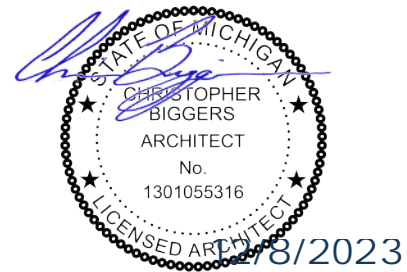




(HDC)VICINITY MAP



(E)BUILDING



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<u>SHEET</u>	<u>NAME</u>	<u>DATE</u>	<u>REV.</u>
I-HDC-PROJECT INFO			
<u>HDC-1.1</u>	COVER SHEET	12.08.2023	
<u>HDC-1.2</u>	SHEET INDEX	12.08.2023	
<u>HDC-1.3</u>	PROJECT NARRATIVE	12.08.2023	
<u>HDC-1.4</u>	(E) BUILDING PHOTOS	12.08.2023	
II-HDC-EXISTING CONDITIONS			
<u>HDC-2.1</u>	(E) FIRST FLOOR PLAN	12.08.2023	
<u>HDC-2.2</u>	(E) SECOND FLOOR PLAN	12.08.2023	
<u>HDC-2.3</u>	(E) THIRD FLOOR PLAN	12.08.2023	
<u>HDC-2.4</u>	(E) ROOF PLAN	12.08.2023	
<u>HDC-2.5</u>	(E) WEST ELEVATION	12.08.2023	
<u>HDC-2.6</u>	(E) EAST ELEVATION	12.08.2023	
<u>HDC-2.7</u>	(E) SIDE ELEVATIONS	12.08.2023	
III-HDC-NEW CONSTRUCTION			
<u>HDC-3.0</u>	(N) BASEMENT FLOOR PLAN	12.08.2023	
<u>HDC-3.1</u>	(N) FIRST FLOOR PLAN	12.08.2023	
<u>HDC-3.2</u>	(N) SECOND FLOOR PLAN	12.08.2023	
<u>HDC-3.3</u>	(N) THIRD FLOOR PLAN	12.08.2023	
<u>HDC-3.4</u>	(N) FOURTH FLOOR PLAN	12.08.2023	
<u>HDC-3.5</u>	(N) FIFTH FLOOR PLAN	12.08.2023	
<u>HDC-3.6</u>	(N) ROOF PLAN	12.08.2023	
<u>HDC-3.7</u>	(N) WEST ELEVATION	12.08.2023	
<u>HDC-3.8</u>	(N) EAST ELEVATION	12.08.2023	
<u>HDC-3.9</u>	(N) SIDE ELEVATIONS	12.08.2023	
<u>HDC-3.10</u>	(N) STREET SECTION	12.08.2023	
<u>HDC-3.11</u>	(N)WALL SECTION	12.08.2023	
IV-HDC-STREET VIEWS			
<u>HDC-4.1</u>	PERSPECTIVE LOCATION KEY	12.08.2023	
<u>HDC-4.2</u>	VIEW FROM STREET	12.08.2023	
<u>HDC-4.3</u>	VIEW FROM ALLEY	12.08.2023	
<u>HDC-4.4</u>	VIEW FROM ACROSS MAIN STREET	12.08.2023	
<u>HDC-4.5</u>	VIEW FROM STARBUCKS	12.08.2023	
<u>HDC-4.6</u>	VIEW FROM W WASHINGTON	12.08.2023	
V-HDC-CONSTRUCTION FEASIBILITY			
<u>HDC-5.1</u>	STRUCTURAL ENGINEER WALL ANALYSIS	12.08.2023	
<u>HDC-5.2</u>	STRUCTURAL ENGINEER WALL ANALYSIS-2	12.08.2023	
<u>HDC-5.3</u>	FIRE DAMAGE	12.08.2023	
<u>HDC-5.4</u>	TEMPORARY SHORING SKETCH	12.08.2023	
<u>HDC-5.5</u>	WINDOW SPECS	12.08.2023	
<u>HDC-5.7</u>	WINDOW SPECS	12.08.2023	
<u>HDC-5.8</u>	DOOR SPECS	12.08.2023	
<u>HDC-5.9</u>	DOORS SPECS 2	12.08.2023	
<u>HDC-5.10</u>	STOREFRONT SPECS	12.08.2023	
<u>HDC-5.11</u>	STOREFRONT SPECS	12.08.2023	
<u>HDC-5.12</u>	STOREFRONT SINGLE DOOR SPECS	12.08.2023	
<u>HDC-5.13</u>	STOREFRONT DOUBLE DOOR SPECS	12.08.2023	
<u>HDC-5.14</u>	WALL OFFSET DETAIL	12.08.2023	

PLANS ARE FOR DESIGN APPROVAL ONLY.
 NOT FOR CONSTRUCTION.
 CONSTRUCTION DOCUMENTS WILL BE SUBMITTED TO BUILDING DEPARTMENT FOR
 REVIEW AND APPROVAL PRIOR TO START OF ANY CONSTRUCTION.



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- **BUILDING OWNER:** 215-217 SMS, LLC
- **P.I.N.:** 09-09-29-131-021
- **SITE AREA:** 5,525.66 SF
- **PROPERTY CLASS:** 201
- **YEAR BUILT:** 1901
- **FRONT FOOTAGE:** 44.00
- **ZONING:** D1
- **IN FLOODPLAIN (CENTER OF LOT):** NO
- **NEIGHBORHOOD:** DOWNTOWN
- **WARD:** 5
- **ECF NEIGHBORHOOD TYPE:** COMMERCIAL
- **TOTAL ACRES:** 0.13 (5662.8 SF)
- **LEGAL DESCRIPTION:** S 44 FT LOT 3 B2S R4E ORIGINAL PLAT OF ANN ARBOR
- **% LOT COVERAGE:** NONE
- **REQUIRED SETBACKS:**
 - 1. FRONT: 5'
 - 2. SIDE: NONE
 - 3. REAR: NONE
- **BUILDING HEIGHT:** MIN 24 FT AND 2 STORIES
- **OVERLAY ZONING DISTRICT:** MAIN STREET
- **MAX BUILDING HEIGHT:** 180'

BUILDING AREA FLOOR	EXISTING GROSS	NEW GROSS	NEW NET AREA (FAR)
BASEMENT:	4714	4714	
FIRST FLOOR:	4714	5387	4396
SECOND FLOOR:	3795	5387	4396
THIRD FLOOR:	3795	5387	4396
FOURTH FLOOR:	N/A	4338	3634
FIFTH FLOOR:	N/A	3524	2925
ROOF:	N/A	UNOCCUPIED	
TOTAL:	12,304 SF	24,023 SF	19,747 SF < 21,824 SF => OK
EXISTING FAR (11,946 /5662.8)=		211%	
MAX FAR: 44' X 124' = 5,456 SF x 400% = 21,824 SF MAX MAX UP TO 900% WITH PREMIUMS OTHERWISE 400%			

EXISTING CONDITIONS

- EXISTING PRE-1900 3-STORY BUILDING
- EXISTING BUILDING EXPERIENCED A RECENT FIRE, DAMAGING THE HISTORIC WINDOWS, EXISTING ROOF STRUCTURE, AND EXISTING SECOND FLOOR STRUCTURE.
- THE FIRST FLOOR HAS HAD MANY TENANTS COME AND GO OVER TIME WITH NUMEROUS STOREFRONT RENOVATIONS.
- THE SECOND FLOOR CONSISTS OF VARIOUS OFFICES WITH NARROW HALLWAYS AND NON-COMPLIANT EGRESS ROUTES.
- THIRD FLOORS HAS REMAINED VACANT FOR SOME TIME DUE TO STRUCTURAL CONCERNS AND FIRE DAMAGE.
- EXISTING NORTH, SOUTH, AND WEST MASONRY WALLS WILL BE MAINTAINED, PRESERVING THE HISTORICAL MAIN STREET FACADE.

DEMOLITION

- THE EAST WALL WILL BE REMOVED DUE TO THE FOLLOWING:
 1. EAST WALL IS DETERIORATING
 2. STRUCTURAL ENGINEER HAS DETERMINED WALL CANNOT BE SAFELY SUPPORTED
 3. THE NORTH, SOUTH AND WEST WALLS WILL BE PRESERVED WITH SHORING, PROMOTING SAFE CONSTRUCTION AND EQUIPMENT ACCESS THROUGH THE NARROW ALLEY.
 4. NEW CONSTRUCTION EQUIPMENT AND MATERIALS MUST ENTER OR LEAVE THE SITE FROM THE ALLEY SIDE.
 5. THE MAIN STREET SIDEWALK MUST BE PROTECTED DURING THE DURATION OF CONSTRUCTION AND ACCESS THROUGH MAIN STREET SHOULD BE MINIMIZED.
 6. ALL CONSTRUCTION ACCESS AND MATERIALS WILL ENTER SITE THROUGH EAST ALLEY
 7. THE EXISTING ROOF STRUCTURE AND THIRD FLOOR STRUCTURE MUST BE REMOVED DUE TO FIRE DAMAGE AND DETERIORATION
 8. FIRST FLOOR STRUCTURE MUST BE RE-BUILT AT A LOWER LEVEL TO ALLOW BARRIER FREE ACCESS.

NEW CONSTRUCTION

- THE NEW BUILDING FOOTPRINT WILL FOLLOW THE FOOT PRINT OF THE EXISTING BUILDING.
- FIRST FLOOR WILL BE REPLACED TO ACCOMODATE ACCESSIBLE FIRST FLOOR COMMERCIAL TENANT(S)
- SECOND AND THRID FLOORS WILL BE REPLACED TO ACCOMODATE ACCESSIBLE RESIDENTIAL UNITS.
- A NEW ROOF TOP STRUCTURE WILL INSTALLED TO ACCOMODATE ACCESSIBLE RESIDENTIAL UNITS.
- NEW ROOF TOP STRUCTURE WALLS WILL BE OFFSET BEHIND HISTORIC FACADE TO PRESERVE THE HISTORICAL FACADE.
- NEW CODE COMPLIANT COORIDORS, STAIRWAYS, AND ELEVATOR WILL BE INSTALLED.
- THE EXISTING BRICK(PAINTED) ON MAIN STREET WILL REMAIN
- THE SURVEY INDICATES THAT THE EXISTING NORTH AND SOUTH BRICK/MASONRY WALLS ARE BUILT OVER THE PROPERTY LINE CAUSING ANY NEW MASONRY WALLS ABOVE MUST TO BE OFFSET.



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PROJECT NARRATIVE



(E) BUILDING PHOTOS



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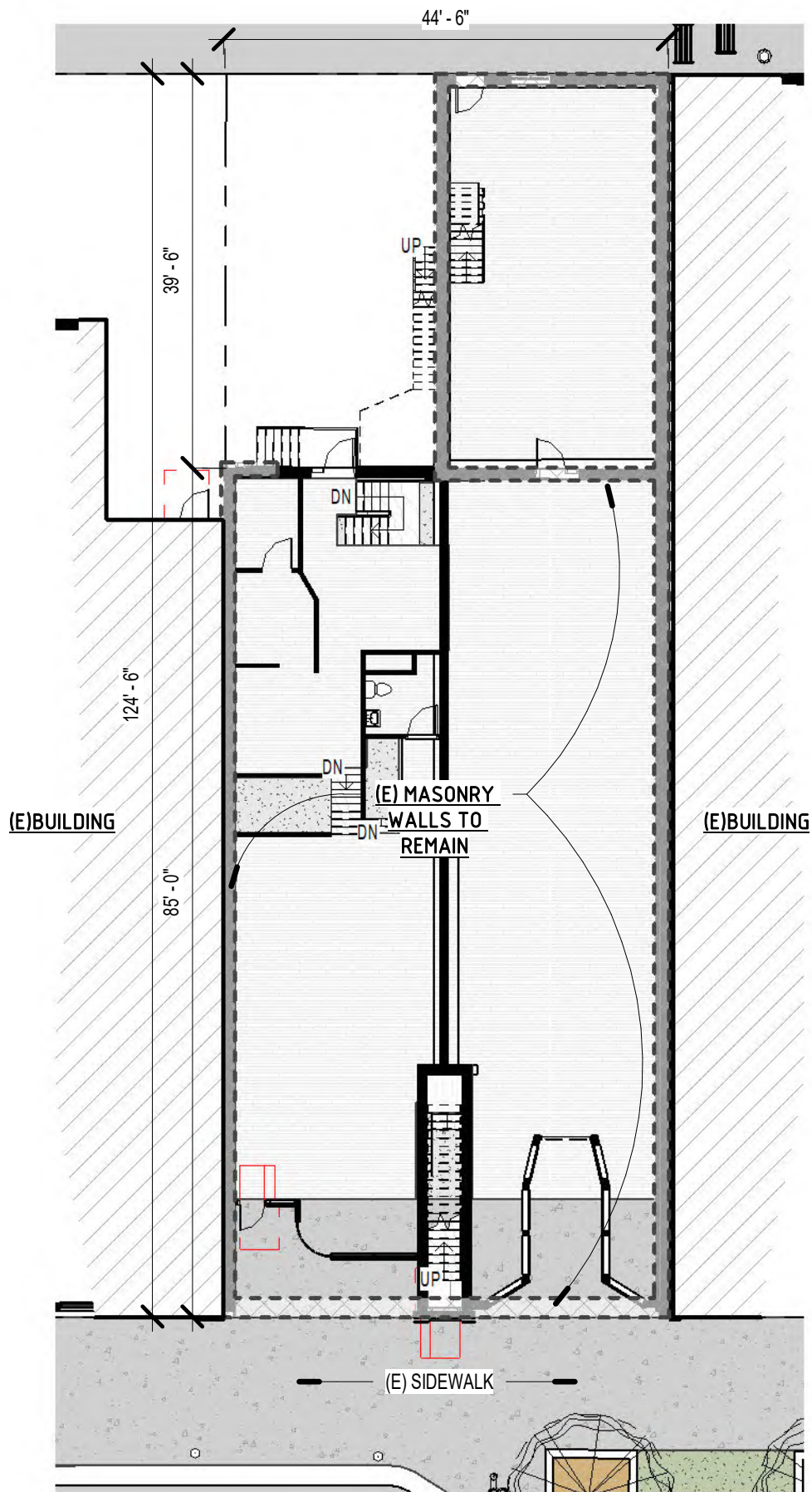
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1 (E) FIRST FLOOR

1/16" = 1'-0"

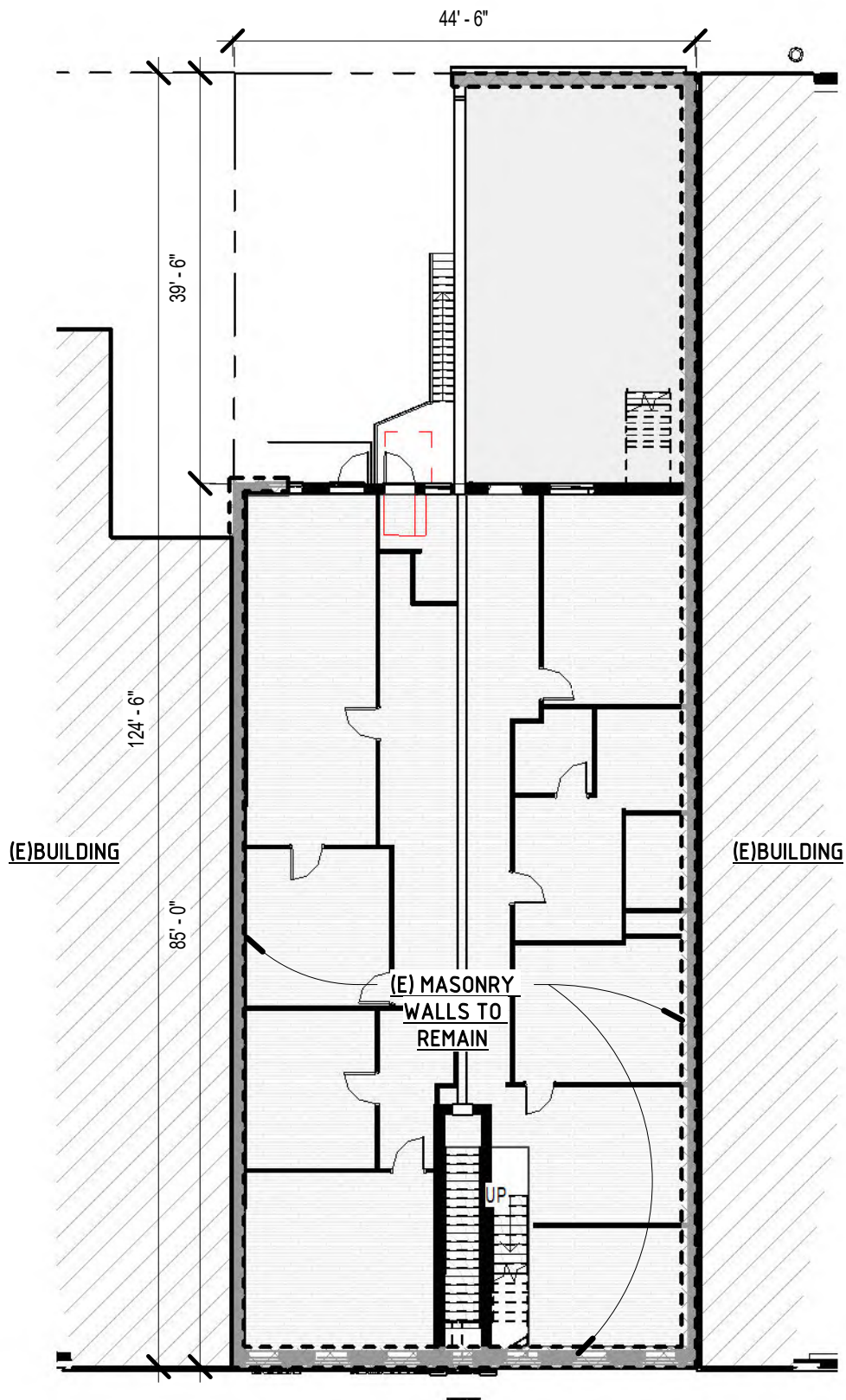


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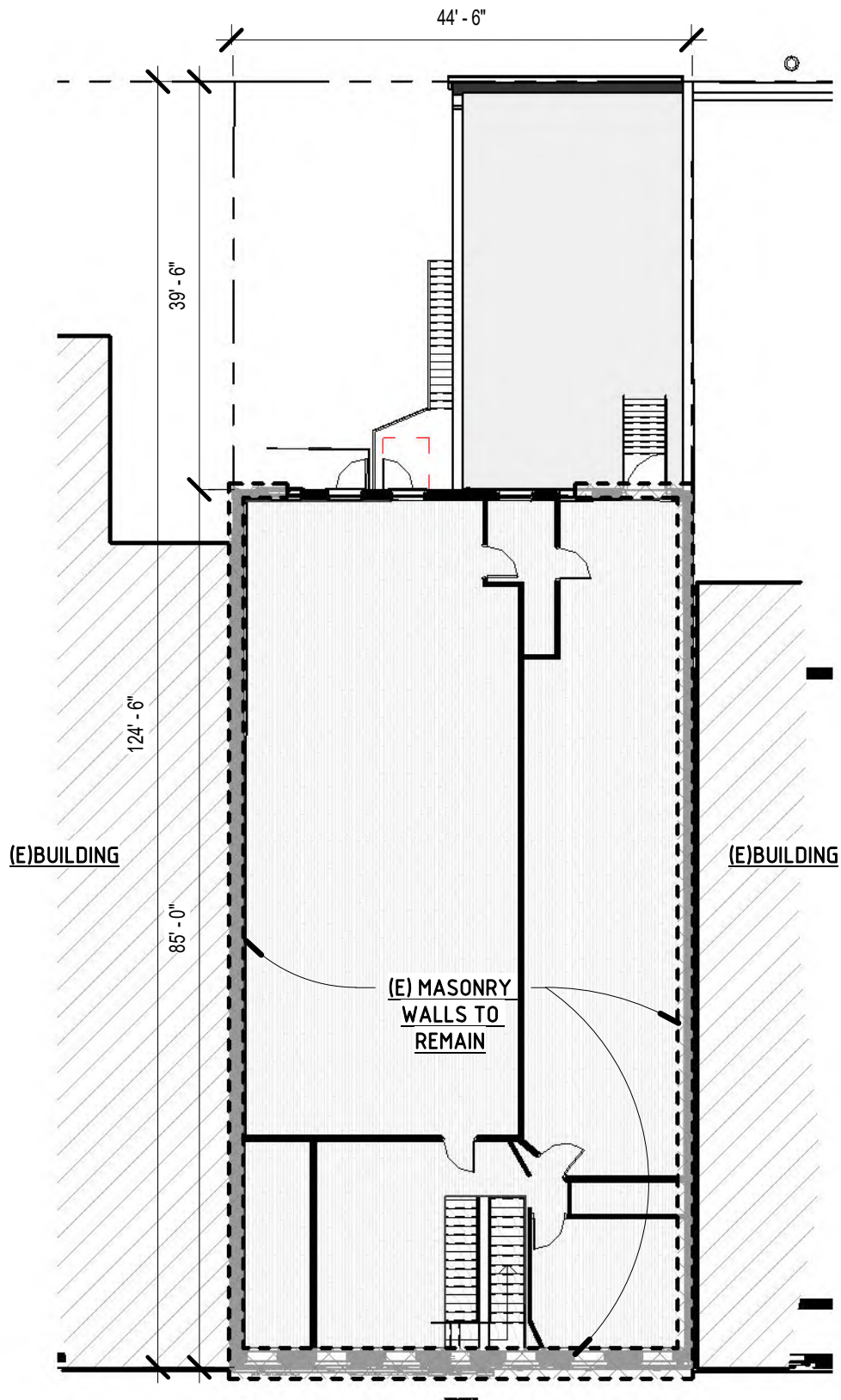
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(E) SECOND FLOOR

