

MEMORANDUM

To: Historic District Commission
From: Jill Thacher, Historic Preservation Coordinator
Date: April 20, 2017
Re: 508 Third Street HDC Application

In response to the comments from Commissioners at the March 9, 2017 HDC meeting, the following changes have been made to the HDC application at 508 Third Street.

- 1) The roof shape has been changed from a side-facing gable to a hip. This change is appropriate, and results in a much less obtrusive addition.
- 2) The window in the upper floor of the west (rear) elevation has been shifted to the center of the wall. This is an appropriate location.
- 3) The proposed new window in a new opening under the front porch on the north elevation has been removed from the application.

Staff feels that all of these changes are appropriate, and result in a stronger application.

The Historic District Commission's concern that the footprint of the house exceeds the size recommended by the *Ann Arbor Historic District Design Guidelines* has not been addressed (see sheet A12). The sum of all additions after the period of significance remains at 76% of the footprint of the house from the period of significance (1944 and earlier). The *Design Guidelines* state that a maximum of 50% is appropriate. Staff's opinion is that the footprint of the sum of the additions is too large, and that this portion of the application should not be approved.

Additional information on the proposed fence was not included, but this can be taken care of at the staff level.

MOTION

(Note that the motion is only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

Two sample motions are shown below. One addresses the garage and roofs and staff recommends approval. The other addresses the addition and fence and staff recommends denial.

For the garage and roof:

I move that the Commission issue a certificate of appropriateness for the application at 508 Third Street, a contributing property in the Old West Side Historic District, to add dormers to the front and rear of the modern garage; install eight clad wood windows on the garage; replace the garage door; move a person-door from the side to the front of the garage; and put a new asphalt roof on the house and garage, as proposed. This portion of the application is compatible in exterior design, arrangement, materials, and relationship to the house and the surrounding area and meets the *City of Ann Arbor Historic District Design Guidelines* for all additions, architectural details, residential patios, and residential fencing, and *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 9 and 10 and the guidelines for District or Neighborhood Setting and Windows.

For the addition and fence:

I move that the Commission issue a certificate of appropriateness for the application at 508 Third Street, a contributing property in the Old West Side Historic District, to add a one-story rear addition and 12' x 12' brick patio; remove one vinyl slider door and one double-hung vinyl window on the second floor rear elevation and replace them with a casement clad wood window; on the north elevation replace two modern double-hung windows with three new clad wood double-hung windows; on the west elevation add a new double-hung window in a new opening on the filled-in porch wall; and replace the fence. This portion of the application is compatible in exterior design, arrangement, materials, and relationship to the house and the surrounding area and meets the *City of Ann Arbor Historic District Design Guidelines* for all additions, architectural details, residential patios, and residential fencing, and *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 9 and 10 and the guidelines for New Additions, District or Neighborhood Setting, and Windows.

ANN ARBOR HISTORIC DISTRICT COMMISSION

APPLICATION FOR DETERMINATION OF APPROPRIATENESS
FOR THE
BATES REAR ADDITION, 508 STREET, ANN ARBOR, 48103



LIST OF DRAWINGS

T1 TITLE SHEET
A1 PHOTOS OF EXISTING
A2 SANBORN DRAWINGS
A3 SITE PLAN - EXISTING
A4 FIRST FLOOR PLAN - EXISTING
A5 SECOND FLOOR PLAN- EXISTING
A6 ROOF PLAN- EXISTING
A7 EAST ELEVATION (EXISTING)
A8 NORTH ELEVATION(EXISTING)
A9 WEST ELEVATION(EXISTING)
A10 WEST SECTION/ELEVATION(EXISTING)
A11 SITE PLAN - PROPOSED
A12 FIRST FLOOR PLAN - PROPOSED
A13 SECOND FLOOR PLAN- PROPOSED
A14 ROOF PLAN- PROPOSED
A15 EAST ELEVATION (PROPOSED)
A16 NORTH ELEVATION(PROPOSED)
A17 WEST ELEVATION(PROPOSED)
A18 WEST SECTION/ELEVATION(PROPOSED)
A19 SOUTH SITE ELEVATION
Clipay overhead door sheet

HDC SUBMISSION 03.31.17 revised

■ RUETER ASSOCIATES ■

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phone: (734) 769-0070, fax: (734) 769-0167
RAA: 16-017 HDC 03.31.17

Bates Residence
508 Third St., Ann Arbor, MI 48103

T1



TOP

PHOTO OF ORIGINAL 2 STORY HOUSE WITH ADDITION AT REAR WITH DECKS.

BOTTOM

PHOTO OF ORIGINAL 2 STORY GARAGE SOUTH SIDE.



TOP

PHOTO OF ORIGINAL 2 STORY HOUSE WITH ADDITION AT REAR WITH DECKS.

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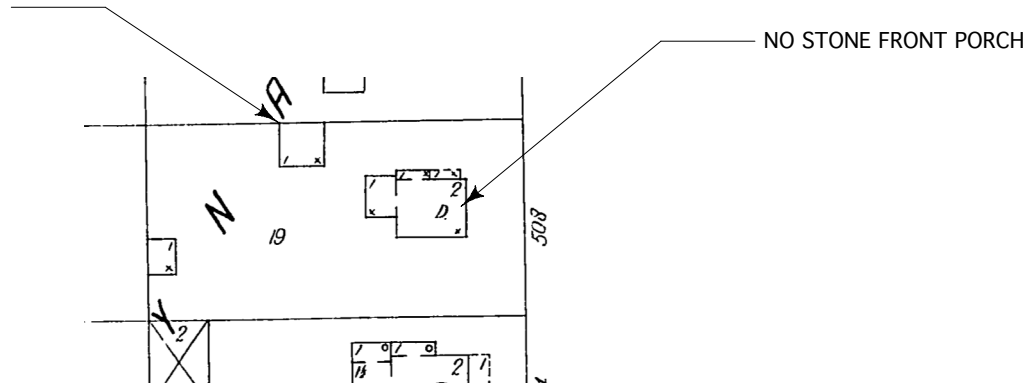
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A1

