

**Zoning Board of Appeals
May 24, 2017 Regular Meeting**

STAFF REPORT

Subject: ZBA17-015, 1420 E. Stadium Boulevard

Summary: Quatro Construction is requesting:

A variance from Chapter 55 (Zoning) of 21.87 feet from the required rear setback of 30 feet for a rear setback of 8.13 feet;

A variance from Chapter 47 (Streets) of 5 feet is requested to allow driveway widths of 35 feet (Maximum 30 feet) for two driveways on the site.

A variance from Chapter 62 (Landscape and Screening) to reduce a portion of the Conflicting Land Use Buffer to a minimum of 8 feet.

Description and Discussion:

The site is located on the southwest corner of East Stadium Boulevard and Packard Road.

The petitioner seeks to demolish the existing 2,360 square foot gas station/convenience store building and construct a new 4,000 square foot, single-story gas station and convenience store with four gasoline dispensing pumps capable of servicing 8 cars. The gasoline pumps will be covered by a 24 foot by 95 foot building canopy. There will be 14 vehicle parking spaces provided for the convenience store, plus an additional 8 spaces for vehicles at the gas pumps. A total of 2 Class C bicycle spaces (1 bicycle hoop) will be located along the northeast side of the building and adjacent to the sidewalk leading to Packard. There are currently 4 curb cuts leading to the site, two curb cuts will be removed as a result of this project.

The site currently has two zoning designations P (Parking) and C3 (Fringe Commercial). The western approximately one third of the site is zoned P. Due to deed restrictions, this area cannot contain a structure of any type and must remain parking. As a result, the building and gas canopy must be constructed on the remaining eastern two thirds of the site which is zoned C3; no rezoning is required.

The site plan requires that several variances be granted from the Zoning Board of Appeals (ZBA). The first variance is for the driveway widths to East Stadium and Packard Road. The drives are designed five feet wider than the maximum required width in order to allow for solid waste and gasoline tanker trucks to enter the site safely and most efficiently.

A variance of 7 feet from the 15-foot wide Conflicting Land Use Buffer (CLUB) is also required along the south property line. A corner of the proposed building does encroach into the CLUB a maximum of eight feet for a total encroachment of 141 square feet. The encroachment is a triangle shape that decreases from a maximum encroachment of seven feet to zero feet, which provides the required 15 foot buffer.

A variance for the rear setback is also required. The petitioner has worked on several different designs for this site while working with staff and the neighborhood in order to minimize neighborhood impact and allow for safe and efficient vehicular and pedestrian traffic to the site. In February of 2017 the petitioner held a neighborhood meeting to discuss plan options for the site. The majority of neighborhood residents supported the current plan being considered including all required variances. Due to the unique constraints of the deed restriction for the western third of the site, neighborhood concerns, vehicle circulation, the petitioner feels the proposed location is the best to minimize impacts to the neighborhood and light pollution from the gas pump canopy.

Standards for Approval - Chapter 47 (Streets) Variance -

The Zoning Board of Appeals has all the power granted by State law and by Section 5:99, Application of the Variance Power, from the City of Ann Arbor Zoning Ordinance and Chapter 47 (Streets), Section 4:20(9). The following criteria shall apply:

The Zoning Board of Appeals shall have the authority to interpret this Chapter and may, in specific cases involving practical difficulty or unnecessary hardship, grant variances or exceptions from the requirements of this Chapter providing such a variance or exception is in harmony with the general purpose and intent of this Chapter.

All of the variances requested will be in harmony with the general purpose and intent of Chapter 47 because they will allow for safer access to and from the site. The modifications proposed will assist delivery vehicles as well as large emergency vehicles navigate the site efficiently and minimize potential conflicts with passenger vehicles.

The proposed drive configuration will eliminate two of the existing four curb cuts. The two new curb cuts are relocated farther from the intersection of Stadium and Packard. The proposed curb cuts will result in increased safety for the customers and pedestrians at both locations. Given the existing layout of the site and surrounding land uses, all of the requested variances are reasonable.

The City's Traffic Engineer has reviewed and supports the variance requests as proposed.

Standards for Approval - Chapter 62 (Landscape and Screening) Variance

The Zoning Board of Appeals has all the power granted by State law and by Section 5:99, Application of the Variance Power, from the City of Ann Arbor Zoning Ordinance and Chapter 62, Section 5:609. The following criteria shall apply:

Upon an appeal filed to the zoning board of appeals in accordance with the procedures of Chapter 55, a variance may be granted from the strict application of the provisions of this chapter in cases involving practical difficulties or hardships when the evidence supports that the public benefit intended to be secured by this chapter will exist with less than the required landscaping or screening.

As previously mentioned, the petitioner is proposing to construct a 4,000 square foot gas station and convenience store on a C3(Fringe Commercial) zone site. The adjacent properties are all zoned R1C, which requires a 15 foot wide conflicting land use buffer along the side(west) and the rear(south) of the parcel. The conflicting land use buffer width is met on the west (side) of the site. However, a variance is requested from Conflicting Land Use Buffer (CLUB) width requirements for the south (rear) property line buffer.

The variance for the south buffer is requested in order to reduce the required 15 foot width down to a minimum of 8 feet for a section along the north property line. The encroachment is a triangle shape that decreases from a maximum encroachment of eight feet to zero feet, which provides the required 15 foot buffer. The total encroachment into the CLUB is 141 square feet. This encroachment is offset by an additional buffer area totaling 143 square feet adjacent. City Code does allow this offset encroachment, but only for existing buildings. Since the building is new, a variance from the CLUB standard is required.

The remaining buffer areas will meet all code requirements. All required landscaping will be installed in the buffer area; variance is only for a section of the width. Although not required, the petitioner will construct a new 8 foot high fence along the south and western property lines for additional screening to the adjacent neighborhoods. Staff has received numerous letters of support from the neighborhood for the variance request and feels that the public benefits of Chapter 62 are being met if the variance is granted. The variance request was reviewed and is supported by staff responsible for landscape plan review.

Standards for Approval - Chapter 55 (Zoning) Variance -

The Zoning Board of Appeals has all the power granted by State law and by Section 5:99, Application of the Variance Power from the City of Ann Arbor Zoning Ordinance. The following criteria shall apply:

- (a). ***That the alleged hardships or practical difficulties, or both, are exceptional and peculiar to the property of the person requesting the variance, and result from conditions which do not exist generally throughout the City.***

The site currently has two zoning designations P (Parking) and C3 (Fringe Commercial). The western approximately one third of the site is zoned P. There is also a unique deed restriction filed with the existing gas station construction, the area zoned P cannot contain a structure of any type and must remain parking until said deed restriction is released. As a result, the building and gas canopy must be constructed on the remaining eastern two thirds of the site which is zoned C3.

- (b). ***That the alleged hardships or practical difficulties, or both, which will result from a failure to grant the variance, include substantially more than mere inconvenience, inability to attain a higher financial return, or both.***

If the variance is denied, the applicant will not be able to construct the proposed building in the current location. The plan could be re-designed with the building located at the corner of the intersection and the canopy with gas pumps located in the rear. This design will place the main activity and traffic including driveways closer to the adjacent residential neighborhood to the south. While the building is not permitted to be in the 30 foot buffer, parking and drive aisles can be constructed to within 15 feet of the south property line.

- (c). ***That allowing the variance will result in substantial justice being done, considering the public benefits intended to be secured by this Chapter, the individual hardships that will be suffered by a failure of the Board to grant a variance, and the rights of others whose property would be affected by the allowance of the variance.***

If the variance is granted, the main vehicular traffic, noise and activity will be partially screened by the proposed building. This will contribute a more significant public benefit to the neighborhood than re-designing the site to meet code, which places the main activity and impact closer to the neighborhood. The petitioner held a neighborhood meeting to discuss plan options with the residents. The neighborhood residents have submitted numerous letter of support for the current plan.

- (d). ***That the conditions and circumstances on which the variance request is based shall not be a self imposed hardship or practical difficulty.***

As mentioned previously, a deed restriction placed in the 1950s on the property limits the area available on the site for construction of any structure. Within the available area, the required rear setback of 30 feet, and the minimum 10 foot front setback, push the building to be at the corner and canopy and gas pumps to be located to the rear of the site. The petitioner has been working on different versions of the site plan since March 2015 and has been to Planning Commission four times and held numerous meeting with neighborhood residents. All feedback from Planning Commission and residents was directing the petitioner to the current plan.

(e). *A variance approved shall be the minimum variance that will make possible a reasonable use of the land or structure*

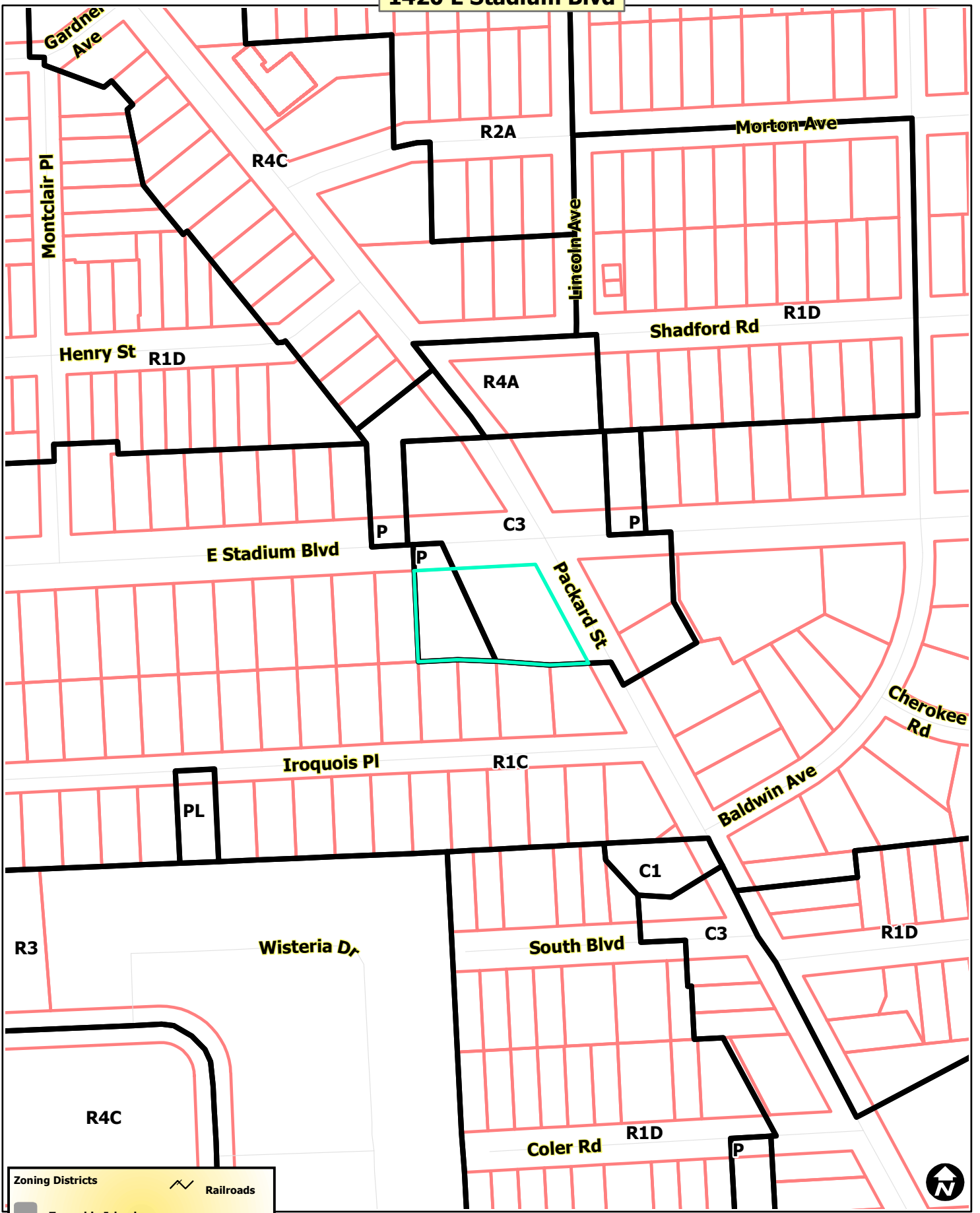
The petitioner has been working on versions of the site plan since March 2015. After numerous meetings with the Planning Commission and adjacent neighbors, the current plan was developed. Given the site public feedback, site restraints, and minimal area need for safe circulation and efficiency, the requested variance is reasonable.

Respectfully submitted,

A handwritten signature in dark ink, appearing to read 'Matt Kowalski', is written over a light blue horizontal line.

Matt Kowalski AICP
City Planner

1420 E Stadium Blvd



Zoning Districts	Railroads
Township Islands	Huron River
City Zoning Districts	Tax Parcels



Map date 5/5/2017
Any aerial imagery is circa 2015
unless otherwise noted
Terms of use: www.a2gov.org/terms

1420 E Stadium Blvd -Aerial Map-

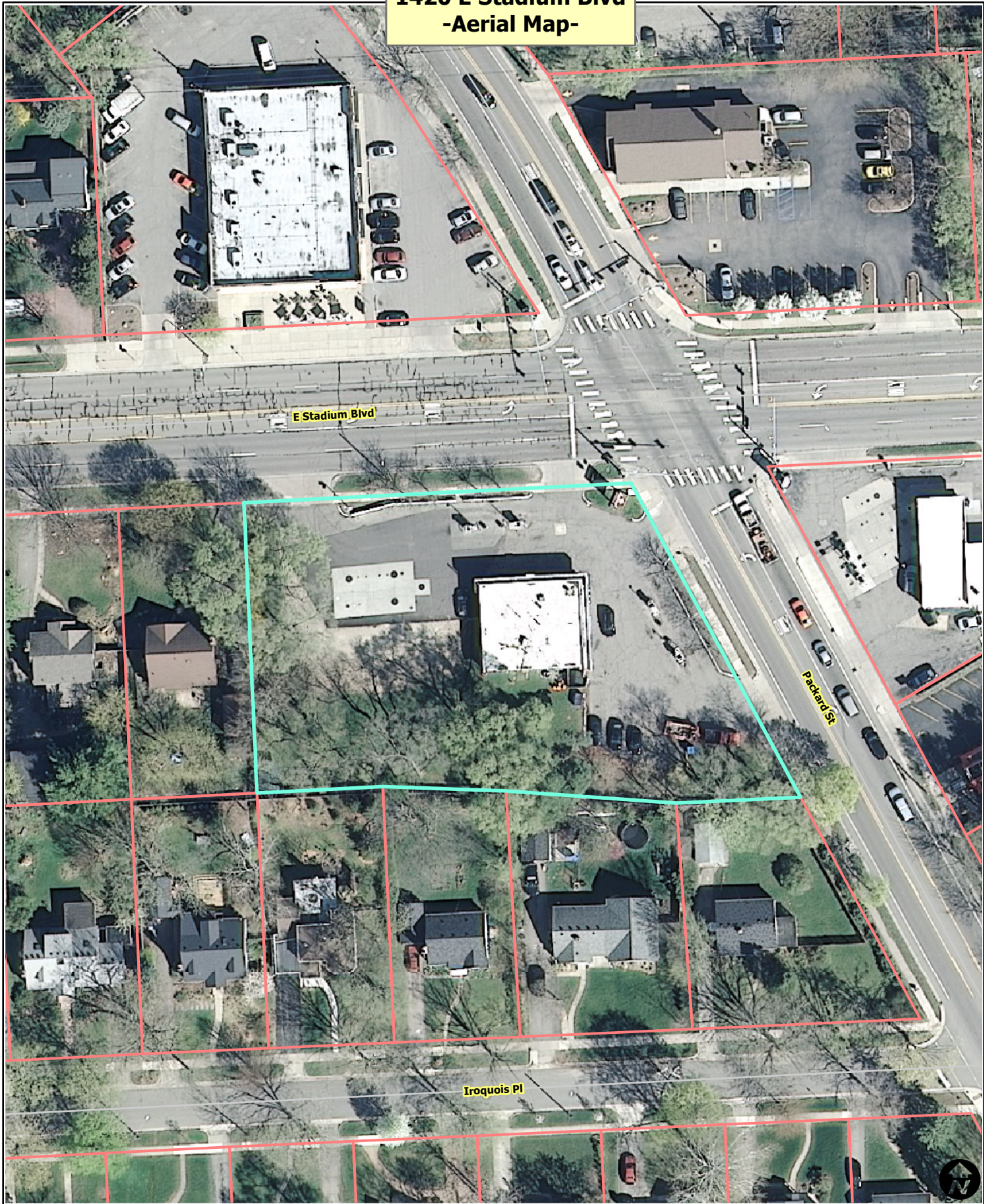


-  Railroads
-  Parcels
-  Huron River



City of Ann Arbor Map Disclaimer:
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Map Created: 1/29/2014

1420 E Stadium Blvd -Aerial Map-



Railroads

Parcels

Huron River



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Map Created: 1/29/2014

APPLICATION FOR VARIANCE OR NON-CONFORMING STRUCTURE

ZONING BOARD OF APPEALS

Section 1: Applicant Information

Name of Applicant: Quatro Constructoin LLC
Address of Applicant: 201 N. Park Street, Ypsilanti MI 48198
Daytime Phone: 734-485-7737 ext 225
Fax: 734-485-7873
Email: Rianna.lindsay@quatroconstructionllc.com
Applicant's Relationship to Property: Contractor / Site Engineer

Section 2: Property Information

Address of Property: 1420 E. Stadium Blvd
Zoning Classification: C-2/P
Tax ID# (if known): 09-09-33-414-006
*Name of Property Owner: Gallup Properties

**If different than applicant, a letter of authorization from the property owner must be provided.*

Section 3: Request Information

Variance

Chapter(s) and Section(s) from which a variance is requested:

Required dimension: PROPOSED dimension:

#1: 47:4:20:4:bii,iii	Stadium Blvd	24'/44'	35'/51.78'
#2: 47:4:20:4:bii,iii	Parckard Rd	24'/44'	35'/71'

Example: Chapter 55, Section 5:26

Example: 40' front setback

Example: 32'

Give a detailed description of the work you are proposing and why it will require a variance (attach additional sheets if necessary)

We are raise and rebuilding the gas station and pumping islands, providing new larger convenience store, central pumping stations under a new canopy. See attached letter for remainder of discription

Section 4: VARIANCE REQUEST (If not applying for a variance, skip to section 5)

The City of Ann Arbor Zoning Board of Appeals has the powers granted by State law and City Code Chapter 55, Section 5:98. A variance may be granted by the Zoning Board of Appeals only in cases involving practical difficulties or unnecessary hardships when **ALL** of the following is found **TRUE**. Please provide a complete response to each item below. These responses, together with the required materials in Section 5 of this application, will form the basis for evaluation of the request by staff and the Zoning Board of Appeals. (continued...)

1. Are there hardships or practical difficulties to complying with the ordinance? Are these hardships or practical difficulties an exception or unique to the property compared to other properties in the City?

#1: driveway width is a common problem with semi trucks coming into gas stations as the standard width of a curb cut and driveway width. without the proper width the trucks destroy the curb and gutter much sooner than normal wear and tear.

2. Are the hardships or practical difficulties more than mere inconvenience, inability to obtain a higher financial return? (explain)

#1 & #2: again this is a typical issue with semitrucks getting into gas stations, and wanting to maintain the curb and gutter without continuous repair. being required.

3. What effect will granting the variance have on the neighboring properties?

#1: it will reduce the construction noise of hearing the curb and gutter replaced on a more regular basis. (will not occur as often as if the driveway is the standard size)

4. What physical characteristics of your property in terms of size, shape, location or topography prevent you from using it in a way that is consistent with the ordinance?

#1: site does not affect this. Just standard driveways widths do not work for semitrucks delivering gas. which we understand is a standard that is being revisited for gas stations.

5. Is the condition which prevents you from complying with the ordinance self-imposed? How did the condition come about?

#1: in the fact that it is a existing gas station that will remain a gas station, Yes. Otherwise No, just a existing issues.

Section 5: ALTERATION TO A NON-CONFORMING STRUCTURE

Current use of the property _____

The proposed change is allowed in accordance with Structure Non-Conformance, Section 5:87 (1) (a) & (b), which reads as follows:

- (1) A non-conforming structure may be maintained or restored, but no alteration shall be made to a non-conforming structure unless one of the following conditions is met:
 - a. The alteration is approved by the Zoning Board of Appeals upon finding that it complies as nearly as practicable with the requirements of this Chapter and that it will not have a detrimental effect on neighboring property.
 - b. The alteration conforms to all the requirements of this Chapter and is made to a building which will be a single-family dwelling on completion of the alteration and is located in an R1, R2, R3, or R4 district.
 - c. The structure is considered non-conforming due to the following reasons

(continued)

APPLICATION FOR VARIANCE OR NON-CONFORMING STRUCTURE
ZONING BOARD OF APPEALS

Section 1: Applicant Information

Name of Applicant: Quatro Constructoin LLC

Address of Applicant: 201 N. Park Street, Ypsilanti MI 48198

Daytime Phone: 734-485-7737 ext 225

Fax: 734-485-7873

Email: Rianna.lindsay@quatroconstructionllc.com

Applicant's Relationship to Property: Contractor / Site Engineer

Section 2: Property Information

Address of Property: 1420 E. Stadium Blvd

Zoning Classification: C-2/P

Tax ID# (if known): 09-09-33-414-006

*Name of Property Owner: Gallup Properties

**If different than applicant, a letter of authorization from the property owner must be provided.*

Section 3: Request Information

Variance

Chapter(s) and Section(s) from which a variance is requested:

Required dimension: PROPOSED dimension:

#3: 55:5:33a: rear yard setback	30' *abutting residential	8.13'-17.62'
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Example: Chapter 55, Section 5:26

Example: 40' front setback

Example: 32'

Give a detailed description of the work you are proposing and why it will require a variance (attach additional sheets if necessary)

We are raise and rebuilding the gas station and pumping islands, providing new larger convenience store, central pumping stations under a new canopy. See attached letter for remainder of description

Section 4: VARIANCE REQUEST (If not applying for a variance, skip to section 5)

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1. Are there hardships or practical difficulties to complying with the ordinance? Are these hardships or practical difficulties an exception or unique to the property compared to other properties in the City?

#3: we are attempting to provide what the local neighbors would rather see. we had produced a previous plan that did not require the variance, however the neighborhood behind didn't feel it the best for the neighborhood, so we moved the building where they would rather see it if it is going to be the size the client can fit on the site.

2. Are the hardships or practical difficulties more than mere inconvenience, inability to obtain a higher financial return? (explain)

#3: Again we are attempting to give the neighborhood a more separation from the new building. the previous plan we attempted did not require the setback variance but did give the client the 4000 sq. ft. building that does fit on the site. But it placed the canopy and in the center with only the wall and landscapt to separate the space from the neighborhood. this puts the building between the canopy and

the neighbors in part.

3. What effect will granting the variance have on the neighboring properties?

#3: It will help the residential behind (south) to keep the canopy on the other side of the building. Also the building itself will shield much of the parking from customers coming to the convenience store.