1/16" = 1'-0"

1





1

(E)THIRD FLOOR

1/16" = 1'-0"

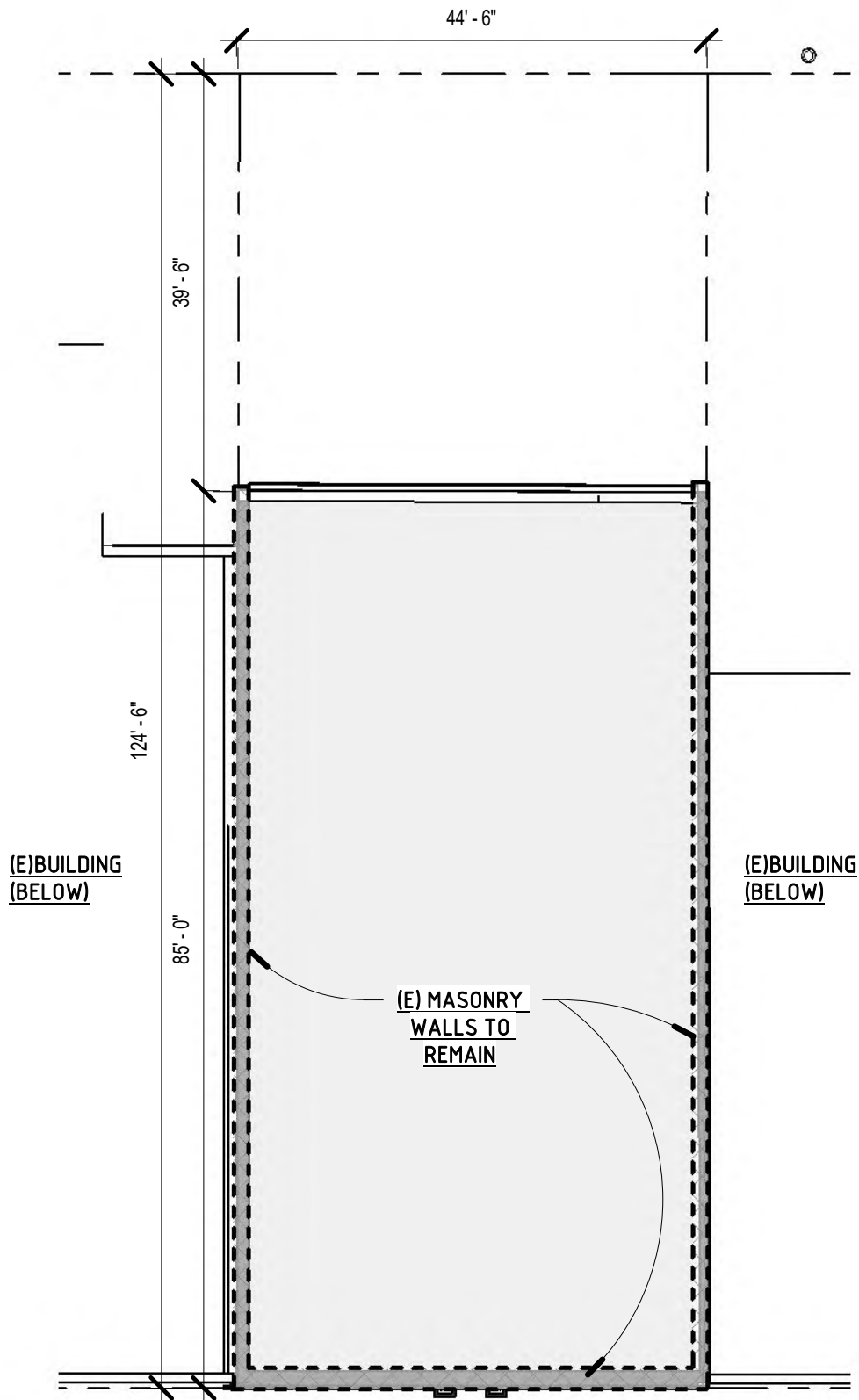


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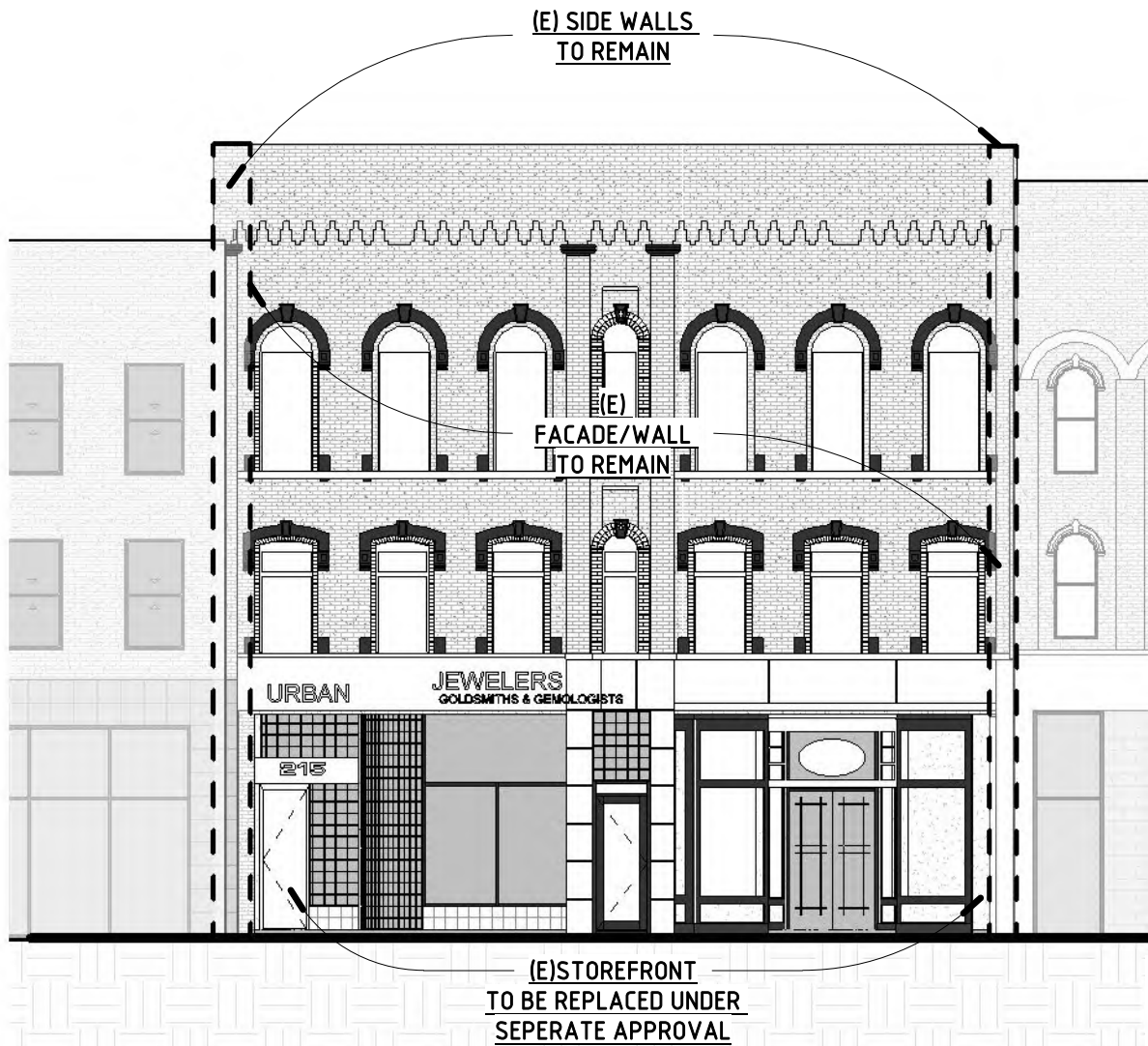
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(E) ROOF PLAN

1/16" = 1'-0"



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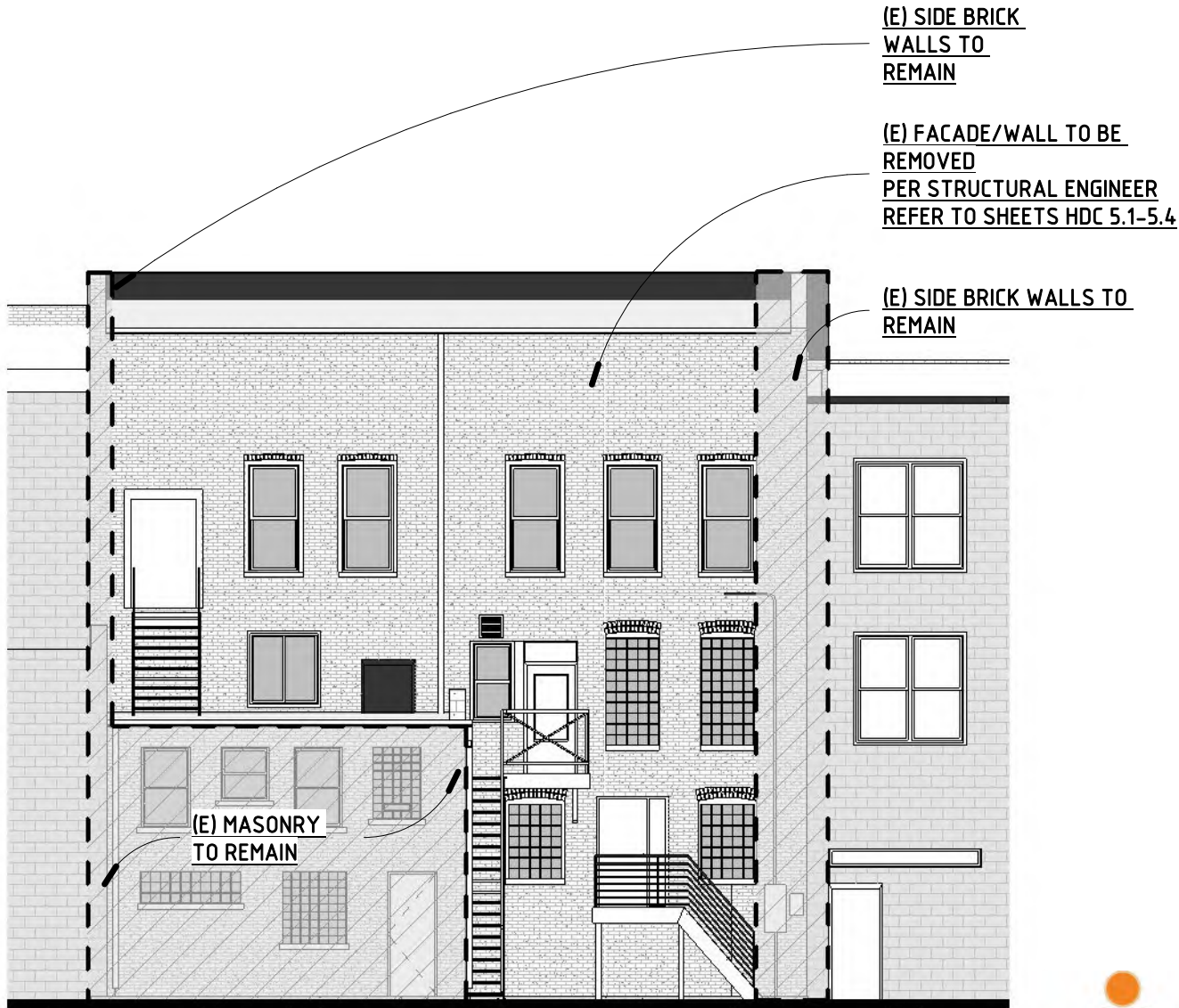
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1 (E) WEST ELEVATION (MAIN ST.)

3/32" = 1'-0"



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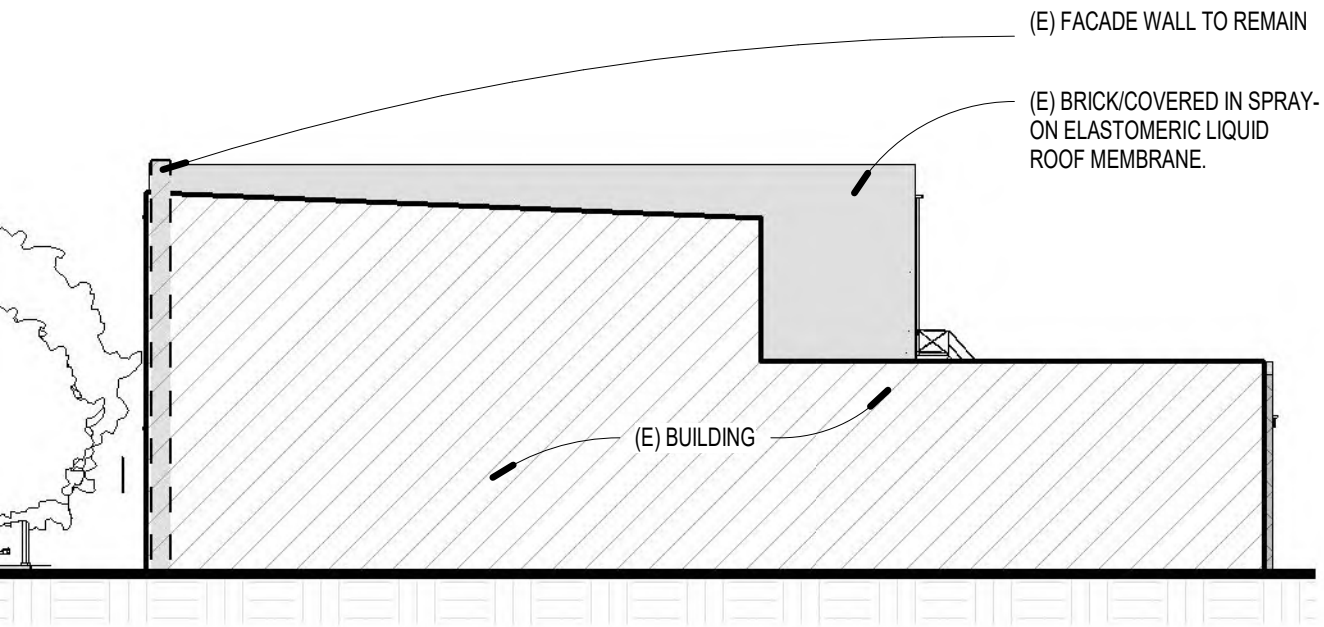
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HDC-2.6

(E) EAST ELEVATION (ALLEY)

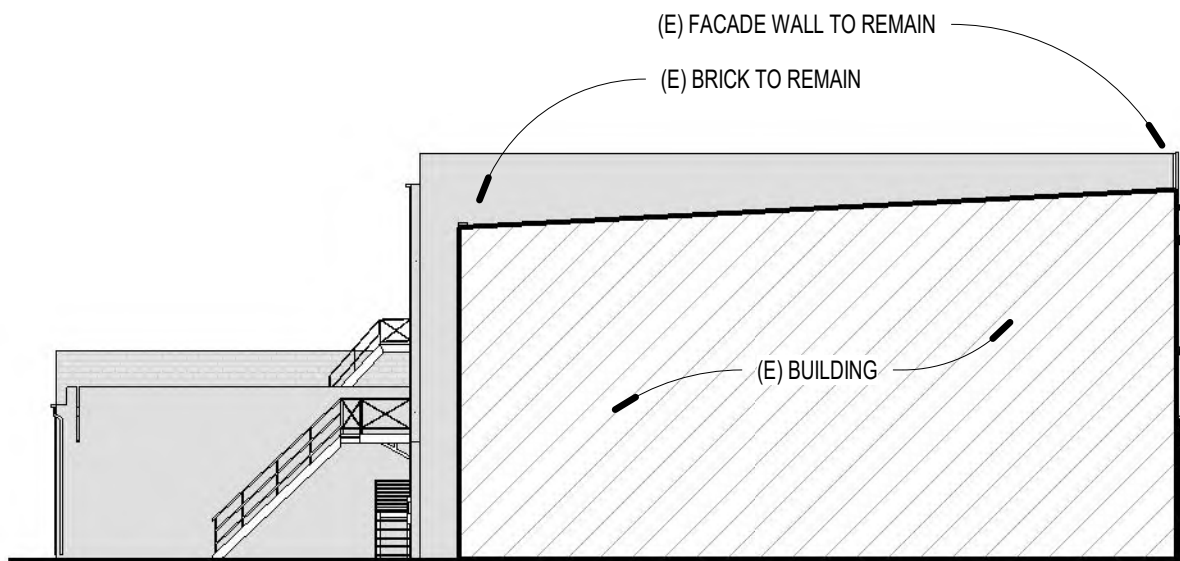
3/32" = 1'-0"

1



1 (E) SOUTH ELEVATION-

3/64" = 1'-0"