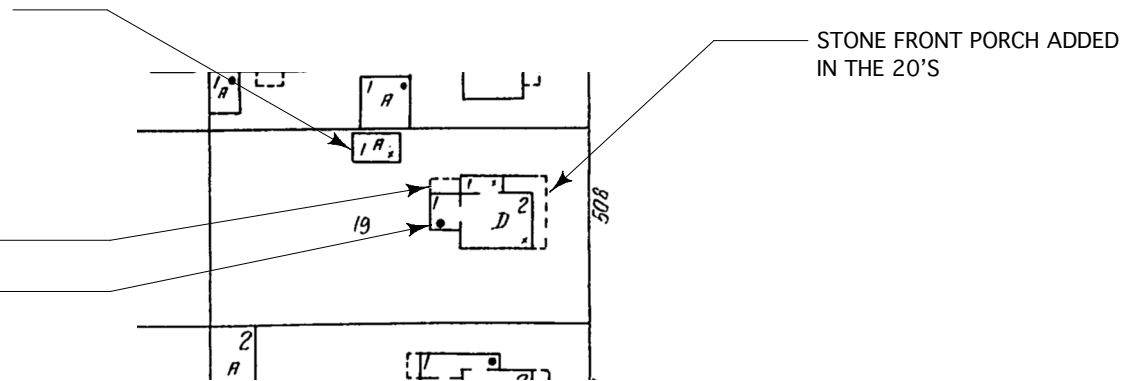
EXISTING HOUSE IN 1908
WITH GARAGE ON SITE AND
SHED, BOTH GARAGE AND
SHED HAVE TO BE REMOVED
OR REPLACED.



1908 SANBORN MAP
NO SCALE

ONE STORY ACCESSORY
BUILDING IN 1925 SHOWN IN
DIFFERENT LOCATION THAN
PRESENT DAY GARAGE

NEW REAR PORCH
REAR IS A SINGLE STORY



1925 SANBORN MAP
NO SCALE

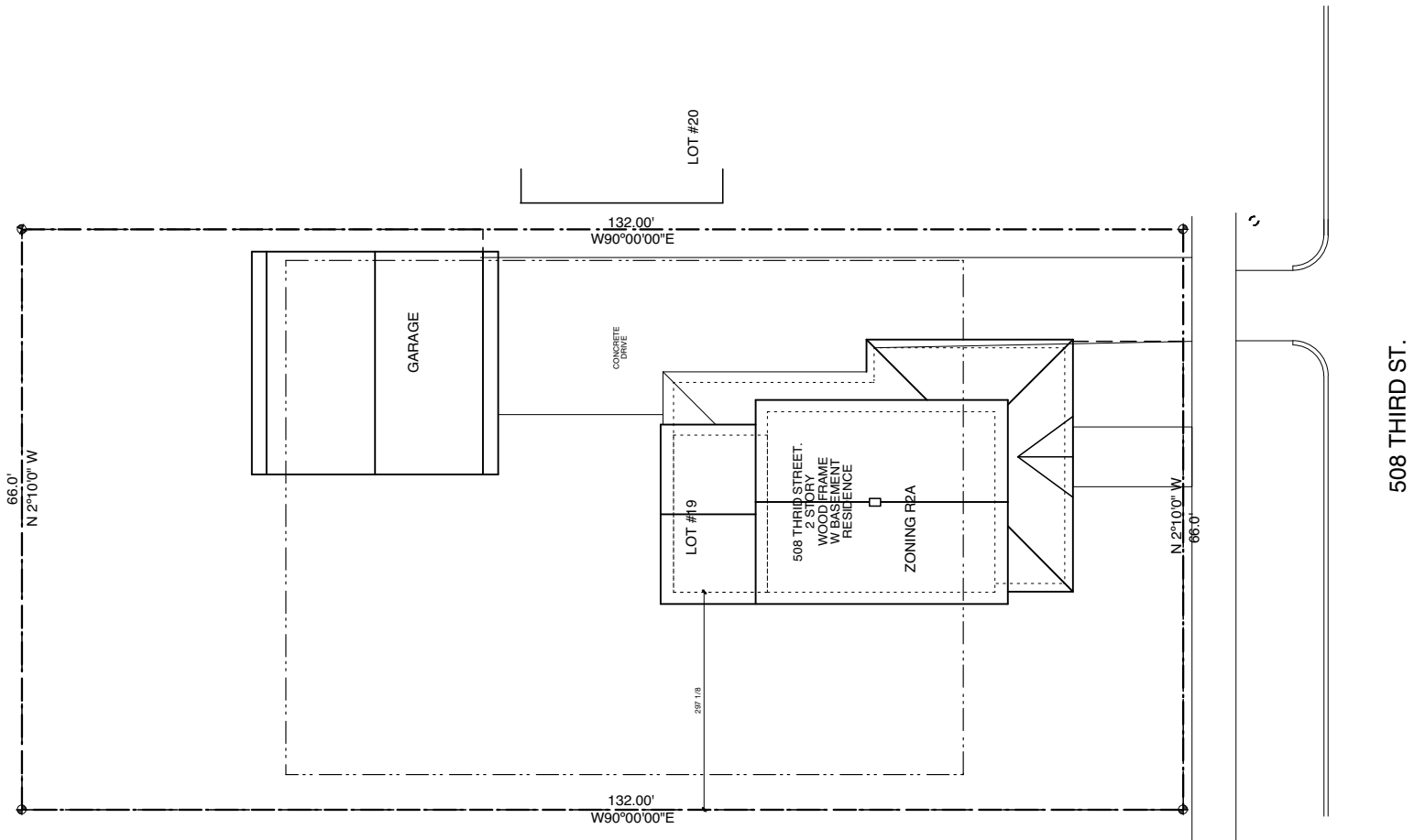
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A2



1 Existing Site Plan

Scale: 20'-0" = 1'-0" on 8 1/2" x 11"

