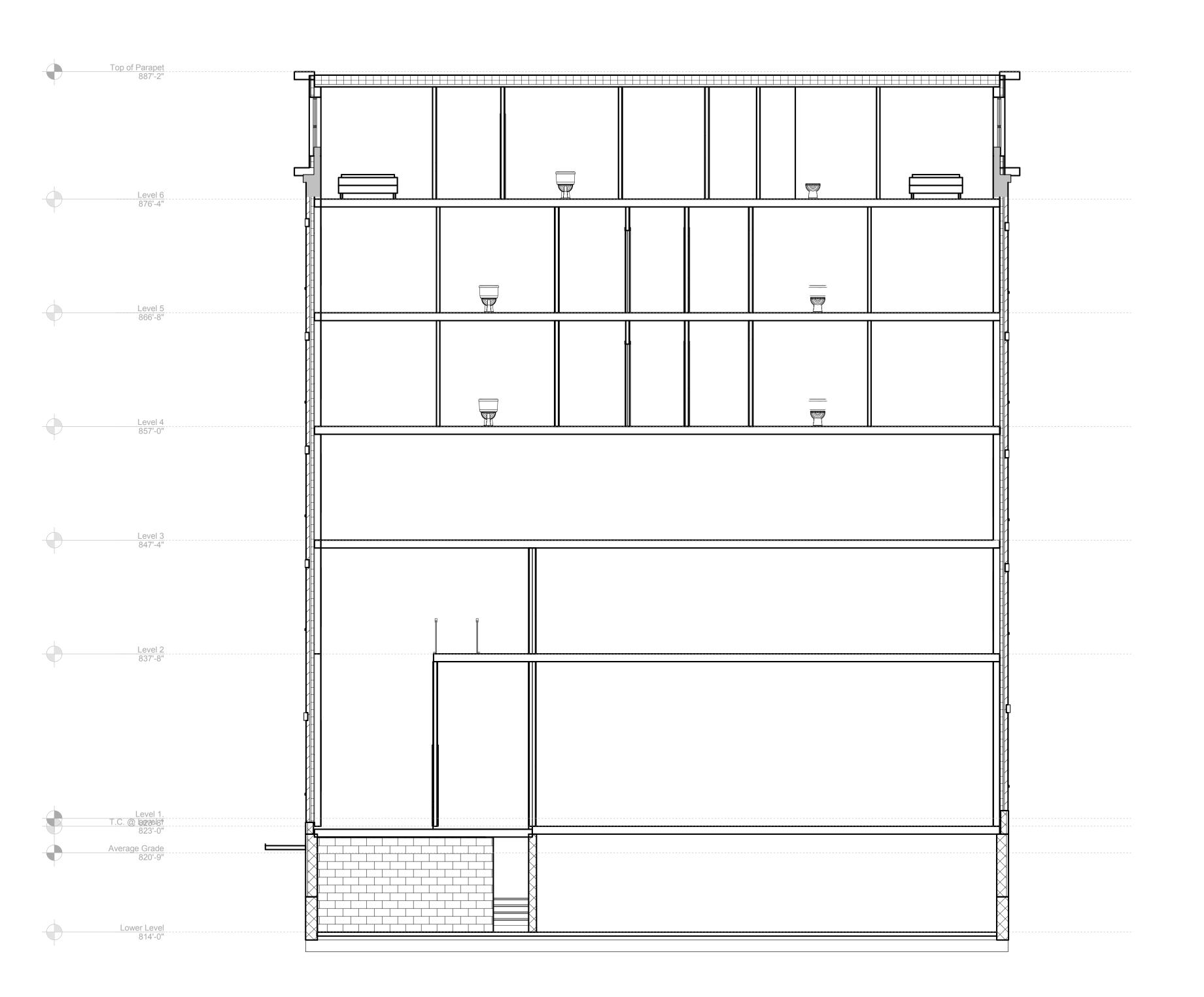
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