2 (E) NORTH ELEVATION

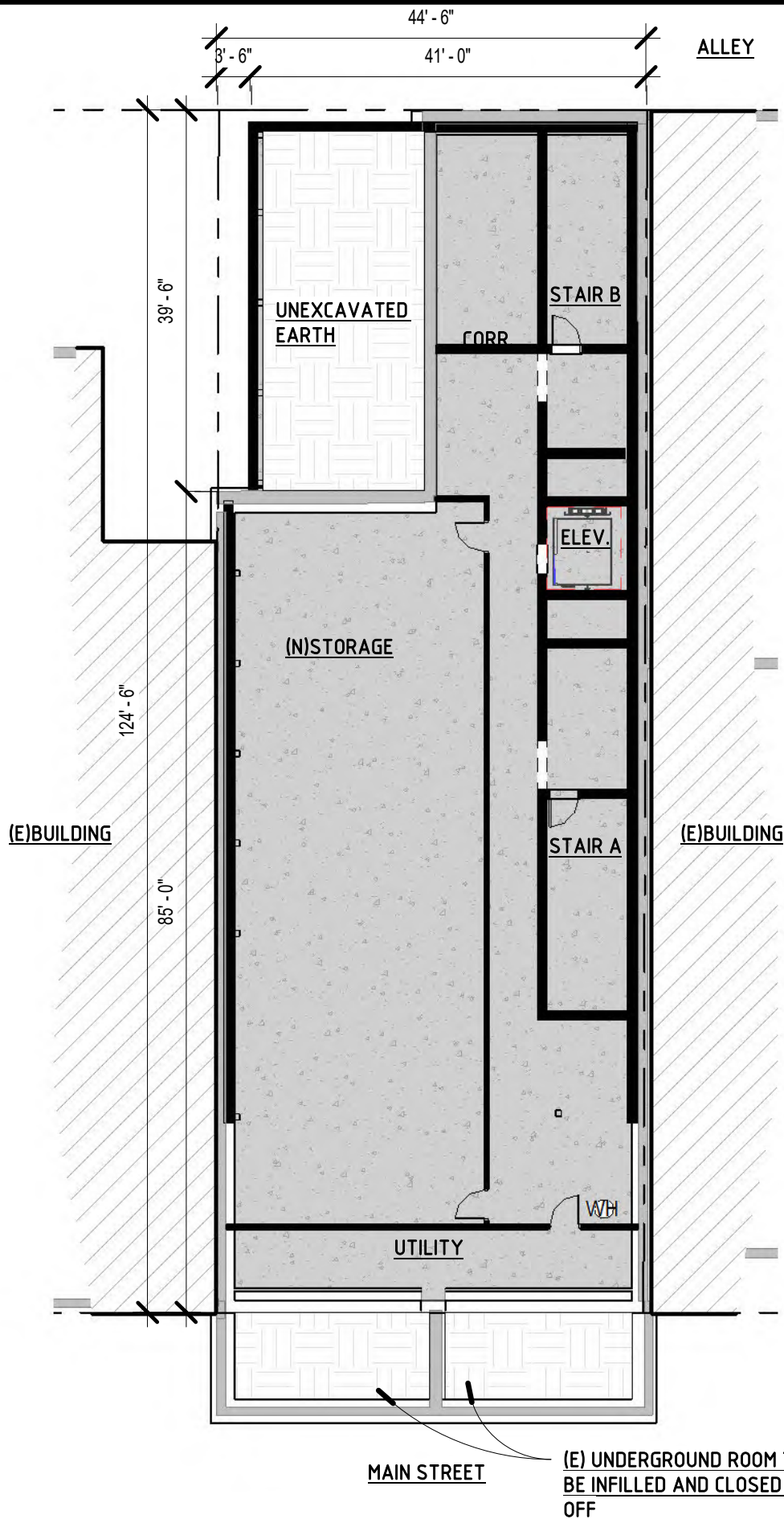
3/64" = 1'-0"



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(N) BASEMENT FLOOR PLAN

1/16" = 1'-0"

2



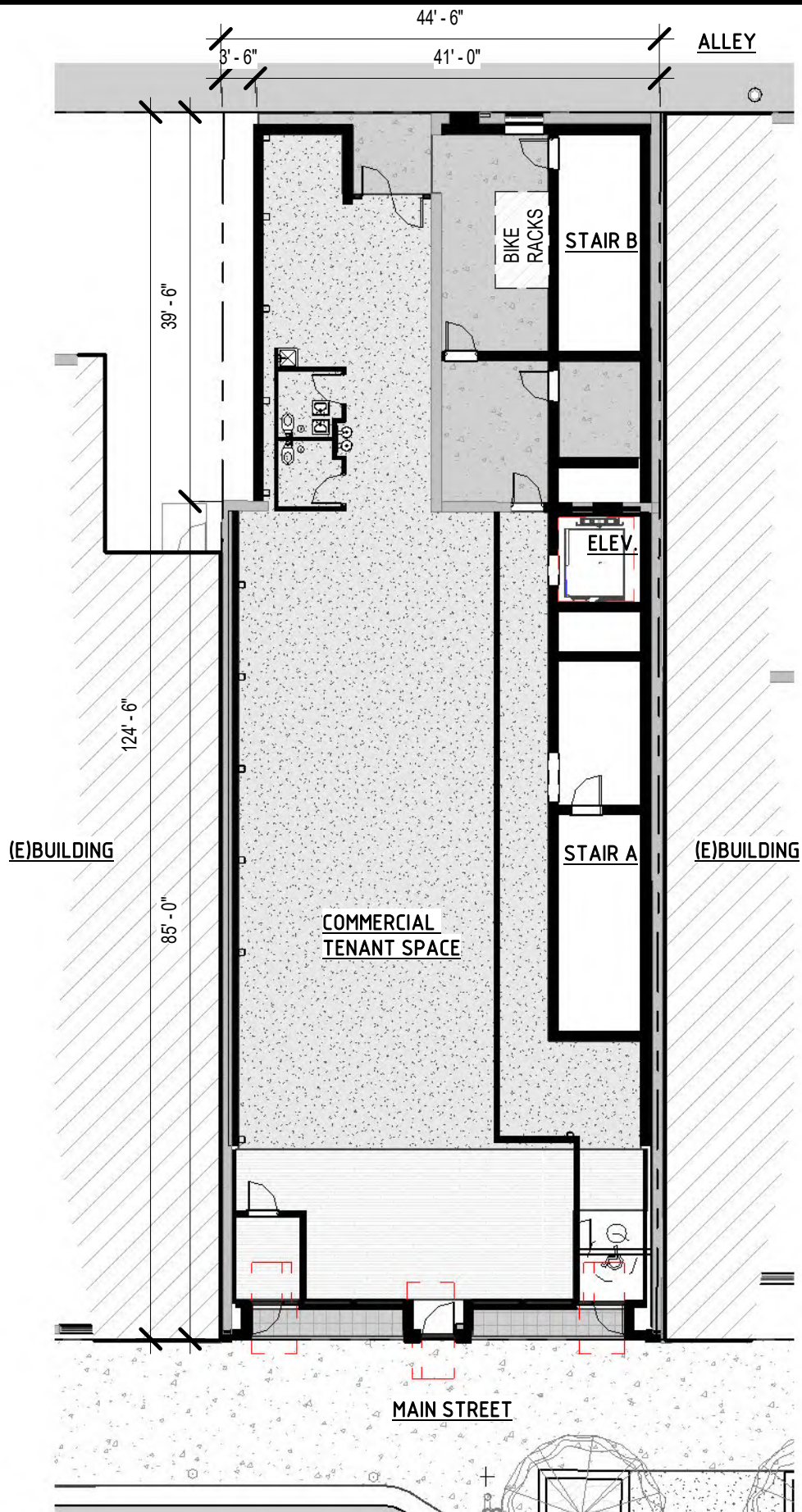
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HDC-3.0

(E) UNDERGROUND ROOM TO
 BE INFILLED AND CLOSED
 OFF



1 (N) FIRST FLOOR PLAN

1/16" = 1'-0"

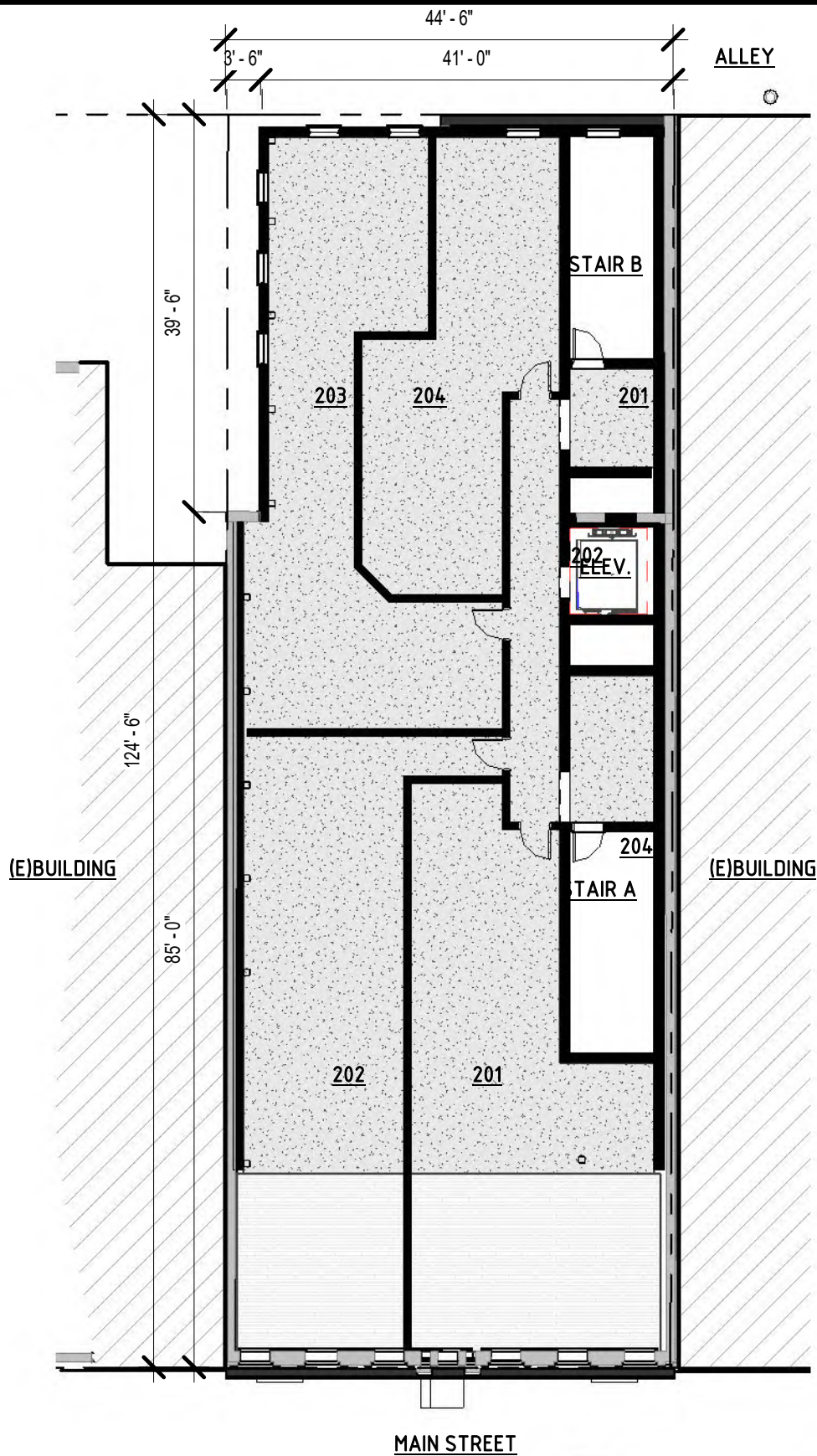


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MAIN STREET



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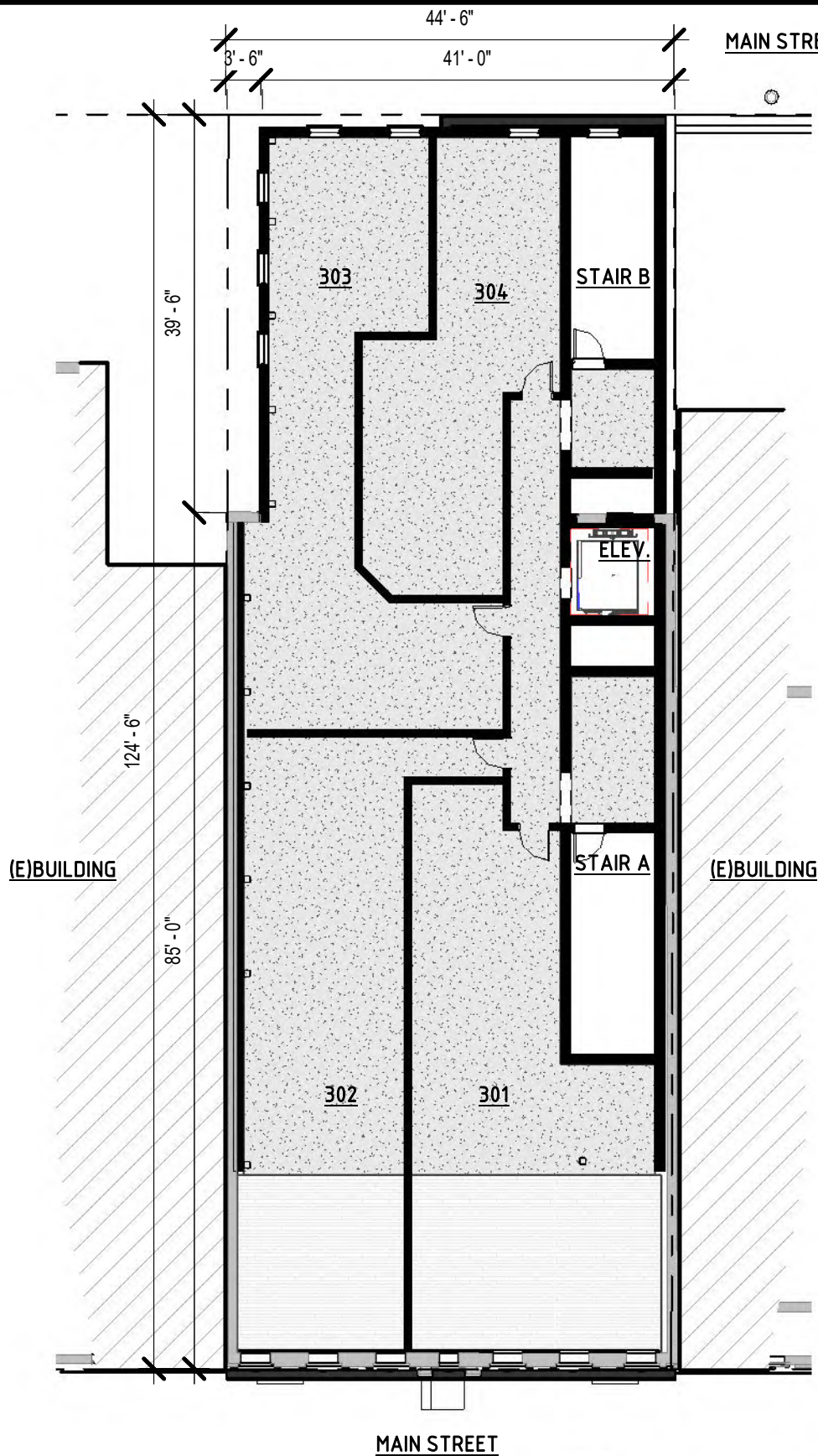
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(N) SECOND FLOOR PLAN

1/16" = 1'-0"



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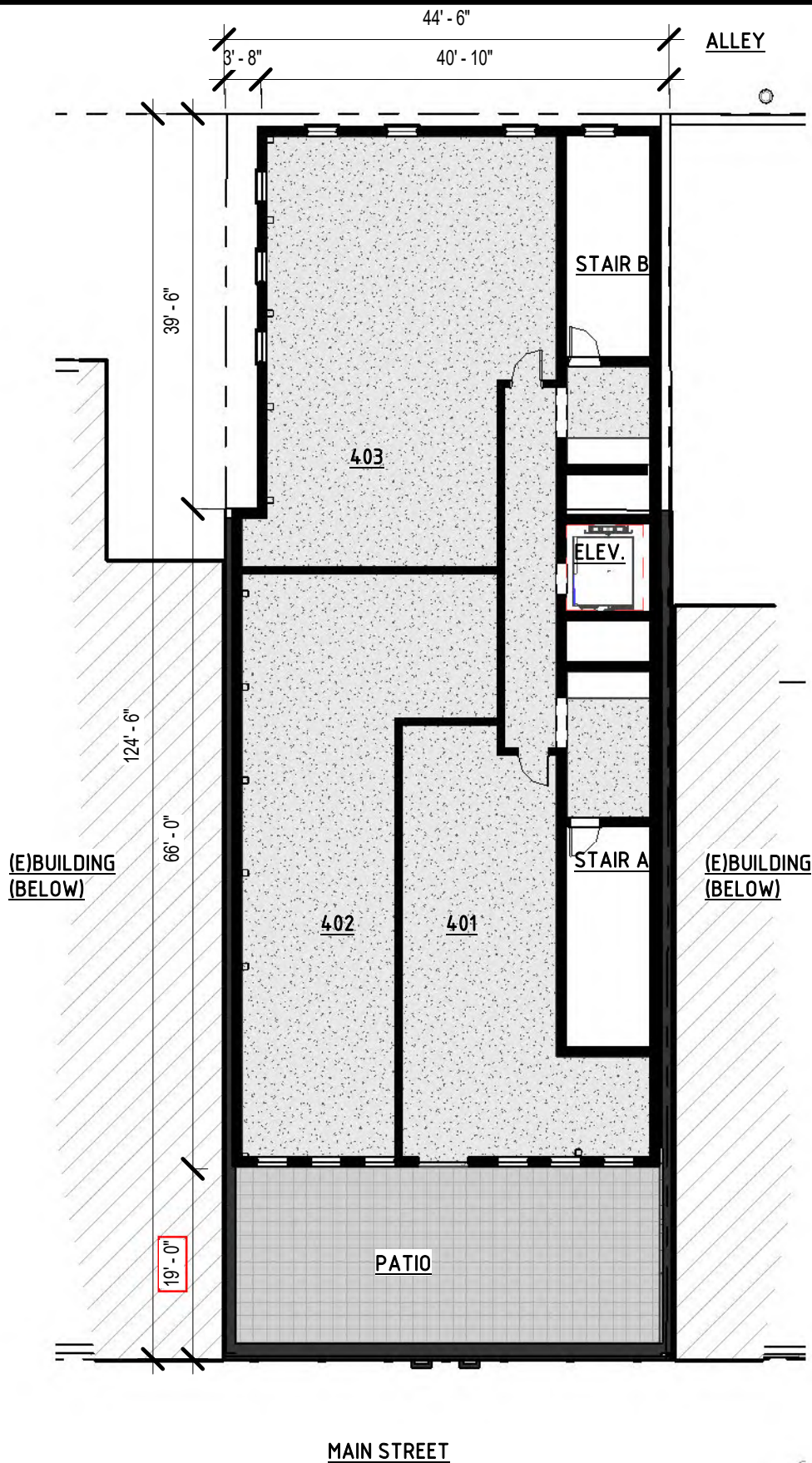
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(N) THIRD FLOOR PLAN

1/16" = 1'-0"