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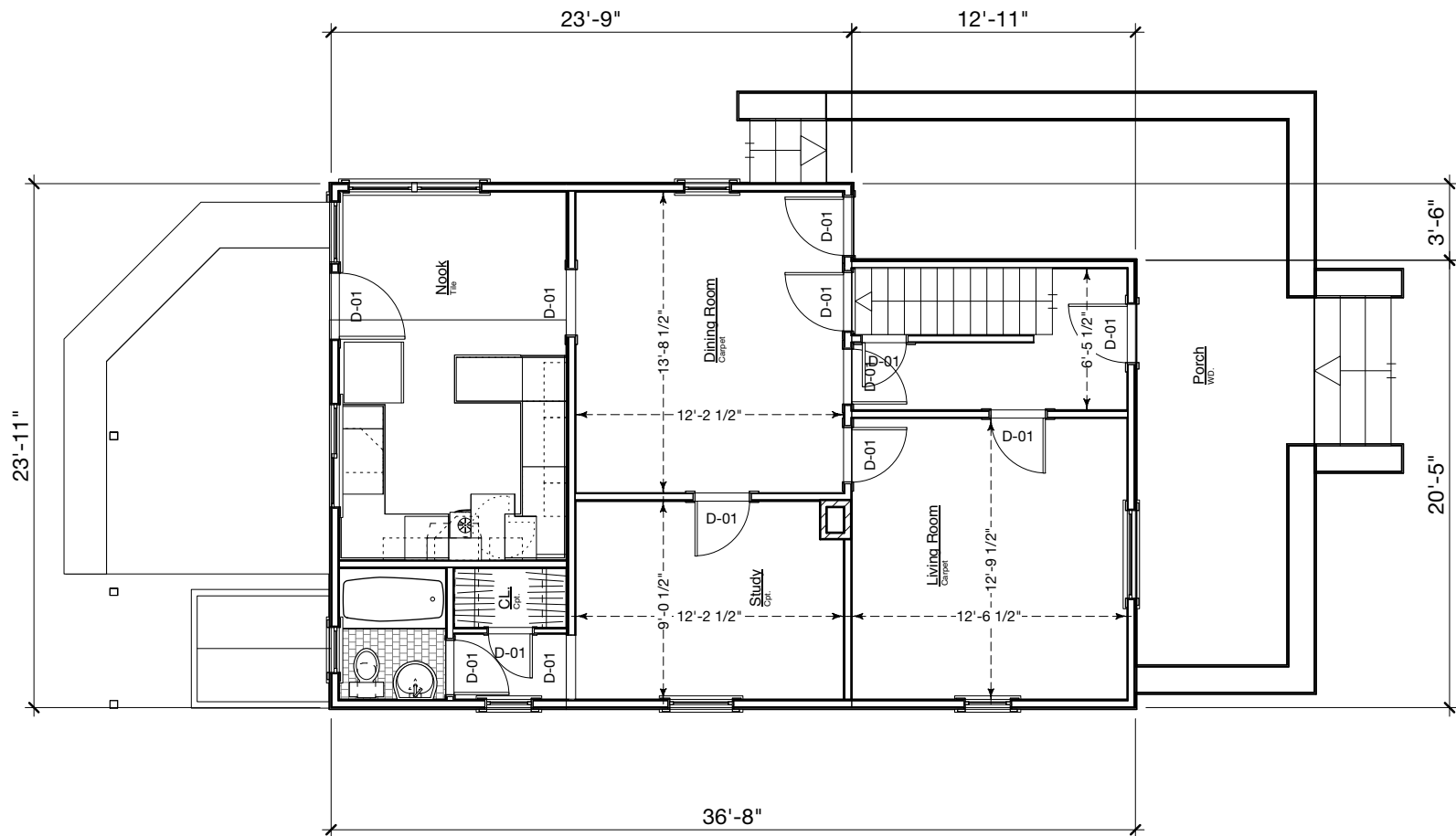
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A3



1 Existing
First Floor Plan
Scale: 1/8" = 1'-0" on 8 1/2" x 11"

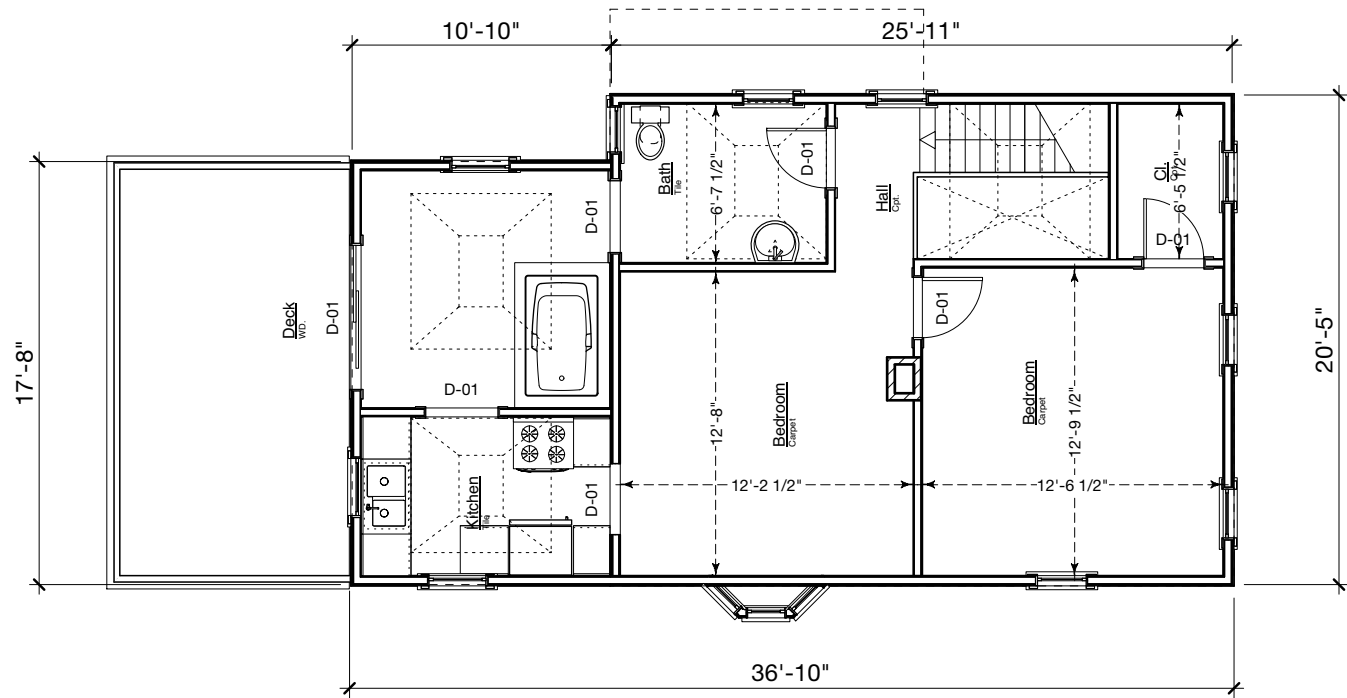
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A4