4. What physical characteristics of your property in terms of size, shape, location or topography prevent you from using it in a way that is consistent with the ordinance?

#3: half of the site is zoned p-parking with a deed restriction that would require 70% of the neighboring properties value in favor of removal. That only allows for Approx. 60% of

the site to be built on; which forces the building in the North East corner (previous attempted plan) or in the building set back along the southeast of the property.

5. Is the condition which prevents you from complying with the ordinance self-imposed? How did the condition come about?

#3: Yes, in the fact we are attempting to revise our layout to better fit the neighborhood and the clients needs. Neighborhood: Building between them and canopy. Client 4,000 square foot convenience store that otherwise fits onsite in another orientation.

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*Name of Property Owner: Gallup Properties

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Section 3: Request Information

Variance

Chapter(s) and Section(s) from which a
variance is requested:

#4 : 62:5:603.1

Required dimension:

15 '

PROPOSED dimension:

8' min

Example: Chapter 55, Section 5:26

Example: 40' front setback

Example: 32'

Give a detailed description of the work you are proposing and why it will require a variance
(attach additional sheets if necessary)

. We are proposing to raise and rebuilding the gas station and pumping islands, providing
a new larger convenience store, central pumping stations under a new canopy. See
attached letter for remainder of discription.

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1. Are there hardships or practical difficulties to complying with the ordinance? Are these hardships or practical difficulties an exception or unique to the property compared to other properties in the City?

#4: we are attempting to provide what the local neighbors would rather see. We had produced a previous plan that did not required the variance, however the neighborhood behind didn't feel it the best for the neighborhood, so we moved the building where they would rather see it if it is going to be the size the client can fit on the site.

2. Are the hardships or practical difficulties more than mere inconvenience, inability to obtain a higher financial return? (explain)

#4: again we are attempting to give the neighborhood more separation from the new building and canopy. the previous plan we attempted did not require the setback variance but did give the client the 4000 sq. ft. building that does fit on the site. But it placed the canopy in the center with only the new landscape wall to separate the space from the neighborhood. this variance would allow us to place the building between the neighbors and new traffic.

3. What effect will granting the variance have on the neighboring properties?

#4: it will help the residenatial behind (south) to keep the canopy on the other side of the building. Also the building itself will shield much of the parking ligh from cutomers coming to the convience store.

4. What physical characteristics of your property in terms of size, shape, location or topography prevent you from using it in a way that is consistent with the ordinance?

#4: half of the site is zoned p-parking with a deed restriction that would require 70% of the neighboring properties value in favor or removal. that allows only the other half of the site to build on which forces the building into the northeast corner (previous plan) or the south east into the building setback.

5. Is the condition which prevents you from complying with the ordinance self-imposed? How did the condition come about?

#4: yes, in the fact we are attempting to revise our layout to better fit the neighborhood and the clients needs. Neighborhood: building between them and canopy/traffic. Client: 4000 sq. ft. building the site can take in a difference orientation.

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 - c. The structure is considered non-conforming due to the following reasons

(continued)

Existing Condition

Code Requirement

Lot area _____

Lot width _____

Floor area ratio _____

Open space ratio _____

Setbacks _____

Parking _____

Landscaping _____

Other _____

Describe the proposed alterations and state why you are requesting this approval:

The alteration complies as nearly as is practicable with the requirements of the Chapter and will not have a detrimental effect on neighboring property for the following reasons:

Wherefore, Petitioner requests that permission be granted from the above named Chapter and Section of the Ann Arbor City Code in order to permit _____

Section 6: Required Materials

The following materials are required for all variance requests. Failure to provide these materials will result in an incomplete application and will delay staff review and Zoning Board of Appeals consideration of the request. The materials listed below must accompany the application and constitute an inseparable part of the application.

All materials must be provided on **8 1/2" by 11" sheets.** (Continued.....)

- % Survey of the property including all existing and proposed structures, dimensions of property, and area of property.
- % Building floor plans showing interior rooms, including dimensions.
- % Photographs of the property and any existing buildings involved in the request.
- % Any other graphic or written materials that support the request.

Section 7: Acknowledgement

SIGNATURES MUST BE SIGNED IN PRESENCE OF NOTARY PUBLIC

I, the applicant, request a variance from the above named Chapter(s) and Section(s) of the Ann Arbor City Code for the stated reasons, in accordance with the materials attached hereto.

734-755-0802

734-755-0802

Phone Number

Todd Quatro @ quatroconstructionllc.com
todd.quatro@quatroconstructionllc.com

Email Address

Todd Quatro

Signature

Todd Quatro

Print Name

I, the applicant, hereby depose and say that all of the aforementioned statements, and the statements contained in the materials submitted herewith, are true and correct.

Todd Quatro

Signature

Further, I hereby give City of Ann Arbor Planning & Development Services unit staff and members of the Zoning Board of Appeals permission to access the subject property for the purpose of reviewing my variance request.

Todd Quatro

Signature

I have received a copy of the informational cover sheet with the deadlines and meeting dates and acknowledge that **staff does not remind the petitioner of the meeting date and times.**

Todd Quatro

Signature

On this 25th day of APRIL, 2017, before me personally appeared the above named applicant and made oath that he/she has read the foregoing application by him/her subscribed and knows the contents thereof, and that the same is true as to his/her own knowledge except as to those matters therein stated to be upon his information and belief as to those matters, he/she believes them to be true.

MARK A ANDERSON
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF MONROE
My Commission Expires December 6, 2022
Acting in the County of Washtenaw

Mark A Anderson

Notary Public Signature

Mark A Anderson

Print Name

Notary Commission Expiration Date

Staff Use Only

Date Submitted: _____

Fee Paid: _____

File No.: _____

Date of Public Hearing: _____

Pre-filing Staff Reviewer & Date: _____

ZBA Action: _____

Pre-Filing Review: _____

Staff Reviewer & Date: _____

CIRCLE K RAISE & REBUILD

1420 E. STADIUM BLVD
ANN ARBOR , MICHIGAN 48104

SHEET NO. SHEET DESCRIPTION

OWNER

CIRCLE K - RICHARD LAWRENCE
1420 E. STADIUM BLVD
ANN ARBOR, MICHIGAN 48104
PHONE (330)634-2006

ARCHITECT

ROBERT NOE ARCHITECTURE
9103 N. UNION #135
TECUMSEH, MI 49286
PHONE (734)-693-0852

CONTRACTOR

QUATRO CONSTRUCTION LLC
201 NORTH PARK STREET
YPSILANTI, MICHIGAN 48198
PHONE (734) 485-7737

SURVEYOR

ALPINE ENGINEERING INC
46892 WEST ROAD, SUITE 109
NOVI, MI 48377
PHONE (517)-376-6043

TS-1
TS-1.1

TITLE SHEET
PROJECT STATEMENTS

1-1

ALTA SITE SURVEY

C-1

EXISTING SITE PLAN

C-2

DEMOLITION SITE PLAN

C-3

SITE LAYOUT PLAN

C-4

SITE DISTRICT MAP

C-5

SITE GRADING DETAILS

C-6

SOIL EROSION

C-7

SITE DETAILS

C-8

SITE DETAIL CONT.

C-9

SITE DETAIL CONT.

C-10

SITE UTILITY PLAN

C-11

TRUCK TURNING PLAN

RL

PHOTOMETRIC PLANS

L-1

LANDSCAPE PLAN

L-2

ALTERNATE LAYOUTS PLANS

L-3

TREE PROTECTION PLAN

L-4

ALTERNATE LAYOUT LANDSCAPE PLANS

L-5

NATURAL FEATURES IMPACT PLAN

AND ALTERNATE (CURRENT) PLAN

CURRENT VERSES PREVIOUS PLAN

L-6

PROPOSED FLOOR PLAN

(CONCEPTUAL ONLY, FLOOR LAYOUT)

A-1

PROPOSED ELEVATIONS

A-2

PROPOSED ELEVATIONS

A-3

PROPOSED CANOPY ELEVATIONS

COMMUNITY ANALYSIS

THE USE SHALL NOT CHANGE: THEREFORE THE IMPACT TO LOCAL PUBLIC SCHOOLS SHALL NOT CHANGE. NEIGHBORING USES ARE RESIDENTIAL (SOUTH & WEST) & OFFICE/BUISNESS (NORTH & WEST). AN EXISTING GAS STATION IS USEFUL TO THE EXISTING BUSINESSES & HOMES AROUND IT. IMPACT OF ADJACENT USES ON THIS SITE IS UNCHANGED. THE USE IS UNCHANGED, THE NUMBER OF PUMPING POSITIONS IS UNCHANGED SO IMPACT TO AIR, WATER QUALITY, EXISTING NATURAL FEATURES AND NEIGHBORING SITES IS MINIMAL.

SITE ANALYSIS

THE EXISTING USE IS A GAS STATION / CONVENIENCE STORE. ACTIVITY ON SITE ARE CUSTOMERS IN NEED OF GAS OR OTHER GENERAL CONVENIENCE STORE AMENITIES. THE EXISTING SOIL TYPE IS 6’ OF SAND OVER CLAY. THE EXISTING VEGETATION IS LISTED ON THE DEMOLITION PLAN C-2. THERE IS NO 100-YEAR FLOOD PLAIN ON THIS SITE. THE ONLY STEEP SLOPE IS LOCATED IN THE PROPERTY TO THE SOUTH OF THIS SITE. THERE ARE NO WATERCOURSES, WETLANDS OR WOODLANDS ON THIS PROPERTY. EXISTING BUILDINGS/STRUCTURES ARE SHOWN ON C-1. ALL EXISTING UTILITIES ARE SHOWN ON THE SURVEY & C-1.

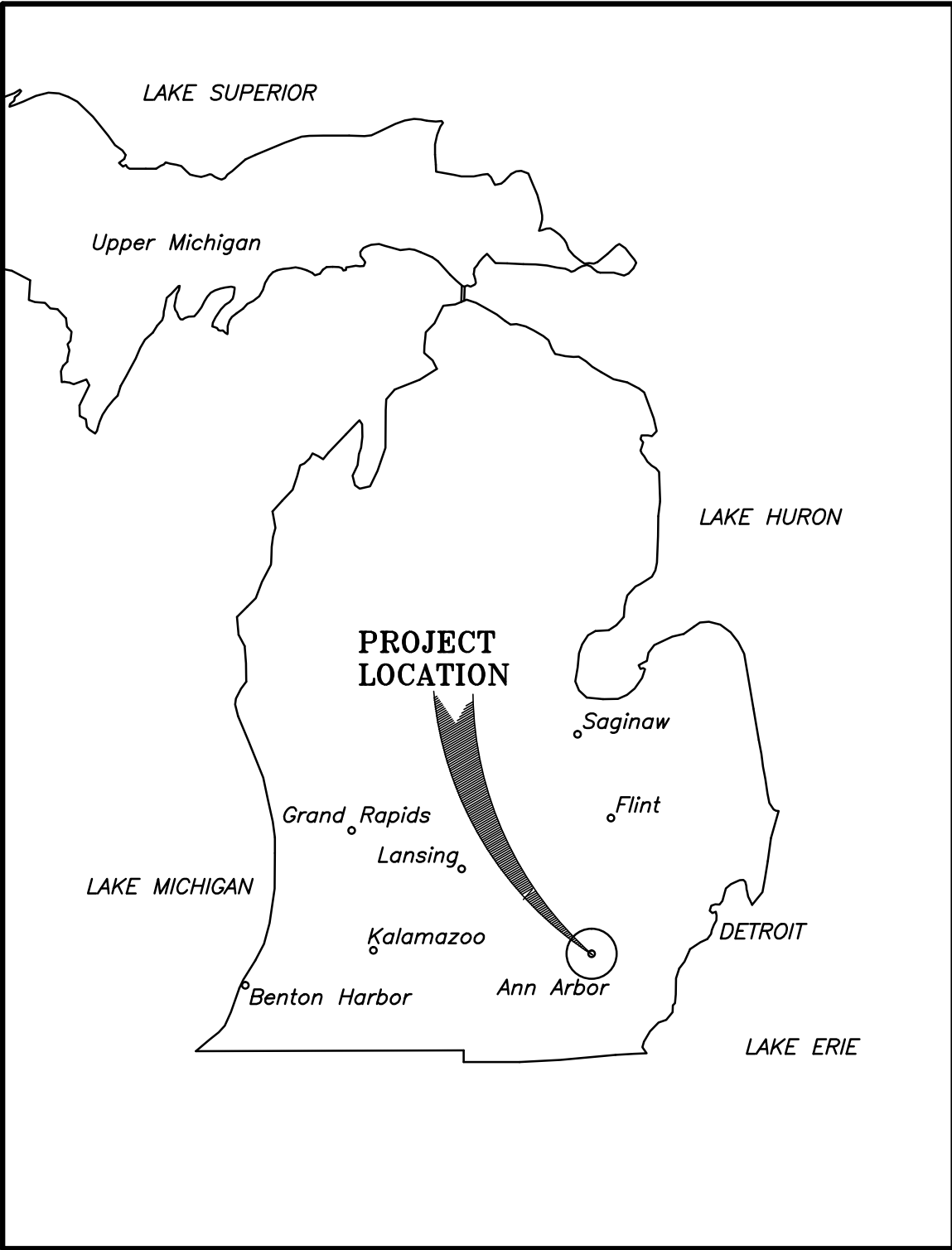
PROJECT DESCRIPTION:

WE ARE ASKING FOR SEVERAL VARIANCES.

1. DRIVEWAY WIDTH ALLOWANCE

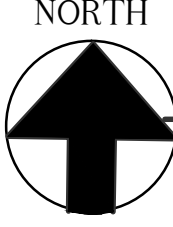
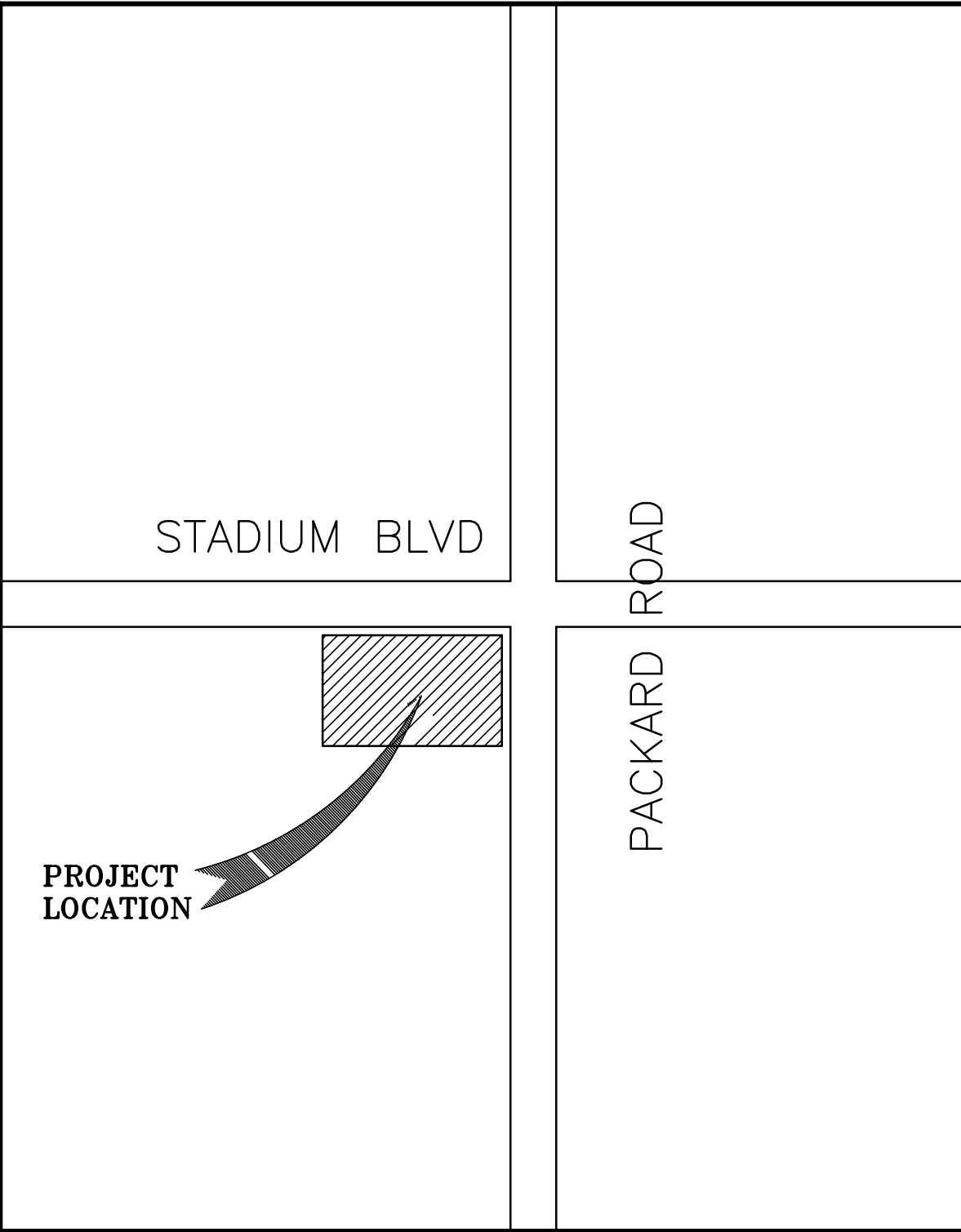
THE FOLLOWING CHANGES ARE PROPOSED:

1. WE ARE ADDING A CANOPY.
2. WE ARE ADDING A SIDEWALK TO THE SOUTH OF THE BUILDING FOR SAFER PEDESTRIAN TRAFFIC.
3. WE ARE ADDING ONE BIKE RACKS (TWO (2) SPACES TOTAL) TO THE NORTH/EAST SIDE OF THE BUILDING. (ABOVE THE REQUIRED 1)
4. WE ARE ADDING AN ENCLOSED DUMPSTER TO THE SITE, THAT WILL BE OF THE SAME COLOR AS THE BUILDING.
5. WE ARE ADDING A MASONRY FENCE TO THE SOUTH & WEST PROPERTY LINE 8’ WHERE ALLOWED, 4’ WHERE REQUIRED
6. WE ARE REMOVING THE INVASIVE TREES ON SITE.
7. WE ARE RAISING THE EXISTING BUILDING AND PUMP LOCATIONS AND BUILDING A ALL NEW FACILITY AND PUMP STATION
8. WE ARE RELOCATING 1 ENTRANCE AND CLOSING TWO ENTRANCES THAT ARE VERY CLOSE TO THE INTERSECTION.



VICINITY MAP

N.T.S.



LOCATION MAP

N.T.S.

CODE CONFORMANCE CHART

- REVIEWED UNDER 2012 MICHIGAN BUILDING CODE
- CONSTRUCTION CLASSIFICATION: TYPE 3B UNPROTECTED
- BUILDING NON-SPRINKLED
- USE GROUP: M = MERCANTILE

- ALLOWABLE AREA:		ALLOWED	PROVIDED
		GROSS SQ.FT	
	HT/STORIES	9000SF	4000
	HEIGHT	4	1
		55’	19.2’
- OCCUPANT LOAD: PERSONS		110	110
	1 PER 30 GROSS SQUARE FEET		
	3200/30 = 107		
	1 PER 300 GROSS SQUARE FEET		
	800/300 = 2.6 = 3		
- REQUIRED MEANS OF EGRESS =		REQUIRED	PROVIDED
		2	3
- MAX TRAVEL DISTANCE =		ALLOWABLE	PROVIDED
		200’	75’

FIX REQUIRED PROPOSED

WC: 1/500 PEOPLE	1	1M/1F	1M/1F
LAV: 1/750 PEOPLE	1	1M/1F	1M/1F
DRINKING FOUNTAIN 1/1000	1	1	1
SERVICE SINK	1	1	1

PARKING CALCULATIONS:
1 SPACE PER 200 SQ.FT. OF
FLOOR AREA:
4000/200 = 20 SPACES
REQUIRED

HOURS OF OPERATION 24HR

DESCRIPTION	REQUIRED	EXISTING	PROPOSED	NOTE
ZONING	C3	P/C3	P/C3	
FRONT YARD-BLDG	10.00/25.00	45.85/44.90	108.55/10	
SIDE YARD	30.00	119.95	141.8	WEST
REAR YARD	30.00/30.00	119.95/62.40	8.17-17.62	VARIANCE REQ.
PARKING	20	13 PRK/8PUMP	14 PKING/ 8 PUMP	
PARKING SPACE	9x18	9x18	9x18	
HC PARKING	1	1	1	
PARKING AISLE	22.0	22.0	35.55	
BICYCLE PARKING	0	0	2C	
MAXIMUM HEIGHT	55	15.4	19.2	
STORIES	4 MAX	1	1	
MIN SITE AREA	6000	37,589 SQFT	37,589 SQFT	
MAX FLOOR RATIO	200%	6.3%	10.6%	
MIN WIDTH	60	150	150	
BLD AREA		2360	4000	

ISSUE DATE: 3/27/15	
REVISION DATES:	
NO.	DATE
3/25/15	04/05/17
3/27/15	04/25/17
4/28/15	
5/28/15	
3/9/16	
5/5/16	
6/21/16	
7/12/16	
7/29/16	
DRAWN BY: V.R./R.S. CHECKED BY: B.N. APPROVED BY: B.N./T.Q. DWG FILE:	
PROJECT NO.: 2321	
SHEET TITLE:	
TITLE SHEET	
SHEET NO.: TS-1	