MAIN STREET



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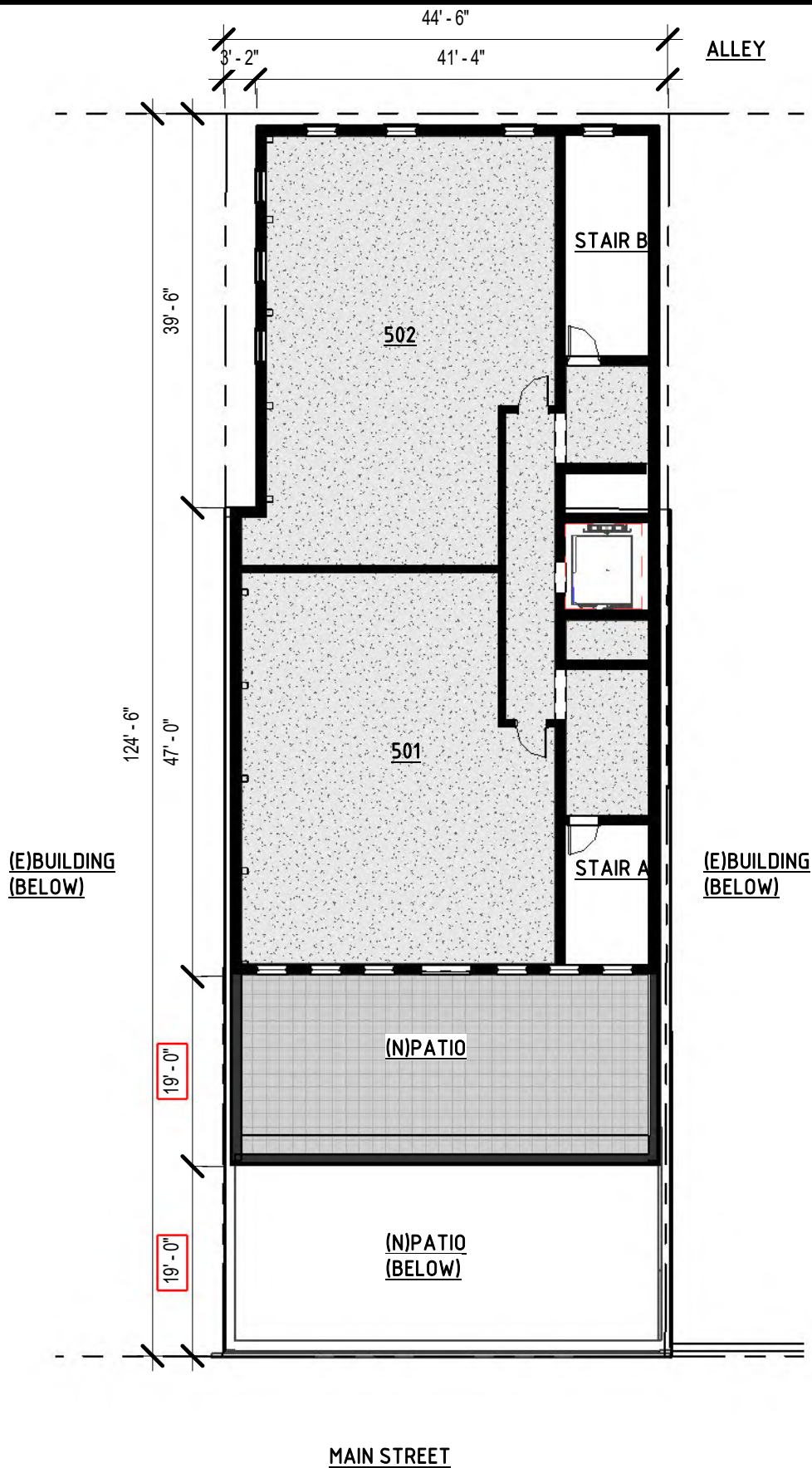
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(N) FOURTH FLOOR PLAN

1/16" = 1'-0"

1



1

(N) FIFTH FLOOR PLAN

1/16" = 1'-0"

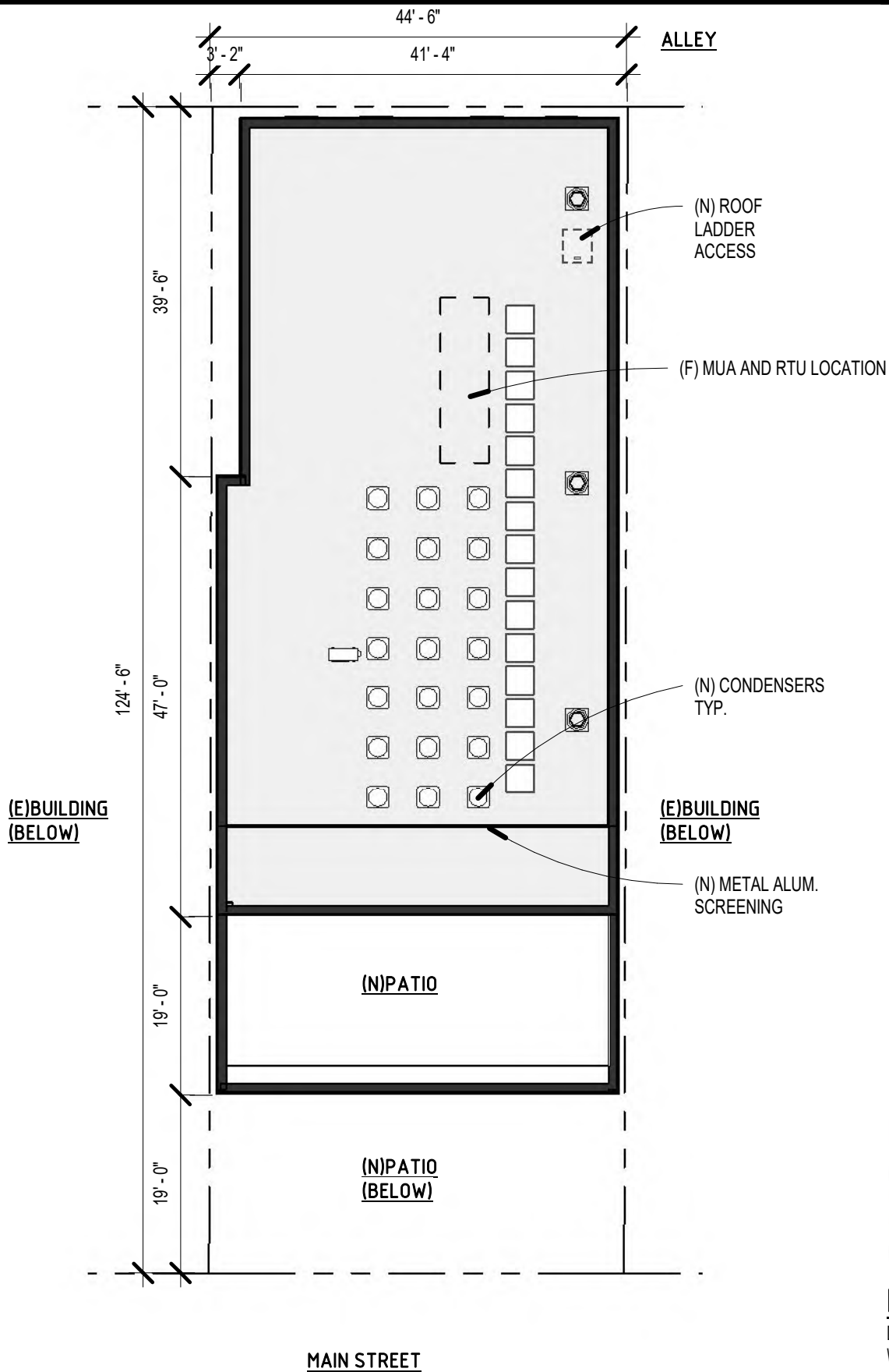


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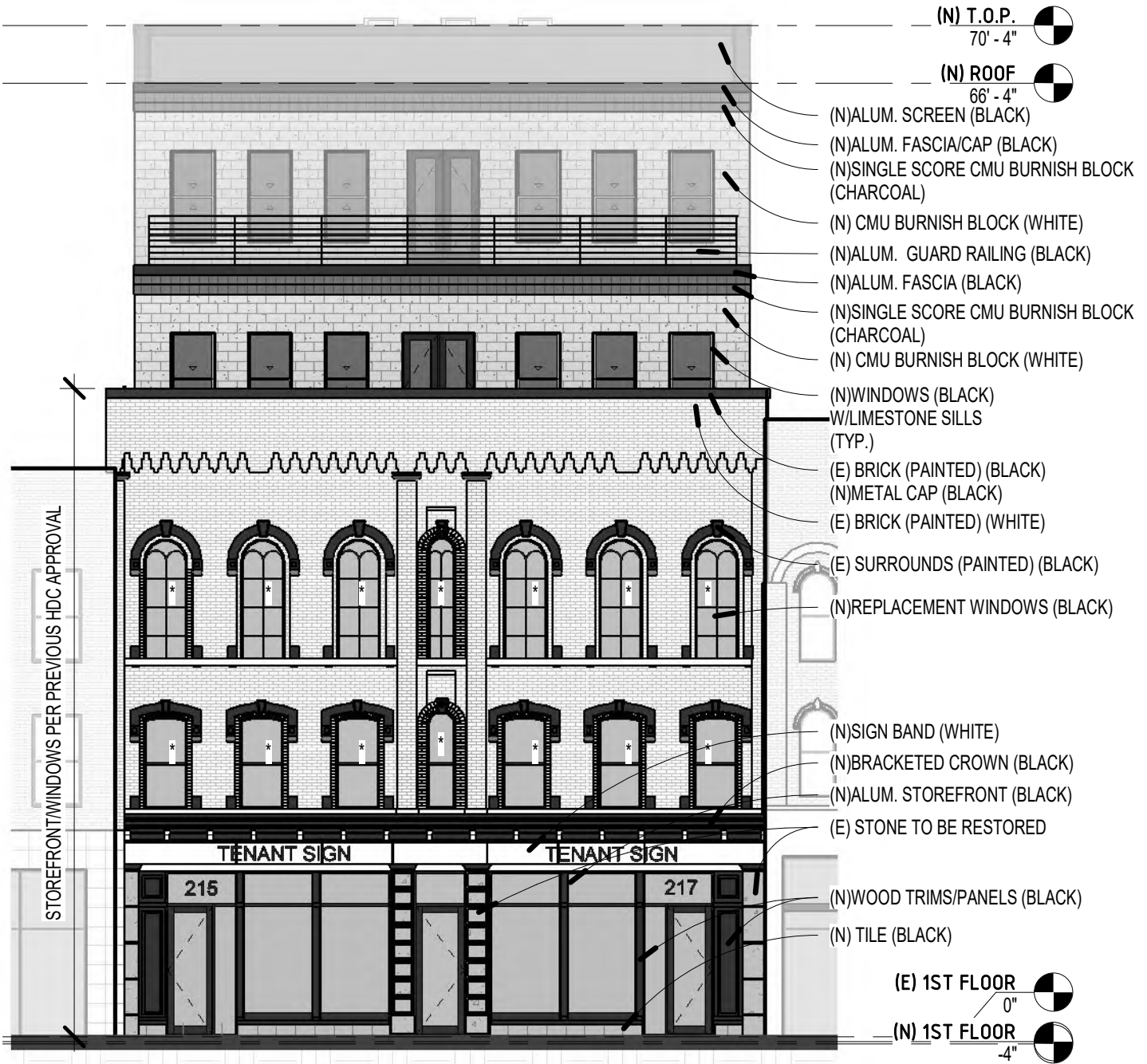
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HDC-3.6

(N) ROOF PLAN

1/16" = 1'-0"

1



(N) T.O.P.
70' - 4"

(N) ROOF
66' - 4"

- (N)ALUM. SCREEN (BLACK)
- (N)ALUM. FASCIA/CAP (BLACK)
- (N)SINGLE SCORE CMU BURNISH BLOCK (CHARCOAL)
- (N) CMU BURNISH BLOCK (WHITE)
- (N)ALUM. GUARD RAILING (BLACK)
- (N)ALUM. FASCIA (BLACK)
- (N)SINGLE SCORE CMU BURNISH BLOCK (CHARCOAL)
- (N) CMU BURNISH BLOCK (WHITE)
- (N)WINDOWS (BLACK)
W/LIMESTONE SILLS (TYP.)
- (E) BRICK (PAINTED) (BLACK)
- (N)METAL CAP (BLACK)
- (E) BRICK (PAINTED) (WHITE)
- (E) SURROUNDS (PAINTED) (BLACK)
- (N)REPLACEMENT WINDOWS (BLACK)
- (N)SIGN BAND (WHITE)
- (N)BRACKETED CROWN (BLACK)
- (N)ALUM. STOREFRONT (BLACK)
- (E) STONE TO BE RESTORED
- (N)WOOD TRIMS/PANELS (BLACK)
- (N) TILE (BLACK)

(E) 1ST FLOOR
0"

(N) 1ST FLOOR
-4"

STOREFRONT WINDOWS PER PREVIOUS HDC APPROVAL

TENANT SIGN

TENANT SIGN

215

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(N) WEST ELEVATION (MAIN ST.)

3/32" = 1'-0"



(N) T.O.P.
70' - 4"

(N) ROOF
66' - 4"

- (N)ALUM. FASCIA/CAP (BLACK)
- (N)SINGLE SCORE CMU BURNISH BLOCK (WHITE)
- (N) CMU BURNISH BLOCK (WHITE)
- (N)SINGLE SCORE CMU BURNISH BLOCK (CHARCOAL)

(N) 5TH FLOOR
53' - 8"

(N) OFFESET

- (N) OFFESET
- (N)WINDOWS (BLACK) W/LIMESTONE SILLS (TYP.)

(N) 4TH FLOOR
41' - 0"

(N) 3RD FLOOR
25' - 4"

(N) 2ND FLOOR
13' - 0"

(N) 1ST FLOOR
4"

(E) BRICK TO REMAIN

(E) BRICK TO REMAIN

(E) BRICK TO REMAIN

SALVAGE (E) BRICK AND IN-FILL (E) OPENINGS. INSET 2" (TYP.)

(E) BRICK TO REMAIN



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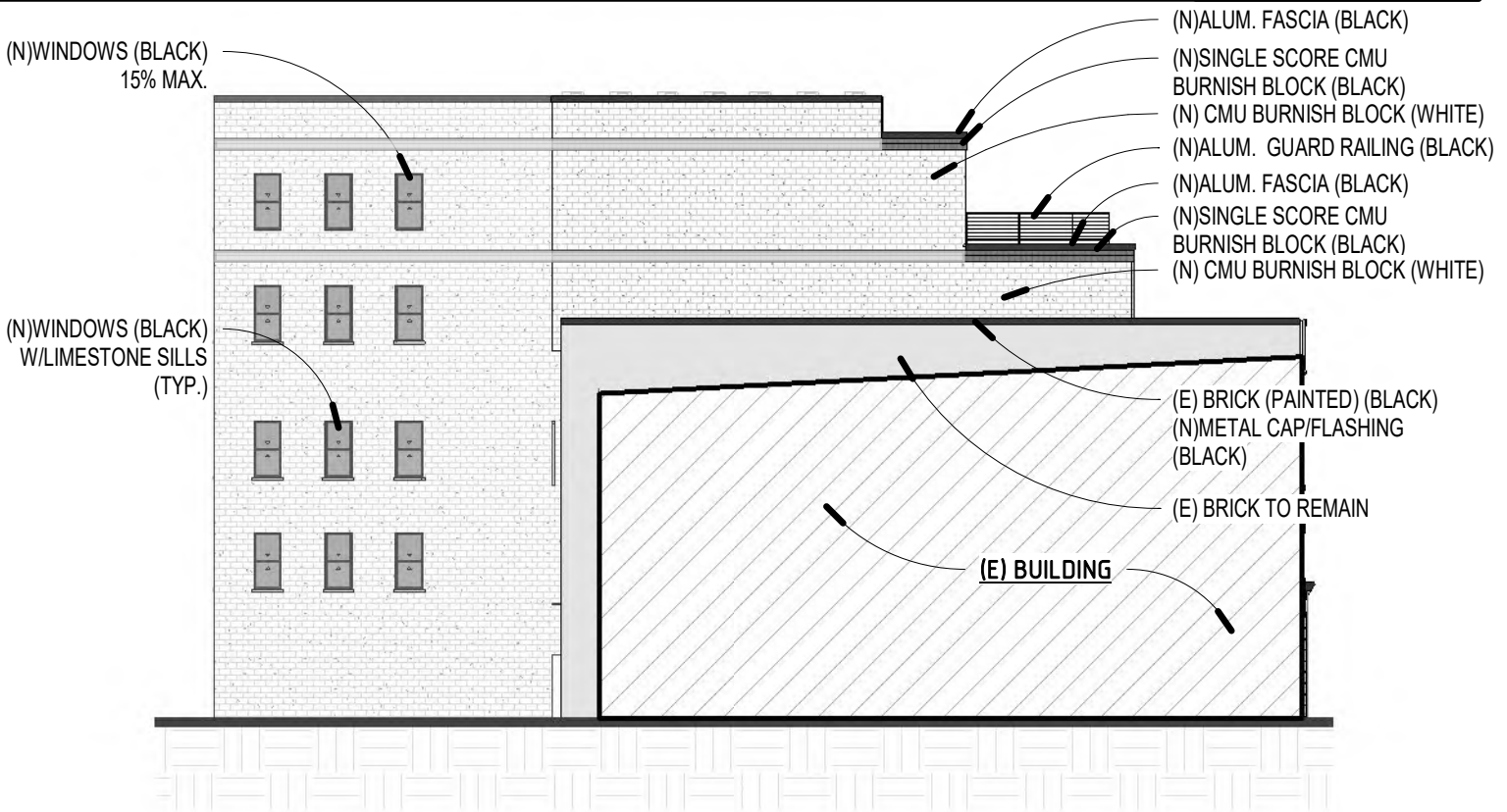
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HDC-3.8

(N) EAST ELEVATION (ALLEY)

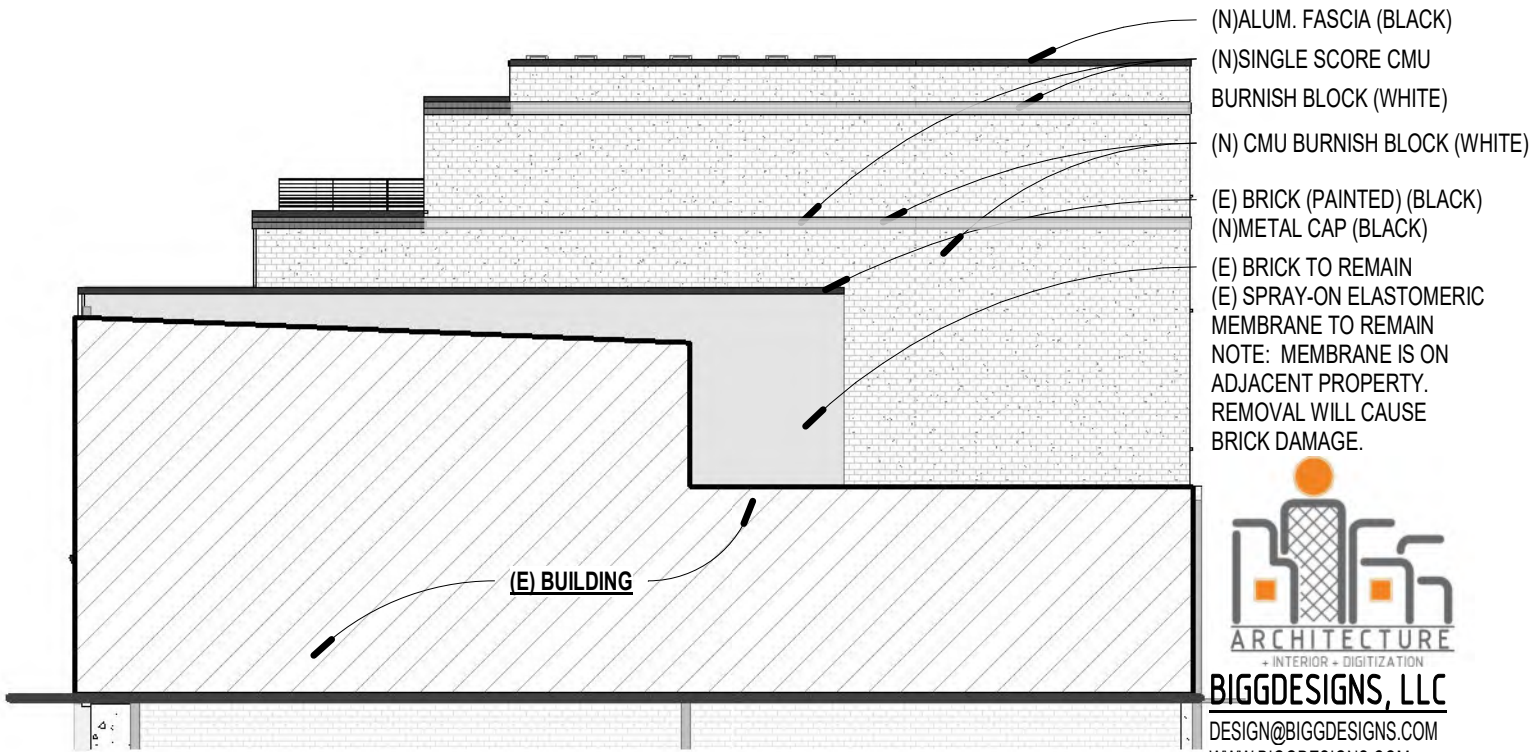
3/32" = 1'-0"

1



2 (N) NORTH ELEVATION.

