



City of Ann Arbor
PLANNING & DEVELOPMENT SERVICES — CONSTRUCTION SERVICES

Mailing: 301 E. Huron St. | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647

p. 734.794.6263 | f 734.994.8460 | building@a2gov.org 1-19-17

APPLICATION FOR EXCEPTION - BUILDING BOARD OF APPEALS

Section 1: Applicant Information		
Name of Applicant: <u>Elizabeth Sauve</u>		
Address of Applicant: <u>1342 N. Main St #5</u>		
Daytime Phone: <u>734.926.5593</u>		Fax: _____
Email: <u>Lisa@synecdochedesign.com</u>		
Applicant's Relationship to Property: <u>Designer - Synecdoche Design Studio</u>		
Section 2: Property Information		
Address of Property: <u>220 S. Main St</u>		
Zoning Classification: <u>D1 Downtown Core</u>		
Tax ID# (if known): _____		
*Name of Property Owner: <u>Gerry Spears, BarStar Ilc</u>		
<i>*If different than applicant, a letter of authorization from the property owner must be provided.</i>		
Section 3: Request Information		
<input checked="" type="checkbox"/> Exception		
Chapter(s) and Section(s) from which an exception is requested:	REQUIRED dimension:	PROPOSED dimension:
<u>405.3.2</u>	<u>Lavatory must be located in toilet room</u>	<u>Lavatory is in common room, water closet compartments are provided</u>
<i>Example: 2003 Building Code, Section 5:26</i>	<i>Example: 7' Ceiling Clearance</i>	<i>Example: 6'5" under landing</i>
Give a detailed description of the work you would need this exception for (attach additional sheets if necessary)		
<u>See Attachment.</u>		

Section 4: Exception Request

The City of Ann Arbor Building Board of Appeals has the powers granted by State law and Building Codes. An exception may be granted by the Building Board of Appeals only in cases involving practical difficulties or unnecessary hardships when **ALL** of the following is found **TRUE**.

Please provide a complete response to each item below. These responses, together with the required materials in Section 5 of this application, will form the basis for evaluation of the request by staff and the Building Board of Appeals.

1. **The true intent of the Code or the rules governing construction have been incorrectly interpreted.** See Attachment.

2. **The provisions of the Code do not apply.)** See Attachment.

3. **An equal or better form of construction is proposed.** See Attachment.

Section 5: Required Materials See Attachment.

The following materials are required for all EXCEPTION requests. Failure to provide these materials will result in an **incomplete application** and will delay staff review and Building Board of Appeals consideration of the request. The materials listed below must accompany the application and constitute an inseparable part of the application. All materials must be provided on **8 1/2" by 11" sheets**. ***If incomplete, you will be scheduled for the NEXT MEETING DATE ON THE FOLLOWING MONTH.***

- State proposed use of property, size of lot and size and type of proposed changes.
- Building floor plans showing interior rooms, including dimensions. (continued....)
- Photographs of the property and any existing buildings involved in the request.
- Any other graphic or written materials that support the request.
- Letter of Authority if being represented by someone other than the property owner.

Section 6: Acknowledgement

SIGNATURES MUST BE SIGNED IN PRESENCE OF NOTARY PUBLIC

I, the applicant, request An exception from the above named Chapter(s) and Section(s) of the Applicable City Code and/or 2009 Michigan Residential Code and/or 2012 Michigan Building Code for the stated reasons, in accordance with the materials attached hereto.

734.926.5583
Phone Number

U Sauve
Signature

lisa@synecdochedesign.com
Email Address

Elizabeth Sauve
Print Name

I, the applicant, hereby depose and say that all of the aforementioned statements, and the statements contained in the materials submitted herewith are true and correct and have received all coversheets with dates, deadlines and instructions. Applicant acknowledges that they are aware of these meeting dates and will not receive further notification of meeting dates and times. All applicants are expected to know when and where the meeting is and to appear to present their appeal in a timely fashion:

U Sauve
Signature

Further, I hereby give City of Ann Arbor Planning and Development Services unit staff and members of the Building Board of Appeals permission to access the subject property for the purpose of reviewing my exception request. As a condition of granting any exception, the property owner is also responsible for reinstating, paying fees for or acquiring new permits to inspect and final out any outstanding work at this property:

U Sauve
Signature

On this 19 day of Jan, 2017, before me personally appeared the above named applicant and made oath that he/she has read the foregoing application by him/her subscribed and knows the contents thereof, and that the same is true as to his/her own knowledge except as to those matters therein stated to be upon his information and belief as to those matters, he/she believes them to be true.

Maile Perez
Notary Public Signature

04/08/2022
Notary Commission Expiration Date

Noelia Perez
NOELIA PEREZ
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF WASHTENAW
My Commission Expires April 08, 2022
Acting in the County of Washtenaw

STAFF USE ONLY

Date Submitted: 1-19-17 Fee Paid: \$500.00
File No.: BBA17-001
Pre-Filing Review Person & Date: _____
Secondary Staff Review Person & Date: _____
Date of Public Hearing: _____
BBA Action: _____
OUTSTANDING PERMITS: _____



CITY OF ANN ARBOR

100 N. FIFTH AVE • ANN ARBOR, MI 48104
(734) 794-6267

Receipt Number: 2017-00040132

Project Number BBA17-001
Receipt Print Date: 01/19/2017
Address 220 S MAIN ST
Applicant
Owner 220 MAIN LLC
Project Description

FEES PAID

0026-033-3370-0000-4361

P&D - APPEAL FEES 15/16

BBA - ALL OTHER STRUCTURES

0026-033-3370-0000-4361

500.00

Total Fees for Account 0026-033-3370-0000-4361:

500.00

TOTAL FEES PAID

500.00

DATE PAID: Thursday, January 19, 2017

PAID BY: LOGOS

PAYMENT METHOD: CHECK 000034

Gerry Spears

BarStar Group, llc
220 S. Main St.
Ann Arbor, MI 48104
734.260.6775

18th January 2017

Building Board of Appeals

Construction Services
Larcom City Hall
301 E. Huron St.
Ann Arbor, MI 48104

To the Building Board of Appeals,

I give authorization for Synecdoche Design Studio to appear before the Building Board of Appeals on my behalf regarding the toilet room design for Bar Star at 220 S. Main St., Ann Arbor, Michigan.

Sincerely,

A handwritten signature in black ink, appearing to read 'Gerry Spears', written in a cursive style.

Gerry Spears

Section 3 Response

The Building Code requires (2) ADA bathrooms, and those facilities are provided with proper dimensions for accessible, barrier free movement. The gender neutral toilet stalls and lavatories provide additional bathrooms beyond code requirement and establish a non-discriminatory bathroom designation. There is national precedent for this arrangement for similar projects, and four examples can be found in the attachments.

Section 4 Response

1. Toilet stalls provided meet the toilet facility requirements of water closet compartments (Plumbing Code 405.3.4) by code, with a common lavatory room. They are not classified as separate toilet rooms. (405.3.2)
2. Plumbing Code 405.3.2 does not apply, because provisions are classified under 405.3.4 as water closet compartments, and are unisex for all "genders". Mirrors are provided for each toilet stall.
3. Group wash-up is provided, meeting Plumbing Code 416.1. Individual stalls for any gender designation and common, accessible sinks for efficiency and use are provided, beyond the minimum required amount.

Section 5 Required Materials

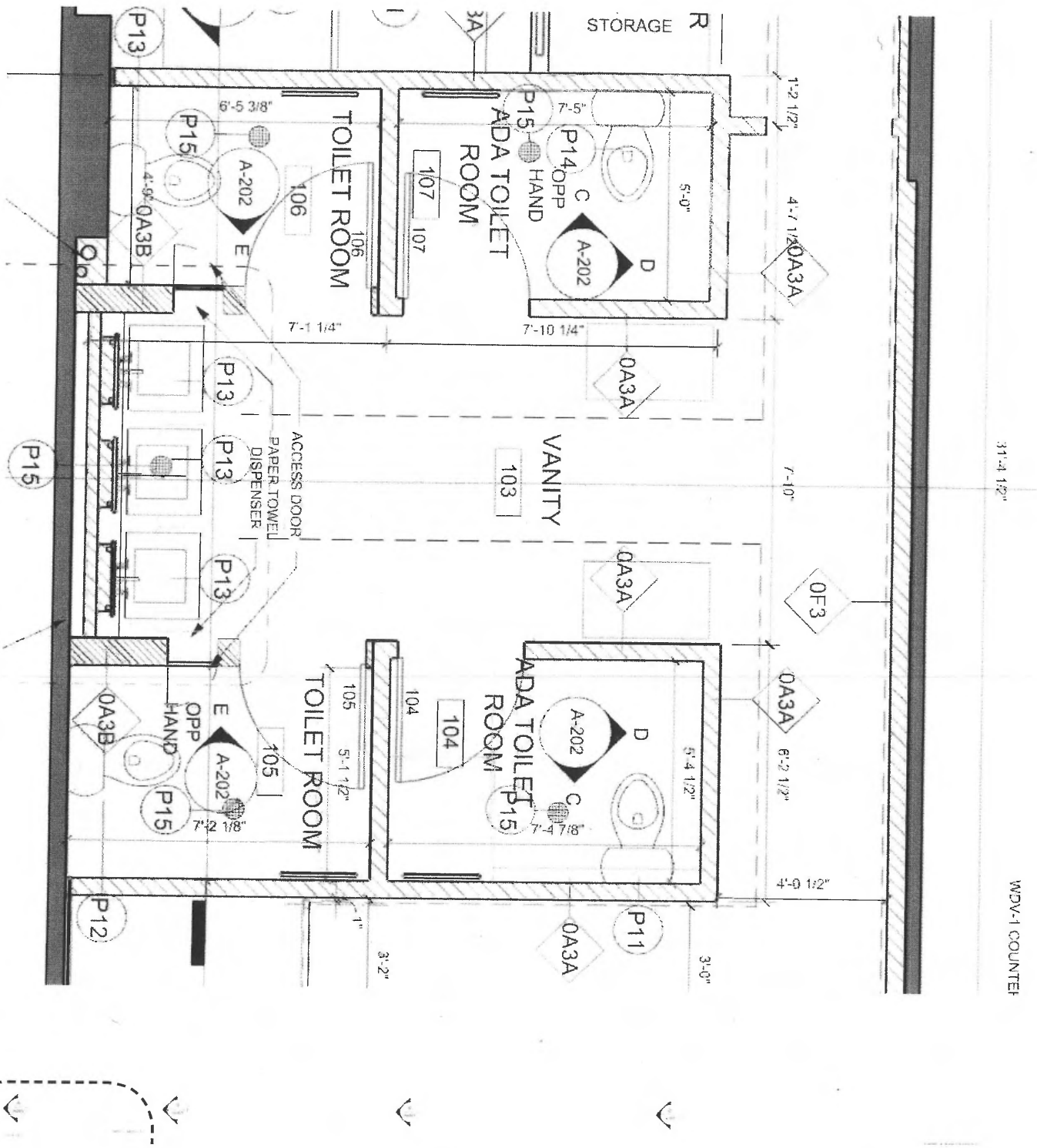
The proposed use of the property is for a bar under A-2 Assembly Use Group. The lot size is 20'x120'. The size of the proposed changes occupies the ground floor and encompasses the 20'x120' lot footprint.