CIRCLE K RAISE & REBUILD

1420 E. STADIUM BLVD
ANN ARBOR , MICHIGAN 48104

OWNER

CIRCLE K - RICHARD LAWRENCE
1420 E. STADIUM BLVD
ANN ARBOR, MICHIGAN 48104
PHONE (330)634-2006

ARCHITECT

ROBERT NOE ARCHITECTURE
9103 N. UNION #135
TECUMSEH, MI 49286
PHONE (734)-693-0852

CONTRACTOR

QUATRO CONSTRUCTION LLC
201 NORTH PARK STREET
YPSILANTI, MICHIGAN 48198
PHONE (734) 485-7737

SURVEYOR

ALPINE ENGINEERING INC
46892 WEST ROAD, SUITE 109
NOVI, MI 48377
PHONE (517)-376-6043

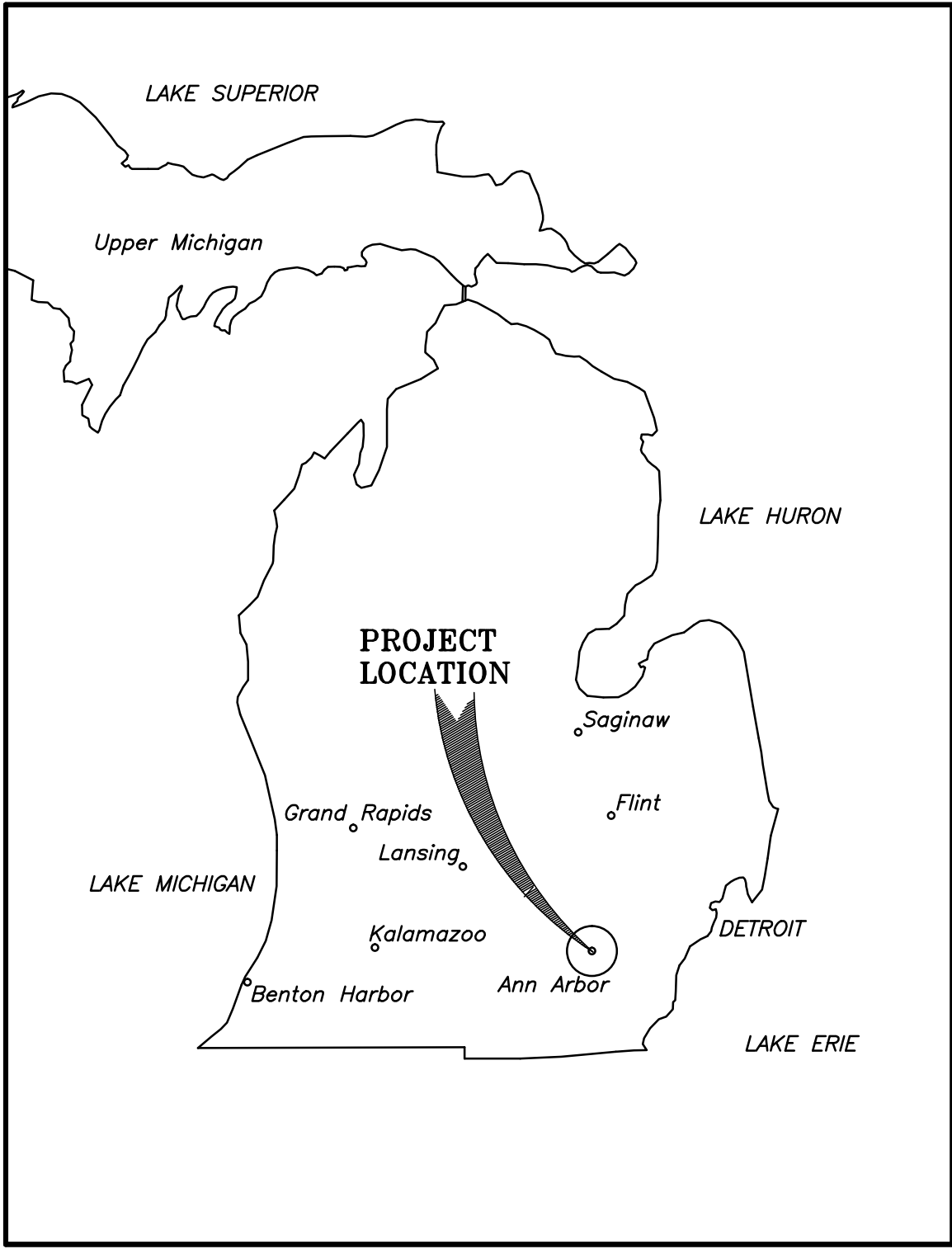
NATURAL FEATURE IMPACT

WE ARE REMOVING THREE (3) LANDMARK TREE. (#15,20,24)
REMAINDER OF LANDMARK TRESS, WE ARE STAYING OUT OF THEIR CRITICAL ROOT ZONE, JUST WORKING CLOSELY. TREE #10 WE ARE MITIGATING AS IF IT WERE TO BE REMOVED, BUT ARE KEEPING IT IN THE HOPES IT WILL SURVIVE CONSTRUCTION. (IT'S A LARGE EXISTING TREE AGAINST THE EXISTING MASONRY WALL TO REMAIN)
WE TRIED TO WORK AROUND THE EXISTING TREES AS MUCH AS POSSIBLE, HOWEVER IT WAS NOT POSSIBLE TO ACCOMMODATE ALL THE LANDMARK TREES AND THE CLIENT.
WE ARE ADDING STORM WATER DRAINAGE UNDER THE NEW PAVEMENT TO REDUCE THE WATER GOING ONTO NEIGHBORING PROPERTIES WHICH LIMITS WHERE WE CAN PLACE THE BUILDING AND PUMP ISLANDS.
IN ADDITION THERE ARE EXISTING TANKS THAT WERE REPLACED WITHIN THE PAST 5 YEARS THAT THE CLIENT IS NOT ABLE TO INCUR THE COST FOR RELOCATING

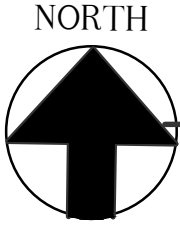
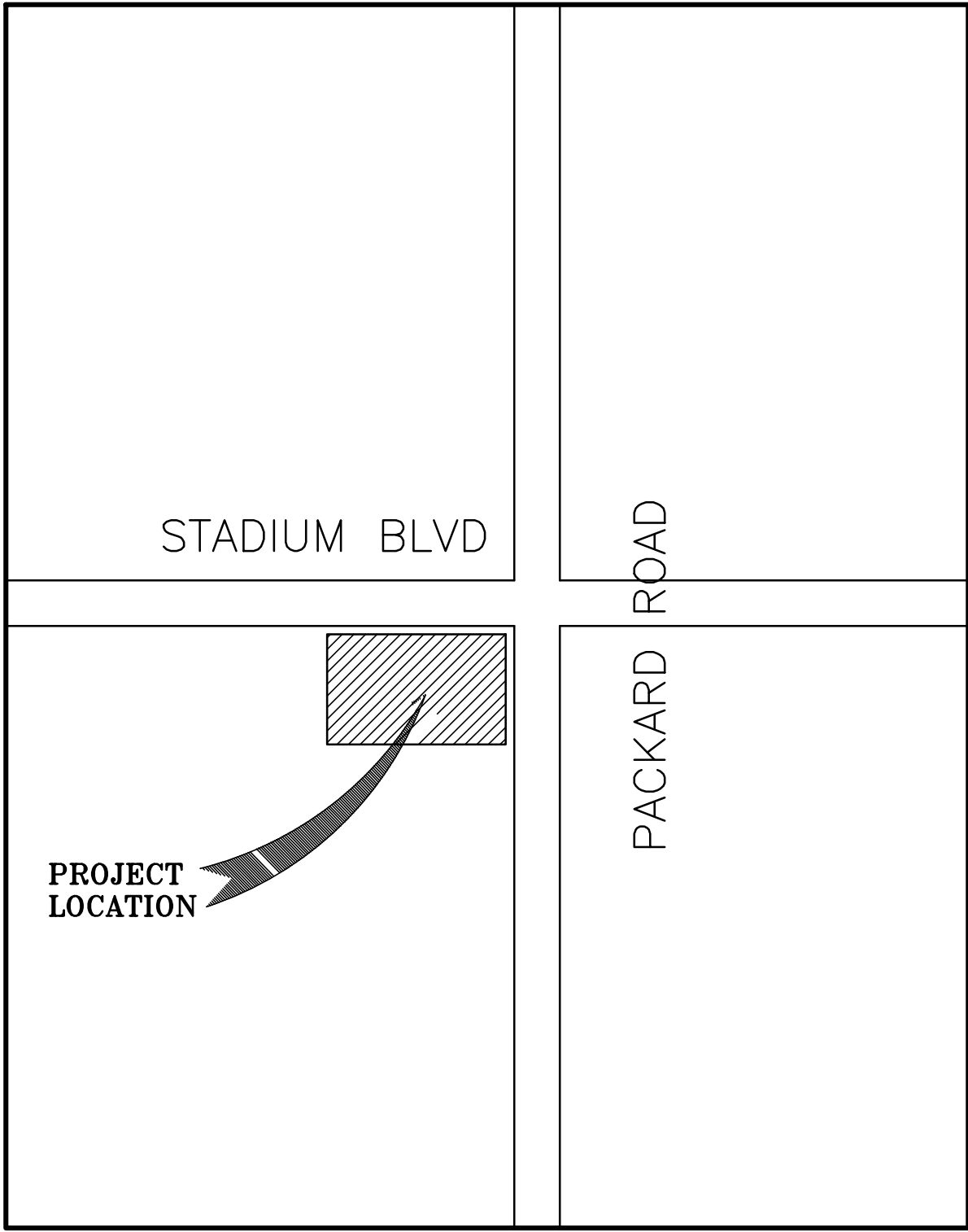
WE ARE REMOVING ALL EXISTING R-O-W TREES #1-#10 AND WILL BE REPLACING AS REQUIRED BY ORDINANCE
ALL TREES ALONG THE SOUTH PROPERTY MINUS #10,11,26,27,28 & 29 ARE BEING REMOVED AS WE CANNOT GUARANTEE THEIR SURVIVAL DURING CONSTRUCTION. THE CRITICAL ROOT ZONES FOR THESE TREES AND WITHIN THE DEMOLITION AND NEW CONCRETE AREAS. TO ENSURE MOVEMENT AROUND THE SITE AND FUTURE TREES WE HAD TO REMOVE THE TREES ALONG THE SOUTHERN PROPERTY.
ALL CLUB REQUIREMENTS ARE NOW BEING MET. WE DID KEEP AS MANY TREES AS POSSIBLE TO REDUCE MITIGATION REQUIREMENTS. THOUGH AS THE DEMOLITION TREE PROTECTION SHEET SHOWS, WE WERE CUTTING INTO TOO MUCH OF THE CRITICAL ROOT ZONES TO KEEP MORE TREES.

COMMUNITY CONCERNS

- MEETING #1: 3-4-14
ALTERNATE PLAN - ORIGINAL ON L-2
SECOND MEETING - 9-30-15
ALTERNATE PLAN CITIZEN MEETING 2 ON L-2.
COFFEE HOUSE MEETING: 10-12-15
COFFEE HOUSE MEETING: 07-28-16
- CONCERNS:
- DUMPSTER LOCATION IS VERY CLOSE TO NEIGHBOR DRIVEWAY. (ON 15' LANDSCAPE SETBACK LINE)
 - REVISED FOR MEETING TWO TO BE 25' FROM PROPERTY.
 - CURRENTLY MIN 30' FROM PROPERTY
 - CAN WE EXTEND THE CANOPY, ILLUMINATE CANOPY, BAND SMALLER?
 - EXTEND CANOPY OVER WALK WAY: NO
 - ILLUMINATE CANOPY: NO, JUST LIGHT STRAIGHT DOWN.
 - BAND SMALLER: NO, IT'S PER SIZES TO HAVE LEGIBLE SIGNAGE FROM THE ROAD.
 - CAN THE PRODUCE STATION STAY?
 - NO RESTRICTION FROM CIRCLE K, IT WILL BE PER CITY REQUIREMENTS.
 - STORM WATER ISSUES: WORRIED ABOUT ADDING PAVEMENT WHEN THE SITE ALREADY DRAINS TO NEIGHBORS TO THE SOUTH.
 - WE ARE ADDING UNDERGROUND DETENTION THAT WILL STORE THE WATER UNTIL THE STORM LINES CAN TAKE OFF SITE.
 - THERE IS NO EXISTING STORM CONTROL ON SITE.
 - CAN THE BUFFER FENCE BE MORE THAN 6'.
 - PROPOSING A 8' FENCE EXCEPT 25' ALONG THE NORTH WEST PROPERTY LINE WHERE IT WILL BE A 4' FENCE TO NOT BLOCK NEIGHBOR DRIVEWAY.
 - WHY IS THE SIDEWALK IN THE 15' LANDSCAPE BUFFER?
 - SIDEWALK NO LONGER GOES ALONG THE SOUTH OF THE PROPERTY AS THE BUILDING HAS MOVED DUE TO ZONE P/DEED RESTRICTIONS FOUND ON SITE AFTER THIS MEETING.
 - WILL THERE BE SECURITY SYSTEM INSTALLED.
 - YES
 - HEIGHT OF BUILDING: CAN IT BE CLOSER TO THE EXISTING BUILDING HEIGHT? WILL IT HAVE A PARAPET TO HIDE ROOF TOP UNITS?
 - CURRENT ELEVATION IS NOW LOWER AND MORE IN LINE WITH RESIDENTIAL ROOF LINES.
 - ROOF WILL HIDE RTU UNITS, COMPRESSORS ETC... (RECESSED ROOF)
 - CAN BUILDING BE TURNED TO FACE STADIUM INSTEAD OF PACKARD.
 - MOOT POINT, BUILDING LOCATION CHANGED TO OTHER SIDE OF PROPERTY.
 - CAN A BERM AND FENCE BE ADDED TO BLOCK MORE OF THE SOUND AND LIGHT POLLUTION?
 - 8' BOARD ON BOARD FENCE ADDED. MASONRY WALL OR BERM NOT A OPTION DUE TO EXISTING LANDMARK TREES.
 - CAN WE BLOCK TRASH ENCLOSURE WITH MORE THAN A FENCE AND TREES?
 - NEW 8' FENCE AND 30 MIN FROM NEIGHBOR. AND ENCLOSURE IS BRICK TO MATCH NEW BUILDING.
 - CAN THERE BE MORE INTEREST TO THE BUILDING.
 - REVISED ELEVATION PROPOSED FOR SECOND MEETING. MORE RESIDENTIAL LOOK.
 - ADDITIONAL NEW ELEVATION PROPOSED WITH NEW BUILDING LOCATION
 - GREEN ROOF ON CANOPY?
 - NOT COST EFFECTIVE AND MAINTENANCE ISSUE INHERENT WITH GREEN ROOFS OVER GAS STATION PUMPS.
 - SAFETY CONCERNS FOR NEIGHBOR HOOD KIDS.
 - SITE WILL BE BETTER LIT, SIDEWALKS TO BUILDING THAT DON'T HAVE TO CROSS PAVEMENT TO GET TO.
 - IDLING TRUCKS FOR OVER 20 MINS.
 - NEIGHBORS WERE GIVEN AREA MANAGERS DIRECT NUMBER AND EMAIL TO CONTACT FOR COMPLAINTS.
- COFFEE HOUSE MEETING:
SAME CONCERNS ADDITIONAL NEIGHBOR ABLE TO ATTEND. CONCERNS WITH BUILDING BEING TOO CLOSE TO HER AND CREATING A "UNWANTED SITTING SPOT/TRASH"
- A. NEW BUILDING LOCATION REMOVES THIS "SITTING SPOT"
ONLY ANSWER WE COULD OFFER AT THE TIME WAS ADDING ADDITIONAL LIGHTS TO BACK OF BUILDING, WHICH NEIGHBOR WAS UNSURE OF IF THAT WOULD DETER PEOPLE.
- 7-28-16:
- THE NEIGHBORS (BEHIND) FEEL THIS DESIGN IN THE LEAST NEIGHBORHOOD FRIENDLY
 - THIS PLAN MEETS ALL ZONING/PLANNING REQUIREMENTS.
 - THE CANOPY IN THE MINIMUM HEIGHT TO ALLOW FROM TRUCKS TO GO BELOW.
 - THE CANOPY LIGHTS ARE RECESSED INTO THE SOFFIT 1'
 - WE ARE PUTTING IN A 8' MASONRY WALL (MIN) WHERE ONLY AN EXISTING 6' WOOD FENCE EXISTS
 - THE BUILDING IS MORE INTERESTING AND PEDESTRIAN FRIENDLY.
 - THE DRIVEWAY ON PACKARD IS AS FAR FROM THE CORNER AS WE CAN MOVE IT.
 - WE HAVE AGREED TO ADD ADDITIONAL TRAFFIC SIGNS CITY PERMITTING TO MAKE THE PACKARD ROAD EXIT AS PEDESTRIAN SAFE AS POSSIBLE.
 - WE ARE CHECKING INTO THE BACK SIDE (SOUTH & WEST) OF THE CANOPY BEING PAINTED/FACADE COLOR TO MATCH PROPOSED TAN OF BUIDLING, INSTEAD OF CIRCLE K WHITE AND RED STRIPE.
 - WE ARE CHECKING INTO THE POSSIBILITY OF LOWERING THE POLE LIGHTS ALONG THE SOUTH AND WEST PROPERTY AND ANGLING UP MORE FOR LESS VIEW OF THE POLE LIGHT.
 - WE ARE CHECKING INTO PUTTING A RUBBER EDGE AROUND THE CANOPY ON THE SOUTH & WEST ELEVATION TO REDUCE LIGHT FROM THE CANOPY BEING SEEN BY THE NEIGHBORS BEHIND.
 - WE ARE CHECKING INTO PUTTING SHIELDS ON THE POLE LIGHTS ON THE SOUTH AND WEST ELEVATION TO PREVENT LIGHT BEING SEEN FROM BEHIND PROPERTIES.
 - WE ARE CHECKING INTO THE POSSIBILITY OF NO MUSIC OR ADDS TO BE PLAYED AT PUMP ANY TIME OF DAY OR NIGHT.
 - NEIGHBORS HAVE ASKED IF CIRCLE K WILL PROVIDE SOME LANDSCAPE MITIGATION ON NEIGHBOR SIDE OF PROPERTY. WE ARE CHECKING.



VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.

TRAFFIC IMPACT

PUMPING POSITIONS MOVED TO ALLOW BETTER FLOW FROM THE DRIVEWAY ENTRANCE AND PARKING AREAS.

- TWO WAY TRAFFIC NOW PROPOSED AROUND PUMPING SPACES (EXTERIOR) AND SINGLE FLOW BETWEEN (INTERIOR).
- WHERE AS CURRENTLY THERE IS ONLY ONE WAY TRAFFIC ON ONE SIDE AND IT'S VERY TIGHT (MORE OFTEN THEN NOT PEOPLE WAIT FOR OTHER CARS TO GO FIRST)
- WE ARE CLOSING TWO ENTRANCES THAT ARE RIGHT ON THE CORNER.
- THUS ALLOWING PEOPLE TO ENTER AND LEAVE THE SITE WITHOUT BLOCKING ON GOING TRAFFIC ON PACKARD AND STADIUM
- BUILDING INCREASE OF THIS SIZE HAS RESULTED IN OTHER STORES OF A INCREASE CAR VOLUME OF ~20-30%
- WE HAVE REDUCED PUMPING STATIONS TO 6 INSTEAD OF THE EXISTING 8.



Memorandum

To: Todd Quatro, Quatro Construction LLC Date: 4.10.17
From: Jim Renshaw, PE, PTOE Project: SWC Packard & Stadium
RE: Trip Generation Comparison Project Number: 16986.00
SWC Packard @ Stadium, Ann Arbor, MI

Thank-you for the opportunity to prepare a trip generation comparison for the above referenced site located on the southwest corner of Packard Street at Stadium Boulevard in Ann Arbor, Michigan. This memorandum documents a trip generation comparison of the current Circle K Convenience Store with gasoline pumps to the proposed redevelopment of the site. The proposed redevelopment maintains the current land-use and, as a result, similar trip generation characteristics can be reasonably anticipated to what currently exist.

Total daily, morning (AM) and evening (PM) peak hour trips expected to be generated by the development on a weekday were estimated based on information and procedures contained in the Institute of Transportation Engineer's (ITE) report *Trip Generation, Ninth Edition, 2012*. Peak-by-trip rates were determined based on information provided in *ITE Trip Generation Handbook, Ninth Edition, 2012*.

ITE procedures require the selection of an independent variable which is defined as a physical, measurable and predictable unit describing the study site or trip generator. In this case both the category of the study site and the independent variable must be selected. For example, two (2) land-use codes are considered (i.e. ITE Land Use Code 853 Convenience Store with Gas Pumps or ITE Land Use Code 854 Gasoline/Service Station with Convenience Store). Both the current site characteristics and that of the proposed redevelopment suggest that Land Use Code 853 is more applicable. Choices of an independent variable for Land Use Code 853 include number of fueling positions or gross square feet of the convenience store. The following table illustrates these independent variables for both the existing site and the proposed redevelopment.

Independent Variable	Existing Site	Proposed Redevelopment
Fueling Positions	8	6
GSP of Convenience Store	2260	4000

Note: Fueling Positions is defined as the maximum number of vehicles that can be fueled simultaneously.
GSP = Gross Square Feet

Given that the number of fueling positions remains constant between the current and proposed site plan, the building area is the only distinguishing trip generation characteristic/independent variable. The total number of weekday peak-hour trips generated by the proposed development is summarized in the following tables.

Trip Generation													
Land Use	ITE Code	Quantity	Units	Daily Total	Weekday AM Peak			Weekday PM Peak					
					In	Out	Total	In	Out	Total			
Convenience Store with Gas Pumps	853	2360	SF	1996	48	48	96	60	60	120			
Convenience Store with Gas Pumps	853	4000	SF	3382	82	82	164	102	102	204			
Difference					1368	34	34	68	42	42	84		

Date: 04.10.2017
Project: SWC Packard & Stadium
Page: 2

It should be mentioned that "pass-by" trips involve motorists who are diverted off the adjacent street system to visit some specific land uses such as convenience stores with and without gas pumps. These trips divert from existing travel paths to stop at many commercial uses, and then resume the original trip path. Thus, pass-by trips do not represent "new trips" added to the area road system. For convenience stores with gas pumps pass-by trips represent 63% of total trips. As a result, only 37% of the difference in trip generation of the proposed redevelopment is new trips that might impact the capacity of the adjacent roadway network.

In summary, the maximum anticipated trip generation impact resulting from the proposed redevelopment is an additional 1,366 total daily trip-ends with an additional 68 total trip-ends occurring in the AM peak hour and 64 total trip-ends during the PM peak hour of the adjacent roadway system. Total new trips resulting from the proposed redevelopment are only 506 daily trip-ends with 25 total new trip-ends in the AM peak hour and 31 total new trip-ends during the PM peak hour.

I hope this memorandum satisfactorily outlines the results of my analysis. Please don't hesitate to call if you have any questions or require any additional traffic analysis, transportation planning, or design.

ISSUE DATE:
3/27/15

REVISION DATES:

NO.	DATE
3/25/15	04/05/17
3/27/15	04/25/17
4/28/15	
5/28/15	
1/22/16	
3/9/16	
5/5/16	
6/21/16	
7/12/16	
7/29/16	

DRAWN BY: V.R./R.S.
CHECKED BY: B.N.
APPROVED BY: B.N./T.Q.