2 Existing
Second Floor Plan
Scale: 1/8" = 1'-0" on 8 1/2" x 11"



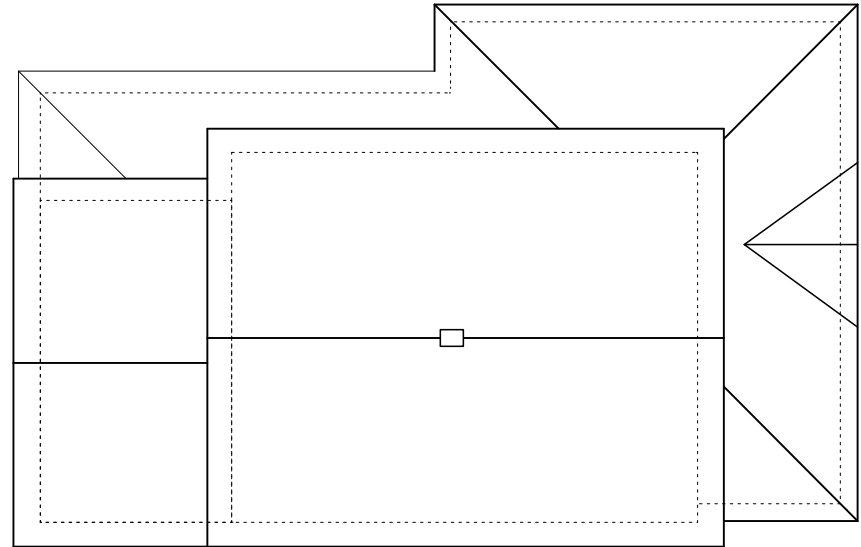
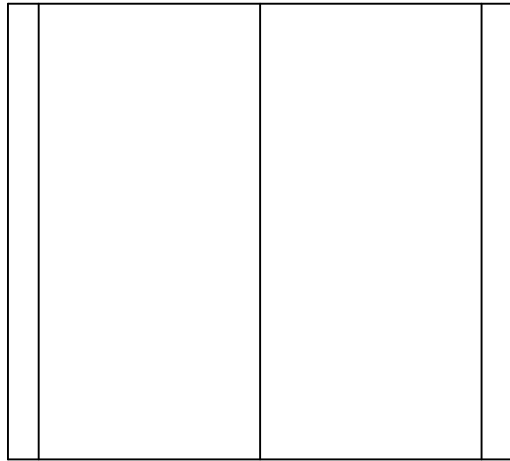
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A5



1 Existing
Roof Plan
Scale: 3/32" = 1'-0" on 8 1/2" x 11"



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A6



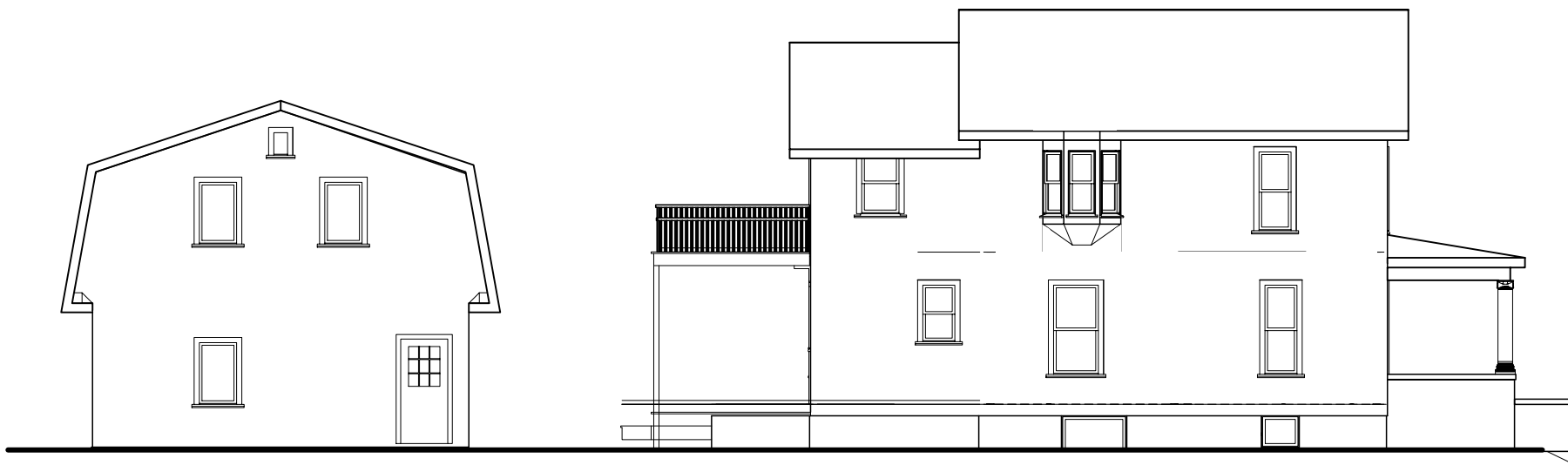
E Existing
East Elevation
Scale: 3/32" = 1'-0" on 8 1/2" x 11"