Photograph of property

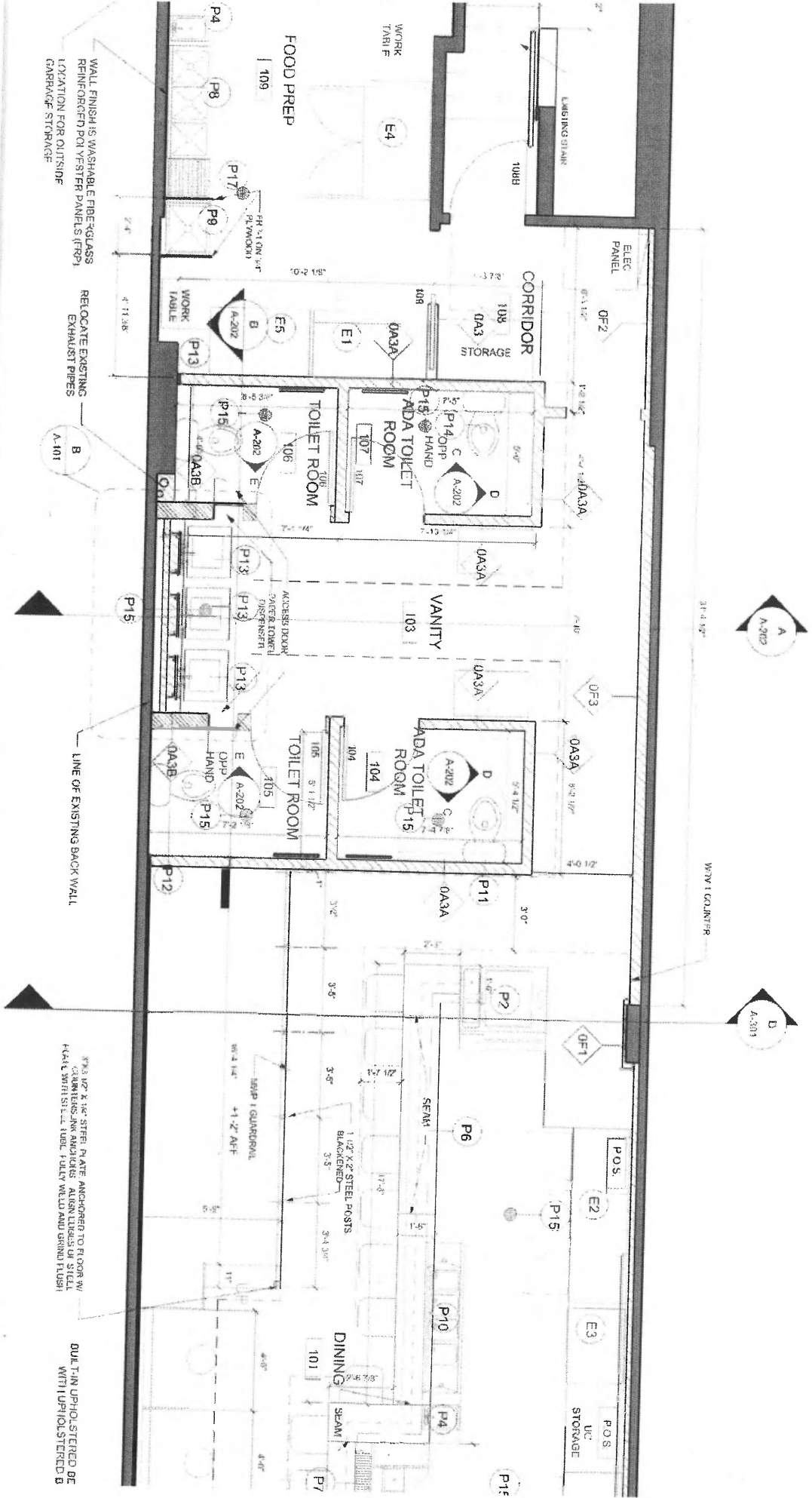


Section 5: Required Materials

Enlarged Toilet Room Plan showing interior rooms, including dimensions. Not to



Building Floor Plan - Area 2 showing interior rooms, including



Building Floor Plan - Area 2 showing interior rooms, including

National Precedent for Common Lavatories

1. Starbucks Reserve, Seattle WA



Unisex restroom with common wash station with private, unisex stalls.

2. Pass & Provisions Restaurant,



Unisex common wash station, surrounded by unisex private stalls.

3. BRGR Restaurant, Kansas, MO



Unisex, common wash station with private, designated stalls.

4. Three's Brewing, Brooklyn, NY



Unisex, common wash station with private, unisex stalls.



Houston restrooms outpace politics

Restaurants, UH Downtown offer facilities shared by everyone

By Alyson Ward and Andrew Dansby, Houston Chronicle | November 5, 2015 | Updated: November 6, 2015 11:56am

23

Photo: Gary Coronado, Staff

IMAGE 1 OF 5

Britany Devlin uses the communal bathroom at The Pass & Provisions restaurant Thursday, Nov. 5, 2015, in Houston, Texas. "To me it wasn't a bathroom ordinance, it was an equal rights ordinance," said ... [more](#)

The restroom of the future is taking shape before our eyes.

At The Pass & Provisions restaurant, men and women share a common wash station surrounded by five private stalls. The University of Houston-Downtown uses a restroom sign that shows a traditional male stick figure, a female stick figure, a figure that combines the two, and a wheelchair.

There's even an app that helps transgender people find safe facilities.



Three days ago, the Houston Equal Rights Ordinance went down in defeat, in what opponents dubbed the "bathroom ordinance." Although voters expressed considerable unease at the thought of a transgender woman in a woman's bathroom, Houston restrooms are way ahead of politics.

No Houston establishments are required by law to offer unisex bathrooms, yet some already do. Restaurants, universities and businesses have found creative solutions to an issue that has pushed its way to the forefront in national conversations about discrimination in general, and gay and transgender rights, specifically.

As other cities across the country approve ordinances requiring unisex, single occupancy restrooms - Austin and Santa Fe, N.M., among them - the writing on the wall couldn't be clearer. The restroom signage might say All Gender, Gender Neutral, Unisex, or something more whimsical. The signage might say nothing at all, offering an image to explain what words cannot.

At North Italia restaurant on Post Oak, three of the five private restrooms are marked
Either/Or.

Old ladies and Texans

At The Pass & Provisions, two restaurants under one roof in the Fourth Ward, "We've had little 80-year-old ladies washing their hands next to Texans players," said chef/owner Seth Siegel-Gardner.

Two of the stalls are labeled "Men" and three are labeled "Women," Siegel-Gardner said, but "they're marked with chalk, so I guess they're all optional." The restrooms weren't designed with gender or politics in mind; it was just the arrangement that "made the most sense, design-wise."

"No one has ever complained to me about it," Siegel-Gardner added, but there's another option for anyone uncomfortable sharing the common space. "If someone wants to walk all the way over to the bar, there's a single stall there." That restroom is labeled simply "WC."

For some transgender people, finding a single-toilet restroom is like finding an oasis in the desert.

"I plan my outings around bathrooms," said Kaylee Grundy, a transgender woman who lives on the west side of Houston and works in Midtown with Houston Unites, the pro-HERO group.

As part of the HERO campaign, Grundy, 32, spent time at an Alief high school training students in the gay-straight alliance to run a phone bank. Because she wasn't sure what the school's restroom situation would be, she planned ahead, acutely aware that she looks like a man in women's clothing.

"I stopped drinking water about six hours beforehand to make sure I absolutely didn't have to pee," Grundy said.

The Restroom Refuge app is a big help. It shows many more restrooms in places like New York and San Francisco, but Grundy tries to add as many as she can for Houston.

"I love Cinemark," she said. The theaters have "family" restrooms, and most H-E-Bs are accommodating.

Grundy has never had a problem at a restroom. "I've spent my life being cautious," she said. Still, she fears someone will yell at her for being a man in a woman's restroom - or worse.

UHD opened a single-user restroom on its third floor last year, after reaching out to transgender students to ask about their experiences on campus. John Hudson, director for the school's Center for Student Diversity, Equity and Inclusion, heard that students traveled to other floors where a professor would guard the door while they used the restroom. One student refused to use any of the campus restroom facilities.

Work in progress

The single-user restroom also provided a place for student parents to go with their children, as well as privacy for students and staff with medical issues.

"And, of course, transgender students and staff can go there and be free of harassment," Hudson said.

Language and signs are still a work in progress, both in Houston and around the nation. UHD specifically avoided use of the phrase "family restroom," Hudson said.

"We felt if we were trying to meet the needs of transgender students then we shouldn't hide behind that phrase, which some might find heterosexist," he said.

The UHD stick figure sign is "imperfect," Hudson said, "but we thought it was still a bold statement that let transgender students know, 'We're aware of you, and we want you to feel safe.'"