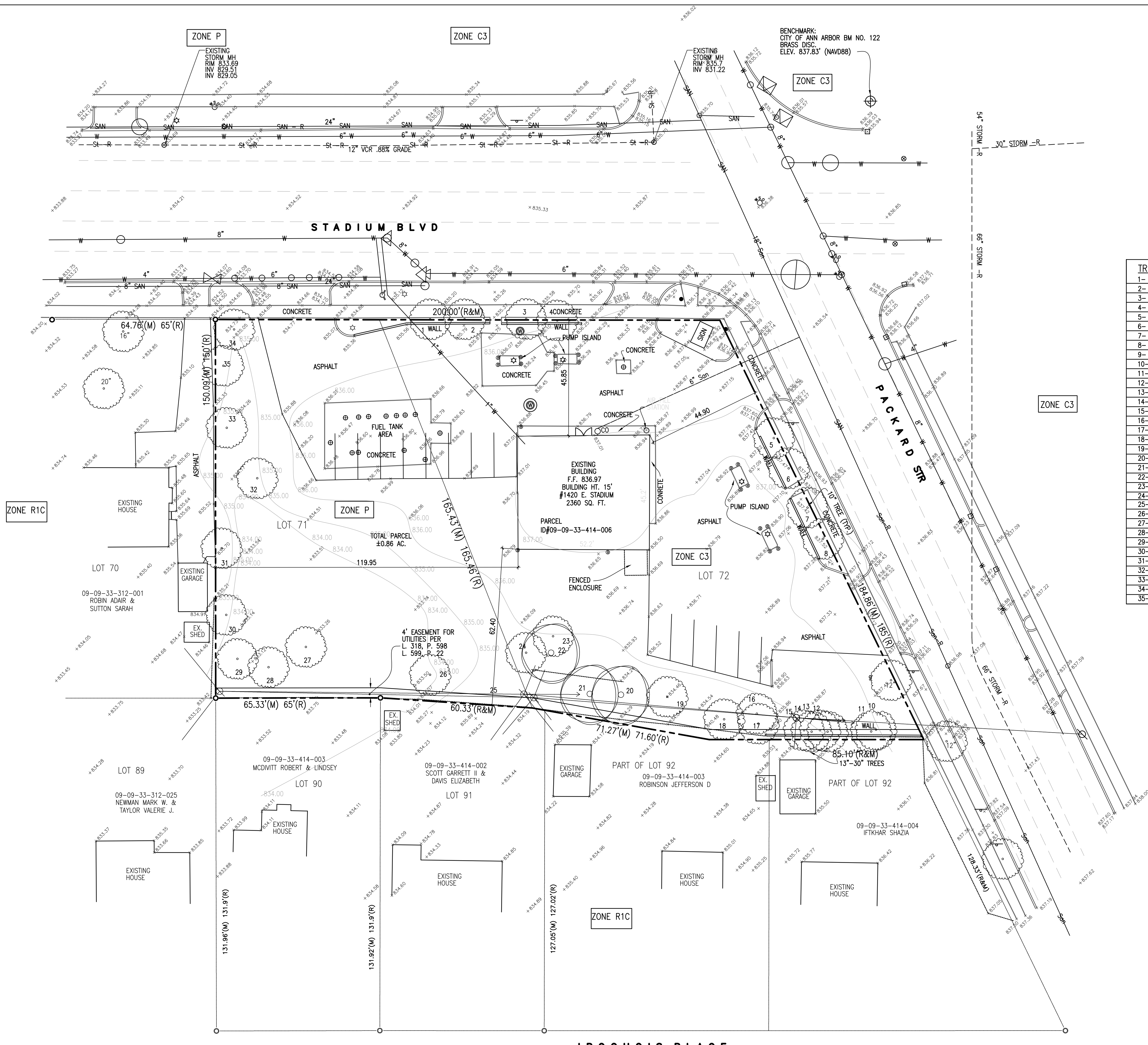
DWG FILE:

PROJECT NO.:
2321

SHEET TITLE:

TITLE
SHEET

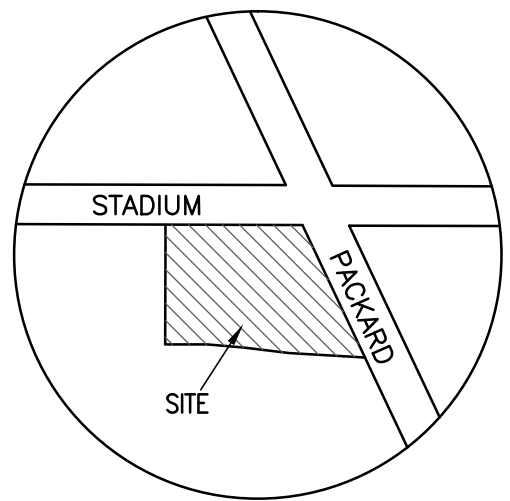
SHEET NO.:
TS-1.1



- LEGEND:**
- TRANSFORMER
 - UTILITY POLE
 - LIGHT POLE
 - GUY ANCHOR
 - ROUND CATCH BASIN
 - SQUARE CATCH BASIN
 - STORM MANHOLE
 - CURB INLET
 - SANITARY MANHOLE
 - SANITARY CLEAN OUT
 - GAS METER
 - GAS VALVE
 - ELECTRIC MANHOLE
 - SIGN
 - RAILROAD SIGNAL POLE
 - WATER CURB STOP
 - GATE VALVE
 - HYDRANT
 - MONITOR WELL
 - FOUND SURVEY IRON
 - COMMUNICATION MANHOLE
 - TOP OF CURB (ELEV.)
 - GUTTER (ELEV.)
 - TOP OF WALK (ELEV.)
 - ASPHALT (ELEV.)

TREE CHART	LM	DBH	CONDITION
1- SHADE MASTER HONEYLOCUST 10" CAL	N	11.5"	GOOD
2- SHADE MASTER HONEYLOCUST 10" CAL	N	8.5"	GOOD
3- SHADE MASTER HONEYLOCUST 10" CAL	N	9"	GOOD
4- SHADE MASTER HONEYLOCUST 10" CAL	N	8"	GOOD
5- SHADE MASTER HONEYLOCUST 10" CAL	N	10.2"	GOOD
6- SHADE MASTER HONEYLOCUST 10" CAL	N	8"	GOOD
7- SHADE MASTER HONEYLOCUST 10" CAL	N	9"	GOOD
8- SHADE MASTER HONEYLOCUST 10" CAL	N	10"	GOOD
9- SHADE MASTER HONEYLOCUST 12" CAL	N	11"	GOOD
10- CHINESE ELM 12" CAL	Y	20"	FAIR
11- CHINESE ELM 10" CAL	N	7.5"	FAIR
12- CHINESE ELM 16" CAL	N	13"	FAIR
13- AMERICAN ELM 12" CAL	N	17"	POOR
14- AMERICAN ELM 8" CAL	N	11.5"	FAIR
15- CHINESE ELM 16" CAL	Y	19"	FAIR
16- NORWAY MAPLE 6" CAL	N	6"	DEAD
17- AMERICAN ELM 8" CAL	N	10"	FAIR
18- AMERICAN ELM 16" CAL	N	9"	FAIR
19- CLUMP MULBERRY - 4"-8" CAL	N	8"	GOOD
20- SCOTCH PINE 20" CAL	Y	18"	GOOD
21- SCOTCH RED PINE 20" CAL	N	16"	GOOD
22- SCOTCH RED PINE 12" CAL	N	14"	GOOD
23- BUCKTHORN 6" CAL	N	6"	POOR
24- CHINESE ELM 70" CAL	Y	32"	GOOD
25- HONEY SUCKLE SHRUB	N	SHRUB	
26- CHINESE ELM 40" CAL	Y	28"	FAIR
27- CHINESE ELM 60" CAL	Y	30"	FAIR
28- BOX ELDER 2-6" CAL	N	2"	GOOD
29- MULBERRY 26" CAL	N	11"	FAIR
30- NORWAY MAPLE 6" CAL	N	6"	GOOD
31- POPLAR 18" CAL	N	15"	GOOD
32- CHINESE ELM 24" CAL	Y	21"	FAIR
33- CHINESE ELM 26" CAL	Y	25"	FAIR
34- SHADE MASTER HONEY LOCUST 14" CAL	N	11"	GOOD
35- SHADE MASTER HONEY LOCUST 6" CAL	N	3"	GOOD

*CHART UPDATED PER ARBORIST VISIT TO SITE 9-28-15



LOCATION MAP
NTS

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ROBERT
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(734) 693-0852

QUATRO CONSTRUCTION LLC
DESIGN BUILD CONTRACTOR
COMMERCIAL/INDUSTRIAL/RESIDENTIAL
201 NORTH PARK STREET
YPSILANTI, MI 48198
PHONE (734) 485-7737, FAX (734) 485-7873

CIRCLE-K GAS STATION

1420 EAST STADIUM BLVD
ANN ARBOR, MI 48104

ISSUE DATE
1/21/15
03/30/15
08/13/15
12/28/15
03/09/16
03/16/17
04/05/17
04/25/17

DRAWN BY: M.N.
CHECKED BY: R.N.
APPROVED BY: R.N./T.Q.

ARCHITECTURAL SEAL:

PROJECT NO.: 2621

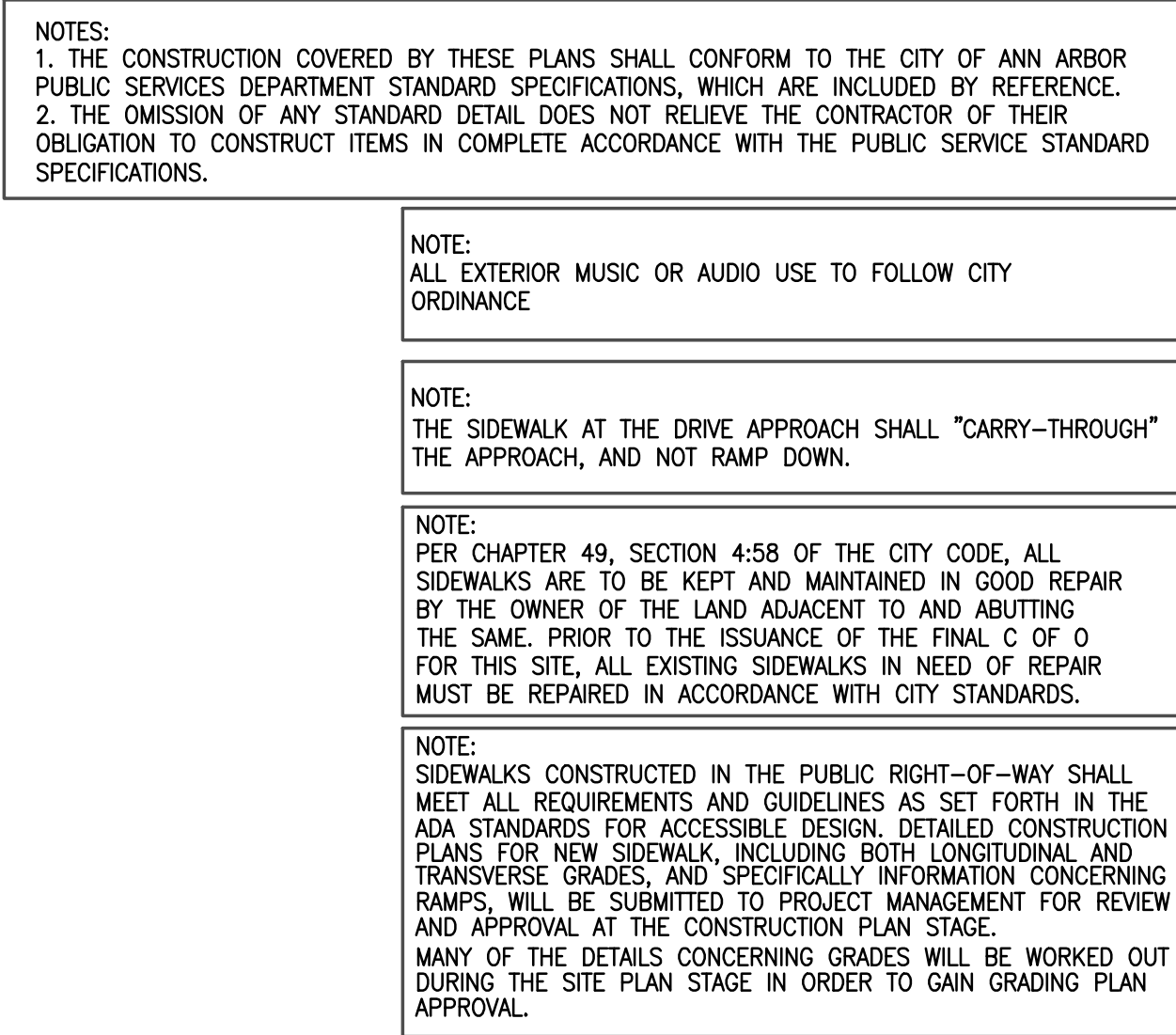
SHEET TITLE:

EXISTING SITE PLAN

SHEET NO.: C-1

EXISTING SITE PLAN
SCALE 1"=20'





DESCRIPTION	REQUIRED	EXISTING	PROPOSED	NOTE
ZONING	C3	P/C3	P/C3	
FRONT YARD-BLDG	10.00/25.00	45.85/44.90	108.55/10	
SIDE YARD	30.00	119.95	141.8	WEST ELEVATION
REAR YARD	30.00/30.00	119.95/62.40	VARIES 8.17-17.62	VARIANCE REQ.
PARKING	20	13 PK 8 PUMP	14 PK 8 PUMP	
PARKING SPACE	9x18	9x18	9x18	
HC PARKING	1	1	1	
PARKING AISLE	22.0	22.0	22-36	
BICYCLE PARKING	1C	0	2C	SERVICES 2 BIKES
MAXIMUM HEIGHT	55	15.4	19.2	
STORIES	4 MAX	1	1	
MIN SITE AREA	6000	37,589 SQFT	37,589 SQFT	
MAX FLOOR RATIO	200%	6.3%	10.6%	
MIN WIDTH	60	150	150	
BLD AREA		2360	4000	

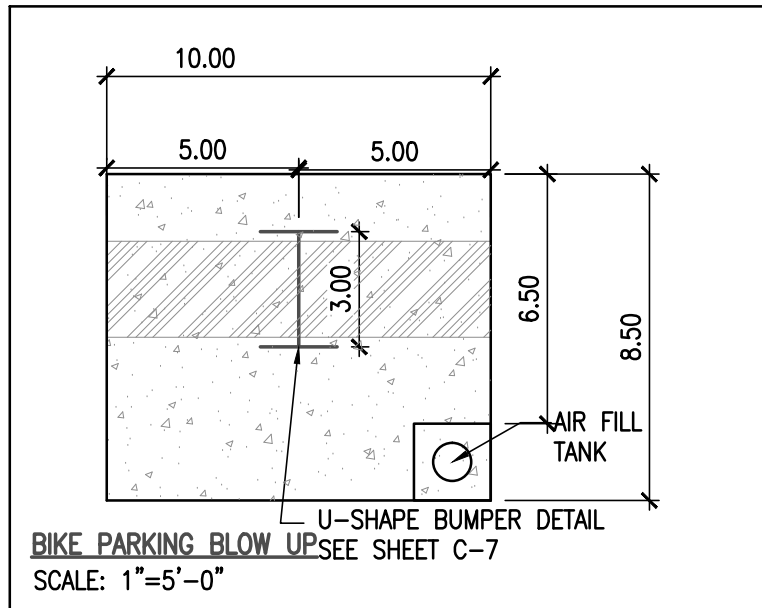
PARKING CALCULATIONS:
1 SPACE PER 200 SQ.FT. OF FLOOR AREA:
4000/200 = 20 SPACES REQUIRED

HOURS OF OPERATION: 24 HR

PARCEL ID#09-09-33-414-006

LEGAL DESCRIPTION:
LOTS 71 & 72 FRISINGER LAND CO SECOND SUBD

PARKING CALCULATIONS:
1 SPACE PER 200 SQ.FT. OF FLOOR AREA
 $4000/200 = 20$ SPACES REQUIRED
HOURS OF OPERATION: 24 HR



SOLID WASTE NOTES: DUMPSTER ENCLOSURE
1. GATE PINS TO BE PROVIDED IN THE OPEN AND
CLOSED POSITIONS.
2. THE BUILDING SITE WILL OPEN AND CLOSE THE
GATES.

LEGEND:

- NEW LIGHT POLE
- ⊠ TRANSFORMER
- ⊘ UTILITY POLE
- ☀ LIGHT POLE
- ⊙ GUY ANCHOR
- ◯ ROUND CATCH BASIN
- ◻ SQUARE CATCH BASIN
- Ⓢ STORM MANHOLE
- Ⓜ CURB INLET
- Ⓢ SANITARY MANHOLE
- Ⓢ SANITARY CLEAN OUT
- Ⓢ GAS METER
- Ⓢ GAS VALVE
- Ⓢ ELECTRIC MANHOLE
- Ⓢ SIGN
- Ⓢ RAILROAD SIGNAL POLE
- Ⓢ WATER CURB STOP
- Ⓢ GATE VALVE
- Ⓢ HYDRANT
- Ⓢ MOUNT WELL
- Ⓢ FOUND SURVEY IRON
- Ⓢ COMMUNICATION MANHOLE

900.61TC 900.46TG	TOP OF CURB (ELEV.)
	GUTTER (ELEV.)
900.61 TW 900.46 TP	TOP OF WALK (ELEV.)
	PAVEMENT
900.61 TI	TOP OF INLET (ELEV.)

 NEW CONCRETE NEW ASPHALT

- | | | |
|--|-----|--------------------|
| | G | GAS |
| | SAN | SANITARY (SAN) |
| | ST | STORM (STM) |
| | W | WATERMAIN (WM) |
| | | OVERHEAD WIRE |
| | | UNDERGROUND CABLE |
| | | EX. DITCH OR SWALE |
| | | CENTERLINE |
| | | EASEMENTS |
| | | RAILROAD |
| | | CHAIN LINK FENCE |
| | | WOOD FENCE |
| | | WIRE FENCE, |
| | | GUARD RAIL |

72 HOURS
(3 WORKING DAYS)
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
(TOLL FREE)



SITE LAYOUT PLAN

SCALE 1"=20'

SCALE 1"=20'

 LOCATION MAP
NTS

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ROBERT
NOE
ARCHITECTURE

9103 N UNION #135
TECUMSEH, MI
49286

(734) 693-0852

QUATRO CONSTRUCTION LLC
DESIGN BUILD CONTRACTOR
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CIRCLE-K GAS STATION

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ANN ARBOR, MI 48104

ISSUE DATE

2/19/15	03/09/16	02/08/17
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3/27/15	05/03/16	03/10/17
9/24/15	06/09/16	03/14/17
12/10/15	06/16/16	03/15/17
12/24/15	07/12/16	03/17/17
12/28/15	07/29/16	03/20/17
01/04/16	11/02/16	04/05/17
01/22/16	12/23/16	04/12/17
02/22/16	02/06/17	04/25/17

DRAWN BY: R.S.

CHECKED BY: R.N.

APPROVED BY: R.N./I.Q.

ARCHITECTURAL SEAL:

1000

1000

1000

1000

PROJECT NO.:

PROJECT NO.: **2621**

SHEET TITLE:

SITE LAYOUT

SITE LAYOUT

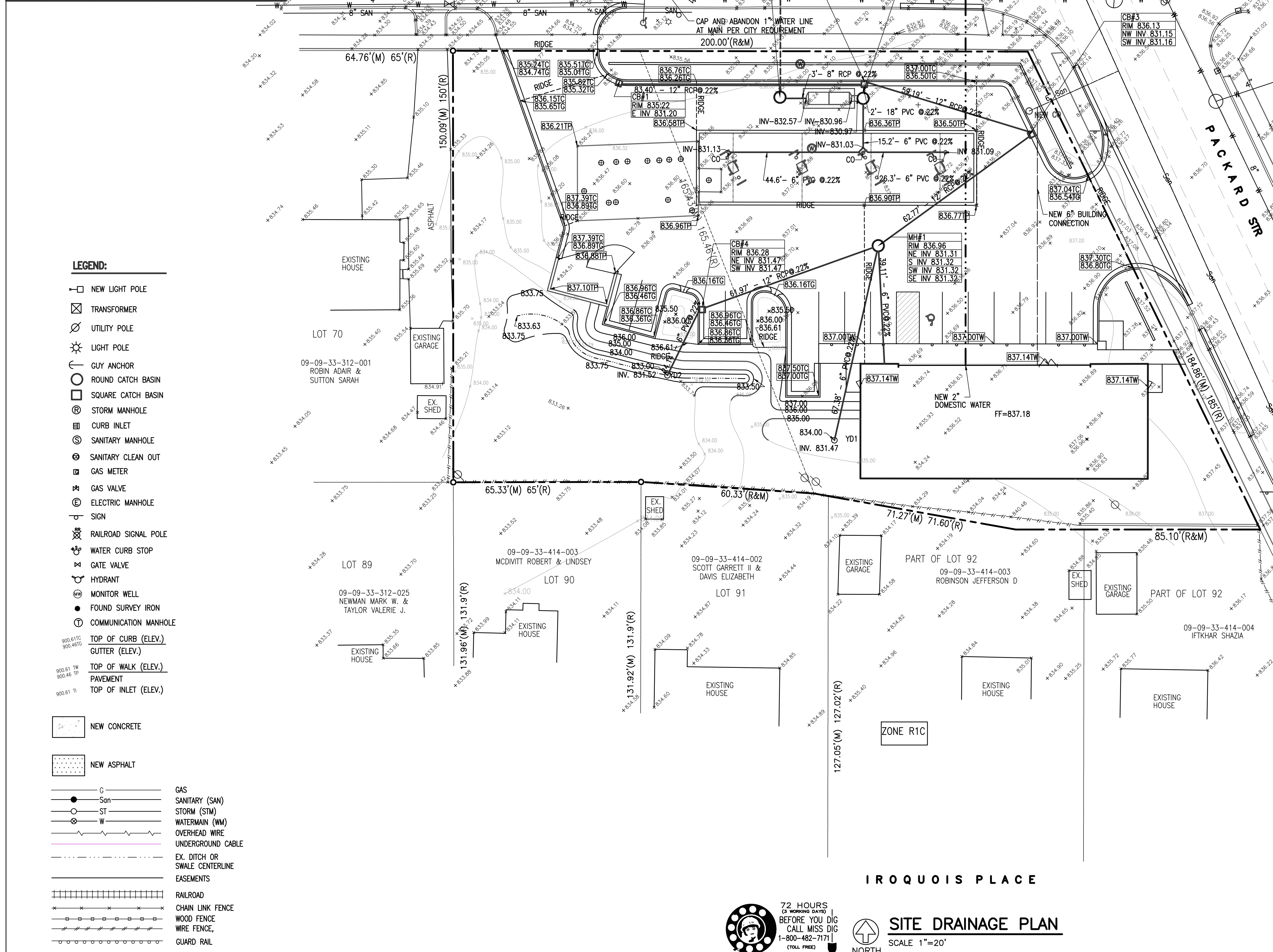
PLAN

SHEET NO. :

SHEET NO.: 03

C-3

STRUCTURE	DESCRIPTION	COVER	RIM ELEV.	INV. ELEV.	REMARK
PROPOSED	MH1	EJW 1040 TYPE "B" LID	836.96	NE INV 831.31 S INV 831.32 SE INV 831.32	
PROPOSED	CB1	7236 CURB INLET TYPE "M1" GRATE	835.22	E INV 831.20	
PROPOSED	CB2	7236 CURB INLET TYPE "M1" GRATE	835.68	W INV 831.02 SE INV 831.01	
PROPOSED	CB3	7236 CURB INLET TYPE "M1" GRATE	836.13	NW INV 831.15 SW INV 831.16	
PROPOSED	CB4	7236 CURB INLET TYPE "M1" GRATE	836.28	NE INV 831.47 SW INV 831.47	
PROPOSED	YD1	6500 GRATE 24"x24"	834.00	NE INV 831.47	00650044
PROPOSED	YD2	6500 GRATE 24"x24"	833.00	NE INV 831.52	00650044
PROPOSED	STORM CEPTOR	TYPE "M1" GRATE	835.51	W INV 830.97 S INV 831.00 N INV 831.00	
PROPOSED	CB5	EJW 1040 TYPE "B" LID	835.97	E INV 832.57 N INV 833.52	
PROPOSED	INFILTRATION	SEE C-8,9			