3/64" = 1'-0"



1 (N) SOUTH ELEVATION

3/64" = 1'-0"

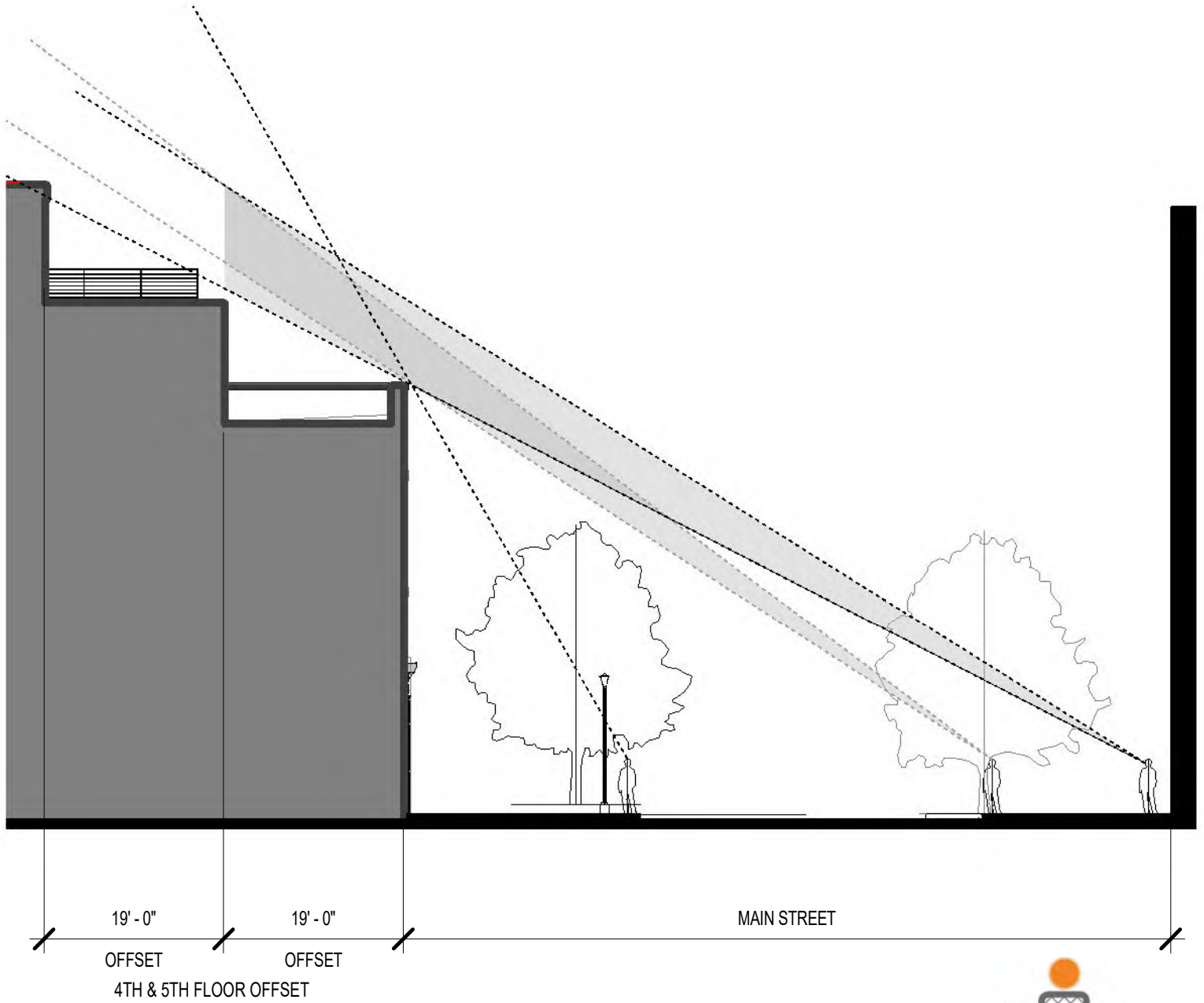


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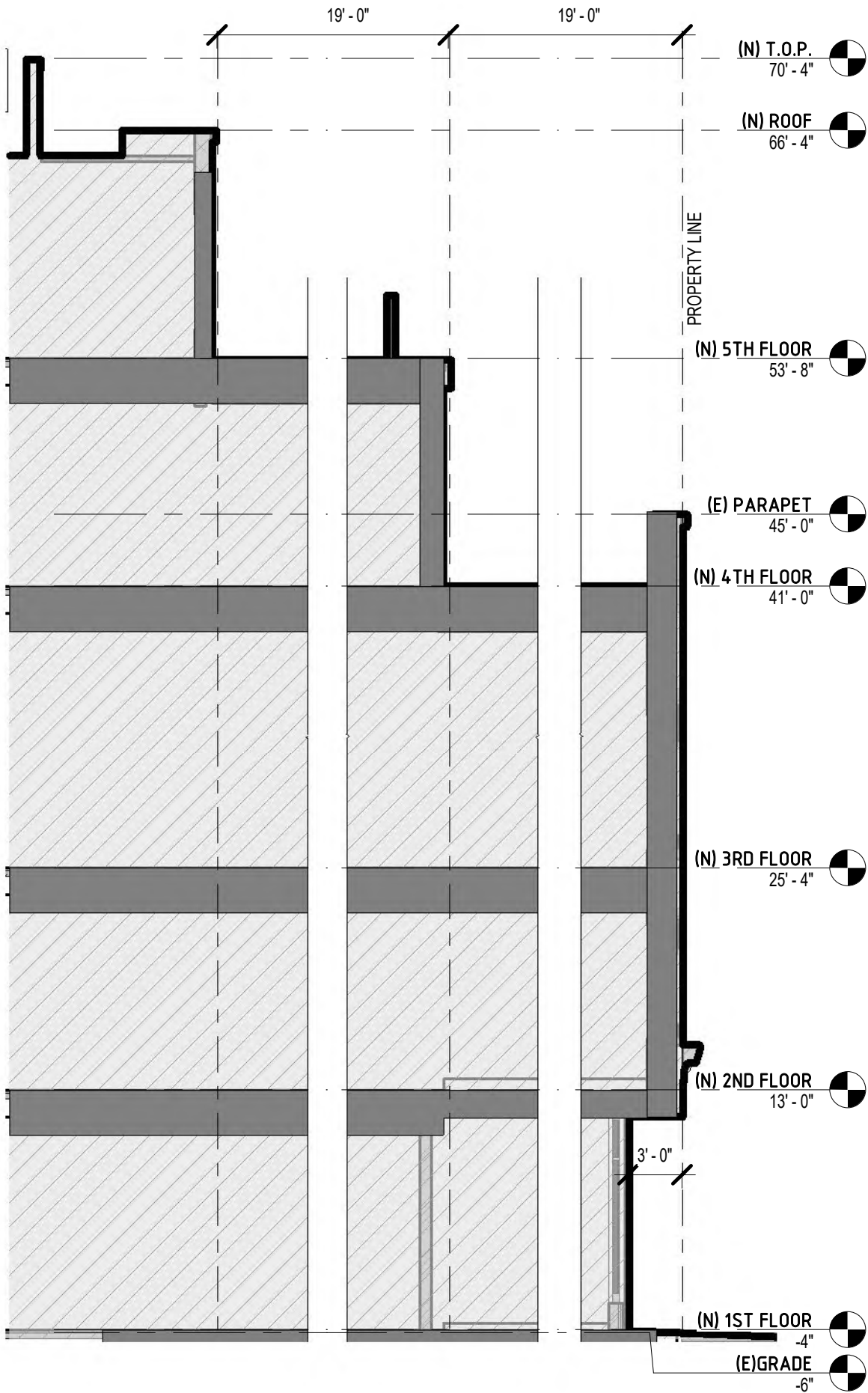
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HDC-3.10

1 STREET SECTION
 1/16" = 1'-0"



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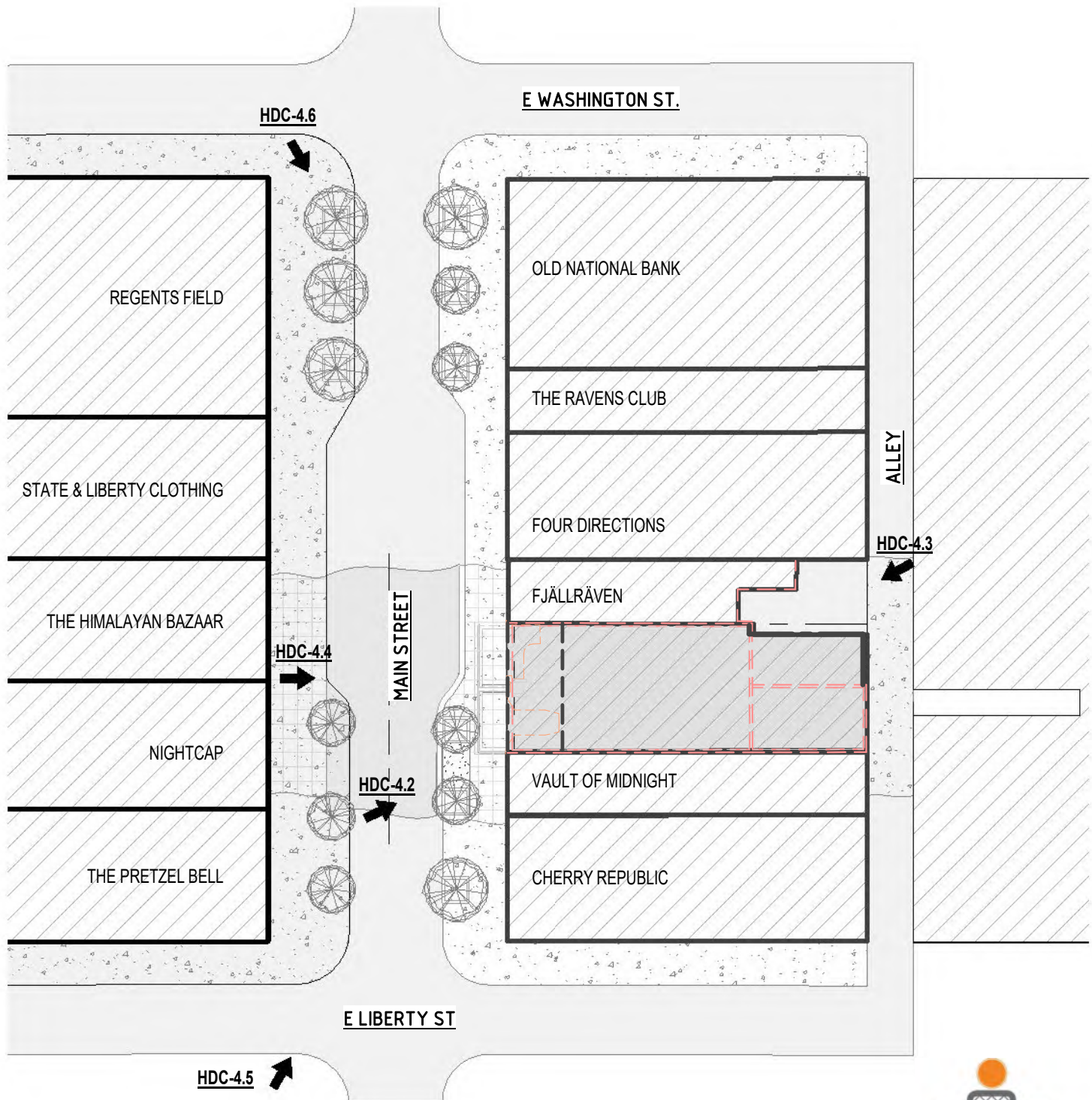
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HDC-3.11

1 STOREFRONT SECTION

1/8" = 1'-0"



1

PERSPECTIVE LOCATION KEY

1" = 50'-0"

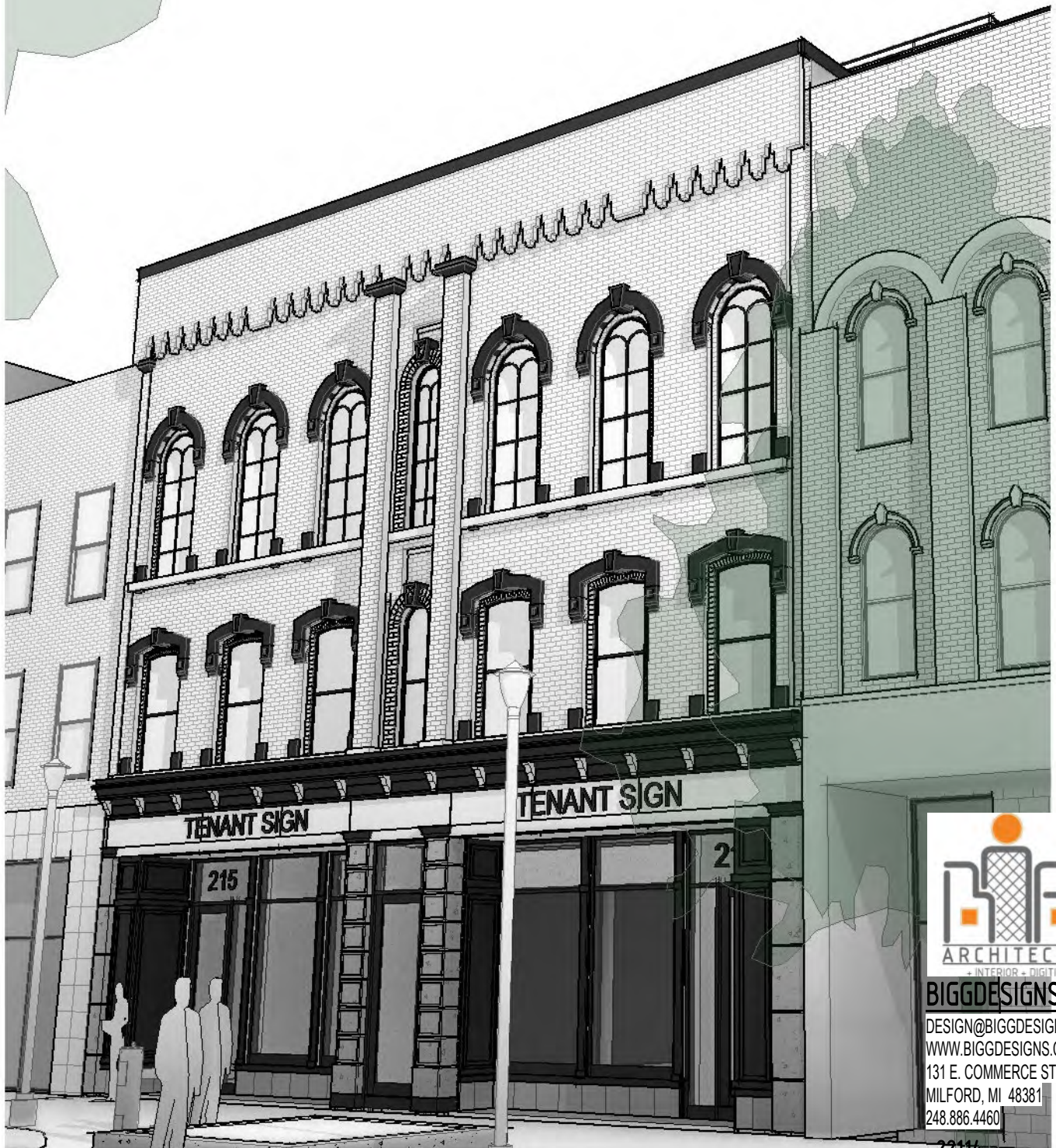


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 WWW.BIGGDESIGNS.COM
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 MILFORD, MI 48381
 248.886.4460

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HDC-4.1

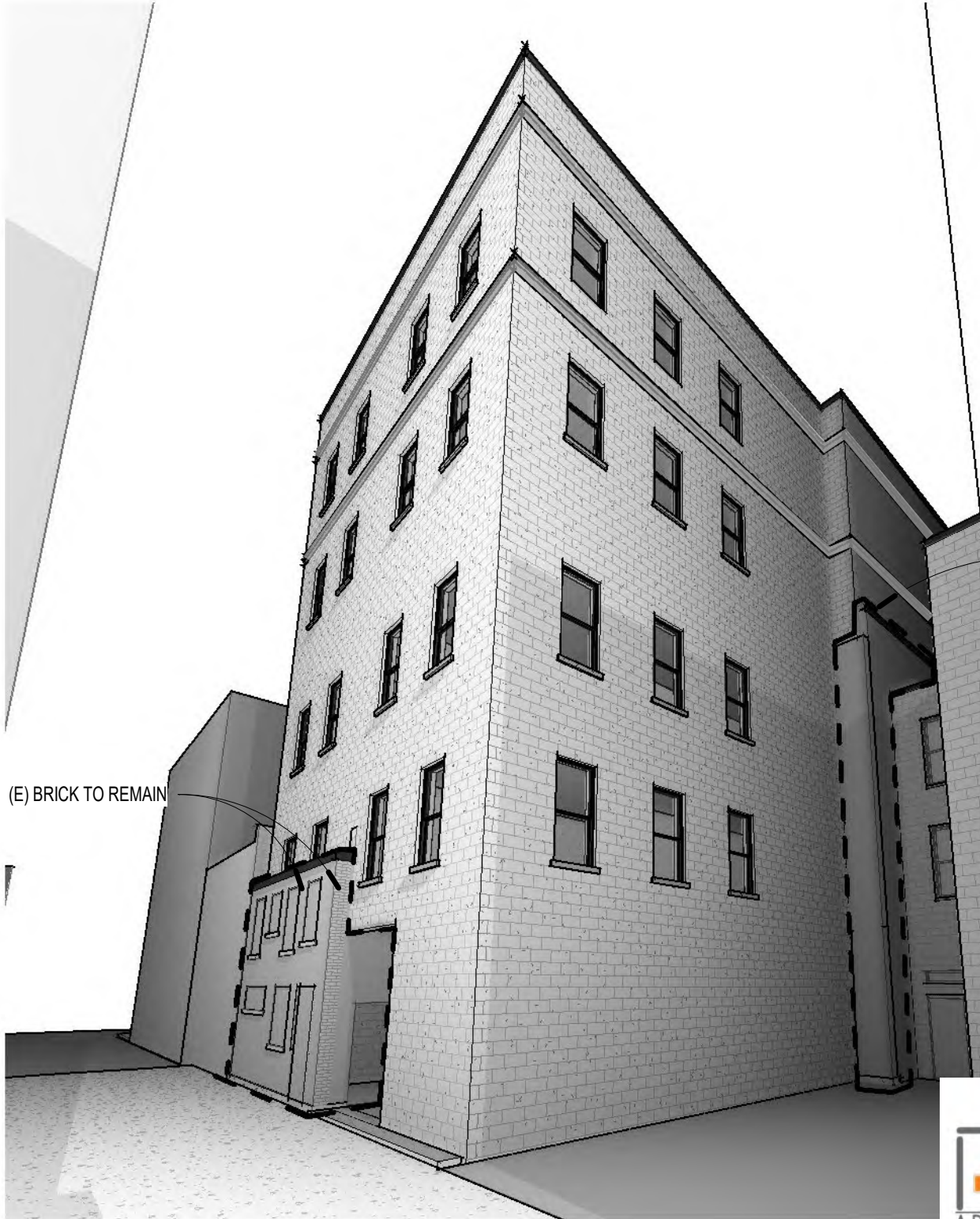


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+ INTERIOR + DIGITIZATION
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1 (N) MAIN ST PERSPECTIVE