Lisa Gray contributed to this story.



Alyson Ward

Staff Writer, Houston
Chronicle



Andrew Dansby

Entertainment Writer,
Houston Chronicle

ANN ARBOR BUILDING BOARD OF APPEALS

Variance Hearing for 220 South Main Street, Ann Arbor, MI 48104
BBA17-001 (Parcel Identification Number: 09-09-29-143-002.

Hearing date: February 16, 2017.

STAFF REPORT

DESCRIPTION AND DISCUSSION

220 Main LLC
103 East Liberty Street, #207
Ann Arbor, MI 48104

Other interested parties: Synecdoche Design Group

The building on this property is a commercial property

STAFF FINDINGS

Elizabeth Sauve the designer with Synecdoche Design Studio, has applied for an variance to the Plumbing Code section **405.3.2**. The location for this construction is at Bar Star, which is located at 220 S. Main Street. The request for the variance is to provide a common area lavatory with water closets (toilet room) compartments. This function would allow the lavatories to be placed, in a common use area.

CODE INTERPRETATION

The Code Section **403.2 "Separate Facilities**. Where plumbing fixtures are required, separate facilities shall be provided for each sex".

Exceptions:

1. Separate facilities shall not be required for private facilities.
2. Separate facilities shall not be required in structures or tenant spaces with a total occupant load, including both employees and customers, or 15 or fewer.
3. Separate facilities shall not be required in mercantile occupancies in which the occupant load is 50 or fewer.

The Code Section **405.3.2 "Public Lavatories**. In employee and public toilet rooms, the required lavatory shall be located in the same room as the required water closet".

Reviewing the above codes shows that separate facilities/room shall be provided for each sex and the each facility/room should have a lavatory in with the water closet.

In summary, if each facility/bathroom does not have a water closet and lavatory for each sex, then the code has not been met.

Please see the attached code sections for reference.

Standards for Approval

PA 230 Section 125.15.15

Specific variance from code: breach of condition; permissible variance.

Sec. 15.

1. After a public hearing a board of appeals may grant a specific variance to a substantive requirement of the code if the literal application of the substantive requirement would result in an exceptional, practical difficulty to the applicant, and if both of the following requirements are satisfied:
 - a. The performance of the particular item or part of the building or structure with respect to which the variance is granted shall be adequate for its intended use and shall not substantially deviate from performance required by the code of that particular item or part for the health, safety and welfare of the people of this state.
 - b. The specific condition justifying the variance shall be neither so general nor recurrent in nature as to make an amendment of the code with respect to the condition reasonably practical or desirable.

2. A board of appeals may attach in writing any condition in connection with the granting of a variance that in its judgement is necessary to protect the health, safety and welfare of the people of this state. The breach of a condition shall automatically invalidate the variance and any permit, license and certificate granted on the basis of it. In no case shall more than a minimum variance from the code be granted than is necessary to alleviate the exceptional, practical difficulty.



City of Ann Arbor

PLANNING & DEVELOPMENT SERVICES — PLANNING DIVISION

301 East Huron Street | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647
p. 734.794.6264 | f. 734.994.8460 | rentalhousing@a2gov.org

February 6, 2017

Synecdoche Design Group
1342 N Main #5
Ann Arbor, MI 48107

RE: 220 South Main Street, Ann Arbor, MI
Parcel Identification Number (:PIN"): 09-09-29-143-002

Dear Synecdoche Design Group:

Please consider this as a reminder to attend the Ann Arbor Building Board of Appeals meeting for your Variance Hearing for 220 South Main Street, Ann Arbor, Michigan.

The meeting will take place on Thursday, February 16, 2016 at 1:30 PM on the 2nd floor of City Hall in the Council Chambers. Please bring materials and interested parties to the meeting if needed.

Sincerely,

Glen Dempsey
City of Ann Arbor
Building Official

CHAPTER 4

FIXTURES, FAUCETS AND FIXTURE FITTINGS

SECTION 401 GENERAL

401.1 Scope. This chapter shall govern the materials, design and installation of plumbing fixtures, faucets and fixture fittings in accordance with the type of *occupancy*, and shall provide for the minimum number of fixtures for various types of occupancies.

401.2 Prohibited fixtures and connections. Water closets having a concealed trap seal or an unventilated space or having walls that are not thoroughly washed at each discharge in accordance with ASME A112.19.2/CSA B45.1 shall be prohibited. Any water closet that permits siphonage of the contents of the bowl back into the tank shall be prohibited. Trough urinals shall be prohibited.

401.3 Water conservation. The maximum water flow rates and flush volume for plumbing fixtures and fixture fittings shall comply with Section 604.4.

SECTION 402 FIXTURE MATERIALS

402.1 Quality of fixtures. Plumbing fixtures shall be constructed of *approved* materials, with smooth, impervious surfaces, free from defects and concealed fouling surfaces, and shall conform to standards cited in this code. All porcelain enameled surfaces on plumbing fixtures shall be acid resistant.

402.2 Materials for specialty fixtures. Materials for specialty fixtures not otherwise covered in this code shall be of stainless steel, soapstone, chemical stoneware or plastic, or shall be lined with lead, copper-base alloy, nickel-copper alloy, corrosion-resistant steel or other material especially suited to the application for which the fixture is intended.

402.3 Sheet copper. Sheet copper for general applications shall conform to ASTM B 152 and shall not weigh less than 12 ounces per square foot (3.7 kg/m²).

402.4 Sheet lead. Sheet lead for pans shall not weigh less than 4 pounds per square foot (19.5 kg/m²) coated with an asphalt paint or other *approved* coating.

SECTION 403 MINIMUM PLUMBING FACILITIES

403.1 Minimum number of fixtures. Plumbing fixtures shall be provided for the type of occupancy and in the minimum number shown in Table 403.1. Types of occupancies not shown in Table 403.1 shall be considered individually by the code official. The number of occupants shall be deter-

mined in accordance with the Michigan building code. Occupancy classification shall be determined in accordance with the Michigan building code.

Exceptions:

1. The actual number of occupants determined by a supporting affidavit from the owner or agency.
2. Hand washing sinks in food service establishments shall be provided in accordance with regulation no. 553, food establishments, R 285.553.1 to R 285.553.26 of the Michigan department of agriculture.
3. Toilet facilities for public swimming pools shall be provided in accordance with public swimming pools, R 325.2111 to R 325.2199 of the Michigan department of environmental quality.
4. Toilet facilities for child care center, day care center, and nursery school facilities shall be provided in accordance with child day care licensing – child care centers, R 400.5101 to R 400.5940 of the Michigan department of human services.
5. Toilet facilities for children's camps shall be provided in accordance with children's and adult foster care camps, R 400.11101 to R 400.11319 of the Michigan department of human services.

R 408.30758

403.1.1 Fixture calculations. To determine the occupant load of each sex, the total occupant load shall be divided in half. To determine the required number of fixtures, the fixture ratio or ratios for each fixture type shall be applied to the occupant load of each sex in accordance with Table 403.1. Fractional numbers resulting from applying the fixture ratios of Table 403.1 shall be rounded up to the next whole number. For calculations involving multiple *occupancies*, such fractional numbers for each *occupancy* shall first be summed and then rounded up to the next whole number.

Exception: The total occupant load shall not be required to be divided in half where *approved* statistical data indicates a distribution of the sexes of other than 50 percent of each sex.

403.1.2 Family or assisted-use toilet and bath fixtures. Fixtures located within family or assisted-use toilet and bathing rooms required by Section 1109.2.1 of the *International Building Code* are permitted to be included in the number of required fixtures for either the male or female occupants in assembly and mercantile *occupancies*.

TABLE 403.1
 MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES*
 (See Sections 403.1.1 and 403.2)

NO.	CLASSIFICATION	OCCUPANCY	DESCRIPTION	WATER CLOSETS (URINALS SEE SECTION 419.2)		LAVATORIES		BATHTUBS/ SHOWERS	DRINKING FOUNTAIN* (SEE SECTION 410.1)	OTHER
				MALE	FEMALE	MALE	FEMALE			
1	Assembly	A-1 ^d	Theaters and other buildings for the performing arts and motion pictures	1 per 125	1 per 65	1 per 200		—	1 per 500	1 service sink
		A-2 ^d	Nightclubs, bars, taverns, dance halls and buildings for similar purposes	1 per 40	1 per 40	1 per 75		—	1 per 500	1 service sink
			Restaurants, banquet halls and food courts	1 per 75	1 per 75	1 per 200		—	1 per 500	1 service sink
		A-3 ^d	Auditoriums without permanent seating, art galleries, exhibition halls, museums, lecture halls, libraries, arcades and gymnasiums	1 per 125	1 per 65	1 per 200		—	1 per 500	1 service sink
			Passenger terminals and transportation facilities	1 per 500	1 per 500	1 per 750		—	1 per 1,000	1 service sink
			Places of worship and other religious services.	1 per 150	1 per 75	1 per 200		—	1 per 1,000	1 service sink
		A-4	Coliseums, arenas, skating rinks, pools and tennis courts for indoor sporting events and activities	1 per 75 for the first 1,500 and 1 per 120 for the remainder exceeding 1,500	1 per 40 for the first 1,520 and 1 per 60 for the remainder exceeding 1,520	1 per 200	1 per 150	—	1 per 1,000	1 service sink
		A-5	Stadiums, amusement parks, bleachers and grandstands for outdoor sporting events and activities	1 per 75 for the first 1,500 and 1 per 120 for the remainder exceeding 1,500	1 per 40 for the first 1,520 and 1 per 120 for the remainder exceeding 1,520	1 per 200	1 per 150	—	1 per 1,000	1 service sink
Outdoor educational and municipal venues no larger than 3,000 spectators	1 per 125		1 per 65	1 per 200	1 per 150	—	1 per 1,000	1 service sink		

(continued)

403.2 Separate facilities. Where plumbing fixtures are required, separate facilities shall be provided for each sex.

Exceptions:

1. Separate facilities shall not be required for private facilities.
2. Separate facilities shall not be required in structures or tenant spaces with a total occupant load, including both employees and customers, of 15 or fewer.
3. Separate facilities shall not be required in mercantile occupancies in which the maximum occupant load is 50 or fewer.