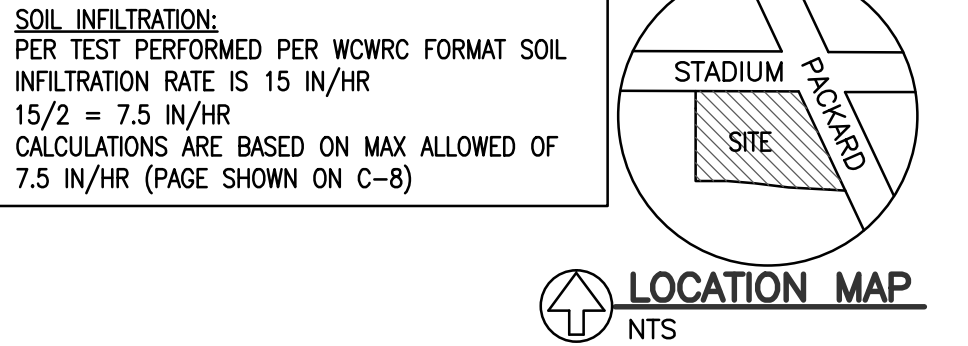
STORM WATER MANAGEMENT CALCULATION

A = 37,589 SQ' = 0.86 ACR

Proposed building
Asphalt, concrete, curb & dumpster
Green & ground

4,000 x .95 = 3,800
17,833 x .95 = 16,941.4
15,756 x .30 = 4,726.8

C = 25,468 / 37589 = .68
A = 0.86 Ac
Allowable Release is .15 cfs/Ac
Q = .15 cfs/Ac x 0.86 Ac = 0.129 cfs



WORK SHEET 9 - SUMMARY FROM PREVIOUS WORKSHEETS

FIRST FLUSH VOLUME V_{ff} = 1,935.52 FT³

PRE-DEVELOPMENT BANKFULL RUNOFF VOLUME V_{bf-pre} = 592.78 FT³

PERVIOUS COVER POST-DEVELOPMENT BANKFULL VOLUME V_{bf-per-post} = 1,883.16 FT³

IMPERVIOUS COVER POST-DEVELOPMENT BANKFULL VOLUME V_{bf-imp-post} = 154.03 FT³

TOTAL BF VOLUME = 2,037.19 FT³

PERVIOUS COVER POST-DEVELOPMENT 100 YEAR VOLUME V

IMPERVIOUS COVER POST-DEVELOPMENT 100 YEAR VOLUME V

TOTAL 100 YEAR VOLUME = 2,847.5 FT³

DETERMINE ONSITE INFILTRATION REQUIREMENT

TOTAL POST DEVELOPMENT BANKFULL = 2,037.19

PRE-DEVELOPMENT BANKFULL = 592.78

BANKFULL DIFFERENCE = 1,444.41

V_{ff} = 1,935.52 > V_{bf-diff} 1,444.41

ONSITE INFILTRATION REQUIREMENT (V_{inf}) = 1,935.52 FT³

100- Year Flood Volume Required

TOTAL 100 YEAR VOLUME = 2,847.5 FT³

X₁₀₀ = 833.52

Bank Full Volume Required

TOTAL BF VOLUME = 2,037.19 FT³

X_{bf} = 833.04

First Flush Volume Required

TOTAL FF VOLUME = 1,935.19 FT³

X_{ff} = 831.77

INFILTRATION STORAGE*

2268.63 627.20

TOTAL = 2,895.93 > 2,847.5 OK

2268.63

TOTAL = 2,268.63 > 2,037.19 OK

2268.63

TOTAL = 2,268.63 > 1,935.19 OK

STORAGE PROVIDED - W13

STORAGE PROVIDED -

BIO AREA #1 - 146 FT³ - SURFACE

BIO AREA #2 - 141 FT³ - SURFACE

Elevation	Depth	Volume	Total
830.10 RESTRI INV	0	0	0
INF 830.89	2.5	0	374
ST1 830.97	0	0	374
CAN 830.98	.5	3.14X.25X.25X86'=17	391
CB2 831.02	1.5	3.14X.75X.75X2'=3.5	394.5
CB1 831.20	1	3.14X.5X.5X83.4'=65.5	460
CB3 831.15	1	3.14X.5X.5X59.2'=51.4	511.4
MH1 831.31	1	3.14X.5X.5X62.7'=49.2	560.6
CB4 831.47	1	3.14X.5X.5X62'=48.7	609.3
YD2 831.31	.5	3.14X.25X.25X24.1'=4.7	614
YD1 831.52	.5	3.14X.25X.25X67.4'=13.2	627.2

627.2+146+141 = 914>578.87 OK
SEE C-8 WORK SHEETS

INFILTRATION REQUIRED - SEE C-8

1,935.52 FT³

WORK SHEET 11 - APPLICABLE BMPs AND ASSOCIATED VOLUME CREDITS

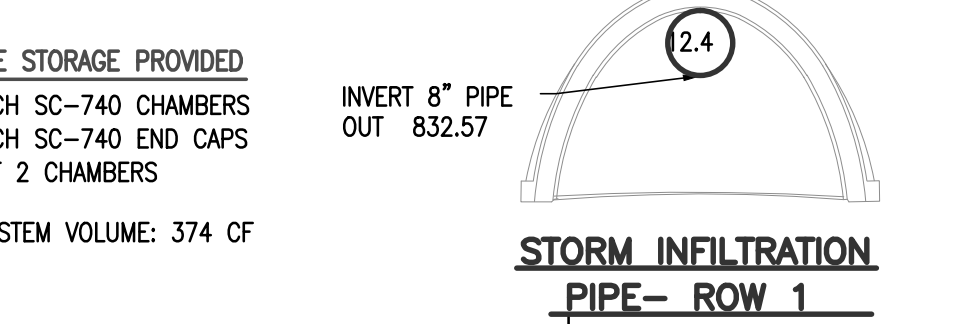
PROPOSED BMP	AREA (FT ²)	STORAGE VOLUME (FT ³)	AVG. DESIGN INFILTRATION RATE (IN/HR)	INFILTRATION VOLUME DUR. STORM	TOTAL VOLUME REDUCTION (FT ³)	TOTAL VOLUME REDUCTION (FT ³) USED
1. BIORETEN 282	146	384.2	7.5	1,080.82	1,080.82	626 *
2. BIORETEN 283	141.5	353.8	7.5	1,080.82	1,080.82	626 *
3. INFILTRAT 173	0	367	7.5	653.63	1,020.63	1,020.63

TOTAL VOLUME REDUCTION CREDIT = 2,268.63

1,935.52 MORE POSSIBLE FOR GREEN SPACE, BUT THIS IS FROM IMPERVIOUS AREA

RUNOFF VOLUME INFILTRATION REQUIREMENT (V_{inf}) = 1,935.52

RUNOFF VOLUME CREDIT = 333.11



10 YEAR I= $\frac{175}{T+25}$

T₁ = Vx60

FROM	TO	INCR. AREA	RUN-OFF COEFF	EQUIV. AREA	TOTAL AREA	TIME MIN	INTEN. in/hr	FLOW-Q CFS	PIPE SIZE USED	SLOPE (S) %	L ft	CAPACITY CFS	V ft	TIME MIN	UP STREAM RIM	DOWN STREAM RIM
YD2	CB4	.01	0.774	0.007	.01	10	5.00	0.04	6	0.22	24.14	0.22	1.17	0.34		
CB4	MH1	.12	0.774	0.09	.12	10.34	4.95	0.46	12	0.22	61.97	1.59	2.02	0.51		
YD1	MH1	.01	0.774	0.007	.01	10	5.00	0.04	6	0.22	67.38	0.22	1.17	0.95		
BLD	MH1	.09	0.774	0.07	.09	10	5.00	0.35	6	0.22	39.11	0.22	1.17	0.56		
MH1	CB3	.14	0.774	0.11	.14	10.95	4.87	0.53	12	0.22	62.77	1.59	2.02	0.68		
CB3	CB2	.37	0.774	0.28	.37	11.63	4.78	1.37	12	0.22	59.19	1.59	2.02	0.49		
CB1	CB2	.06	0.774	0.05	.06	10.00	5.00	0.19	12	0.22	83.40	1.59	2.02	0.68		
CB2	STORM CEPTOR	.43	0.774	0.33	.43	12.12	4.91	1.63	18	0.22	2.0	4.48	2.74	0.01		
CANOPY	STORM CEPTOR	.05	0.774	0.04	.05	10.00	5.00	0.19	6	0.22	15.2	0.22	1.17	0.22		
STORM CEPTOR	INFILT.	.48	0.774	.37	.48	12.03	4.73	1.76	18	0.22	2.0	4.48	2.74	0.01		
INFILT.	CB5	.07	0.774	-	.48	12.04	4.72	1.75	8	0.22	3.0	.51	1.47	0.03		
RESTRICT EX. CITY STORM		0.774	-	.48	12.07	4.72	1.75	8	0.22	82.93	.51	1.47	.94			

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DRAWN BY: R.S.
CHECKED BY: R.N.
APPROVED BY: R.N./T.Q.

ARCHITECTURAL SEAL:

PROJECT NO.: **2621**

SHEET TITLE: **SITE DRAINAGE PLAN**

SHEET NO.: **C-5**

LANDSCAPE REQUIREMENTS:

R-O-W LANDSCAPE:
1 DEC TREE PER 30 LINEAR FEET OF VEHICLE SCREENING FRONTAGE, OPAQUE WALL (MIN 30" HIGH),
1 SHRUB PER 4 LINEAR FEET.

227 LINEAR FEET OF VEHICLE SCREENING FRONTAGE.
8 TREES REQUIRED, 57 SHRUBS REQUIRED.

PROVIDED:
8 NEW TREES WITH 57 NEW SHRUBS.

ABUTTING LAND: CLUB REQUIREMENTS
1 TREE PER 15 LINEAR FEET, MIN 50% CONIFEROUS

432 LINEAR FEET OF ABUTTING LAND.
301 REMOVED FROM LINEAR FEET FOR EXISTING TREES TO REMAIN. (SO AS NOT TO DISTURB THEIR ROOTS) 432-301 = 131 / 15 = 8.6 TREES
9 TREES REQUIRED. 50% CON REQUIRED, 100% PROPOSED (FOR NEIGHBORS)

PROVIDED:
9 TREES: CONIF TREES, 11 EXISTING TREES (DEC)
61 LN FT REUSED EXISTING 6" MASONRY FENCE.
366 LINEAR FEET OPAQUE WALL (8' & 10' TALL)
25 LN FT OPAQUE WALL (4' TALL)
(REUSING EXISTING FENCE POSTS LOCATIONS AS MUCH AS POSSIBLE TO NOT DISTURB CRITICAL ROOT ZONES.)

INTERIOR LANDSCAPE:
1 SQUARE FOOT PER 20 SOFT VEHICULAR PAVEMENT, UNDER 50,000 SOFT.
16,562 SOFT VEHICULAR PAVEMENT / 20 = 828 LANDSCAPE AREA REQUIRED.
WITH 1 DEC TREE REQUIRED PER 250 SQFT. = DEC TREE REQ. = 3
PROVIDED:
AREA 1= 259 SOFT WITH 1 DEC TREE
AREA 2= 292 SOFT WITH 1 DEC TREE
AREA 3= 283 SOFT WITH 1 DEC TREE

TOTAL SOFT = 834 SOFT
SQUARE FEET PROVIDED > 828 OK
BIORETENTION REQUIRED 50% OF 828 = 414
BIO #1- 200
BIO #2- 218
210+210= 418 > 414 OK

LANDMARK TREE MITIGATION:
TREE #10 CHINESE ELM 20" DBH REMOVED: 20"/2" = 10" REQUIRED REPLACEMENT
TREE #15 CHINESE ELM 19" DBH REMOVED: 19"/2" = 9.5" REQUIRED REPLACEMENT
TREE #20 SCOTCH PINE 18" DBH REMOVED: 18"/2" = 9" REQUIRED REPLACEMENT
TREE #24 CHINESE ELM 32" DBH REMOVED: 32"/2" = 16" REQUIRED REPLACEMENT
TOTAL DBH REPLACEMENT=44.5"
PROVIDED
MIXTURE OF TREES:
(10) 2.5" = 25" DEC
(10) 2" = 20" EVERGREEN (ASSUMING A 7' TALL CONIFER = ONE 2" CAL TREE)
25+20= 45" > 44.5" OK

VARIANCE AND LANDSCAPE MODIFICATION REQUESTS SUBMITTED:
1. VARIANCE #1 - DRIVEWAY / CURB CUT WIDTH STADIUM - 35'/51.78"
2. VARIANCE #2 - DRIVEWAY / CURB CUT WIDTH PACKARD - 35'/71"
3. VARIANCE #3 - BUILDING REAR SETBACK VARIANCE - 8.17'-17.62"
4. LANDSCAPE MODIFICATION #1 - TO COUNT THE EXISTING 150 FEET ALONG THE WESTERN PROPERTY LINE, 120' ALONG THE SOUTHWEST PROPERTY LINE AND 31' ALONG THE SOUTHEAST PROPERTY LINE TOWARDS THE CLUB REQUIREMENTS, WHILE ALSO REMOVING THE 50% CONIFER REQUIREMENT FOR THE EXISTING ONLY.

LANDSCAPE NOTES: CHAPTER 62 SECTION 5:607:

- (4) Specifications for treatment of compacted soil on the entire site. USE OF A AERATOR OVER COMPACTED SOIL AREAS SHALL BE UTILIZED TO LOOSEN SOIL FOR NEW GRASS & VEGETATION.
(5) Specifications for planting media in landscaped areas. ADDITIONAL SOIL SHALL BE FILTERED TOPSOIL. MULCH SHALL BE HARDWOOD, NON DYED FREE OF DEBRIS.
(13) Identification of snow storage areas including a statement that snow shall not be pushed onto interior landscape islands unless designed for snow storage.
SHOWN ON PLAN. SNOW SHALL NOT BE PUSHED ONTO INTERIOR LANDSCAPE AREAS.

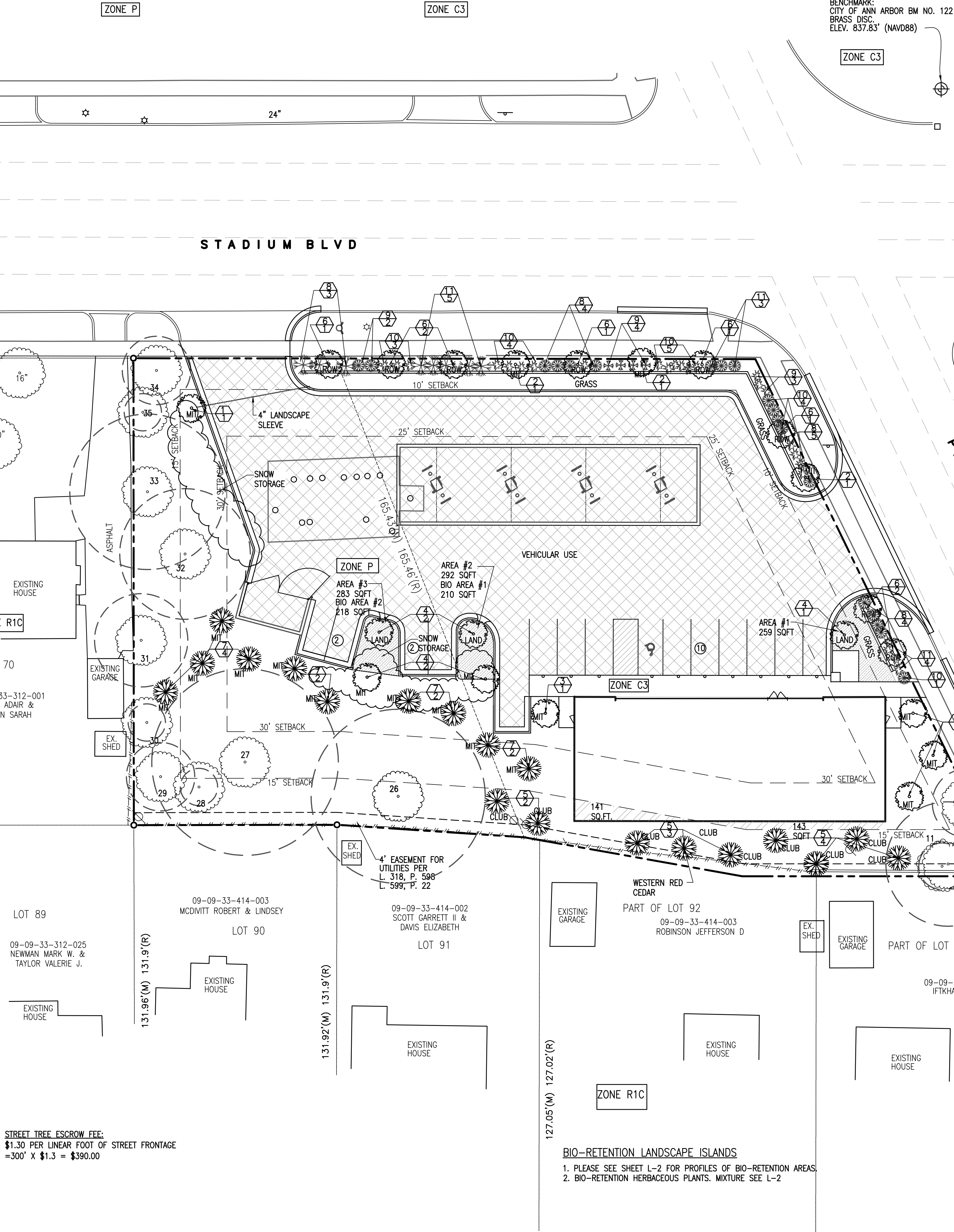
NATURAL FEATURE IMPACT

WE ARE REMOVING THREE (3) LANDMARK TREE. (#15,20,24) REMAINDER OF LANDMARK TRESS, WE ARE STAYING OUT OF THEIR CRITICAL ROOT ZONE, JUST WORKING CLOSELY. TREE #10 WE ARE MITIGATING AS IF IT WERE TO BE REMOVED, BUT ARE KEEPING IT IN THE HOPES IT WILL SURVIVE CONSTRUCTION. (IT'S A LARGE EXISTING TREE AGAINST THE EXISTING MASONRY WALL TO REMAIN)
WE TRIED TO WORK AROUND THE EXISTING TREES AS MUCH AS POSSIBLE, HOWEVER IT WAS NOT POSSIBLE TO ACCOMMODATE ALL THE LANDMARK TREES AND THE CLIENT. WE ARE ADDING STORM WATER DRAINAGE UNDER THE NEW PAVEMENT TO REDUCE THE WATER GOING ONTO NEIGHBORING PROPERTIES WHICH LIMITS WHERE WE CAN PLACE THE BUILDING AND PUMP ISLANDS.
IN ADDITION THERE ARE EXISTING TANKS THAT WERE REPLACED WITHIN THE PAST 5 YEARS THAT THE CLIENT IS NOT ABLE TO INCUR THE COST FOR REPLACING

WE ARE REMOVING ALL EXISTING R-O-W TREES #1-#8 AND WILL BE REPLACING AS REQUIRED BY ORDINANCE (8 R-O-W TREES REQUIRED)
ALL TREES ALONG THE SOUTH PROPERTY MINUS #9,10,11,26,27,28 & 29 ARE BEING REMOVED AS WE CANNOT GUARANTEE THEIR SURVIVAL DURING CONSTRUCTION. THE CRITICAL ROOT ZONES FOR THESE TREES AND WITHIN THE DEMOLITION AND NEW CONCRETE AREAS. TO ENSURE MOVEMENT AROUND THE SITE AND FUTURE TREES WE HAD TO REMOVE THE TREES ALONG THE SOUTHERN PROPERTY
ALL CLUB REQUIREMENTS ARE NOW BEING MET. WE DID KEEP AS MANY TREES AS POSSIBLE TO REDUCE MITIGATION REQUIREMENTS. THOUGH AS THE DEMOLITION TREE PROTECTION SHEET SHOWS, WE WERE CUTTING INTO TOO MUCH OF THE CRITICAL ROOT ZONES TO KEEP MORE TREES.