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A7



Existing
South Elevation

Scale: 3/32" = 1'-0" on 8 1/2" x 11"

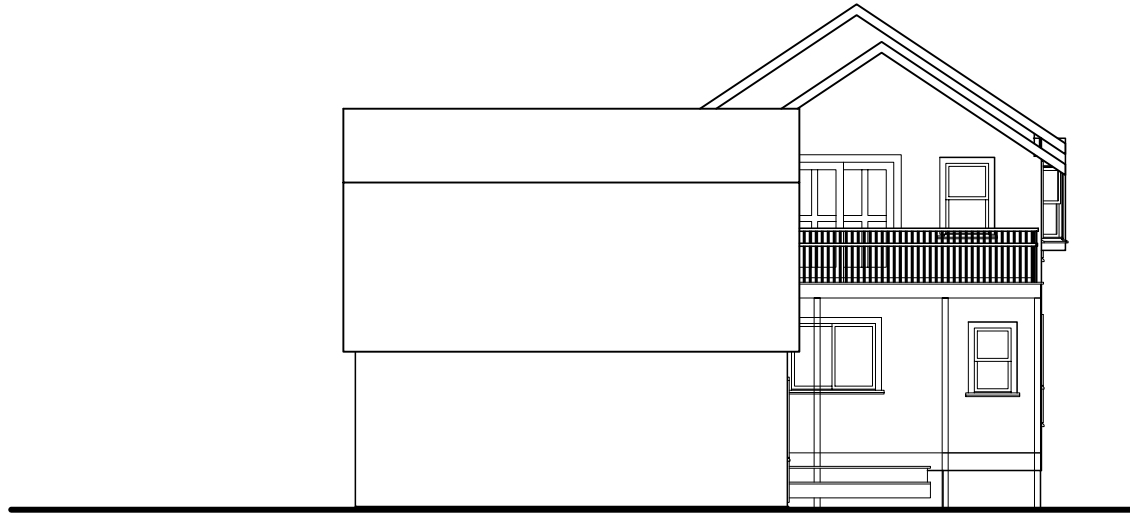
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A8



W Existing
West Elevation
Scale: 3/32" = 1'-0" on 8 1/2" x 11"

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A9



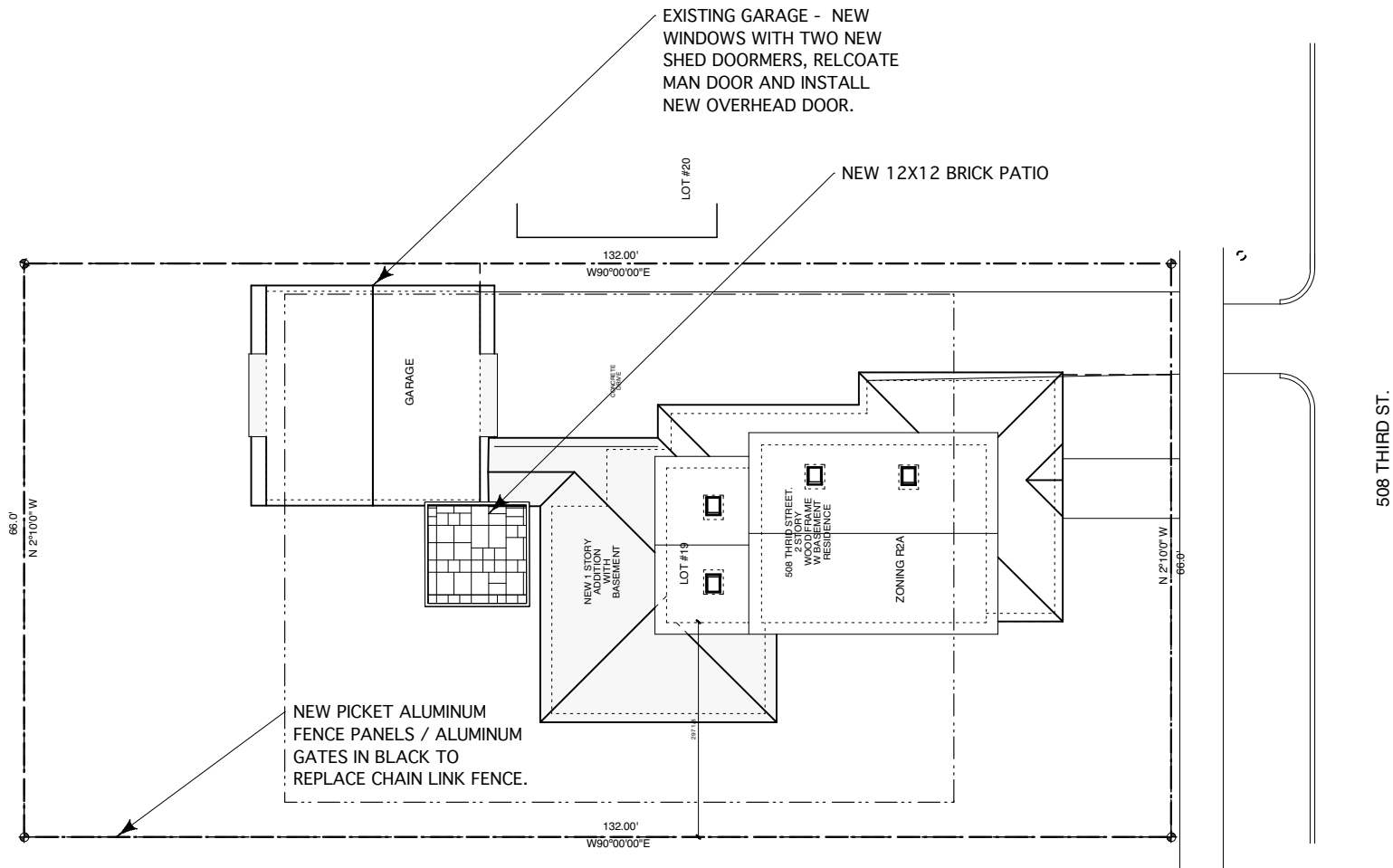
N Existing
 North Elevation
 Scale: 3/32" = 1'-0" on 8 1/2" x 11"