R 408.30722

403.2.1 Family or assisted-use toilet facilities serving as separate facilities. Where a building or tenant space requires a separate toilet facility for each sex and each toilet facility is required to have only one water closet, two family/assisted-use toilet facilities shall be permitted to serve as the required separate facilities. Family or assisted-use toilet facilities shall not be required to be identified for exclusive use by either sex as required by Section 403.4.

403.3 Required public toilet facilities. Customers, patrons and visitors shall be provided with *public* toilet facilities in structures and tenant spaces intended for public utilization. The number of plumbing fixtures located within the required toilet facilities shall be provided in accordance with Section 403 for all users. Employees shall be provided with toilet facilities in all *occupancies*. Employee toilet facilities shall be either separate or combined employee and *public* toilet facilities.

Exception: Public toilet facilities shall not be required in open or enclosed parking garages. Toilet facilities shall not be required in parking garages where there are no parking attendants.

403.3.1 Access. The route to the public toilet facilities required by section 403.3 shall not pass through kitchens, storage rooms, or closets. Access to the required facilities shall be from within the building. All routes shall comply with the accessibility requirements of the Michigan building code. The public shall have access to the required toilet facilities at all times that the building is occupied.

R 408.30758

[B] 403.3.2 Toilet room location. Toilet rooms shall not open directly into a room used for the preparation of food for service to the public.

403.3.3 Location of toilet facilities in occupancies other than malls. In occupancies other than covered and open mall buildings, the required *public* and employee toilet facilities shall be located not more than one story above or below the space required to be provided with toilet facilities, and the path of travel to such facilities shall not exceed a distance of 500 feet (152 m).

Exception: The location and maximum travel distances to required employee facilities in factory and industrial

occupancies are permitted to exceed that required by this section, provided that the location and maximum travel distance are *approved*.

403.3.4 Location of toilet facilities in malls. In covered and open mall buildings, the required *public* and employee toilet facilities shall be located not more than one story above or below the space required to be provided with toilet facilities, and the path of travel to such facilities shall not exceed a distance of 300 feet (91 440 mm). In mall buildings, the required facilities shall be based on total square footage within a covered mall building or within the perimeter line of an open mall building, and facilities shall be installed in each individual store or in a central toilet area located in accordance with this section. The maximum travel distance to central toilet facilities in mall buildings shall be measured from the main entrance of any store or tenant space. In mall buildings, where employees' toilet facilities are not provided in the individual store, the maximum travel distance shall be measured from the employees' work area of the store or tenant space.

403.3.5 Pay facilities. Where pay facilities are installed, such facilities shall be in excess of the required minimum facilities. Required facilities shall be free of charge.

403.3.6 Door locking. Where a toilet room is provided for the use of multiple occupants, the egress door for the room shall not be lockable from the inside of the room. This section does not apply to family or assisted-use toilet rooms.

403.4 Signage. Required *public* facilities shall be designated by a legible sign for each sex. Signs shall be readily visible and located near the entrance to each toilet facility. Signs for accessible toilet facilities shall comply with Section 1110 of the *International Building Code*.

403.4.1 Directional signage. Directional signage indicating the route to the *public* facilities shall be posted in accordance with Section 3107 of the *International Building Code*. Such signage shall be located in a corridor or aisle, at the entrance to the facilities for customers and visitors.

403.5 Drinking fountain location. Drinking fountains shall not be required to be located in individual tenant spaces provided that public drinking fountains are located within a travel distance of 500 feet (152 400 mm) of the most remote location in the tenant space and not more than one story above or below the tenant space. Where the tenant space is in a covered or open mall, such distance shall not exceed 300 feet (91 440 mm). Drinking fountains shall be located on an accessible route.

SECTION 404

ACCESSIBLE PLUMBING FACILITIES

404.1 Where required. Accessible plumbing facilities and fixtures shall be provided in accordance with the *International Building Code*.

**SECTION 405
INSTALLATION OF FIXTURES**

405.1 Water supply protection. The supply lines and fittings for every plumbing fixture shall be installed so as to prevent backflow.

405.2 Access for cleaning. Plumbing fixtures shall be installed so as to afford easy access for cleaning both the fixture and the area around the fixture.

405.3 Setting. Fixtures shall be set level and in proper alignment with reference to adjacent walls.

405.3.1 Water closets, urinals, lavatories and bidets. A water closet, urinal, lavatory or bidet shall not be set closer than 15 inches (381 mm) from its center to any side wall, partition, vanity or other obstruction, or closer than 30 inches (762 mm) center to center between adjacent fixtures. There shall be not less than a 21-inch (533 mm) clearance in front of the water closet, urinal, lavatory or bidet to any wall, fixture or door. Water closet compartments shall be not less than 30 inches (762 mm) in width and not less than 60 inches (1524 mm) in depth for floor-mounted water closets and not less than 30 inches (762 mm) in width and 56 inches (1422 mm) in depth for wall-hung water closets.

405.3.2 Public lavatories. In employee and public toilet rooms, the required lavatory shall be located in the same room as the required water closet.

405.3.3 Location of fixtures and piping. Piping, fixtures or equipment shall not be located in such a manner as to interfere with the normal operation of windows, doors or other means of egress openings.

405.3.4 Water closet compartment. Each water closet utilized by the public or employees shall occupy a separate compartment with walls or partitions and a door enclosing the fixtures to ensure privacy.

Exceptions:

1. Water closet compartments shall not be required in a single-occupant toilet room with a lockable door.
2. Toilet rooms located in child day care facilities and containing two or more water closets shall be permitted to have one water closet without an enclosing compartment.
3. This provision is not applicable to toilet areas located within Group I-3 housing areas.

405.3.5 Urinal partitions. Each urinal utilized by the public or employees shall occupy a separate area with walls or partitions to provide privacy. The walls or partitions shall begin at a height not greater than 12 inches (305 mm) from and extend not less than 60 inches (1524 mm) above the finished floor surface. The walls or partitions shall extend from the wall surface at each side of the urinal not less than 18 inches (457 mm) or to a point not less than 6 inches (152 mm) beyond the outermost front lip of the urinal

measured from the finished backwall surface, whichever is greater.

Exceptions:

1. Urinal partitions shall not be required in a single occupant or family/assisted-use toilet room with a lockable door.
2. Toilet rooms located in child day care facilities and containing two or more urinals shall be permitted to have one urinal without partitions.

405.4 Floor and wall drainage connections. Connections between the drain and floor outlet plumbing fixtures shall be made with a floor flange or a waste connector and sealing gasket. The waste connector and sealing gasket joint shall comply with the joint tightness test of ASME A112.4.3 and shall be installed in accordance with the manufacturer's instructions. The flange shall be attached to the drain and anchored to the structure. Connections between the drain and wall-hung water closets shall be made with an approved extension nipple or horn adaptor. The water closet shall be bolted to the hanger with corrosion-resistant bolts or screws. Joints shall be sealed with an approved elastomeric gasket, flange-to-fixture connection complying with ASME A112.4.3 or an approved setting compound.

405.4.1 Floor flanges. Floor flanges for water closets or similar fixtures shall not be less than 0.125 inch (3.2 mm) thick for brass, 0.25 inch (6.4 mm) thick for plastic, and 0.25 inch (6.4 mm) thick and not less than a 2-inch (51 mm) caulking depth for cast-iron or galvanized malleable iron.

Floor flanges of hard lead shall weigh not less than 1 pound, 9 ounces (0.7 kg) and shall be composed of lead alloy with not less than 7.75-percent antimony by weight. Closet screws and bolts shall be of brass. Flanges shall be secured to the building structure with corrosion-resistant screws or bolts.

405.4.2 Securing floor outlet fixtures. Floor outlet fixtures shall be secured to the floor or floor flanges by screws or bolts of corrosion-resistant material.

405.4.3 Securing wall-hung water closet bowls. Wall-hung water closet bowls shall be supported by a concealed metal carrier that is attached to the building structural members so that strain is not transmitted to the closet connector or any other part of the plumbing system. The carrier shall conform to ASME A112.6.1M or ASME A112.6.2.

405.5 Water-tight joints. Joints formed where fixtures come in contact with walls or floors shall be sealed.

405.6 Plumbing in mental health centers. In mental health centers, pipes or traps shall not be exposed, and fixtures shall be bolted through walls.

405.7 Design of overflows. Where any fixture is provided with an overflow, the waste shall be designed and installed so that standing water in the fixture will not rise in the overflow when the stopper is closed, and no water will remain in the overflow when the fixture is empty.



11-7-16

**City of Ann Arbor
PLANNING & DEVELOPMENT SERVICES — CONSTRUCTION SERVICES**

301 East Huron Street P.O. Box 8647 Ann Arbor, Michigan 48107-8647
p. 734.794.6263 f. 734.994.8460 building@a2gov.org

Date Submitted: 11-4-16

PERMIT #: BLDG 16-2336

BUILDING PERMIT APPLICATION — COMMERCIAL

Permission is requested by the Contractor and by the Owner to perform work as described below and on the following pages, and as shown on the attached plans.