(E) BRICK TO REMAIN

(E) BRICK TO REMAIN



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1 (N) ALLEY PERSPECTIVE



VIEW FROM ACROSS MAIN STREET



(E) VIEW

VIEW FROM STREET



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VIEW FROM STARBUCKS



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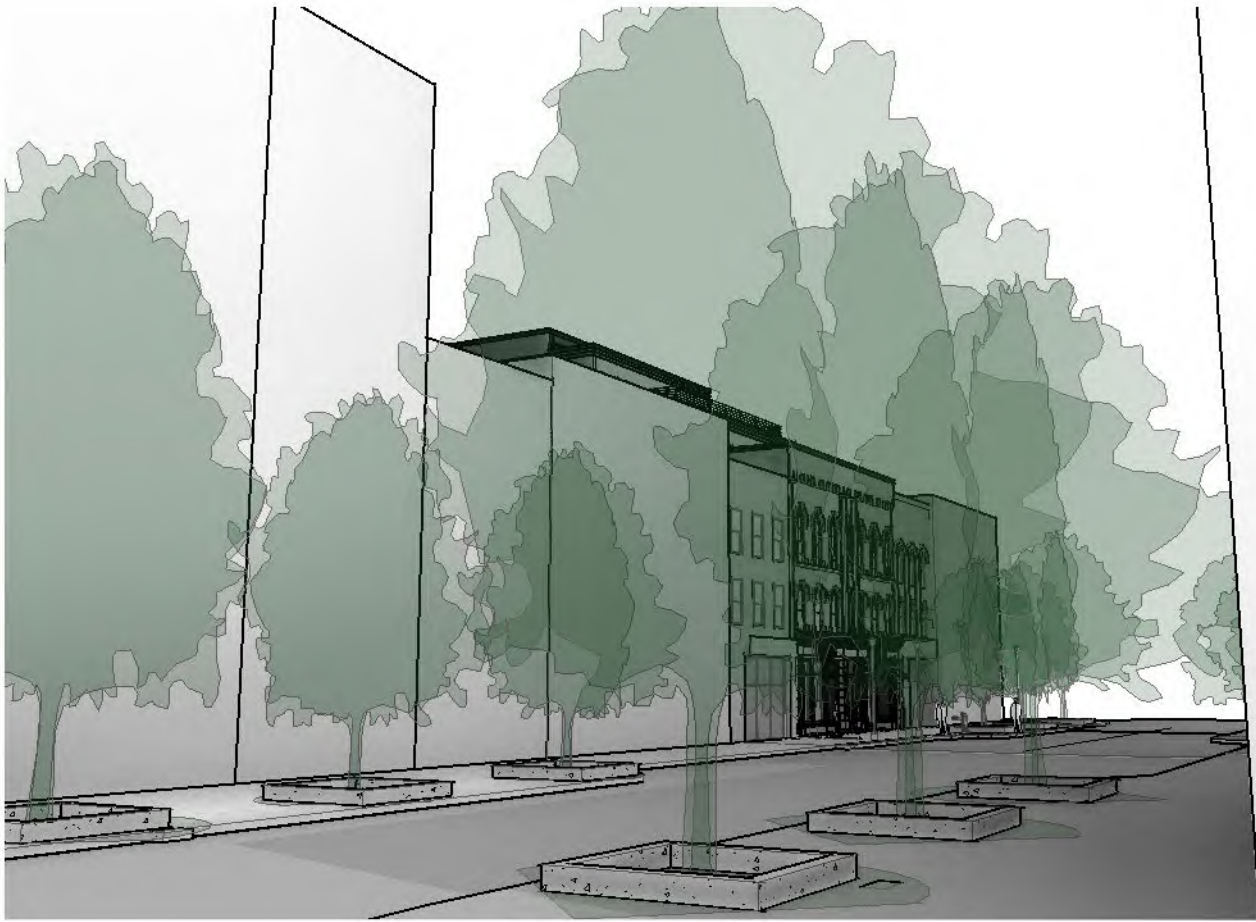
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VIEW FROM WEST WASHINGTON



VIEW FROM WEST WASHINGTON



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DAILEY ENGINEERING INC

Todd A. Dailey, PE
8485 Stephenson Rd.
Onsted, Michigan 49265
Phone: (517) 467-9000

April 3, 2023

Sam Kafeai
KGB-Kafeai Building Group LLC
PO Box 7162
Ann Arbor MI 48107

Regarding: 215-217 S. Main, Ann Arbor

Dr. Mr. Kafeai:

As the structural engineer of record for your upcoming renovations to 215-217 S. Main, I wanted to make a statement and recommendation regarding historic preservation efforts.

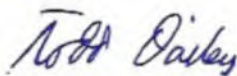
West (Front) Wall:

This is the primary architectural feature of the existing building, as it faces Main Street. Our plans are to fully preserve this wall, with careful design of temporary support during the extensive renovations (which include removal and replacement of all existing floors and roofs).

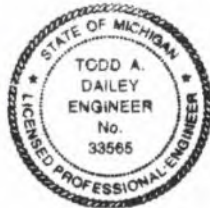
East (Back) Wall:

This wall faces an alley way, with no significant historical architectural features. From a construction safety standpoint, I do not recommend trying to preserve this wall. Trying to safely temporarily brace both the west and east walls concurrently will create significant increased risk to both construction workers and adjacent buildings. Additionally, when taking into account the new openings necessary in this wall, its appearance will be negatively influenced (several infills will need to be made).

Sincerely,



Todd Dailey
TAD/kr



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ENGINEERING REPORT

DAILEY ENGINEERING INC

Todd A. Dailey, PE
8485 Stephenson Rd.
Onsted, Michigan 49265
Phone: (517) 467-9000

June 15, 2023

Sam Kafaei
KGB-Kafaei Building Group LLC
PO Box 7162
Ann Arbor MI 48107

Regarding: 215-217 S. Main, Ann Arbor

Dr. Mr. Kafaei:

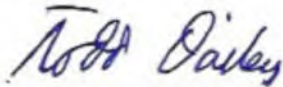
As the structural engineer of record for your upcoming renovations to 215-217 S. Main, I provided a letter on April 3, 2023 regarding historic preservation efforts. This letter is to express new concerns I have regarding the structural condition of the rear (east) wall.

The 3rd floor ceiling was recently removed, exposing portions of the east wall that I had not seen before. As can be seen in the attached photo, there is a significant area of deterioration in the multi-wythe brick exterior wall, with a gap in excess of 5 inches.

I have two concerns:

- 1) Current structural integrity. I am in the process of assessing if temporary measures are necessary to protect public safety and welfare.
- 2) Future preservation of the wall will be difficult. At a minimum, extensive removal and rebuilding will be required; full historic preservation is not possible given the deterioration that has taken place.

Sincerely,



Todd Dailey
TAD/kr



Attachment: East Wall Photo



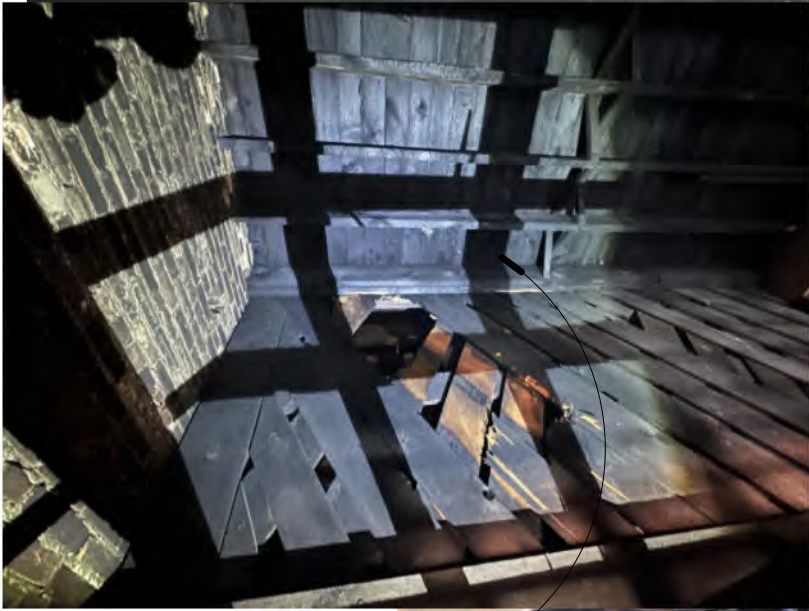
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STRUCTURAL ENGINEER FIRE DAMAGE LETTER



FIRE DAMAGED THIRD FLOOR
ROOF



FIRE DAMAGE/DETERIORATION



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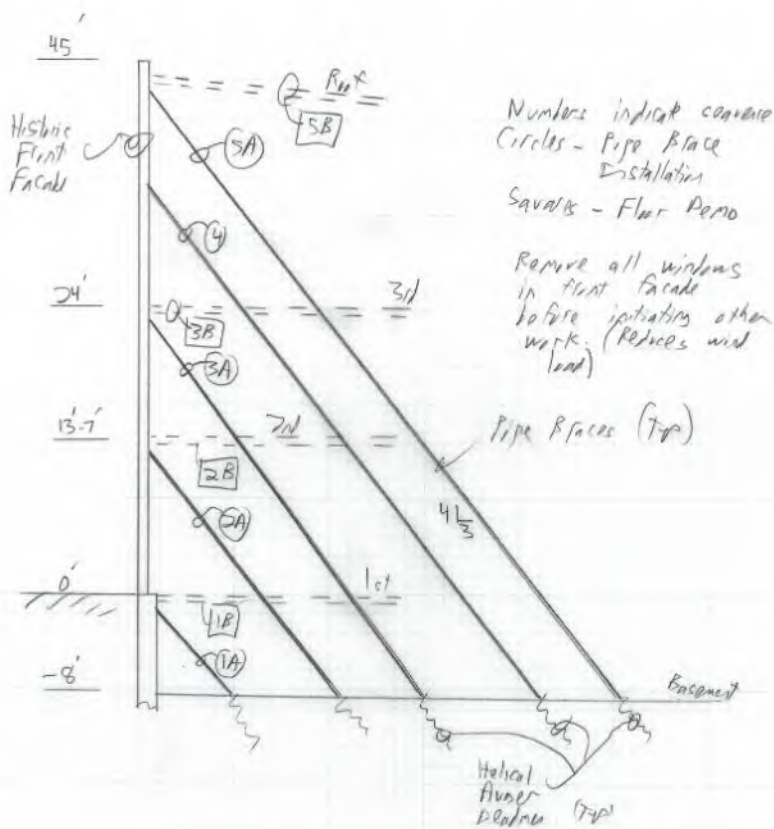
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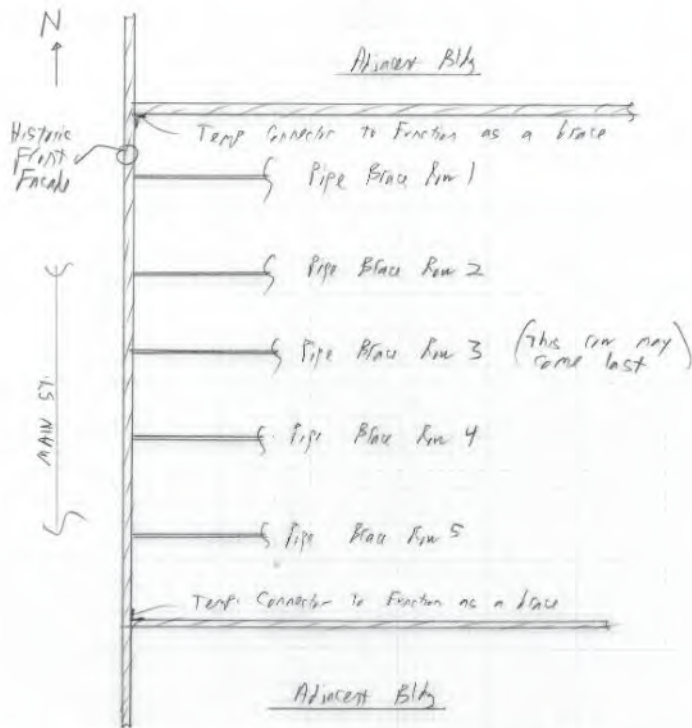
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HDC-5.3



SECTION VIEW - TEMPORARY BRACING
 215 S. MAIN, AA TODD DAILEY 3.24.23



PLAN VIEW - TEMPORARY BRACING
 215 S. MAIN, AA TODD DAILEY 3.24.23

SHORING SKETCHES



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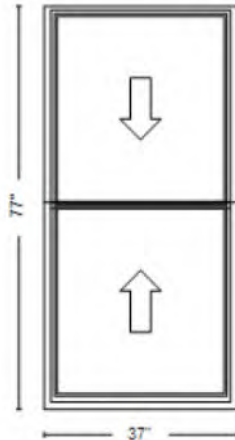
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Customer Approval Form:

Signature: _____ Date: _____



Viewed from the Exterior

Quote Number: 16455080

Line Number: 25

Quote Qty: PER PLAN

Scaling: 1/2" = 1'

Description: Lifestyle, Double Hung, 37 X 77, Without HGP, Black

Rough Opening: 37.75" X 77.75"

Performance Information: U-Factor 0.30, SHGC 0.30, VLT 0.56, CPD PEL-N-35-00426-00001, Clear Opening Width 33.812, Clear Opening Height 35.25, Clear Opening Area 8.276896, Egress Meets Typical 5.7 sqft (E) (United States Only)

These drawings are based on our interpretation of the information provided to us. They are submitted for final approval of the individual** responsible for the project and are not intended to create any warranty or other liability. The user** is responsible for compliance with applicable building codes or other regulations and determining the suitability of the suggestions for the particular application, including the final design of reinforcement, flashing, and sealant systems for all window and door installations.
** building owner, architect, contractor, installer and/or consumer



Quote Name: 215-217 South Main 020423 II Project Name: 215-217 South Main

Jobsite Location: YPSILANTI, MI

Room Location: Front

Sales Branch Location: 18900 Pella Windows and Doors



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Printed On: 2/6/2023

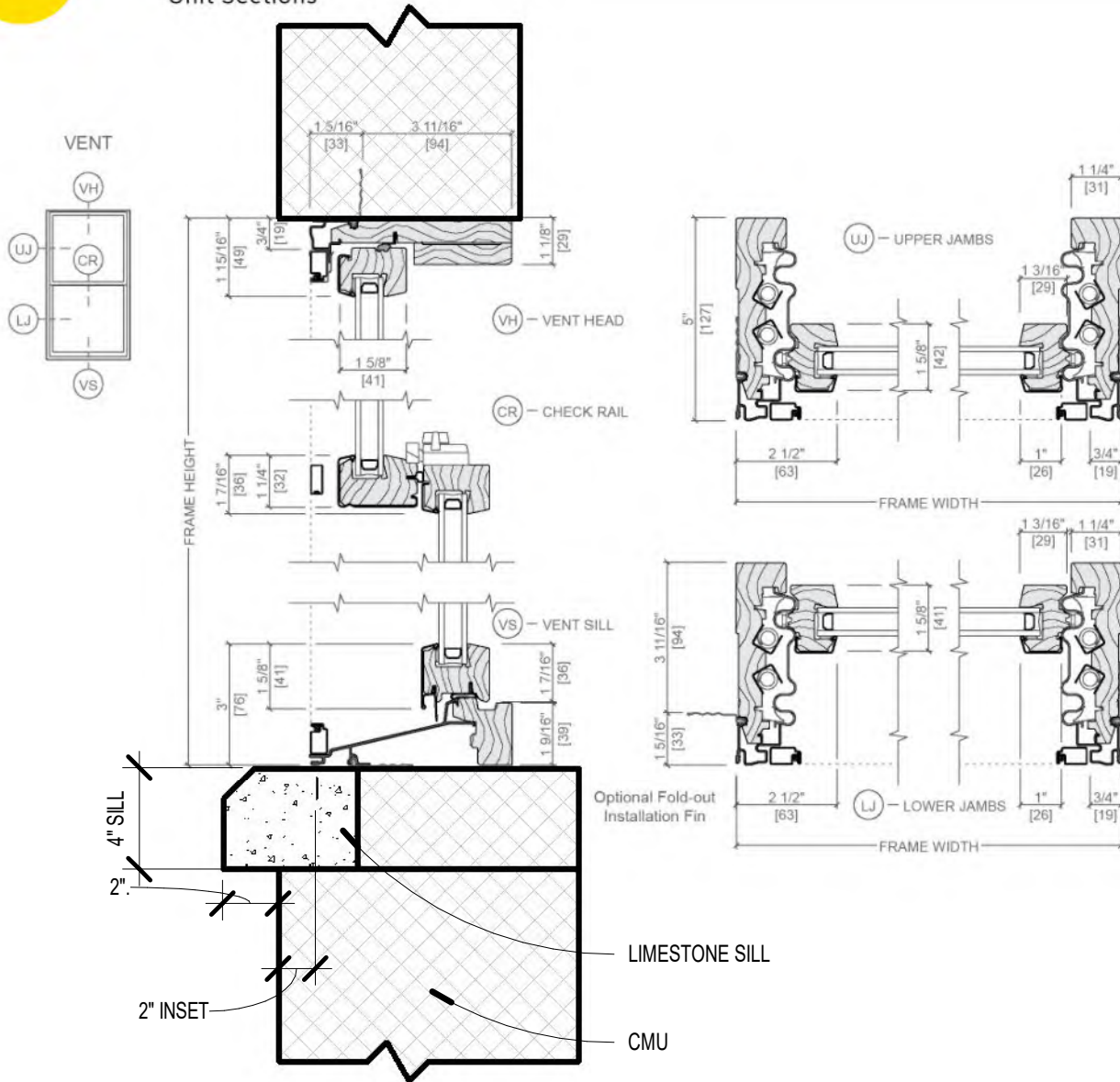
Page 4

WINDOW | SPEC



Lifestyle Series Double-Hung

Unit Sections



Scale 3" = 1' 0"
All dimensions are approximate.