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A10



1 Proposed Site Plan

Scale: 20'-0" = 1'-0" on 8 1/2" x 11"

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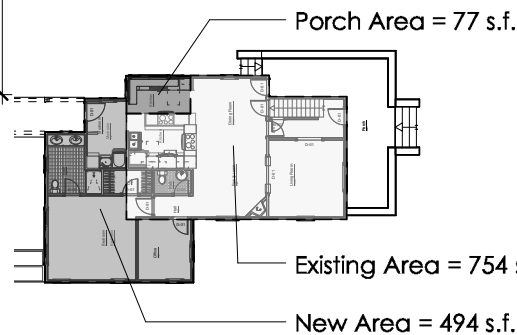
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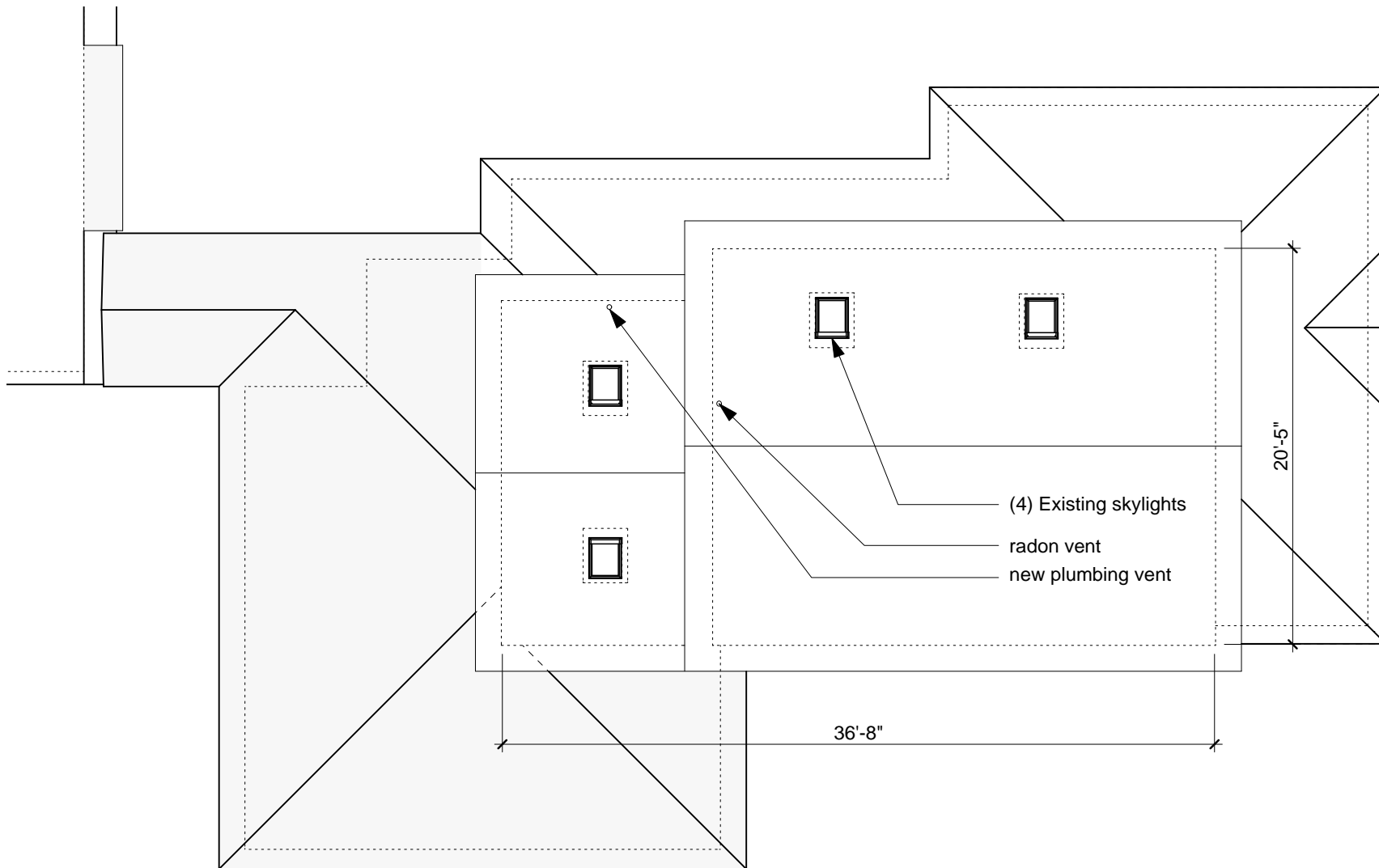
Bates Residence
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A11





Footprint increase
494s.f.+77s.f. /754 s.f. = 76%



1 Proposed Roof Plan

Scale: 1/8" = 1'-0" on 8 1/2" x 11"



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A14

RENOVATION OF EXISTING RESIDENCE:

ROOFING:

Replace roofing with laminated asphalt shingles

SIDING:

Repair damaged wood siding and trim as required and repaint at connection as required.

Windows:

Remove rear vinyl windows and install new claded Jeld-Wen windows with new exterior 3 1/2" x 5/4 casings - painted.