YOU MUST FILL IN ALL FIELDS

PROPERTY	Address 220 South Main St.		Zoning District 0929NE <u>D1</u>		
	Suite or Unit #				
PROPERTY OWNER	Name 220 Main, LLC. - John Curtis		Ph 734-761-6163		
	Address 343 S. Main St., St. 218		City Ann Arbor	Zip 48104	Email john@a2curtis.com
CONTRACTOR	Last Name/Business R.W. Mercer Co., Matt Stoddard - Project Mgr.		Ph 313-286-3300		
	Address 2322 Brooklyn Rd.		City Jackson, MI	Zip 49203	Email mstoddard@rwmerc.com
	License No. 2102177902		Exp 5/31/17		
ARCHITECT/ ENGINEER	Name Laura Roberts, Synecdoche Desgin Studio		Ph		
	Address 1342 N. Main St., #5		City Ann Arbor, MI	Zip 48104	Email laura@synecdochedesign.com
	License No. 1301059378		Exp 10/31/17		
VALUE OF WORK					
Includes material and labor for scope of permit, including mechanical, electrical and plumbing. Mechanical, electrical and plumbing to obtain separate permits.					
				\$ 275,000.00	
HISTORIC DISTRICT					
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No District <u>Main Street</u>					
FLOOD PLAIN					
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No DNR-E Permit # _____ Approval _____					
RENTAL PROPERTY					
Is this building residential rental property? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No No. of Units: _____					

You **MUST** submit a minimum of **TWO (2)** copies of plans.
FOR ADDITIONAL REQUIREMENTS, REFER TO THE ATTACHED CHECKLIST

3932

975.00
2437.50
50.00

Interior
HOC

BUILDING INFORMATION

TYPE OF WORK (Select one from each column)

<input type="checkbox"/> Build/Finish <input type="checkbox"/> Addition(s) to <input checked="" type="checkbox"/> Alteration(s) to <input type="checkbox"/> Change of Occupancy <input type="checkbox"/> Demolition of <input type="checkbox"/> Move <input type="checkbox"/> Repair(s) to <input type="checkbox"/> Replacement of <input type="checkbox"/> Other _____	<input type="checkbox"/> New <input checked="" type="checkbox"/> Existing <input type="checkbox"/> Portion(s) of existing <input type="checkbox"/> Shell <input type="checkbox"/> Foundation only <input type="checkbox"/> Other _____ _____ _____ _____	<input checked="" type="checkbox"/> Building <input type="checkbox"/> Tenant Space <input type="checkbox"/> Deck <input type="checkbox"/> Porch <input type="checkbox"/> Fence <input type="checkbox"/> Door <input type="checkbox"/> Garage <input type="checkbox"/> Roof <input type="checkbox"/> Sign <input type="checkbox"/> Windows-Number _____ <input type="checkbox"/> Siding
---	--	--

DESCRIPTION OF WORK: Convert former Elmo's T-Shirt shop to new cocktail bar.

COMMENTS TO REVIEWER: _____

USE-OCCUPANCY CLASSIFICATION

<input type="checkbox"/> Vacant <input type="checkbox"/> A-1 Assembly, theaters <input checked="" type="checkbox"/> A-2 Assembly, nightclubs, bars, restaurants <input type="checkbox"/> A-3 Assembly, rec centers, religious buildings <input type="checkbox"/> A-4 Assembly, indoor sporting facilities <input type="checkbox"/> A-5 Grandstands, stadiums, outdoor sporting events <input type="checkbox"/> B Business <input type="checkbox"/> E Educational <input type="checkbox"/> F-1 Factory and industrial, moderate hazard <input type="checkbox"/> F-2 Factory and industrial, low hazard <input type="checkbox"/> H-1 High hazard, detonation hazards <input type="checkbox"/> H-2 High hazard, deflagration hazards <input type="checkbox"/> H-3 High hazard, physical hazards <input type="checkbox"/> H-4 High hazard, health hazards	<input type="checkbox"/> H-5 Hazardous production materials <input type="checkbox"/> I-1 Institutional, supervised residential care <input type="checkbox"/> I-2 Institutional, incapacitated, hospital, nursing home <input type="checkbox"/> I-3 Institutional, restrained, prisons <input type="checkbox"/> M Mercantile <input type="checkbox"/> R-1 Residential, hotels, motels, boarding houses <input type="checkbox"/> R-2 Residential, multiple-family, fraternity, sorority <input type="checkbox"/> R-3 Residential, 1 and 2 family and townhouses <input type="checkbox"/> R-4 Assisted living (6-16 occ.) <input type="checkbox"/> S-1 Storage, moderate hazard <input type="checkbox"/> S-2 Storage, low hazard <input type="checkbox"/> U Utility, miscellaneous, garages, fences, sheds <input type="checkbox"/> Mixed Uses
--	---

SUPPRESSION SYSTEM

<input checked="" type="checkbox"/> NFPA-13 <input type="checkbox"/> NFPA-13R <input type="checkbox"/> NFPA-13D	<input type="checkbox"/> Limited Area <input type="checkbox"/> Range Hood <input type="checkbox"/> None	<input type="checkbox"/> Partial <input checked="" type="checkbox"/> Complete
---	---	--

ALARM SYSTEM

Manual
 Automatic Detection
 None
 Partial
 Complete

BUILDING USE OPTIONS

Single Use
 Mixed Use – Separation Option:
 Non-separated uses
 Separated uses
 Separate buildings

PLANNING AND ZONING

Existing Use (specify type): Group M

Proposed Use (specify type): Group A-2

Construction: Interior Only
 Exterior/Façade
 Addition or New Construction (Site Plan required)

For additions or new construction, Site Plan File #: _____

You must contact Planning at 734-794-6265 or planning@a2gov.org prior to submission of permit applications for site planned projects.

**PURSUANT TO PUBLIC ACT 135 OF 1989
ALL BUILDING DIVISION PERMIT APPLICANTS MUST FILL OUT THIS SECTION**

1. Workers Compensation Carrier: Safety National Casualty Corp.
 2. Tax ID# 38-2120488 3. MESC # /Unemployment Agency # 640395 4. Homeowner – N/A

CONTRACTOR, acting through the undersigned, agrees to comply with all terms and conditions of permit as it may be issued.

Signature: *Matt Stoddard* Date: 11/3/16

Print Name of Signature and Title: Matt Stoddard, Project Mgr.

Company Name: R.W. Mercer Co.

I, OWNER, or person acting as owner's agent, agree to require Contractor to comply with all terms and conditions of permit as it may be issued, agree to the terms and conditions of permit as it may be issued, and agree to pay all fees and costs that may come due as a result of any activity under the permit.

*Signature: *Matt Stoddard*

Print Name of Signature: Matt Stoddard, Project Mgr., R. W. Mercer Co., Agent of Owner

*If Owner's signature is by Contractor or its representative, Contractor warrants and represents that it is an authorized agent for Owner for purposes of obtaining this permit. (NOTE: Contractor is *NOT* allowed to act as agent for Owner if Contractor is in non-compliance status on other permits.)

NOTICE: A copy of this permit will be provided to the City Assessor's Office when the requested building permit is issued. A staff member of the Assessor's Office may visit the property for assessment purposes in connection with this building permit. By signing this application you acknowledge, personally and on behalf of the property owner, receipt of this notice.

PAYMENT

Please provide payment information to process the application using **the payment cover sheet**. Any application received without payment information included cannot be processed.

OFFICE USE ONLY

HISTORIC DISTRICT NOTES

Notes: _____

Approval: _____ Date: _____

PLANNING AND ZONING NOTES

Notes: _____

Approval: _____ Date: _____

BUILDING NOTES

Notes: _____

Approval: _____ Date: _____

FEES

Building Permit _____

Grading Permit _____

Plan Review _____

Historic District Permit \$25 Other N/A

Zoning Review \$20 \$50 N/A

TOTAL _____

Site Compliance \$300 N/A



CITY OF ANN ARBOR

Printed: November 04, 2016

100 N. FIFTH AVE • ANN ARBOR, MI 48104
(734) 794-6267

Receipt Number: 2017-00025383

Permit Number: BLDG16-2336

Permit Type: BUILDING

Site Address: 220 S MAIN ST

Applicant: R W Mercer

Owner: 220 MAIN LLC

Contractor: R W Mercer

Job Description: INTERIOR ONLY-Convert former Elmo's T-shirt shop to new

FEES PAID

0026-033-3330-0000-4345

BUILDING PERMIT FEES

PLAN EXAMINATION

0026-033-3330-0000-4345

\$975.00

Total Fees for Account 0026-033-3330-0000-4345:

\$975.00

Total Fees Paid:

\$975.00

Date Paid: Friday, November 4, 2016

Paid By: LOGOS

Address: , ,

Pay Method: CREDIT CARD TYPE NOT



Structural Evaluation Report

Report No.: 0160038-R01-00
To: R.W Mercer Co.
c/o Matt Stoddard, LEED AP
12870 Inkster Road
Redford Township, MI 48239
Date: November 3, 2016
Subject: Engineering Evaluation Report
220 South Main Street
Ann Arbor, MI
Adjacent Building Roof Top Unit HVAC

Scope of Services:

LaVere Structural Consulting, LLC (LSC) has been retained to provide an engineering evaluation of the roof framing of the 1-story building adjacent to 220 South Main Street, Ann Arbor, MI for the installation of an approximately 1,000 pound HVAC unit on the roof of the subject building. LSC's scope of services is limited to:

1. Site visit to verify the existing conditions.
2. Analysis of the existing components to support the proposed HVAC unit (assuming wood joist construction).
3. Provision of a written report with hand sketches or CAD drawings to qualify the existing condition as sufficient, or otherwise specify repairs and modifications required. All documents for permitting shall be sealed and signed by a professional engineer, licensed in the State of Michigan.

Site Visit Description:

A representative of LSC visited the project site on the morning of Monday, October 31, 2016. 220 South Main Street in Ann Arbor, MI is a 3-story, brick masonry building. The ground level space of the building was being remodeled as a bar/restaurant at the time of the inspection. The remodeling of 220 South Main Street requires a new HVAC unit to be installed on the roof of the adjacent building to the south of the 220 South Main Street. The HVAC unit will be installed in the northwest corner of the adjacent building, and the ductwork passed through new penetrations through the walls of 220 South Main Street.

The adjacent building to the south of 220 South Main Street is a 1-story brick masonry building, with a wood joist and steel beam roof structure. There are 2 layers of framing that will require modification for the HVAC unit installation. The lower level of framing provides structural support for the roof are 2x12 joists spanning approximately 21'-6" in the east-west (front-to-back) direction from the west building wall to a 12" deep steel I-beam. The 2x12 joists are sheathed on top with wood plank sheathing. Above the 2x12 joists is an interstitial space, followed by a layer of 2x6 joists spanning in the north-south (side-to-side) direction. The 2x6 joists are supported with wood blocks off the 2x12 framing level. It is

presumed that the 2x6 layer was installed to provide drainage slope or create a level surface between uneven areas for the existing roof membrane.