WINDOW SECTIONS



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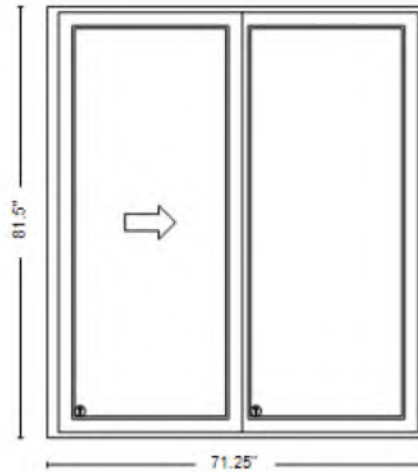
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12.08.2023

HDC-5.7

5-PH-24

Customer Approval Form:

Signature: _____ Date: _____



Viewed from the Exterior

Quote Number: 16549985

Line Number: 65

Quote Qty: 4

Scaling: 1/2" = 1'

Description: Pella® Reserve, Contemporary, Double Sliding Door, Contemporary,, Vent Right / Fixed, 71.25 X 81.5,
Rough Opening: 72" X 82"

Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-238-00895-00001, Performance Class LC, PG 65, Year Rated 11

These drawings are based on our interpretation of the information provided to us. They are submitted for final approval of the individual** responsible for the project and are not intended to create any warranty or other liability. The user** is responsible for compliance with applicable building codes or other regulations and determining the suitability of the suggestions for the particular application, including the final design of reinforcement, flashing, and sealant systems for all window and door installations.
** building owner, architect, contractor, installer and/or consumer



Quote Name: 215-217 South Main 03023 II 6/0 Project Name: 215-217 South Main

Jobsite Location: YPSILANTI, MI

Room Location: West

Sales Branch Location: 18900 Pella Windows and Doors



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Printed On: 3/21/2023

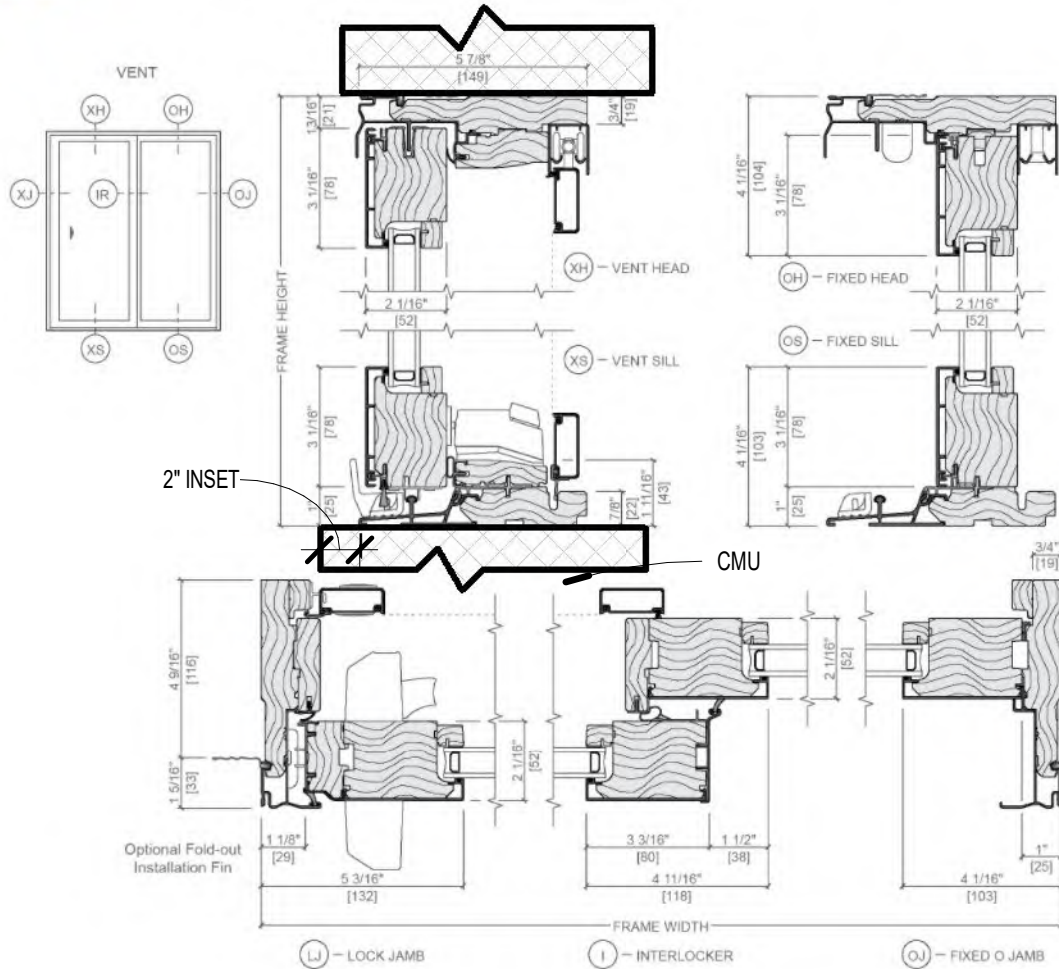
Page 8 Of

DOOR SPECS



Pella® Reserve™ Contemporary Sliding Patio Door

Unit Sections



Scale 3" = 1' 0"
All dimensions are approximate.

Pella 2023 Architectural Design Manual | Division 08 - Openings | Windows and Doors | www.Pella.com

DOOR SECTIONS



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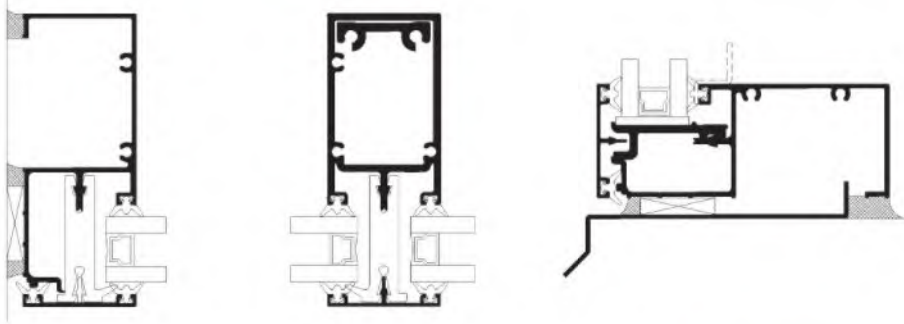
22114

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HDC-5.9

VersaTherm Storefront Framing



System Features:

- Standard 1-3/4" (44.45mm) sight-line on perimeter members
- 3-1/2" (88.9mm) to 6-5/8" (168.275mm) system depth
- Thermal Clip thermal break
- EPDM wedge type and fixed gaskets for 1" glass or panel thickness
- Non-thermal Framing

Optional Features:

- Screw-spline or shear block connections
- Easily integrates with standard or thermal doors and operable vent windows
- A wide variety of standard anodized and painted colors are available to complement any project with warranted protection, as well as street appeal.
- Curved Headers



Tubelite® VersaTherm Product Specifications

Application: Low and mid-rise commercial buildings including retail, office, healthcare, schools, etc.

Description: 1-3/4" x (3-1/2" to 6-5/8") field glazed, shear block – screw spline storefront

Face Width:	Overall Depths:	Glass:	Air Infiltration:	Water Infiltration:	Structural:	U-Factor**:	CRF:
1-3/4"	3-1/2" to 6-5/8"	1" (1/4")	0.06 CFM/FL2 @ 6.24 PSF	12 - Static	40 PSF - Design	0.36 - Thermally Broken	64, 55 _c

** U-Factor per NFRC 100: COG = 0.24 with warm edge spacer, 1-3/4" x 4-1/2" non-thermal frame

Refer to the U-Factor table at: www.tubeliteinc.com/products/storefront/versatherm-storefront-framing/ for other glass makeups and configurations.

DISCLAIMER: Tubelite takes no responsibility for product selection or application, including, but not limited to, compliance with building codes, safety codes, laws, merchantability or fitness for a particular purpose; and further disclaims all liability for the use, in whole or in part, of this Technical Guide in preparation of project specifications and/or other documents. Technical Guides are subject to change at any time, without notice, and at Tubelite's sole discretion. ©2017 Tubelite Inc.

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TUBELITE®
DEPENDABLE
 LEADERS IN ECO-EFFICIENT STOREFRONT,
 CURTAINWALL AND ENTRANCE SYSTEMS



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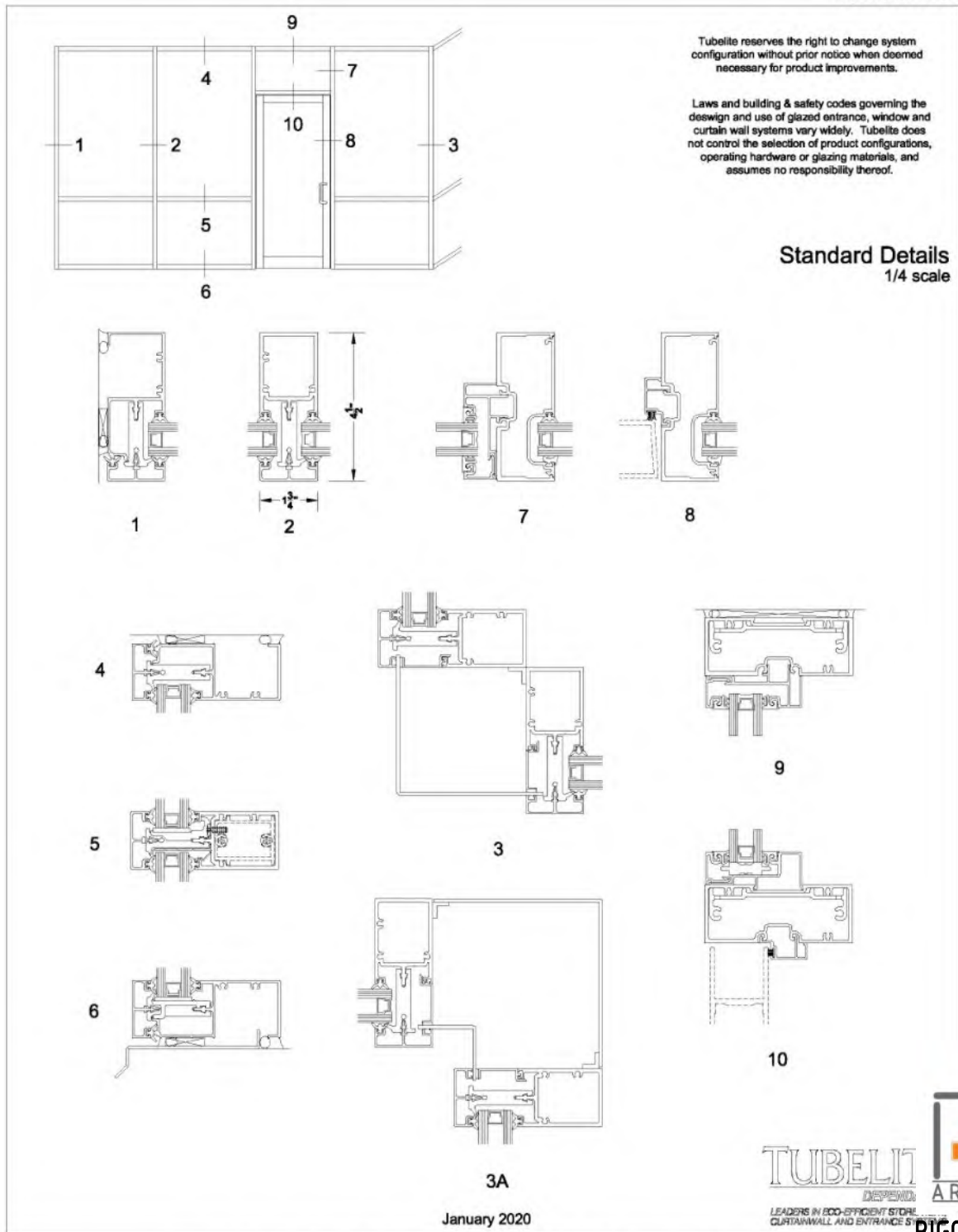
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STOREFRONT SPECS



Tubelite reserves the right to change system configuration without prior notice when deemed necessary for product improvements.

Laws and building & safety codes governing the design and use of glazed entrance, window and curtain wall systems vary widely. Tubelite does not control the selection of product configurations, operating hardware or glazing materials, and assumes no responsibility thereof.

Standard Details
1/4 scale

January 2020

For specific product applications, contact your Tubelite representative.
 Details on this page represent standard details found on our website.
 For more options, visit our website at www.tubeliteinc.com/versatherm-storefront-framing/



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STOREFRONT SECTIONS

STANDARD ENTRANCES

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Laws and building & safety codes governing the design and use of glazed entrance, window and curtain wall systems vary widely. Tubelite does not control the selection of product configurations, operating hardware or glazing materials, and assumes no responsibility thereof.

Standard Details
1/4 scale

NARROW

1
3
2

1 3/4"
2 1/8"

8
6 1/2"

3
2 1/8"

3
2 1/8"

3
2 1/8"

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LEADERS IN EFFICIENT STOREFRONT,
CURTAINWALL AND ENTRANCE SYSTEMS

FEBRUARY 2020

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For more options, visit our website at
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STOREFRONT DOOR SECTIONS



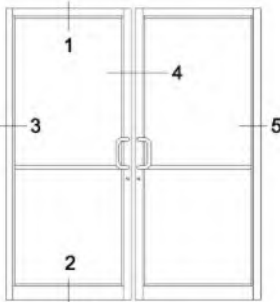
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STANDARD ENTRANCES

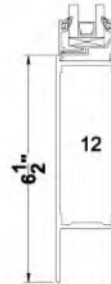
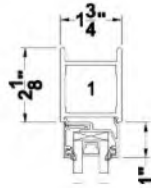


NARROW

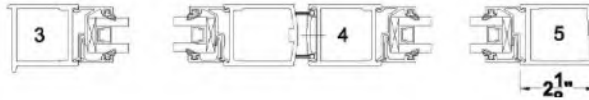
Tubelite reserves the right to change system configuration without prior notice when deemed necessary for product improvements.

Laws and building & safety codes governing the design and use of glazed entrance, window and curtain wall systems vary widely. Tubelite does not control the selection of product configurations, operating hardware or glazing materials, and assumes no responsibility thereof.

Standard Details
1/4 scale



REFER TO GLAZING AND DOOR STOP SECTION FOR GLASS STOP OPTIONS



FEBRUARY 2020

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STOREFRONT DOUBLE DOOR SECTIONS

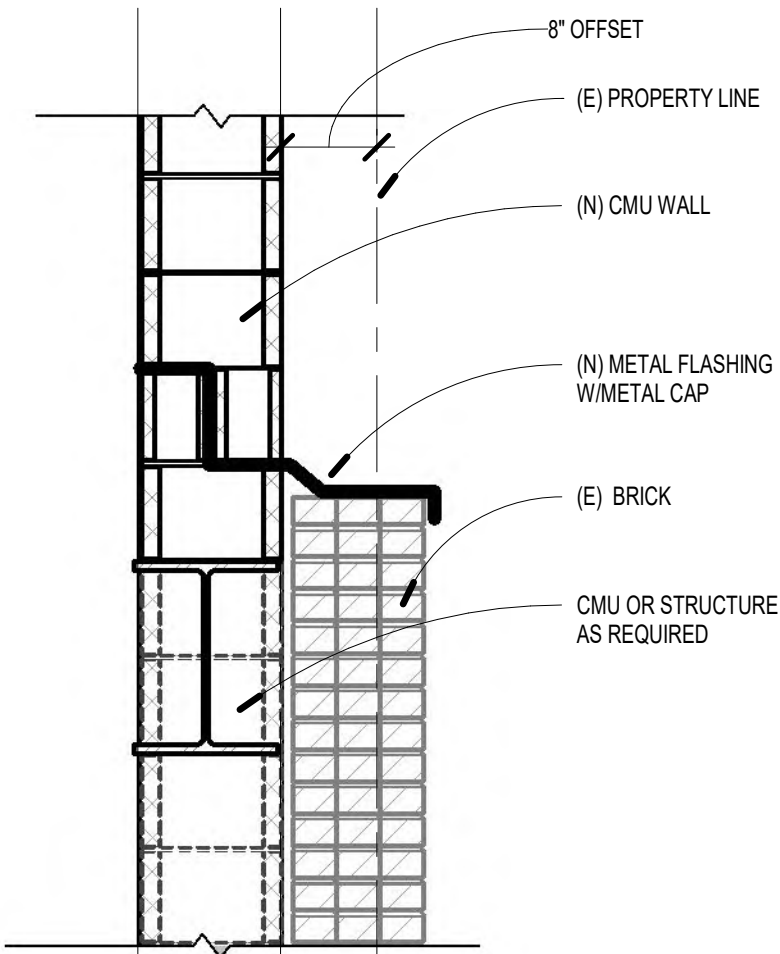
SW 6258
Tricorn Black



SW 7008
Alabaster

2 COLOR PALLET

12" = 1'-0"



1 WALL OFFSET DETAIL

3/4" = 1'-0"



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Burnished & Burnished Filled Burnished Recycled and Burnished Recycled Filled Specifications

PART 1 - GENERAL SUBMITTAL

Submit color samples for selection from manufacturer's group. Submit product literature, certifications, test reports and full size samples of each color specified.

QUALITY ASSURANCE

Certifications: **Burnished Masonry Units** shall comply with the recommendations of the National Concrete Masonry Association, and conform to ASTM C90, for hollow and solid load bearing units. All faces of Burnished Masonry shall be ground to a depth sufficient to uniformly expose the aggregates. A sample panel shall be constructed for approval of color and texture prior to erecting walls. All burnished units are to receive one coat of factory sealant. A second coat is recommended in the field after the walls are erected. Units shall meet or exceed requirements for ASTM C-55-06e1.

Burnished Filled Masonry Units shall comply with recommendations of the National Concrete Masonry Association, and conform to ASTM C90 for hollow and solid load bearing units. Filled units shall conform to ASTM C744 with respect to adhesion, abrasion, color change and resistance to crazing. All exposed faces of Burnished Filled Masonry Units shall be ground to a depth sufficient to uniformly expose the aggregates. All Filled units shall be filled with a cementitious grout equal to the durability of the block, and color correct to match aggregate / color. A sample panel will be constructed for approval of color and texture prior to erecting walls. All Burnished Filled Masonry Units are to receive one coat of factory sealant. A second coat shall be applied in the field after walls are erected. Units shall meet or exceed requirements for ASTM C55-06e1

RELATED INFORMATION

Fire Resistance: Hourly fire rating information, defined and required by NCMA TEK NOTES, available at www.grandblancement.com

Both Burnished Recycled & Burnished Recycled Filled Units contain post-consumer recycled content. Contact Grand Blanc Cement Products for details.