E Proposed
East Elevation
Scale: 3/16" = 1'-0" on 8 1/2" x 11"

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A15

WINDOW SCHEDULE

Mark	Jeld.#	Type	Unit Size	Notes
W1	SCD2564	double hung	2-2 3/8, 5-6	1 over 1
W2	SCD3348	double hung	2-9 3/8, 4-0	1 over 1
W3	SCD2952	double hung	2-5 3/8, 4-4	1 over 1
W4	SCD2148	double hung	1-9 3/8, 4-0	1 over 1
W5	SCD3664	double hung	3-0 3/8, 5-4	1 over 1
W6	SCD3664	double hung	3-0 3/8, 5-4	1 over 1
W7	SCD2152	double hung	1-9 3/8, 4-4	1 over 1
W8	SCC2818	csmt	2-11 15/16, 4-4 13/16	2 lite
W9	Omitted			
W10	SCC2818	awning	2-9 3/8, 1-8	1lite

WINDOW NOTES:

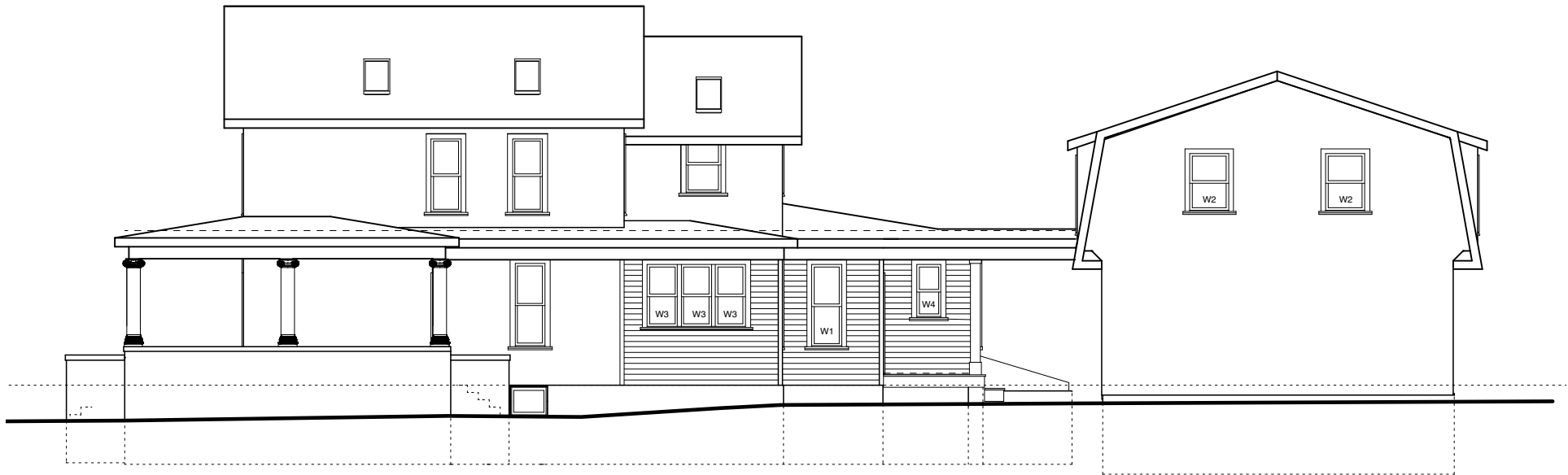
Windows shall be wood with aluminum cladding. Glazing shall be double glazed low e. Muntins shall be simulated-bonded to exterior and interior. Cladding shall be white. Screens shall be supplied with all windows.

DOOR SCHEDULE

Mark	Product #	Type	Unit Size	Notes
D1	Simpson 7044	door	32x80	1 lite
D2	Garage 4 sections door		7'x16'	8 lite

DOOR NOTES:

Doors shall be wood. Glazing shall be double glazed low e. Muntins shall be simulated-bonded to exterior and interior.



Proposed
N North Elevation

Scale: 3/16" = 1'-0" on 8 1/2" x 11"

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A16

NEW ADDITION MATERIAL DESCRIPTION:

ROOF:
Laminated asphalt shingles - existing to be replaced

FASCIA:
1"X 7" wd bd

GUTTERS:
5" K style alum gutters

GABLE RAKE BOARD
5/4"x 6" bd

FRIEZE BD (BELOW RAKE)
5/4"x 10" with bed molding

SOFFITS:
3/4" preprimed trim with vents

CORNER BOARDS"
5/4" X 4" wd bd

BAND BOARD:
5/4" X 10" wd bd with 5/4"x 2" beveled wash at top

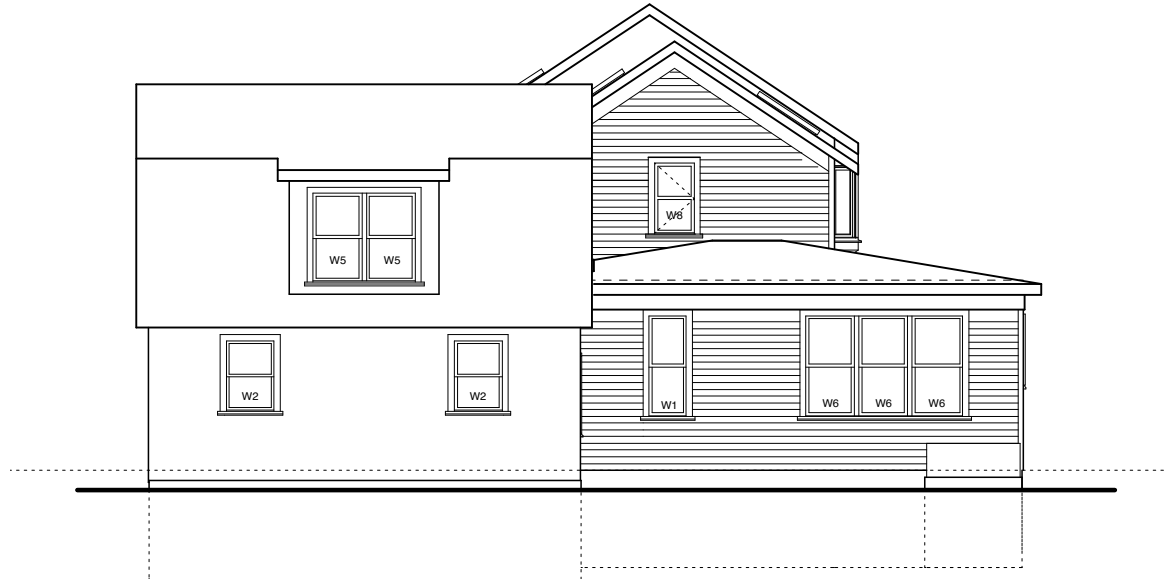
SIDING:
7/16"x 5" Hardie-plank siding with 4.5" exposure.