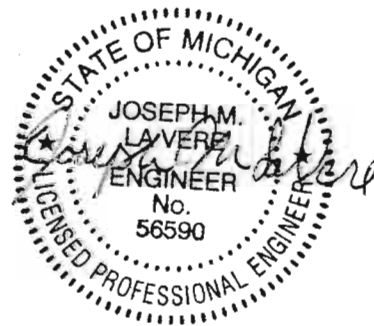
In consultation with R.W. Mercer Co.'s representatives at the site, LSC evaluated an area of framing in the northwest corner of the building for support of the new HVAC unit. The existing 2x12 joists will require support in order to support the new HVAC unit and ductwork penetrations.

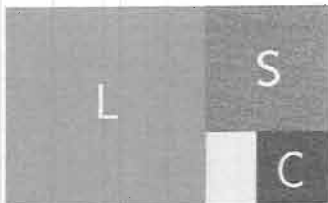
LSC has sized new 2-ply 1.75"x18" LVL beams and 3-ply wood stud columns to be installed in the area below the proposed HVAC unit location. The new LVL beams are to span approximately 6'-0" from the north masonry wall of the building to a wood framed wall on a CMU foundation wall. The wood stud columns will be installed in the existing wood framed wall. In addition to the LVL beams, a new steel lintel will be required for the duct penetrations. The lintel consists of (2) L3x3x1/4 angles and a 3/8" thick steel plate between the angles. The full thickness of the walls to be penetrated is not known, so the width of the plate must be verified in the field. The steel lintel is also designed to support loads based on arching of the masonry. The load assumption of masonry arching will require that the lintel be installed at least 4'-0" below the lowest bearing level of beams or joists above the lintel, and at least 3'-0" from the end of the wall. Enclosed with this report is a copy of sealed calculations and hand sketches of a framing plan and details. Refer to the enclosed plan and detail sketches for full notes and requirements.

For questions or concerns regarding this report, please contact Joseph M. LaVere, P.E. at LaVere Structural Consulting, LLC.

Joseph M. LaVere, P.E.
Principal

Encl.: Structural calculations and sketches (8 pages)

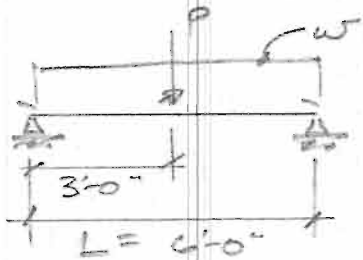




LaVere Structural Consulting, LLC

Title STAR BAR		Sheet No. 1 of 8
Job No. 3160038	By JML 11/02/2016	Chk. / /

LVL 1



$$P = 700 \#$$

$$w = \frac{21.5'}{2} \times 55 \text{ psf} = 591 \text{ plf}$$

$$M_{max} = \frac{PL}{4} + \frac{wL^2}{8}$$

$$M_{max} = \frac{700 \# \times 72"}{4} + \frac{591 \text{ plf} \times (72")^2}{8} = 395568 \text{ in}\cdot\text{lb}$$

$$F_b' = 2600 \text{ psi (LVL)}$$

$$S_{min} = M_{max} / F_b' = 395568 / 2600 = 152.1 \text{ in}^3$$

$$S = (1/6) \times 3.5" \times h^2$$

$$h_{min} = \sqrt{\frac{6 \times 152.1 \text{ in}^3}{3.5"}} = 16.15" \Rightarrow (2) \text{ PLY } 18" \text{ LVL}$$

$$\text{REACTION: } P/2 + \frac{wL}{2} = 350 \# + 591 \times 3' = 2123 \#$$

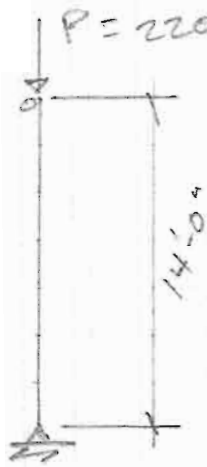




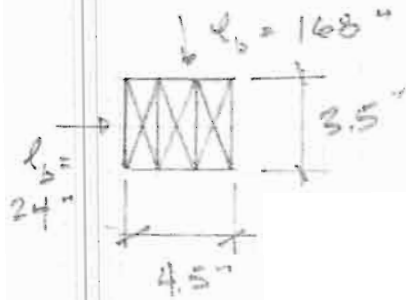
LaVere Structural Consulting, LLC

Title STAR BAR		Sheet No. 2 of 8
Job No. 5160038	By JML 11/10/2016	Chk. / /

POST DESIGN



* TRY (3) 2x4 STUDS BRACED
LATERALLY AT 2'-0"



$$f_c = \frac{2200 \#}{3.5" \times 4.5"} = 140 \text{ psi}$$

$$F_{CE} = \frac{0.322 \times 410,000 \text{ psi}}{(168" / 3.5")^2} = 157$$

$$F_2^* = 1.05 \times 675 \text{ psi} = 709 \text{ psi}$$

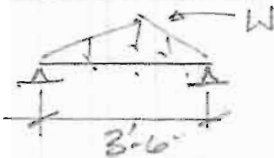
$$C_p = \frac{1 + \left(\frac{157}{709}\right)^{0.763}}{2 \times 0.8} = \sqrt{\left[\frac{1 + \left(\frac{44}{157}\right)^2}{2 \times 0.8}\right]^2 - \frac{157}{49.9} / 709}$$

$$C_p = 0.069 \quad 0.2098$$

$$F_c' = 709 \text{ psi} \times 0.069 = 49.2 \text{ psi} \rightarrow \text{OK}$$

$$F_c' = 709 \text{ psi}; F_{CE} = 0.322$$

LINTEL DESIGN

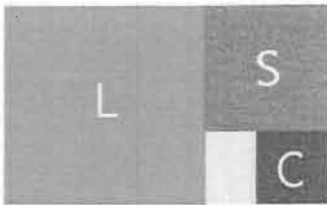


$$W = \frac{2' \times 3.5'}{2} \times 120 \text{ psf} = 420 \# = 0.42 \text{ k}$$

$$M_{max} = Wl/6 = 0.42 \text{ k} \times 42" / 6 = 2.94 \text{ in-k}$$

$$Z_{min} = \frac{2.94 \times 1.67'}{36 \text{ ksi}} = 0.14 \text{ in}^3$$

$$\rightarrow (2) L3 \times 3 \times 1/4 \text{ OK} \quad (Z = 2 \times 1.02 = 2.04 \text{ in}^3)$$



LaVere Structural Consulting, LLC

Title STAR BAR		Sheet No. 3 of 8
Job No. 0160033	By JML 11/02/2016	Chk. / /

STEEL BEAM CHECK

SHAPE: W12x22

$$F_y = 36 \text{ ksi}$$

$$L = 16' ; L_b = 16' 0''$$

$$\text{LOAD: } w = 21.5' \times 55 \text{ psf} = 1183 \text{ plf}$$

$$P = 1000 \text{ lbs}$$

$$M_{\text{max}} = \frac{wL^2}{8} + \frac{PL}{4}$$

$$\therefore M = \frac{1183 \text{ plf} \times (16')^2}{8} + \frac{10 \text{ k} \times 16'}{4} = 41.9 \text{ kft} \\ = 502 \text{ in-k}$$

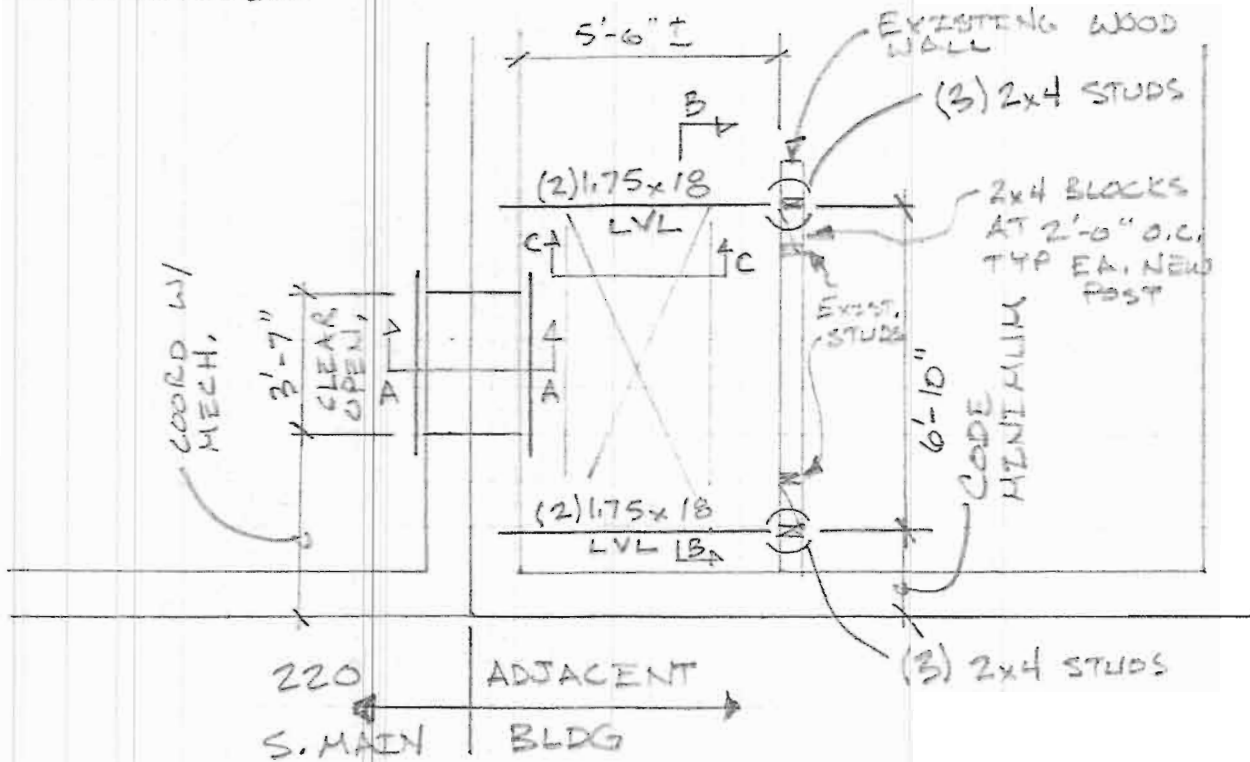
$$M_n / \Omega = \frac{F_y Z_x}{1.67} = \frac{36 \text{ ksi} \times 29.3 \text{ in}^3}{1.67} = 631.6 \text{ in-k}$$

$$M_n / \Omega > M \quad \therefore \text{OK}$$



LaVere Structural Consulting, LLC

Title STAC BAR		Sheet No. 4 of 8
Job No. 0160038	By JLL 11 / 02 / 2016	Chk. / /



NOTES:

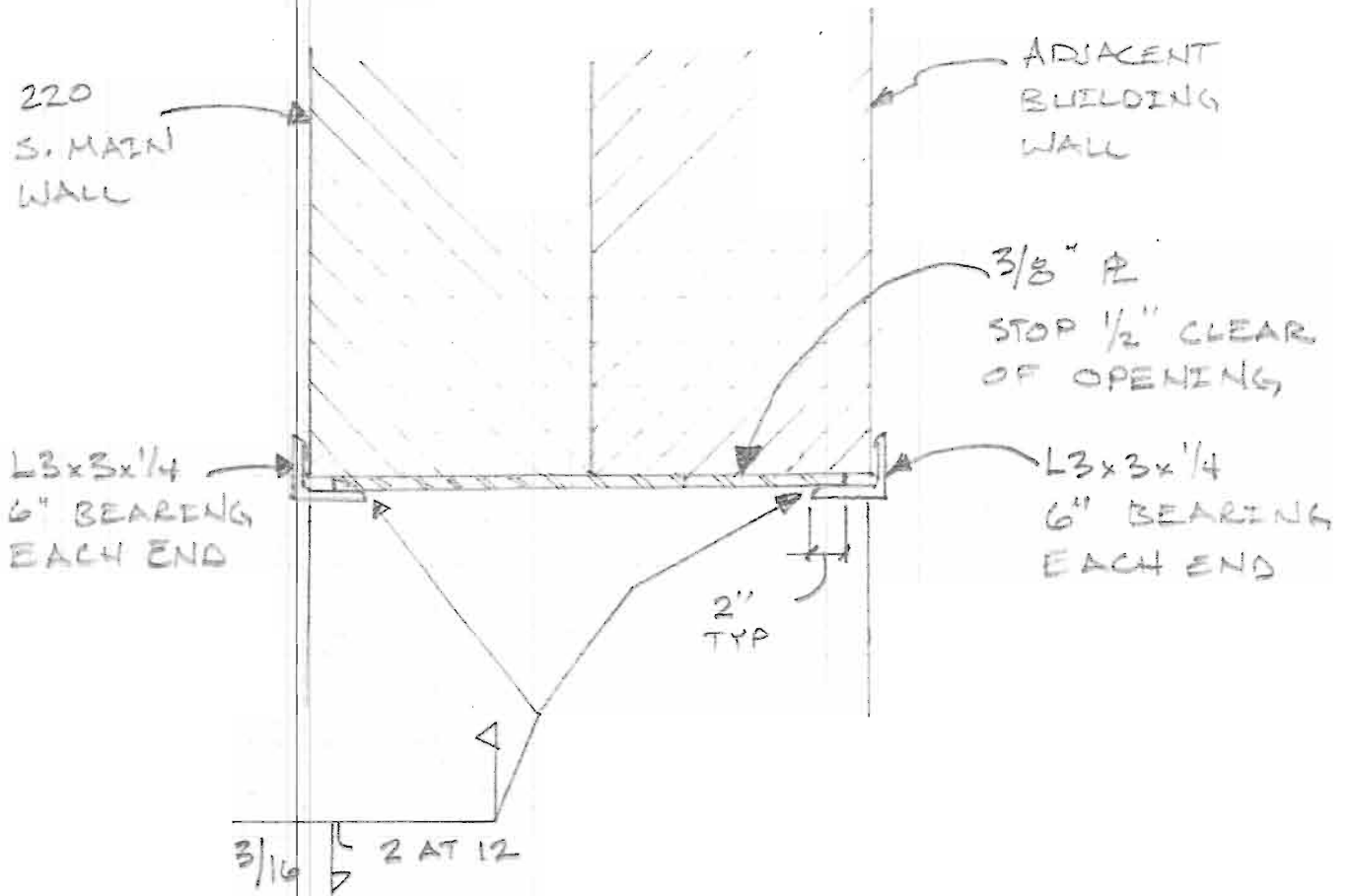
- 1) LVLs ON MASONRY SHALL BEAR ON 2x6 PRESERVATIVE TREATED PLATE ANCHORED W/ (2) 1/2" WEDGE ANCHORS
- 2) L3x3x1/4 LATES SHALL BE INSTALLED A MIN. OF 4'-6" BELOW THE BEARING ELEVATION OF FLOOR OR ROOF JOISTS ABOVE.
- 3) SEE DETAIL "D" FOR LVL BEARING ON (3)-PLY (2x4) STUD POST.