PART 2 - PRODUCTS PRODUCT NAME

Burnished Recycled Masonry Units
Burnished Recycled Filled Units
Burnished Masonry Units
Burnished Filled Masonry Units

MANUFACTURER

Grand Blanc Cement Products, Inc.
10709 S. Center Road
Grand Blanc, MI 48439
P 800-875-7500 F 810-694-2995
www.grandblancement.com

PART 3 - EXECUTION LAYING MASONRY WALLS

All Burnished Masonry Units should be drawn from more than one pallet at a time and must be laid using the best concrete masonry practices. Lay block with the faces level, plumb and true to the mason line strung horizontally at the ground face. Both horizontal and vertical joints should be 3/8" on the finished side of the wall. Joints should be neatly tooled after they are finger-hard. Cut pieces should be sized and placed appropriately to maintain bond and consistency.

INSTALLATION

Lighting: Always use adequate lighting for masonry work. For even and consistent illumination, always place lights at a reasonable distance from the wall. For best results, do not use trough lighting.

Cutting: Use the correct type of motor driven masonry saws to make all cuts, including those for bonding, holes, boxes, etc. Use diamond or abrasive blades and make neat cuts to provide the best appearance.

MORTAR BED & JOINTING

Units shall be laid with full mortar coverage on the head and bed joints without blocking cores. All joints shall be tooled when finger-print hard into a concave shape. Remove mortar from the face of masonry units before it sets. Tuck-point all joints of scored units for proper appearance. All exterior scored units must be tuck-pointed to prevent water penetration. **DO NOT RAKE JOINTS.**

FINAL CLEANING

Prior to second coat of sealant applied in the field, units shall be cleaned with **Custom Masonry Cleaner** by PROSOCO (never use acid). Clean each block face equally, do not spot clean. Allow wall to dry completely before applying second coat of sealant.

FIELD COAT APPLICATION

Apply an **even** coat of sealant, making sure the mortar joints are thoroughly covered. Airless spraying is always the preferred method. It is recommended that an experienced painting contractor apply the field coat of sealant. Manufacturer will provide the name of sealant used on each job upon request and reserves the right to change brands at its sole discretion. Use of an unauthorized coating or product will void any warranty that may otherwise apply. Future maintenance should only require normal cleaning for Interior Burnished Masonry. Exterior Burnished Masonry may require another coat of sealant after several years of weathering.

Note: consult NCMA TEK NOTES regarding proper installation techniques of concrete masonry units.



**Grand Blanc
CEMENT PRODUCTS**
10709 S. Center Rd.
Grand Blanc, MI 48439
Ph: 800-875-7500 Fax: 810-694-2995
www.grandblancementproducts.com





TK-BRIGHT KURE & SEAL 1315 VOC

Curing and Sealing Compound

Item No. TK-BR.K&S 1315 VOC

PRODUCT DESCRIPTION

TK-BRIGHT KURE & SEAL 1315VOC is a blend of 100% methyl/methacrylate acrylic polymers used as a superior curing, sealing and protective compound for exposed aggregate, colored concrete and other decorative concrete and masonry surfaces.

Features:

- Coating dries clear and does not yellow with age or exposure to ultraviolet rays.
- Provides superior protection against freeze/thaw cycles, deicing salts, and chemical erosion and efflorescence.
- Reduces the possibility of aggregate popouts on exposed aggregate by percolating down and around the stones to fill gaps and voids.
- Forms a durable long-lasting film with resistance to water, chemicals, abrasion and stains.
- Highlights and preserves the natural pigments in the surface, adding longevity and sparkle to the finished product.
- Does not discolor with over-use.

USES:

Suitable for interior or exterior use on new or existing architectural concrete, burnish block, terrazzo, brick, stone, slate, quarry tile or other cementitious materials. Ideal for exposed aggregate and colored concrete surfaces, paving block, patio stone, driveways and garage floors.

APPLICATION PROCEDURES:

PREPARATION:

Surfaces must be clean, dry and free of form oils, grease, dust, frost and curing compounds (particularly wax based). Large areas may be blown dust free by compressed air, washed and let dry. Surface water must be allowed to completely dissipate before applying.

Exposed Aggregate Application Preparation - When applying to exposed aggregate as a curing compound, the surface should be washed with a mild acid solution to remove the thin film of cement dust, then flushed with water and allowed to dry before applying TK-BRIGHT KURE & SEAL 1315VOC.

At this point a small mock-up area should be applied in an inconspicuous location to test the compatibility of the coating with the prepared substrate. Allow the coating to dry and cure fully, then inspect for proper film formation, gloss, adhesion and confirm that the film is free from whitening or any other defects.

MIXING:

The material is ready for use and requires no mixing or dilution. It is unlawful to further dilute with non-exempt solvents.

APPLICATION:

TK-BRIGHT KURE & SEAL 1315 VOC WILL DARKEN CONCRETE.

Apply using a low pressure (30-40 lbs.) sprayer, roller or long nap applicator. Work the compound into the concrete avoiding accumulations, puddling, runs or sags. On large areas, an airless sprayer may be used.

Note that concrete must be fully cured (looks uniform in color) and dry at the time of application. This eliminates the possibility of moisture becoming trapped between the film and the concrete slab, resulting in a white haze on the surface. If a white haze does develop, a second application of TK-BRIGHT KURE & SEAL 1315 VOC will emulsify the film and allow trapped moisture to escape. The coating will then be able to reharder clearly.

CLEAN UP:

Use TK-00 XYLENE* to clean tools and equipment. Pump solvent through the sprayer to remove residue of materials which can clog the hose and wand assembly.

TECHNICAL DATA

Composition and Materials: A blend of 100% methyl/methacrylate acrylic polymers in a fast drying aromatic solvent. No fillers are used and there are no oils, waxes or saponifiable resins. TK Products are manufactured with only the finest quality raw materials available and close quality-control is practiced.

Percent Solids:	25%
Flash Point:	40°F
Drying Time	
Tack Free:	1 hour
Open to Traffic:	2 hours
VOC Content:	< 400 g/l
A.I.M. Category:	Waterproofing Sealers, Concrete/Masonry Maximum VOC 400 g/l
Applicable Standards:	- ASTM C-1315, Type 1, Class A, B & C - Fed. TTC-C-800A, Type 1, Class I - AASHTO Des. M-148, Type 1, Clear - DE CRD - C-300 - USDA Authorization for use in meat, poultry and food processing plants. - Resilient Tile Institute approval for compatibility with most resilient tile, carpet adhesives and paints.

COVERAGE:

Surface	Coverage
Curing Exposed Aggregate:	300-500 sq.ft./gal
Second coat, cured concrete, burnished block:	300-500 sq.ft./gal

Coverage rates are provided as a guideline only. Many factors including surface texture, porosity and weather conditions will determine actual coverage rates.

MAINTENANCE:

Minimal maintenance is required other than occasional sweeping, dusting or mopping. If wear patterns do occur or if spillage removes the coating, TK-BRIGHT KURE & SEAL 1315 VOC may be reapplied to the affected area(s).

LIMITATIONS:

- Apply in temperatures above 40°F. Colder weather applications may be made under prescribed conditions and procedures specified by TK Products.
- Not for use on asphalt or surfaces subjected to hydrostatic water pressure, or as a waterproofer on below-grade surfaces.
- Sprayers must be equipped with neoprene hose, washers and gaskets as rubber or other materials will disintegrate from the solvent.
- Material will not freeze and may be stored outdoors in cold weather, however it must be allowed to warm to approximately 50°F before use.

Note 1. Concrete containing calcium chloride will remain dark longer when sealed. Extenders and additives (concrete admixes, fly ash) are now being added to some ready mixed concrete which can cause inconsistency in the porosity of the concrete. Some areas of the finished concrete may then appear darker than others. To compensate for these variations, coverage ratios should be adjusted.

Note 2. Popout problems can occur anytime, however, concrete in certain regional areas, concrete applied in extremely hot conditions (90°F+), and heavily steel troweled concrete can aggravate popout problems. These deficiencies are the result of a heat caused reaction, called alkaline silica reactivity (ASR), between the silica in the shale particles of the fine aggregate with the sodium and potassium alkali in the portland cement. For more information on this problem, refer to "POPOUTS" by Norman E. Henning, P.E. and Kenneth L. Johnson, P.E. of Twin City Testing and Engineering Laboratory and Lowery J. Smith of the J.L. Shiely Company. Where this type of shale is present, and extremely hot weather conditions prevail, it is recommended that liquid membrane curing compounds should not be used until the concrete has been completely cured by water ponding, continuous water spray mist, or wet burlap covering for a period of three days. A seal coat can then be applied for dustproofing and protection (when concrete is completely dry).

Note 3. When using a liquid or powder release (other than TK-LIQUID STAMP RELEASE 2090) care must be taken to ensure proper washing has taken place prior to applying TK-BRIGHT KURE & SEAL 1315 VOC as these substances may affect product adhesion and formation.

FIRST AID:

- Consult this product's safety data sheet for additional health and safety information. Safety Data Sheets are available through TK distributors, the TK office and the TK website.

AVAILABILITY:

TK-BRIGHT KURE & SEAL 1315 VOC is available through TK Distributors. Contact TK Products for the nearest distributor. Packaged in 55-gallon drums, 5-gallon pails and 1-gallon cans.

FOR PROFESSIONAL USE ONLY

NOTES:

*TK-00 XYLENE must be purchased separately

CONDITIONS OF SALE/ LIMITED WARRANTY

04/15 Last Rev. 03/15

TK Products, division of the Sierra Corporation, warrants that its products conform to the label descriptions, are free from manufacturing defects, and are fit for the ordinary purposes for which such goods are used. Inasmuch as the use of TK Products' product by others and other factors affecting product performance are beyond TK Products' control, TK Products does not guarantee the results to be obtained. There are no warranties except as stated herein, either express or implied, including implied warranties of merchantability or fitness for a particular purpose. **SHOULD ANY TK PRODUCTS' PRODUCT FAIL TO GIVE SATISFACTORY RESULTS, TK PRODUCTS WILL REPLACE THE PRODUCT, OR AT ITS OPTION, REFUND THE PURCHASE PRICE. THIS IS THE SOLE AND EXCLUSIVE REMEDY FOR ANY FAILURE OF TK PRODUCTS' PRODUCTS TO PERFORM AS WARRANTED AND SHALL ALSO CONSTITUTE LIQUIDATED DAMAGES IN CASE OF LOSS. UNDER NO CIRCUMSTANCES SHALL THE BUYER BE ENTITLED TO ANY OTHER REMEDY OR DAMAGES. REMEDIES FOR INCIDENTAL AND CONSEQUENTIAL DAMAGES ARE SPECIFICALLY EXCLUDED.** TK Products does not authorize any person to assume for it any other liability in connection with the sale or use of its products unless specifically authorized by TK Products in writing.

TK DISCLAIMER:

Every effort has been made to ensure the accuracy of the above information and to avoid infringement of any patent or copyright. The information is based on field tests by government and private agencies, as well as lab tests, and on technical data from raw material manufacturers. The person(s) specifying or requesting the use of these products is responsible for assuring their suitability for a specific use, as well as the proper application of the products. Where there is any question as to the suitability of a particular product, a small test patch is recommended. See also CONDITIONS OF SALE/ LIMITED WARRANTY (Section 7) above.



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TK-BRIGHT KURE & SEAL 1315 VOC

Custom Masonry Cleaner

concentrated concrete cleaner & brightener

DESCRIPTION AND USE

Sure Klean® Custom Masonry Cleaner removes concrete splashes, excess mortar, mud, retarders, heavy efflorescence, embedded stains, rust and surface soiling from textured custom masonry surfaces. This concentrated, general-purpose acidic cleaner improves the color and uniformity of most custom masonry and colored concrete. When used in strong solutions, Custom Masonry Cleaner can be used for additional aggregate exposure (“weathering”).

ADVANTAGES

- Improves color brightness, depth and uniformity.
- Removes mortar smears, heavy efflorescence, and embedded stains.
- Designed for colored concrete.
- Designed for use with pressure water rinsing.
- Improves bond of color coatings.
- Improves penetration of protective treatments.

Limitations

- Not for use on polished or burnished surfaces.
- Will not correct damage caused by improper cleaning.

- May etch smooth concrete surfaces. Use Sure Klean® Burnished Custom Masonry Cleaner where no etch is desired.

TYPICAL TECHNICAL DATA

FORM: Clear liquid, slight amber color
 SPECIFIC GRAVITY: 1.13
 pH: 0.30 @ 1:6 dilution
 WT/GAL: 9.41 lbs.
 ACTIVE CONTENT: NA
 TOTAL SOLIDS: NA
 FLASH POINT: NA
 FREEZE POINT: < -22°F (< -30°C)
 SHELF LIFE: 3 years in tightly sealed, unopened container

PREPARATION

Protect people, vehicles, property, metal, painted surfaces, plants and other nonmasonry materials from product, splash, rinse, residue, wind drift and fumes. When working over traffic, clean when traffic is at a minimum. Protect or divert traffic if necessary.

Clean masonry before installing windows, doors, finished flooring, metal fixtures, hardware, light fixtures, roofing materials and other nonmasonry items. If already installed, protect with polyethylene before application. Sure Klean® Strippable Masking is appropriate for use with this product to protect windows. All caulking and sealant materials should be in place and thoroughly cured before cleaning.

Surface Preparation

Protect wall cavities during construction to prevent rainwater saturation and related staining. Let newly constructed surfaces dry and cure thoroughly before cleaning. Excessive moisture may mobilize staining and cause unsatisfactory cleaning results. Cleaning high-strength mortar/grout within seven days improves results.

Surface and Air Temperatures

Do not apply when temperature is below freezing or will be overnight. If freezing conditions exist before application, let the surface thaw.

Equipment

Apply with a soft-fibered, tampico masonry washing brush or with low-pressure spray equipment fitted with acid-resistant hoses and gaskets. Don't use pressure spray above 50 psi. This drives the cleaner into the surface, making rinse difficult. May cause stains.

Rinse with enough water and pressure to flush spent cleaner and dissolved soiling from the masonry surface and surface pores without damage. Inadequate rinsing leaves residues which may stain the cleaned surface.

Masonry-washing equipment generating 400-1000 psi with a water flow rate of 6-8 gallons per minute is the best water/pressure

Custom Masonry Cleaner is recommended for these substrates. Always test. Coverage is in sq.ft./m. per gallon of concentrate.

Substrate	Type	Use?	Coverage
Architectural Concrete Block	Burnished*	no	300-700 sq.ft. 28-65 sq.m.
	Smooth	yes	
	Split-faced	yes	
	Ribbed	yes	
Concrete	Brick	yes	300-700 sq.ft. 28-65 sq.m.
	Tile	yes	
	Precast Panels*	no	
	Pavers	yes	
	Cast-in-place*	no	
Fired Clay	Brick♦	yes	300-700 sq.ft. 28-65 sq.m.
	Tile	no	
	Terra Cotta	no	
	Pavers♦	yes	
Marble, Travertine, Limestone	Polished	no	NA
	Unpolished	no	NA
Granite	Polished	no	NA
	Unpolished	yes	300-700 sq.ft. 28-65 sq.m.
Sandstone	Unpolished	no	NA
Slate	Unpolished	no	NA

*Burnished Custom Masonry Cleaner is a more suitable product.

♦600 Detergent, 101 Lime Solvent or Vana Trol® may be more suitable.

Always test to ensure desired results. Coverage estimates depend on surface texture and porosity.

combination for rinsing porous masonry. Use a 15-45° fan spray tip. Heated water (150-180°F; 65-82°C) may improve cleaning efficiency. Use adjustable equipment for reducing water flow-rates and rinsing pressure as needed for sensitive surfaces.

Rinsing pressures greater than 1000 psi and fan spray tips smaller than 15° may permanently damage sensitive masonry. Water flow-rates less than 6 gallons per minute may reduce cleaning productivity and contribute to uneven cleaning results.

Storage and Handling

Store in a cool, dry place with adequate ventilation. Always seal container after dispensing. Do not alter or mix with other chemicals. Published shelf life assumes upright storage of sealed containers in a dry place. Maintain temperatures of 45-100°F (7-38°C). Do not double stack pallets. Dispose of unused product and container in accordance with local, state and federal regulations.

APPLICATION

Before use, read “Preparation” and “Safety Information.” ALWAYS TEST each surface and type of stain for suitability, dilution and results before overall application. Apply according to the following procedures. Let surface dry thoroughly before inspection and approval.

Dilution

Custom Masonry Cleaner is a concentrated cleaning solution designed for dilution with 2 to 6 parts water. Test for proper dilution. Always pour COLD water into empty bucket first, then carefully add product. Never use hot water. Use polyethylene or polypropylene buckets only. Acidic materials and fumes attack metal.

When calculating the volume of cleaner required for porous, textured surfaces, assume 50 square feet per gallon of prepared cleaner. For dense, smooth surfaces, assume up to 150 square feet per gallon of prepared cleaner. The coverage rate chart assumes an average coverage rate of 100 square feet per gallon of prepared cleaner.

Application Instructions

Caution: Multiple applications may etch sensitive surfaces. Do not let cleaner dry into the surface. If surface begins to dry, reapply cleaner.

1. Always prewet surface with clean water, working from the bottom to the top. On vertical surfaces, keep lower areas wet to avoid streaks.
2. Apply the prediluted cleaner directly to surface using a masonry brush or low-pressure spray. Let cleaner dwell for 2 - 3 minutes.
3. Reapply cleaner. Scrub or scrape areas of heavy soiling using wood blocks or nonmetallic scrapers.
4. Working from the bottom to the top, rinse thoroughly with fresh water. If pressure rinsing equipment is not available, brush the surface while rinsing.

Cleanup

Clean tools and equipment using fresh water.

SAFETY INFORMATION

Sure Klean® Custom Masonry Cleaner is an acidic cleaning product with safety issues common to corrosive materials. Use appropriate safety equipment and job site controls during application and handling. Read the full label and MSDS for precautionary instructions before use..

First Aid

Ingestion: If conscious, give large amounts of milk or water and call a physician, emergency room or poison control center immediately. Do not induce vomiting.

Eye Contact: Rinse eyes thoroughly for 15 minutes. Get immediate medical assistance.

Skin Contact: Remove contaminated clothing and rinse thoroughly for 15 minutes. Get medical attention. Launder contaminated clothing before reuse.

Inhalation: Remove to fresh air. Give artificial respiration if not breathing. Get immediate medical attention.

24-hour Emergency Information: INFOTRAC at 800-535-5053

WARRANTY

The information and recommendations made are based on our own research and the research of others, and are believed to be accurate. However, no guarantee of their accuracy is made because we cannot cover every possible application of our products, nor anticipate every variation encountered in masonry surfaces, job conditions and methods used. The purchasers shall make their own tests to determine the suitability of such products for a particular purpose. PROSOCO, Inc. warrants this product to be free from defects. **Where permitted by law, PROSOCO makes no other warranties with respect to this product, express or implied, including without limitation the implied warranties of merchantability or fitness for particular purpose.** The purchaser shall be responsible to make his own tests to determine the suitability of this product for his particular purpose. PROSOCO's liability shall be limited in all events to supplying sufficient product to re-treat the specific areas to which defective product has been applied. Acceptance and use of this product absolves PROSOCO from any other liability, from whatever source, including liability for incidental, consequential or resultant damages whether due to breach of warranty, negligence or strict liability. This warranty may not be modified or extended by representatives of PROSOCO, its distributors or dealers.

CUSTOMER CARE

Factory personnel are available for product, environment and job-safety assistance with no obligation. Call 800-255-4255 and ask for Customer Care - technical support.

Factory-trained representatives are established in principal cities throughout the continental United States. Call Customer Care at 800-255-4255, or visit our web site at www.prosoco.com, for the name of the Sure Klean® representative in your area.