EXPOSED FOUNDATION:
stucco cement foundation

WINDOWS:
Jeld Wen Clad wood windows with 5/4" X 4" WD casings

DOORS:
Simpson entrance door Model 7044 with 5/4" X 4" WD casings.

OVERHEAD DOOR: Colpay Coachman Collection 4 sectional with top section lights



Proposed
West Elevation

Scale: 3/16" = 1'-0" on 8 1/2" x 11"

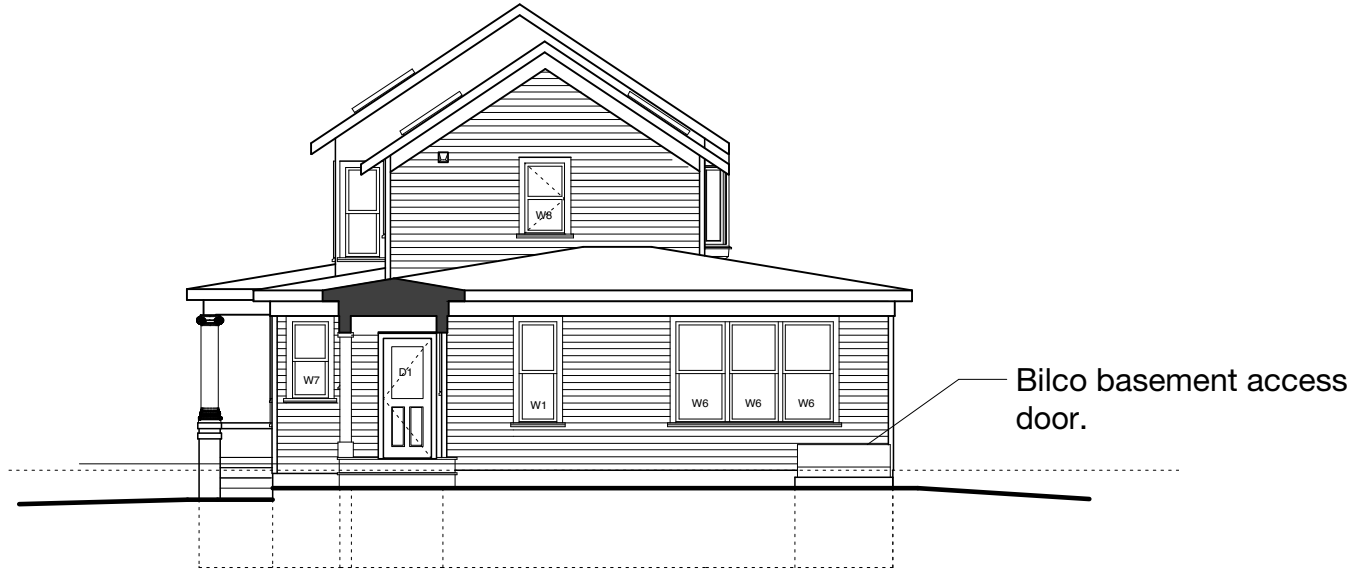
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A17



W Proposed
West Section/Elevation

Scale: 3/16" = 1'-0" on 8 1/2" x 11"

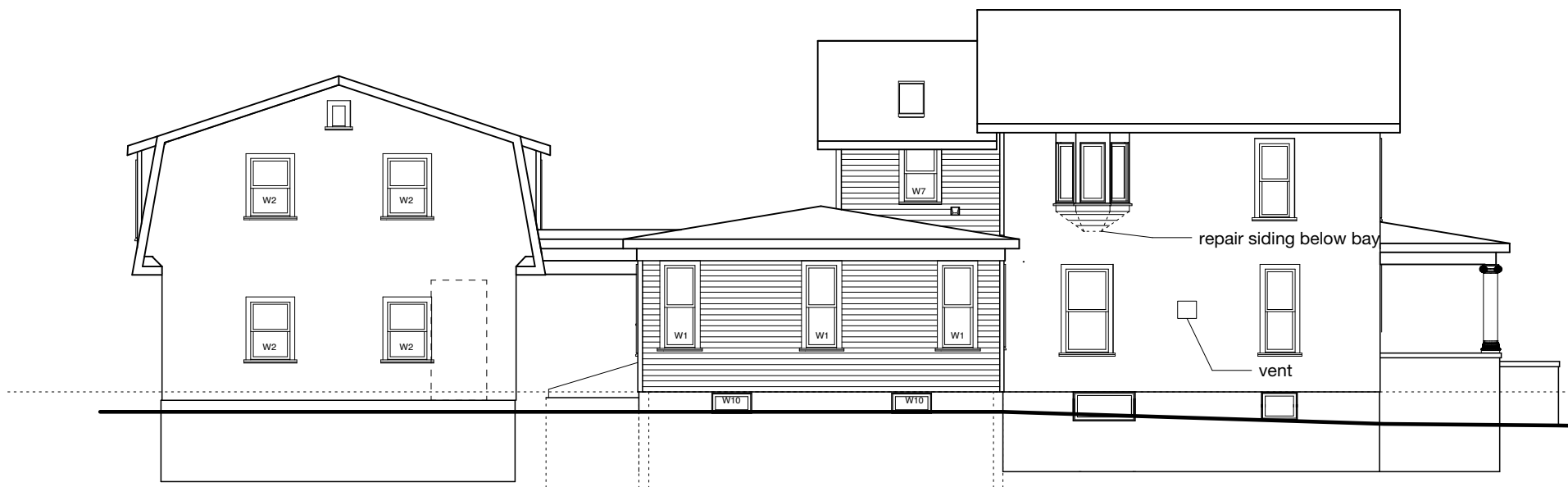
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A18



Proposed
S South Elevation
 Scale: 3/16" = 1'-0" on 8 1/2" x 11"

HDC SUBMISSION 03.31.17 revised