NOTE:

- PLANTS SHALL BE NURSERY GROWN, FREE OF DISEASE AND SIZES CONFORM TO AMERICAN NURSERYMAN STANDARDS.
- THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING ALL LANDSCAPING IN GOOD CONDITION TO PRESENT A HEALTHY, NEAT, AND ORDERLY APPEARANCE THIS SHOULD BE ACCOMPLISHED BY THE FOLLOWING STANDARDS:
 - ALL PLANT GROWTH IN LANDSCAPED AREAS SHALL BE CONTROLLED BY PRUNING, TRIMMING, OR OTHER SUITABLE METHODS SO THAT PLANT MATERIALS DO NOT INTERFERE WITH PUBLIC UTILITIES, RESTRICT PEDESTRIAN OR VEHICULAR ACCESS, OR OTHERWISE CONSTITUTE A TRAFFIC HAZARD.
 - ALL PLANTED AREAS SHALL BE MAINTAINED IN A RELATIVELY WEED-FREE CONDITION, CLEAR OF UNDESIRABLE UNDERGROWTH
 - REPLACEMENT PLANTS SHALL CONFORM TO THE STANDARDS THAT GOVERN ORIGINAL INSTALLATION.
- UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED ADEQUATE TO MAINTAIN LANDSCAPE AREAS
- ALL APPLICATIONS OF FERTILIZER BEYOND INITIAL TOPSOIL AND SEEDING SHALL BE FERTILIZED WITH NO PHOSPHORUS.
- ALL DISEASED, DAMAGED, OR DEAD MATERIAL SHOWN ON THE SITE PLAN SHALL BE REPLACED BY THE END OF THE FOLLOWING GROWING SEASON.
- ALL REMOVED INVASIVE SPECIES (TREE OF HEAVEN) TO BE CUT AND TREATED.
- ALL DEAD TREES TO BE REPLACED TO MATCH EXISTING



TREE CHART		LM	DBH	CONDITION	KEPT/REMOVE
1-	SHADE MASTER HONEYLOCUST 10" CAL	N	11.5"	GOOD	1- 'REMOVE
2-	SHADE MASTER HONEYLOCUST 10" CAL	N	8.5"	GOOD	2- 'REMOVE
3-	SHADE MASTER HONEYLOCUST 10" CAL	N	9"	GOOD	3- 'REMOVE
4-	SHADE MASTER HONEYLOCUST 10" CAL	N	8"	GOOD	4- 'REMOVE
5-	SHADE MASTER HONEYLOCUST 10" CAL	N	10.2"	GOOD	5- 'REMOVE
6-	SHADE MASTER HONEYLOCUST 10" CAL	N	8"	GOOD	6- 'REMOVE
7-	SHADE MASTER HONEYLOCUST 10" CAL	N	9"	GOOD	7- 'REMOVE
8-	SHADE MASTER HONEYLOCUST 10" CAL	N	10"	GOOD	8- 'REMOVE
9-	SHADE MASTER HONEYLOCUST 12" CAL	N	11"	GOOD	9- 'KEPT
10-	CHINESE ELM 12" CAL	Y	20"	FAIR	10- 'KEPT
11-	CHINESE ELM 10" CAL	N	7.5"	FAIR	11- 'KEPT
12-	CHINESE ELM 16" CAL	N	13"	FAIR	12- 'REMOVE
13-	AMERICAN ELM 12" CAL	N	17"	POOR	13- 'REMOVE
14-	AMERICAN ELM 8" CAL	N	11.5"	FAIR	14- 'KEPT
15-	CHINESE ELM 16" CAL	Y	19"	FAIR	15- 'REMOVE
16-	NORWAY MAPLE 6" CAL	N	6"	DEAD	16- 'REMOVE
17-	AMERICAN ELM 8" CAL	N	10"	FAIR	17- 'REMOVE
18-	AMERICAN ELM 16" CAL	N	9"	FAIR	18- 'REMOVE
19-	CLUMP MULBERRY - 4"-8" CAL	N	8"	GOOD	19- 'REMOVE
20-	SCOTCH PINE 20" CAL	Y	18"	GOOD	20- 'REMOVE
21-	SCOTCH RED PINE 20" CAL	N	16"	GOOD	21- 'REMOVE
22-	SCOTCH RED PINE 12" CAL	N	14"	GOOD	22- 'REMOVE
23-	BUCKTHORN 6" CAL	N	6"	POOR	23- 'REMOVE
24-	CHINESE ELM 70" CAL	Y	32"	GOOD	24- 'REMOVE
25-	HONEY SUCKLE SHRUB	N	SHRUB		25- 'SHRUB KEPT
26-	CHINESE ELM 40" CAL	Y	28"	FAIR	26- 'KEPT
27-	CHINESE ELM 60" CAL	Y	30"	FAIR	27- 'KEPT
28-	BOX ELDER 2-6" CAL	N	2"	GOOD	28- 'KEPT
29-	MULBERRY 26" CAL	N	11"	FAIR	29- 'KEPT
30-	NORWAY MAPLE 6" CAL	N	6"	GOOD	30- 'KEPT
31-	POPLAR 18" CAL	N	15"	GOOD	31- 'KEPT
32-	CHINESE ELM 24" CAL	Y	21"	FAIR	32- 'KEPT
33-	CHINESE ELM 26" CAL	Y	25"	FAIR	33- 'KEPT
34-	SHADE MASTER HONEY LOCUST 14" CAL	N	11"	GOOD	34- 'KEPT
35-	SHADE MASTER HONEY LOCUST 6" CAL	N	3"	GOOD	35- 'KEPT

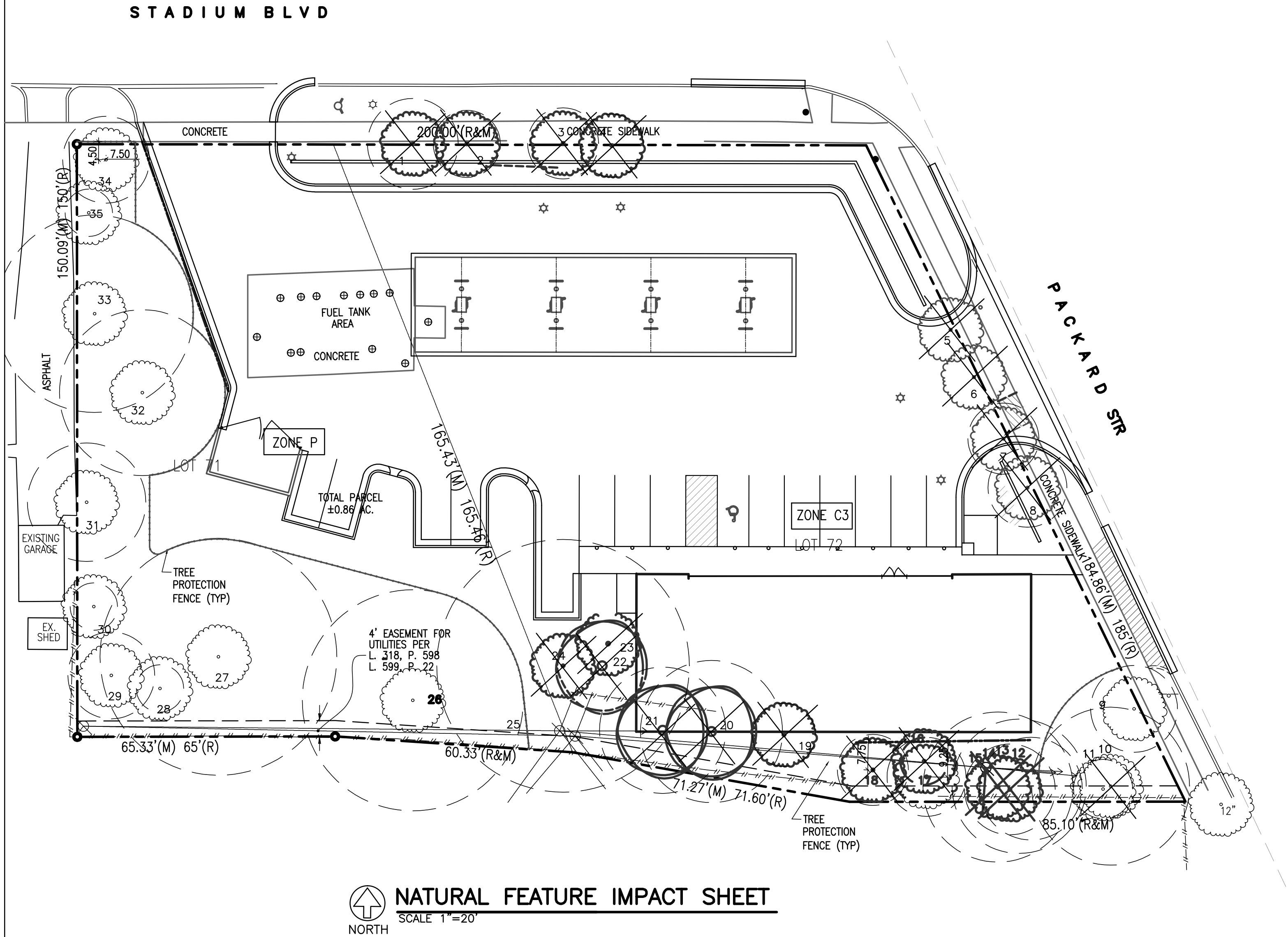
*CHART UPDATED PER ARBORIST VISIT TO SITE 9-28-15

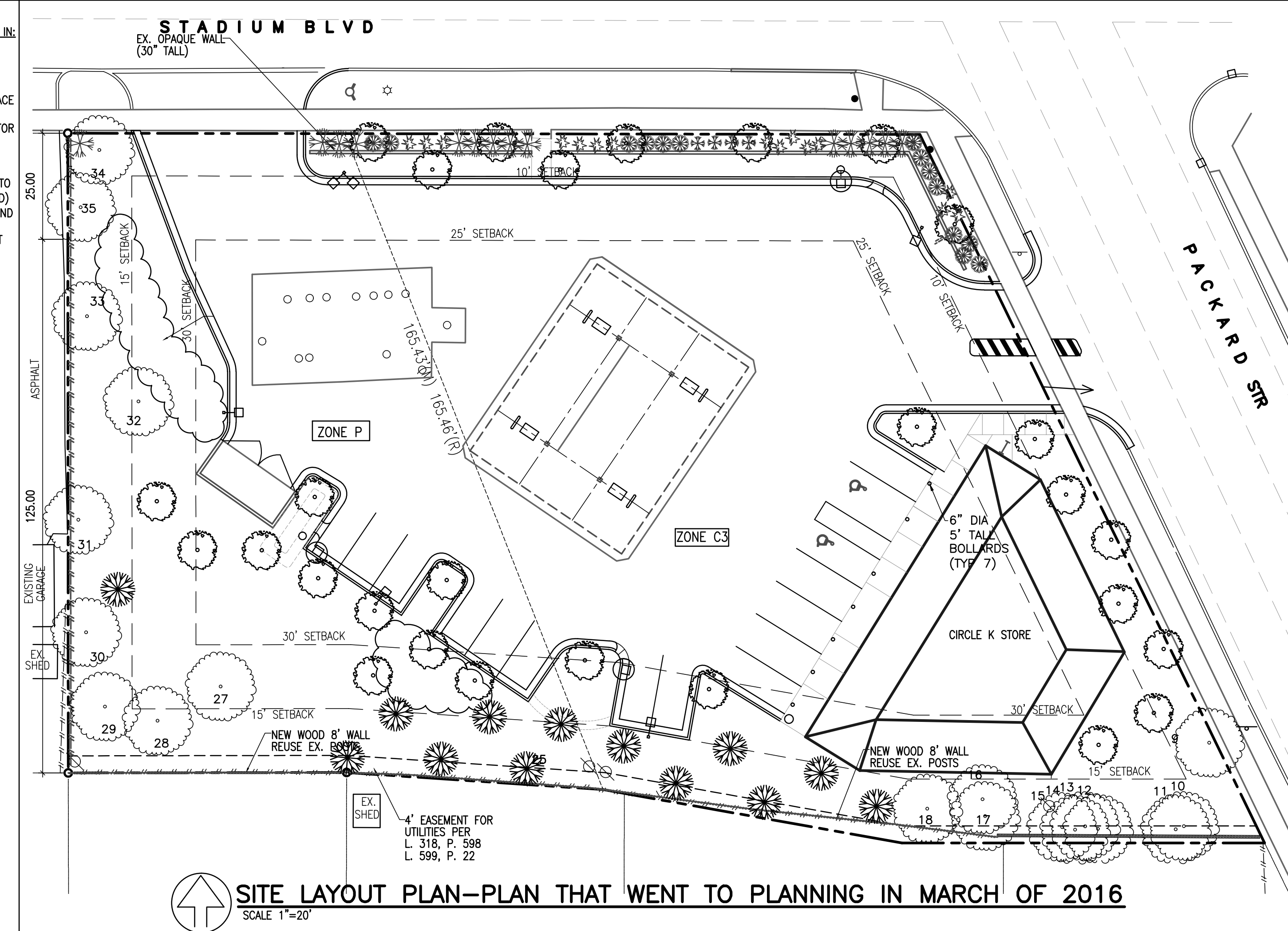
NOTE:
NO TREE PROPOSED TO REPLACE INVASIVE TREES.
LM=LANDMARK TREE

NATURAL FEATURE IMPACT

WE ARE REMOVING THREE (3) LANDMARK TREE. (#15,20,24)
REMAINDER OF LANDMARK TRESS, WE ARE STAYING OUT OF THEIR
CRITICAL ROOT ZONE, JUST WORKING CLOSELY. TREE #10 WE ARE
MITIGATING AS IF IT WERE TO BE REMOVED, BUT ARE KEEPING IT IN THE
HOPES IT WILL SURVIVE CONSTRUCTION. (IT'S A LARGE EXISTING TREE
AGAINST THE EXISTING MASONRY WALL TO REMAIN)
WE TRIED TO WORK AROUND THE EXISTING TREES AS MUCH AS
POSSIBLE, HOWEVER IT WAS NOT POSSIBLE TO ACCOMMODATE ALL THE
LANDMARK TREES AND THE CLIENT.
WE ARE ADDING STORM WATER DRAINAGE UNDER THE NEW PAVEMENT TO
REDUCE THE WATER GOING ONTO NEIGHBORING PROPERTIES WHICH
LIMITS WHERE WE CAN PLACE THE BUILDING AND PUMP ISLANDS.
IN ADDITION THERE ARE EXISTING TANKS THAT WERE REPLACED WITHIN
THE PAST 5 YEARS THAT THE CLIENT IS NOT ABLE TO INCUR THE COST
FOR RELOCATING

WE ARE REMOVING ALL EXISTING R-O-W TREES #1-#8 AND WILL BE
REPLACING AS REQUIRED BY ORDINANCE (8 R-O-W TREES REQUIRED)
ALL TREES ALONG THE SOUTH PROPERTY MINUS #9,10,11,26,27,28 &
29 ARE BEING REMOVED AS WE CANNOT GUARANTEE THEIR SURVIVAL
DURING CONSTRUCTION. THE CRITICAL ROOT ZONES FOR THESE TREES
AND WITHIN THE DEMOLITION AND NEW CONCRETE AREAS. TO ENSURE
MOVEMENT AROUND THE SITE AND FUTURE TREES WE HAD TO REMOVE
THE TREES ALONG THE SOUTHERN PROPERTY.
ALL CLUB REQUIREMENTS ARE NOW BEING MET. WE DID KEEP AS MANY
TREES AS POSSIBLE TO REDUCE MITIGATION REQUIREMENTS. THOUGH AS
THE DEMOLITION TREE PROTECTION SHEET SHOWS, WE WERE CUTTING
INTO TOO MUCH OF THE CRITICAL ROOT ZONES TO KEEP MORE TREES.



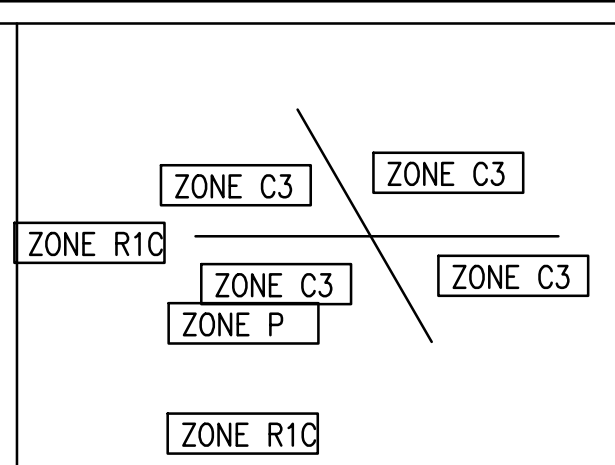
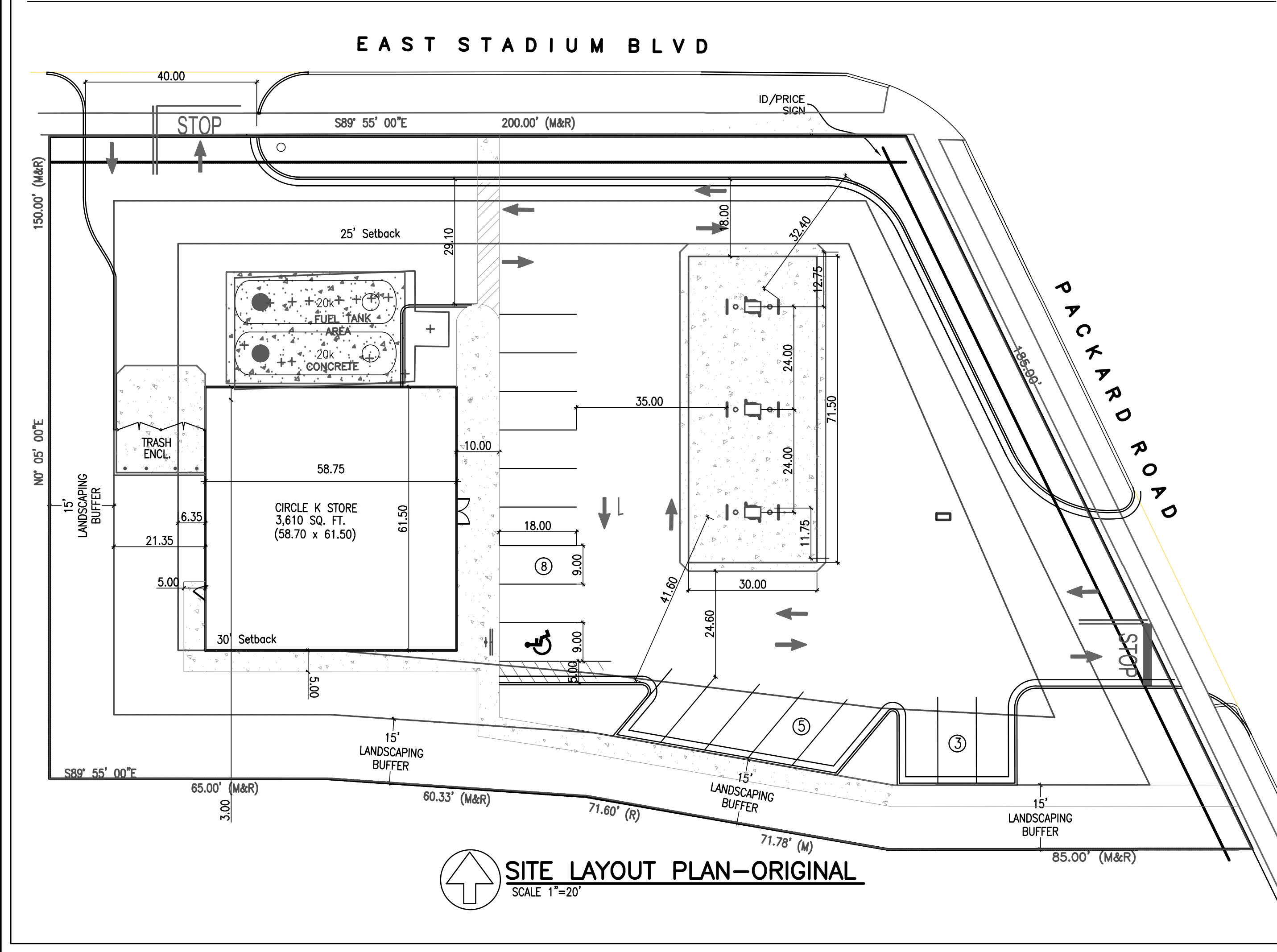
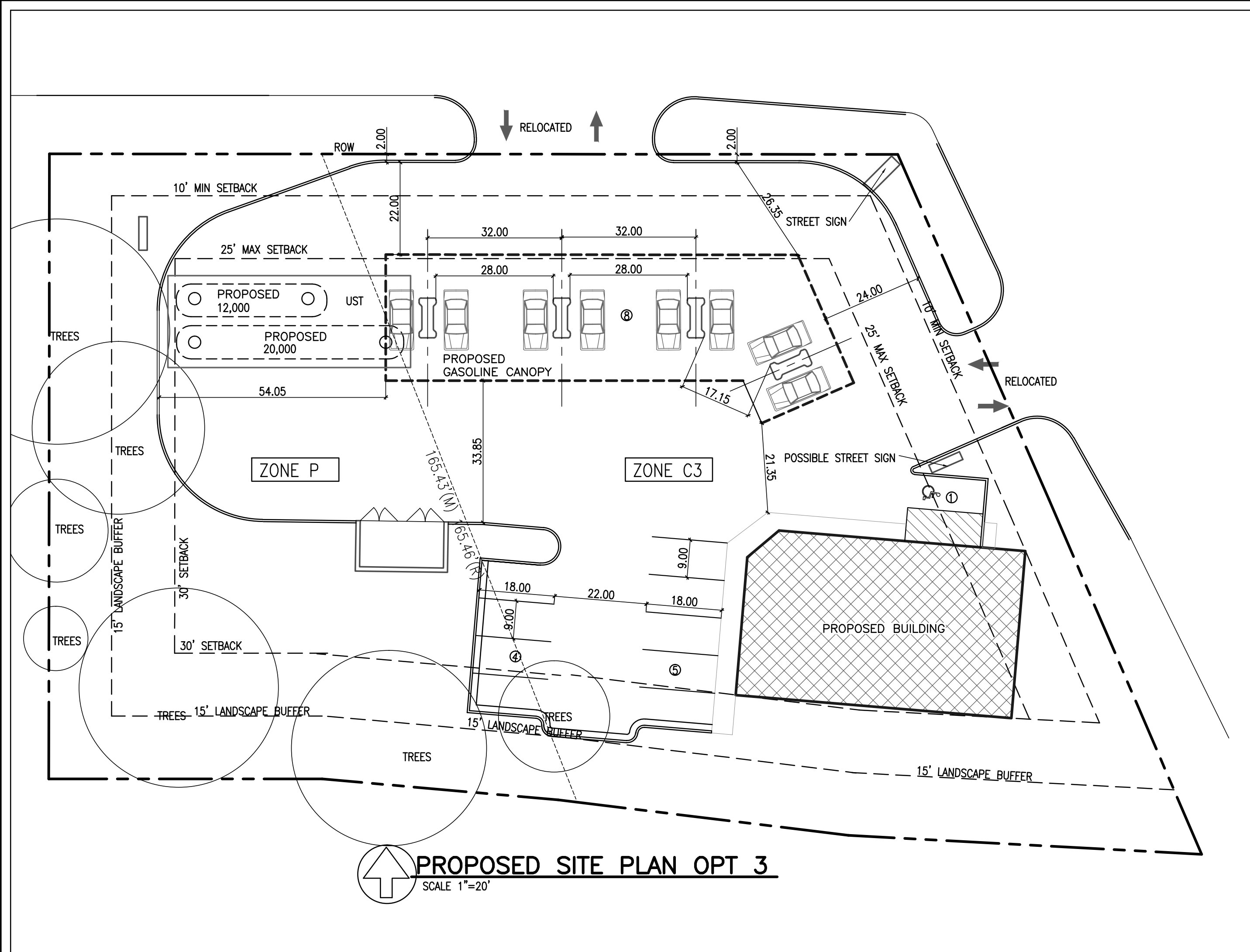
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PLAN TAKEN TO PLANNING COMMISSION IN MARCH 2016.
ORIGINALLY WE THOUGHT THIS THE BEST OPTION. HOWEVER PLANNING AND THE GENERAL PUBLIC (NEIGHBORS) DIDN'T LIKE:

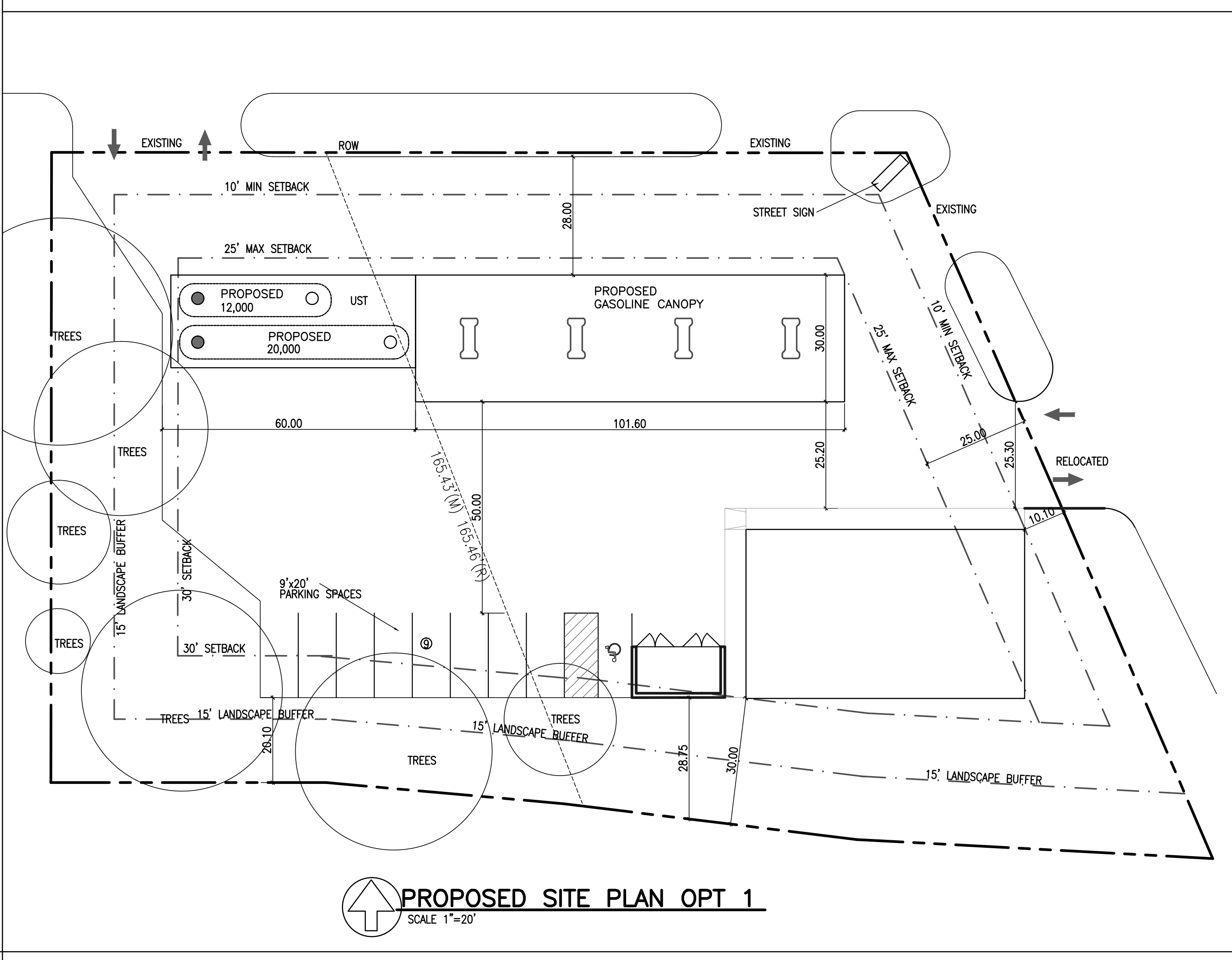
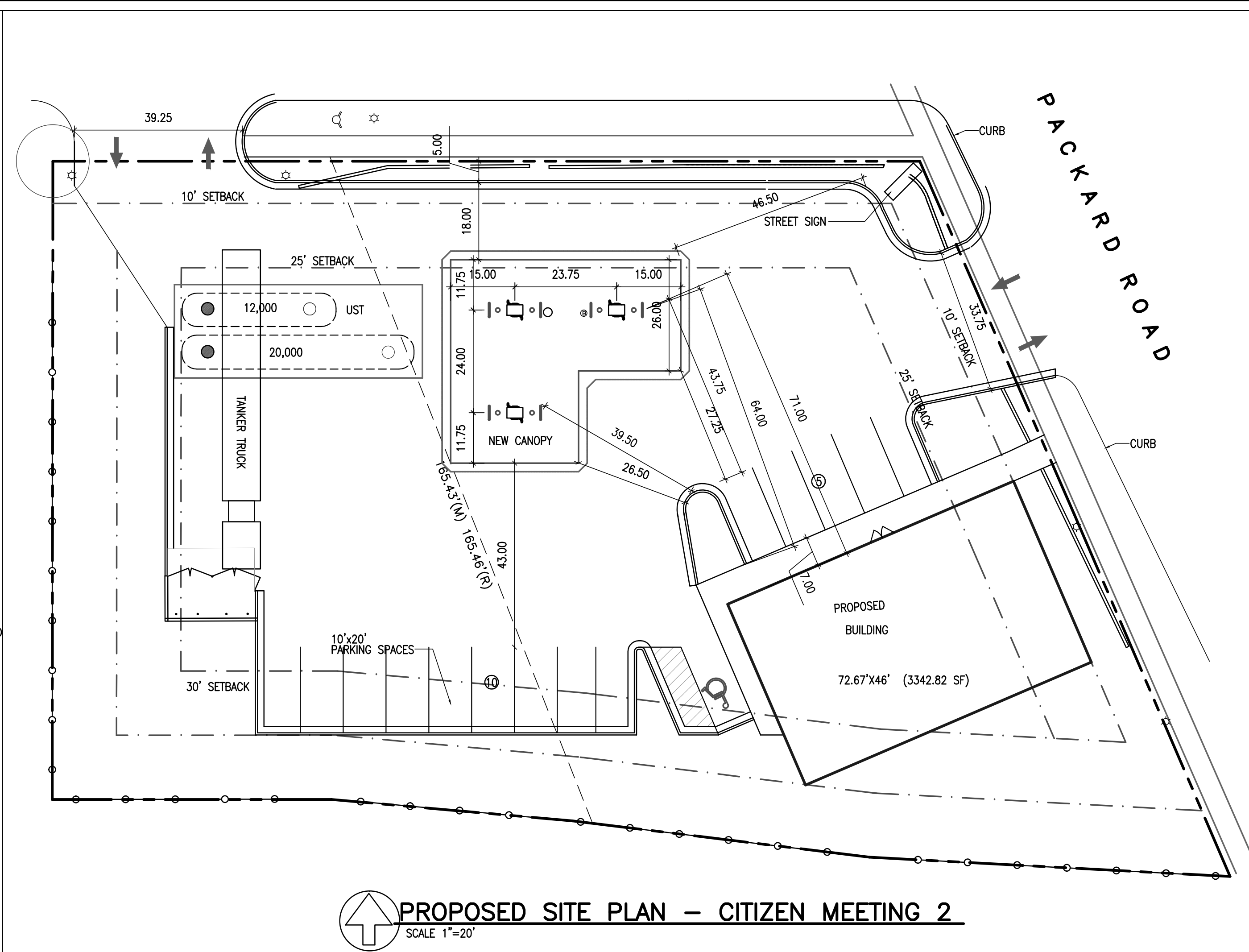
1. BUILDING IN SETBACK LINE
2. DRIVEWAY ON PACKARD SO CLOSE TO THE CORNER
3. CONCRETE MEDIAN TO PREVENT LEFT TURN OUT ONTO PACKARD
4. "BLAND" FACADE TOWARDS PACKARD & NEIGHBOR
5. "HIGHWAY" STYLE CANOPY (NEIGHBORS WORDS)
 - A. THE CANOPY IN MINIMUM HEIGHT
 - B. DOESN'T HAVE LIGHT FACING THE BUILDING WHICH IS A STANDARD FOR CIRCLE K
 - C. DOESN'T HAVE FACADE LIGHT ON CANOPY WHICH IS A STANDARD FOR CIRCLE K
 - D. RECESSED LIGHTS TO NOT SHINE ON NEIGHBORS

IF WE COMPLETELY RESET THE SITE IN TERMS OF PLANTINGS,
IT IS POSSIBLE TO REPLACE ALL TREES REQUIRED BY ORDINANCE AND MITIGATION.
ALL TREES ARE SPACED 15' O.C. MIN PER ORDINANCE 5.602.1.D
WE CAN HAVE LESS MITIGATION TREES IF WE GO TO A LARGER CALIPER INSTEAD OF 3".
BUT WE CAN ONLY GET ONE REPLACEMENT FOR EACH MITIGATION TREE WE ARE NOT ALLOWED
TO FILL THE OPEN SPACE WHERE THE EXISTING REMOVED TREE IS AND ONLY ONE CAN COUNT
TOWARDS A ORDINANCE REQUIREMENT. (EXAMPLE #20 IS A 18" SCOTCH PINE IN THE 15'
LANDSCAPE BUFFER WHICH REQUIRES 9' MITIGATION (DECIDUOUS) OR (1) 5' EVERGREEN. SO 3'
CALIPERS OR (1) 5' EVERGREENS WILL MITIGATE. (1) 7' EVERGREEN WOULD PROVIDE A
CREDIT TOWARDS THE 50% CONIFER, THE OTHER (2) OF DECIDUOUS OR (0) ZERO EVERGREEN
WOULD COMPLETE THE MITIGATION (5-1271.0.D)
IF WE ARE NOT ALLOWED TO COUNT A MITIGATION TREE TOWARDS THE LANDSCAPE
REQUIREMENT, ONE REPLACEMENT FOR EACH LANDSCAPE REQUIRMENT TREE. WE CAN
STILL FULFILL THE LANDSCAPE REQUIREMENTS JUST LONGER REQUIRE LONGER MITIGATION CAL TREES.
WE DO NOT WANT TO REMOVE ALL THE EXISTING TREES, JUST SHOWING THAT THE OPTION IS
THERE. WE WOULD RATHER LEAVE AS MANY EXISTING TREES AS POSSIBLE, AND MITIGATE ONLY
THE TREES BELIEVED WOULD NOT SURVIVE THE CONSTRUCTION ON SITE.
AS WE BELIEVE THAT MUCH CHANGE WOULD NOT SERVE THE NEIGHBORS BEHIND OR WEST BESIDE

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QUATRO CONSTRUCTION LLC *DESIGN BUILD CONTRACTOR*	COMMERCIAL/INDUSTRIAL/RESIDENTIAL 201 NORTH PARK STREET YPSILANTI, MI. 48198 PHONE (734)485-7737, FAX (734)485-7873
CIRCLE-K GAS STATION	1420 EAST STADIUM BLVD ANN ARBOR, MI 48104
ISSUE DATE	
9-20-15	
11-22-15	
12-15-15	
1-22-16	
03-09-16	
05-04-16	
04-05-17	
04-25-17	
DRAWN BY:	R.N.
CHECKED BY:	R.N.
APPROVED BY:	R.N./T.Q.
ARCHITECTURAL SEAL:	
PROJECT NO.: 2621	
SHEET TITLE: ALTERNATE LAYOUT W/ LANDSCAPE PLANS	
SHEET NO.: L-4	



- CON'S OF ALTERNATE PLANS:
- ORIGINAL:
1. CANNOT GET P ZONE REZONED. REQUIREMENTS FOR THAT ARE NOT FEASIBLE WITH THE CURRENT NEIGHBORS. DEED RESTRICTION ON SITE.
 2. 10' LANDSCAPE BUFFERS VARIANCE REQUIRED.
 3. FOUNDATION UNCOMFORTABLY CLOSE TO EXISTING TANKS FOR CITY.
- OPT 1:
1. VARIANCES REQUIRED FOR PLAN WOULD NOT IMPROVE FLOW OF SITE. (10' BUFFER)
 2. NO PARKING IN FRONT OF BUILDING NOT PREFERRED DESIGN OF CIRCLE K.
 3. DUMPSTER GOOD PLACEMENT FOR BUILDING, NOT FOR PICKUP.
 4. BUILDING SIZE NOT OPTIMAL FOR CIRCLE K TO PUT IN THE IMPROVEMENTS.
 5. EXISTING DRIVEWAYS AT CORNER WOULD CAUSE CONGESTION WITH THE PARKING SPACES TO THE SIDE.
- OPT 3:
1. AWKWARD TRAVEL OF SEMI-TRUCKS FOR DELIVERIES OF GASOLINE.
 2. PARKING TO SIDE OF BUILDING AGAIN, REMOVAL OF LARGER TREES REQUIRED.
 3. VARIANCES REQUIRED FOR PLAN WOULD NOT IMPROVE OVERALL LOOK OF SITE.
 4. BUILDING SIZE NOT OPTIMAL FOR CIRCLE K TO PUT IN THE IMPROVEMENTS.
- OPT CITIZEN MEETING 2:
1. LEARNED OF PARKING RESTRICTION ZONING. CANNOT PUT CANOPY ON ZONE P AREA.
 2. REDUCING PUMPING STATIONS TO LESS THEN EXISTING NOT AN OPTION FOR CIRCLE K.
 3. REMOVAL OF LARGER TREES REQUIRED AGAIN.
 4. BUILDING & BUFFER (ROW) SETBACK VARIANCE REQUIRED.
- PRO'S OF ALTERNATE PLANS:
- ORIGINAL:
1. PARKING IN FRONT OF BUILDING
 2. DUMPSTER "HIDDEN" FROM MORE NEIGHBORS
 3. REMOVED TWO EXISTING DRIVEWAYS CLOSER TO THE CORNER.
- OPT 1:
1. EXISTING TREES LESS AFFECTED.
 2. NO BUILDING VARIANCE REQUIRED.
- OPT 3:
1. CORNER DRIVEWAYS REMOVED.
 2. EXISTING TREES LESS AFFECTED.
- OPT MEETING 2:
1. BUILDING PREFERRED SIZE FOR CIRCLE K.
 2. LESS BUFFER VARIANCE REQUIRED FOR R-O-W LANDSCAPE.



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ROBERT NOE ARCHITECTURE

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ISSUE DATE

08/03/15
09/24/15
03-09-16
05-04-16
04-05-17
04-25-17

DRAWN BY:

CHECKED BY: R.N.

APPROVED BY: R.N./T.Q.

ARCHITECTURAL SEAL:

PROJECT NO.:

2621

SHEET TITLE:

ALTERNATE SITE PLAN

SHEET NO.:

L-5

PROPOSED SITE LAYOUT / LANDSCAPE PLAN:

THIS PLAN WAS SELECTED FOR THE FOLLOWING REASONS.

1. PREVIOUS ALTERNATE WERE MET WITH GREAT RESISTANCE AS WE WOULD BE REQUIRED TO HAVE SEVERAL VARIANCES.

A. BUILDING SETBACK INTO THE 30' BUILDING SETBACK FROM RESIDENTIAL NEIGHBORS.

B. WITH NOW PROPOSED PLAN NEIGHBORS ARE MORE OPEN TO A BUILDING SETBACK.

2. IT ALLOWS FOR A MORE STANDARD SHAPE BUILDING VERSES THE PENTAGON SHAPE PREVIOUSLY ATTEMPTED.

A. SOMETHING WE HAD ATTEMPTED TO HAVE THE BUILDING BE A SEPARATION BETWEEN COMMERCIAL AND RESIDENTIAL.

3. IT GETS THE DRIVEWAY AS FAR FROM THE CORNER AS POSSIBLE.

A. A GREAT CONCERN FOR THE NEIGHBORS AND CITY OFFICIALS ALIKE IN THE PREVIOUS PLANNING COMMISSION MEETING.

B. NOW SEVERAL NEIGHBORS ARE WANTING THE DRIVEWAY FURTHER FROM THE SOUTH CORNER. CONCERN OVER PEDESTRIAN TRAFFIC AND SIGHT LINES.

4. IT ALLOWS A MORE DIRECT ENTRANCE FOR THE SOLID WASTE SERVICES.

A. A CONCERN FOR THE TURNING RADIUS FOR THE SOLID WASTE TRUCKS WAS PREVIOUSLY MENTIONED.

5. THIS PLAN ONLY REQUIRES DRIVEWAY WIDTH VARIANCES.

A. PREVIOUSLY WE WERE SEEKING BUILDING SETBACK VARIANCE, LANDSCAPE MODIFICATION VARIANCES, AND DRIVEWAY WIDTH VARIANCES.

B. WE ARE NO LONGER WORKING WITHIN ANY CRITICAL ROOT ZONES. (NATURAL FEATURES CONCERN.

C. WE ARE NOT ASKING ANY LANDSCAPE MODIFICATION REQUESTS.

6. EVEN THOUGH THERE ARE ONLY 6 PUMPING STATIONS VERSES THE EXISTING 8, THIS SEEMS A BETTER FIT TO THE SITE FOR SITE MOVEMENT WHILE STILL KEEPING THE PROJECT PROFITABLE TO THE CLIENT.

7. ALTHOUGH WE ARE ONLY AFFECTING 5%-10% OF TREE 27 WE ARE REMOVING IT BECAUSE OF THE ORDINANCE RULE THAT ANY LANDMARK TREE THAT DIES DURING CONSTRUCTION MUST BE MITIGATED BY 200%, INSTEAD OF THE 50% THAT IS REQUIRED FOR A PLANNED REMOVAL. 5:127.1.D.I & 5:1271.D.II.

IN ADDITION IN REMOVING THE TREE WE ARE ABLE TO MEET THE MITIGATION REQUIREMENTS FOR THE OTHER TREES BEING REMOVED FROM SITE.

THERE ARE 4 CLUB TREES AND 6 MITIGATION TREES PLANNED FOR THAT AREA THAT TREE 27 CURRENTLY INHABITS. TREE 27 NEEDS 15' OF MITIGATION.

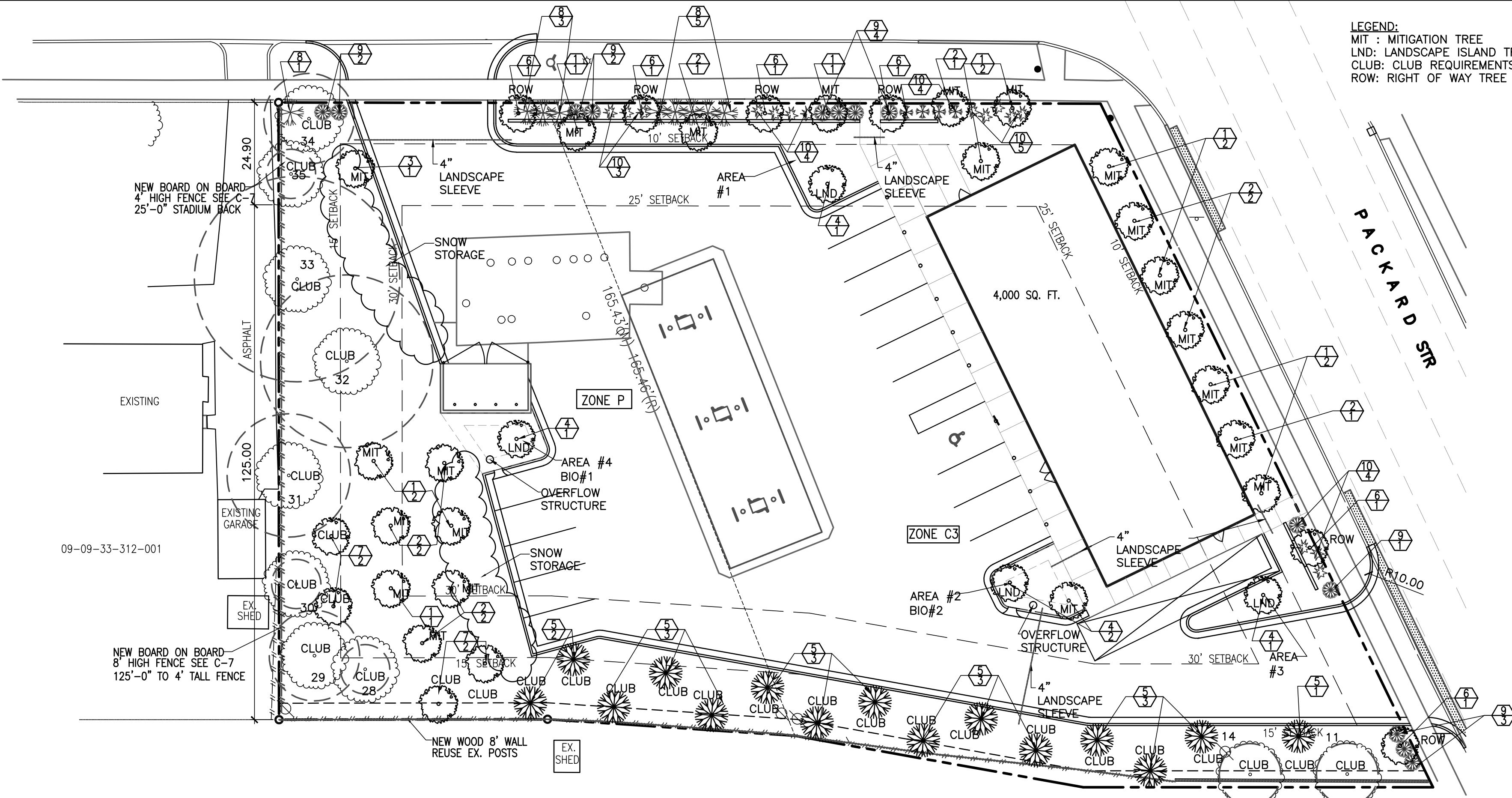
THE 6 MITIGATION TREES = 21" REPLACEMENT ALONG WITH THE 4 CLUB TREES TO MEET THAT REQUIREMENT AND THE SITE DOESN'T HAVE A SPACE WHERE I CAN ADD TWO MORE TREES (MIN) TO MEET THE BALANCE OF MITIGATION TREES REQUIRED. WE UNDERSTAND THAT WE CAN REQUEST LANDSCAPE MODIFICATIONS, HOWEVER OUR CURRENT PLAN WORKS WITHOUT THAT REQUEST.

8. REMOVAL OF ALL STREET TREES WAS.

A. TREES ALONG PACKARD ARE TOO CLOSE TO WHEN THE NEW BUILDING IS LOCATED AND WOULD NOT SURVIVE DEMOLITION OF THE EXISTING FENCE AND NEW FOOTINGS FOR NEW BUILDING.

B. ALONG STADIUM IT WAS DEEMED BEST TO REMOVE ALL TREES TO ALLOW FOR A NEW LOW WALL PER ORDINANCE REQUIREMENTS AND FOR THE UTILITY TAPS REQUIRED FOR THE NEW BUILDING AND SITE.

NOTE: IF CURRENT PROPOSED BELOW IS NOT GRANTED THE VARIANCES REQUIRED THE CLIENT WILL GO BACK TO THIS PLAN.



PROPOSED PREVIOUS OPTION AND REASONS WHY IT WAS SELECTED

SCALE 1"=20'

STADIUM BLVD

ALTERNATE PLAN: PER COFFEE HOUSE MEETING REQUEST 2-28-17

CONS:

1. BUILDING SETBACK REQUIRED.

A. BUT IT PUTS THE BUILDING BETWEEN THE NEIGHBORS AND THE MAIN SERVICE SPACE OF TRAFFIC.

2. EVEN WITH SETBACK DOESN'T LEAVE PREFERRED ROOM IN FRONT FOR STANDARD DESIGN REQUIREMENTS FOR CIRCLE K TRAFFIC MOVEMENT ON SITE.

A. BUT THEY WILL WORK WITH IT FOR THE PREFERENCE OF THE NEIGHBORS

3. BACK UP TO 8 PUMPING STATIONS WHICH HAS BEEN ARGUED A CON AND PRO.

CON: LARGER CANOPY

PRO: LESS IDLING OF CARS WAITING FOR A PUMPING STATION TO OPEN UP.

4. WE WOULD STILL BE REMOVING THE MAJORITY OF TREES ALONG THE SOUTH PROPERTY.

A. BUT LESS THEN PREVIOUSLY PROPOSED. AND KEEPING 3 LANDMARK TREES PREVIOUSLY BEING REMOVED.

PROS:

1. BUILDING BLOCKS HALF OF NEIGHBORS BEHIND FROM SEEING THE CANOPY

2. DUMPSTER FACING AWAY FROM WEST NEIGHBOR.

3. SAVE ADDITIONAL TREES

4. DRIVEWAY ALONG PACKARD IN MORE OF THE MIDDLE KEEPING IT AWAY FROM THE CORNER OF PACKARD AND STADIUM BUT ALSO KEEPING IT FAR ENOUGH NORTH TO HAVE MORE SIGHT VISIBILITY TO THE PEDESTRIANS FROM THE SOUTH COMING NORTH ALONG PACKARD.

5. AS PREVIOUSLY STATED ONLY THE CANOPY FACING STADIUM AND PACKARD WILL BE UT.

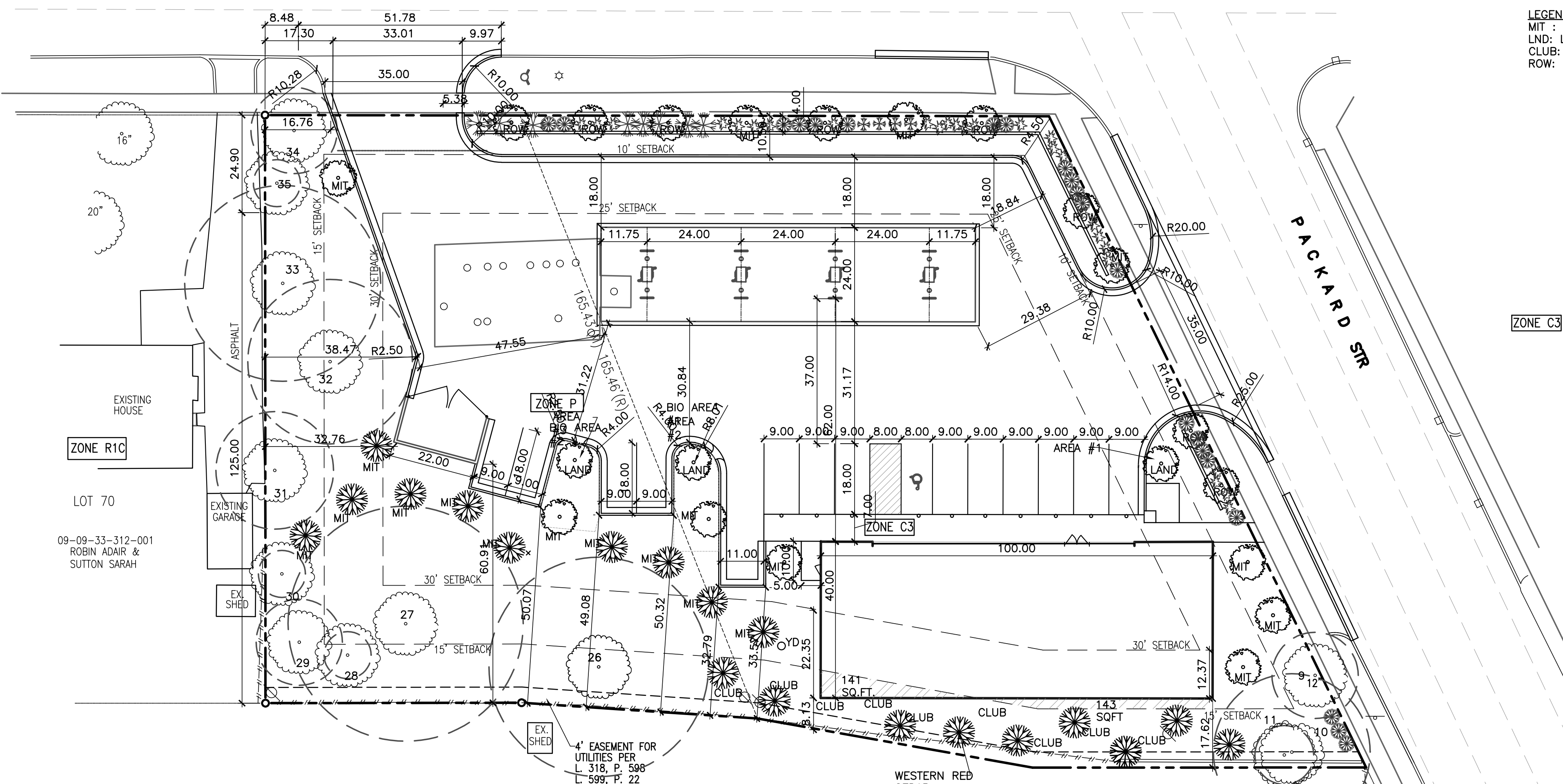
1. NEIGHBORS TO THE WEST AND SOUTH WILL NOT HAVE LT CANOPY FASCIA.

6. STILL REMOVES TWO DRIVEWAYS CLOSEST TO THE CORNER.

7. DUMPSTER STILL ROTATED AWAY FROM WEST NEIGHBOR.

8. PROPOSED 8' MASONRY SOUND BARRIER WALL PROPOSED ALONG THE SOUTH AND WEST PROPERTY EXCEPT 25' ALONG THE NORTH WEST LINE WHERE IT WILL BE 4' TALL TO ALLOW VISIBILITY TO THE NEIGHBORS FOR ROAD ACCESS.

9. IMMEDIATE NEIGHBORS BEHIND PROJECT GREATLY PREFER THIS OPTION.



PROPOSED OPTION AND REASONS WHY IT WAS SELECTED

SCALE 1"=20'

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ROBERT
NOE
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ISSUE DATE	
08/03/15	04-05-17
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07-12-16	
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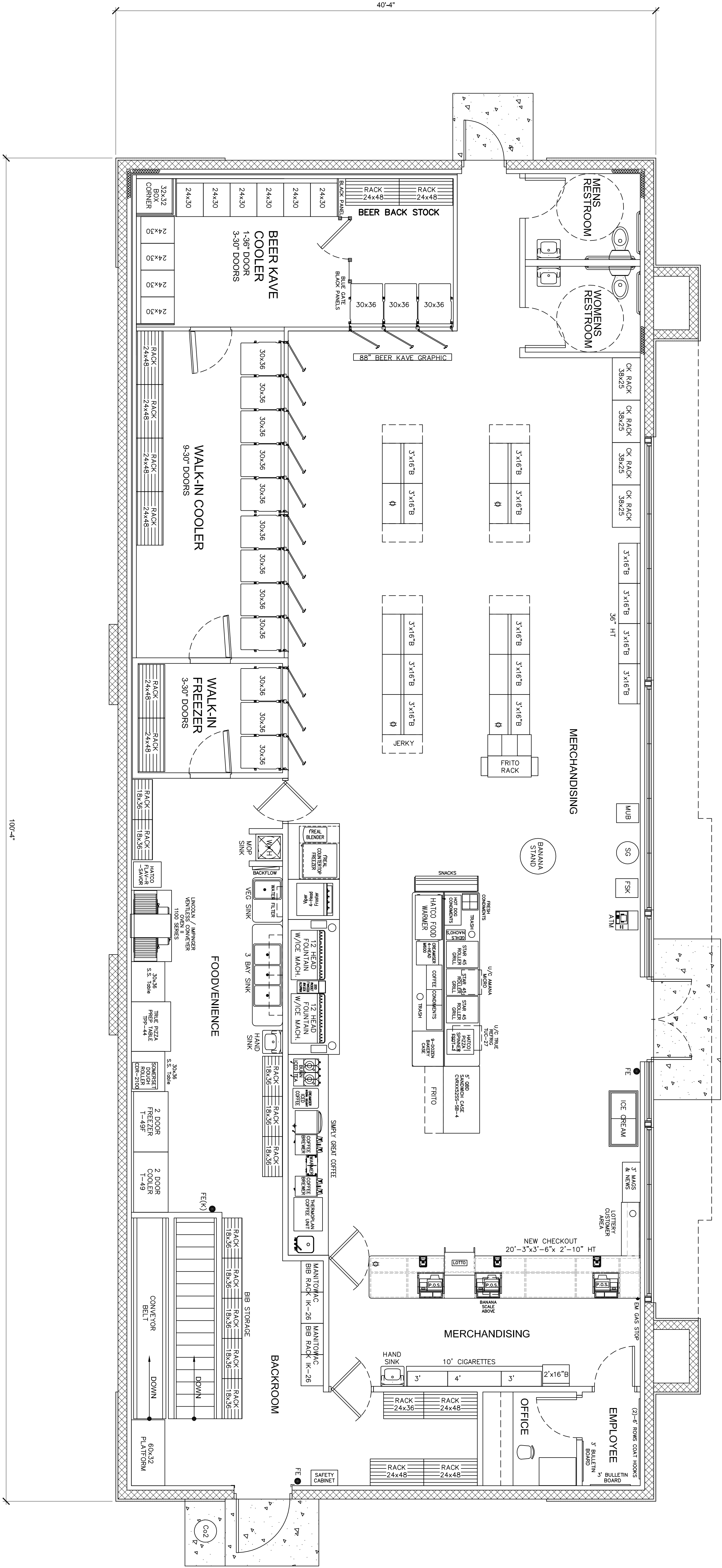
DRAWN BY: R.S.
CHECKED BY: R.N.
APPROVED BY: R.N./T.Q.

ARCHITECTURAL SEAL:

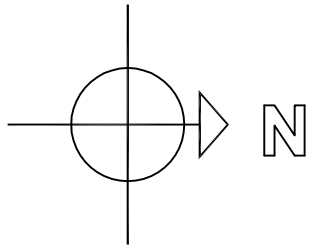
PROJECT NO.: 2621

SHEET TITLE:
PROPOSED
SITE PLAN
VRS. PREVIOUS

SHEET NO.:
L-6



1 FLOOR PLAN
SCALE: 1/4"=1'-0"



DRAWING TITLE
**CIRCLE K #6301 Ann Arbor
FLOOR PLAN**

NUMBER	DESCRIPTION	DATE

NUMBER	DESCRIPTION	DATE

NOT FOR CONSTRUCTION

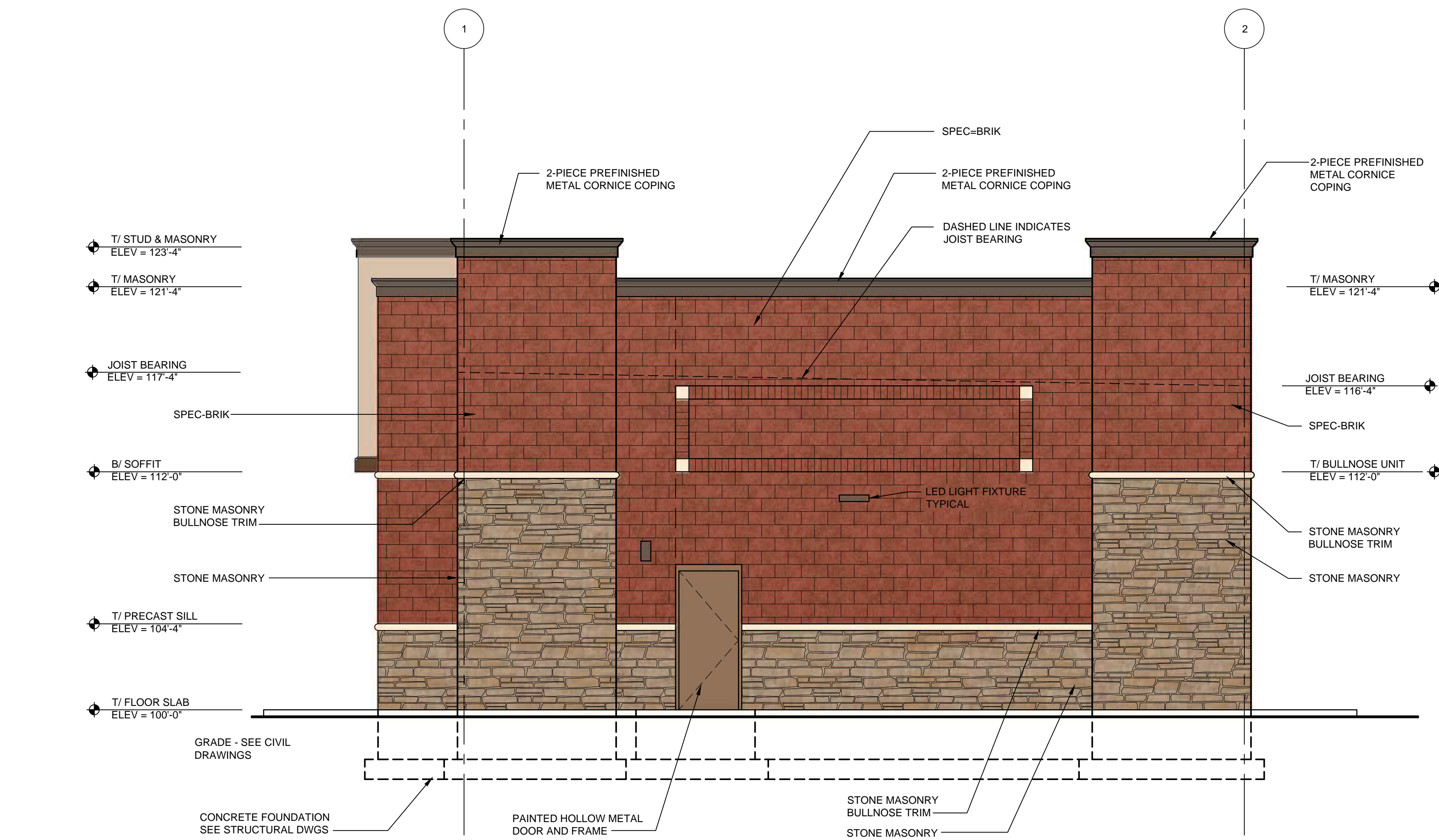
SEAL



6060 Rockside Woods Blvd Cleveland, Ohio 441131 216.524.8400 phone 216.524.8401 fax info@cuparc.com

PROJECT
Circle K 6301 Ann Arbor
1420 East Stadium Blvd
Ann Arbor, MI 48104

CLIENT
Circle K Great Lakes
935 East Tallmadge Ave
Akron, OH 44310



D WEST ELEVATION
A4-02 1/4" = 1'-0"



C SOUTH ELEVATION
A4-02 1/4" = 1'-0"

EXTERIOR FINISHES:

- METAL COPING**
MANUFACTURER: METAL ERA
PRODUCT: CREATIVE DESIGN CORNICE
COLOR: DARK BRONZE
- MASONRY & MORTAR**
MANUFACTURER: OBERFELDS
PRODUCT: SPEC-BRIK
COLOR: CONCORD BLEND
MORTAR: CEMEX RICH COLOR BASF RHEOPEL MORTAR
ADMIXTURE W/ INTEGRAL WATER REPELLANT.
COLOR: AS SELECTED BY ARCHITECT
- STONE MASONRY**
MANUFACTURER: NORTHFIELD BLOCK (OLDCASTLE)
PRODUCT: WATERFORD STONE
COLOR: SUNSET BEIGE
PATTERN: ASHLAR
PROVIDE CORNER RETURNS, STONE MASONRY BULLNOSE TRIM AND SILLS
MORTAR: CEMEX RICH COLOR BASF RHEOPEL MORTAR
ADMIXTURE W/ INTEGRAL WATER REPELLANT.
COLOR: AS SELECTED BY ARCHITECT
- EIFS**
MANUFACTURER: DRVIT
PRODUCT: 2" THICK OUTSULATION PLUS MD SYSTEM
COLORS: E-1 SW 6115 TOTALLY TAN
E-2 SW6090 JAVA
E-3 SW4081 SAFETY RED
- PAINTED HOLLOW METAL DOORS AND FRAMES**
MANUFACTURER: SHERWIN WILLIAMS
PAINT: (1) COAT SHERWIN-WILLIAMS PROCRYL
UNIVERSAL ACRYLIC PRIMER AND TWO (2) COATS
SHERWIN-WILLIAMS A-100 EXTERIOR ACRYLIC LATEX-SATIN
COLOR: SW6095 TOASTY
- GLAZING**
MANUFACTURER: OLDCASTLE BUILDING ENVELOPE
PRODUCT: 1" INSULATING GLASS
EXTERIOR LITE: 1/4" PPG SOLARGRAY
INTERIOR LITE: 1/4" PPG SOLARBAN 60 ON CLEAR LOW-E #3
CAVITY: 1/2" AIR FILL
- STOREFRONT**
MANUFACTURER: KAWNEER OR APPROVED EQUAL
PRODUCT: VIG-451TCENTER GLASS, THERMALLY BROKEN
FRAMING SYSTEMS WITH 1" INSULATED, TEMPERED
SAFETY GLASS.
COLOR: DARK BRONZE ANNOIDIZED.

BUILDING MATERIAL CALCULATIONS:

EAST ELEVATION		
TOTAL = 1297 S.F.		
DOOR = 32 S.F.	2%	
STONE MASONRY = 193 S.F.	15%	
BRICK MASONRY = 1072 S.F.	83%	

SOUTH ELEVATION		
TOTAL = 2066 S.F.		
STONE MASONRY = 329 S.F.	17%	
BRICK MASONRY = 1737 S.F.	83%	

WEST ELEVATION		
TOTAL = 1297 S.F.		
DOOR = 25 S.F.	2%	
STONE MASONRY = 209 S.F.	16%	
BRICK MASONRY = 1063 S.F.	82%	

NORTH ELEVATION		
TOTAL = 2064 S.F.		
STOREFRONT WINDOWS/ DOORS = 425 S.F.	20%	
EIFS = 648 S.F.	32%	
STONE MASONRY = 435 S.F.	21%	
BRICK MASONRY = 556 S.F.	27%	

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CLIENT
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SEAL
NOT FOR CONSTRUCTION

NUMBER	DESCRIPTION	DATE

NUMBER	DESCRIPTION	DATE

DRAWING TITLE
STORE #6301 Ann Arbor
EXTERIOR ELEVATIONS

DRAWN BY
SDM

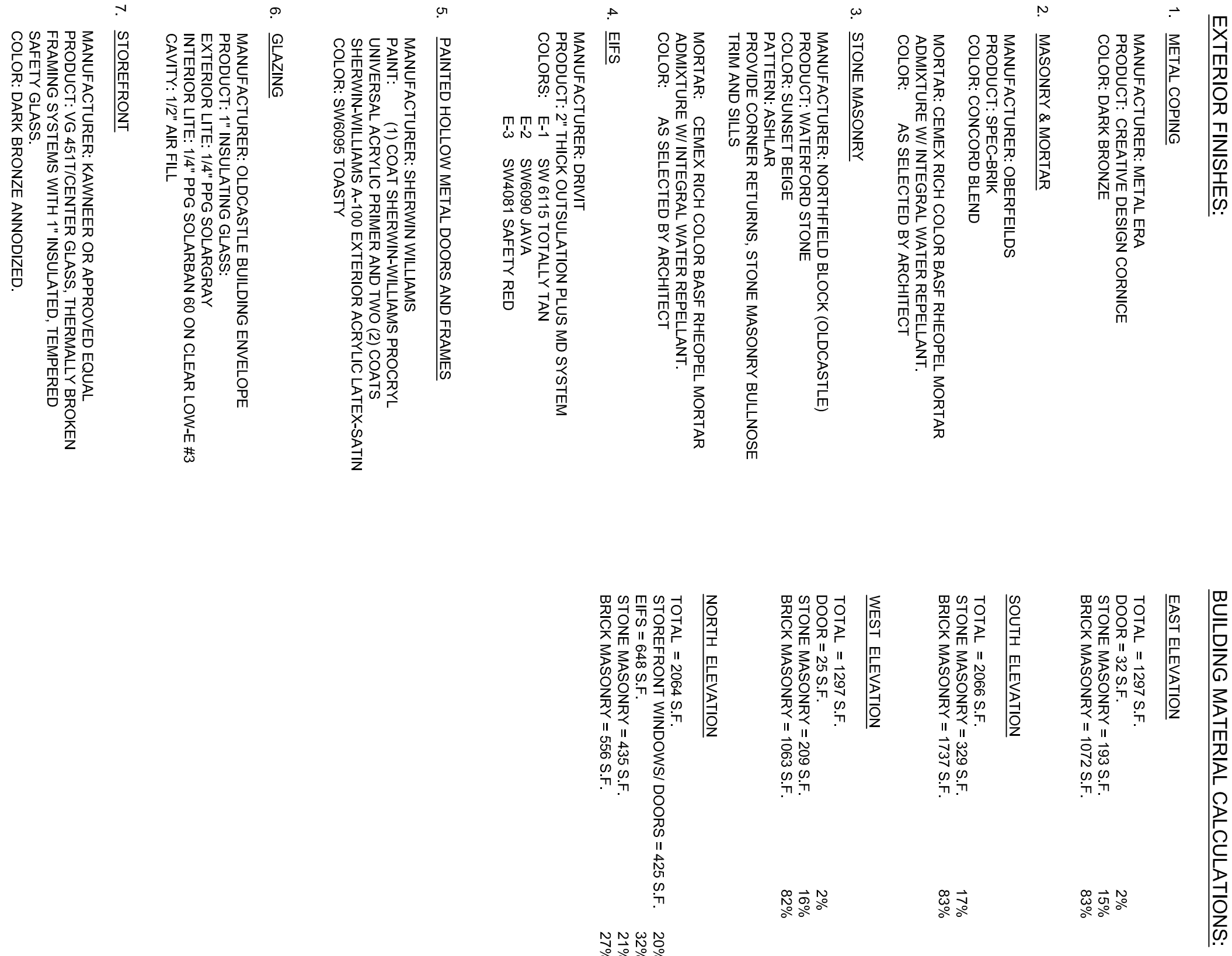
CHECKED BY
SDM

SCALE
1/4" = 1'-0"

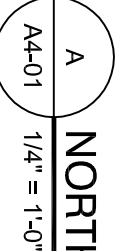
ISSUE DATE
+

JOB NUMBER
+

DRAWING NUMBER
A4-02G



B	EAST
A4-01	1/4" = 1'-0"



A
A4-01

NORTH

$1/4^{\circ} = 1^{\circ}-0^{\circ}$

NUMBER	DESCRIPTION	DATE
	ISSUED FOR PLANNING	XX-XX-2016

PROJECT

Circle K 6301 Ann Arbor

1420 East Stadium Blvd
Ann Arbor, MI 48104

CLIENT

Circle K Great Lakes

935 East Tallmadge Ave
Akron, OH 44310

DRAWN BY SDM	CHECKED BY SDM
------------------------	--------------------------

ISSUE DATE

[illegible]

A4-01G