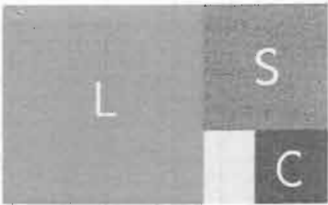


LaVere Structural Consulting, LLC

Title STAR BAR		Sheet No. 5 of 8
Job No. 0160038	By JML 11/02/2016	Chk. 1 1

SECTION A-A

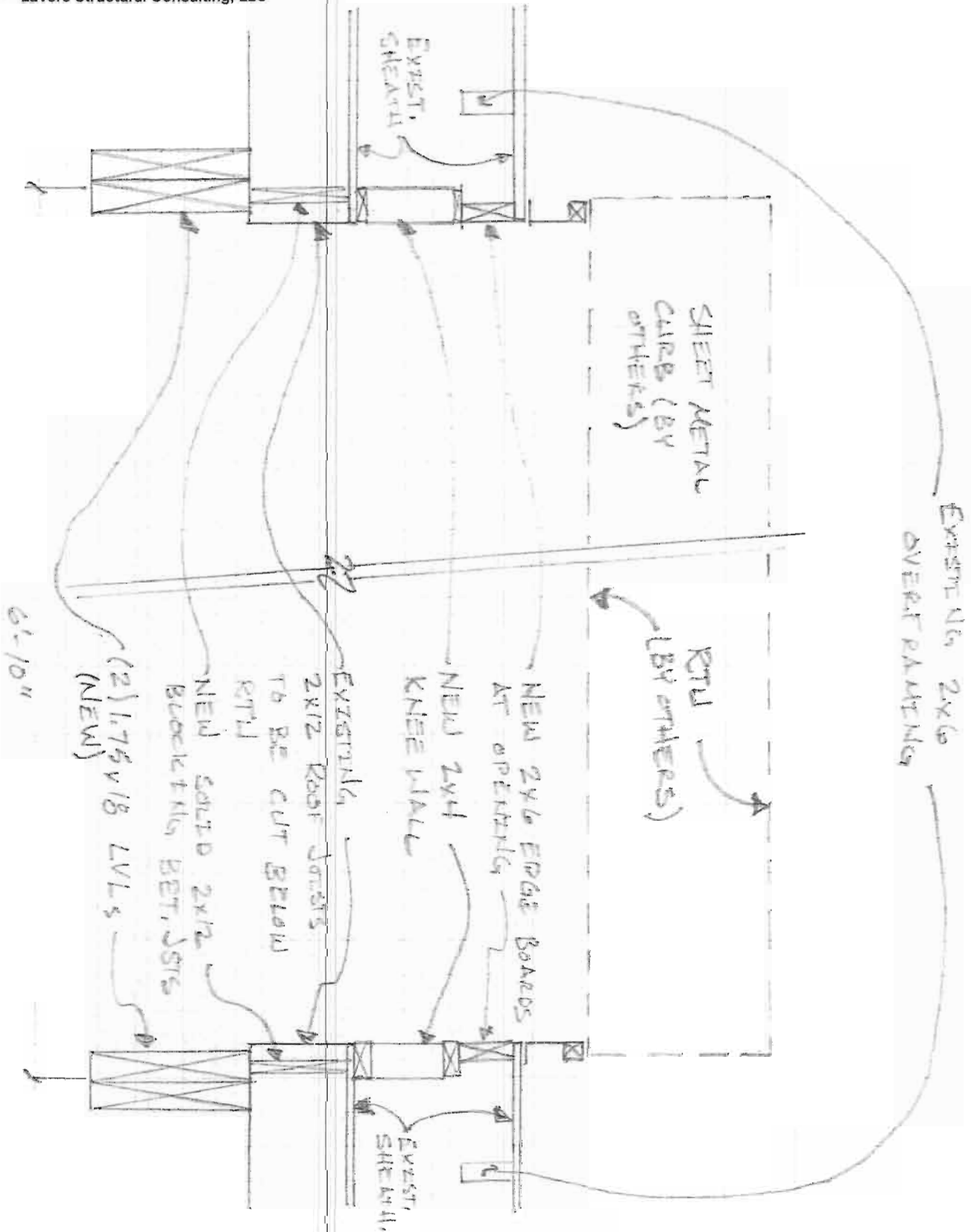




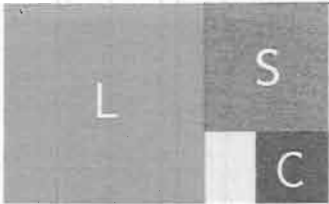
LaVere Structural Consulting, LLC

Title STAR BAR	Sheet No. 6 of 8
Job No. 0160038	By JML 10/10/2016
	Chk. / /

SECT. B-B



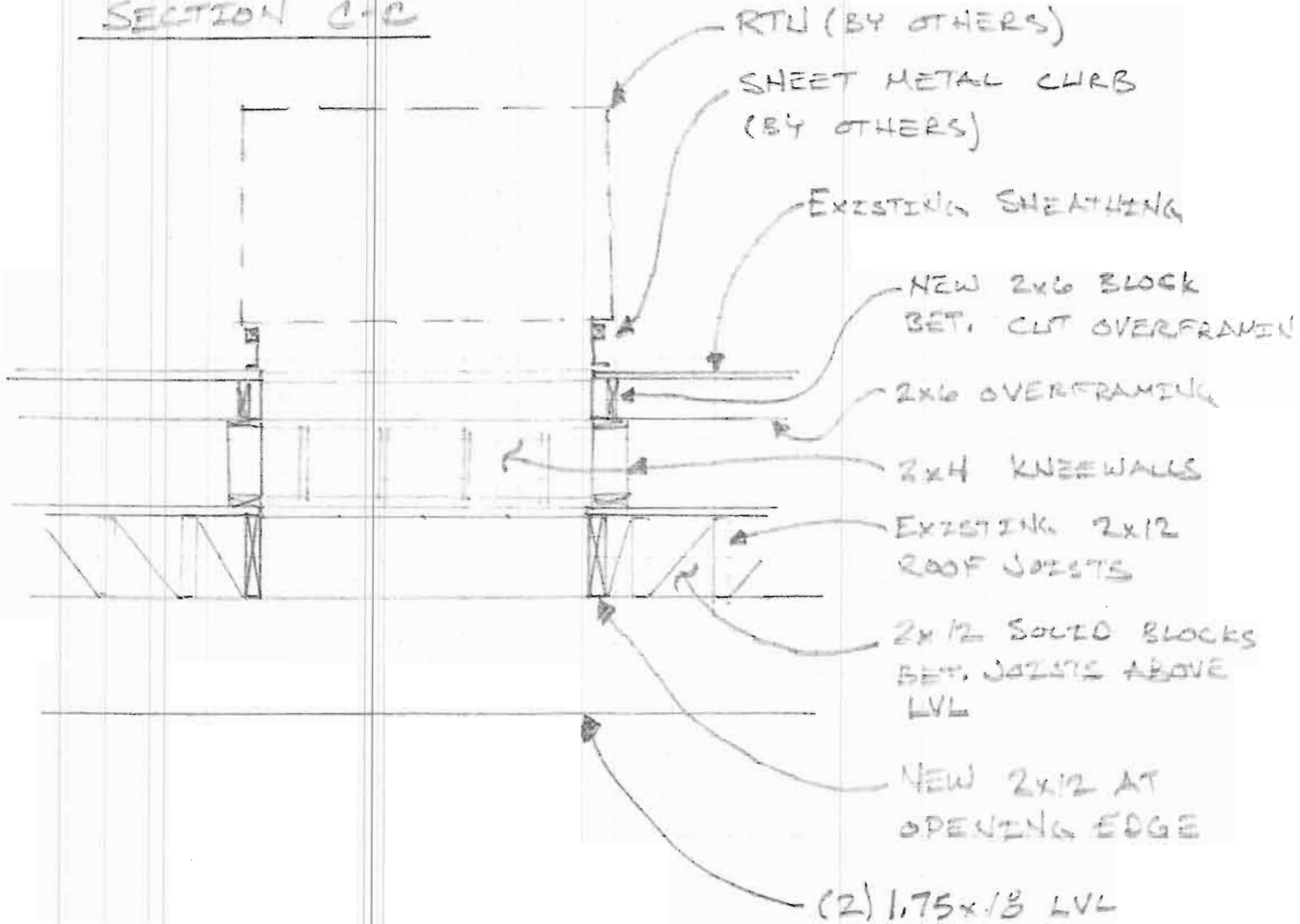
615 Griswold Street, Detroit, MI 48226
 PO Box 201198, Ferndale, MI 48220-1198
 313.262.6947 • www.laverestructural.com



LaVere Structural Consulting, LLC

Title STAR BAR		Sheet No. 7 of 8
Job No. 0120038	By JML 11 102 12016	Chk. / /

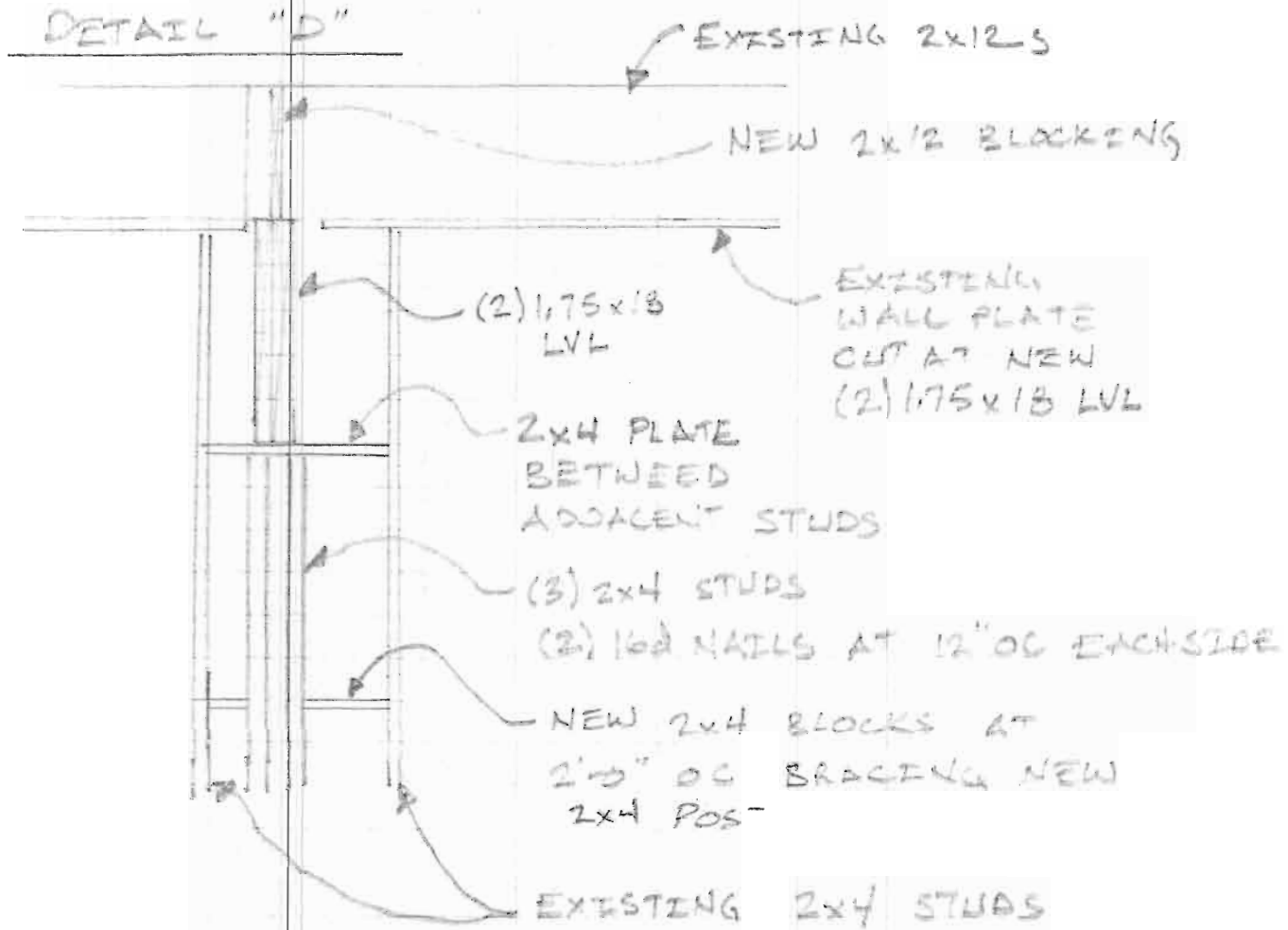
SECTION C-C





LaVere Structural Consulting, LLC

Title STAR BAR		Sheet No. 8 of 8
Job No. 0160038	By JML 11/02/2016	Chk. / /



BAR STAR

220 S. MAIN STREET
ANN ARBOR, MI 48104

GENERAL NOTES:

THE ELECTRIC SERVICE IS EXISTING IN THE FIRST FLOOR ELECTRIC ROOM. HVAC SERVICE IS EXISTING FROM BASEMENT LEVEL. MECHANICAL ROOM PLUMBING IS EXISTING IN SPACE.

DEMOLITION NOTES:

REMOVE WALLS, DOORS, FRAMES, & ELECTRICAL AS INDICATED ON PLAN.
REMOVE OUTLETS & ELECTRICAL WITHIN WALLS TO BE DEMOLISHED. SHALL BE REMOVED AND/OR CAPPED. REMOVE WIRE CONDUIT AND/OR CABLE BACK TO SOURCE (PHONE BOARD OR ELECTRICAL PANEL).

ALL MATERIALS FROM DEMOLITION SHALL BE DISPOSED OF IN ACCORDANCE WITH CITY, STATE, & FEDERAL REGULATION, UNLESS INDICATED TO BE SALVAGED.

ARCHITECTURAL NOTES:

DO NOT SCALE DRAWINGS.

CONTRACTOR SHALL PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION.

ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL STATE, AND FEDERAL CODES AND LAWS.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE BUILDING AND OTHER PERMITS REQUIRED FOR THE COMPLETION OF THE WORK.

ALL DIMENSION LUMBER: PLYWOOD, PARTICLE BOARD, FLUORING AND NON-COMBUSTIBLE.

CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESOLVING ALL CONFLICTS OR DISCREPANCIES, CONFLICTS OR DISCREPANCIES IN THE CONSTRUCTION DOCUMENTS AND BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS. AN ADDENDUM WILL BE ISSUED AS NECESSARY AND WILL BE SUBJECT TO THE ATTENTION OF THE ARCHITECT. PROVISIONS DISCREPANCIES MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND DEBRIS AND PROVIDE FINAL CLEAN-UP OF JOB SITE PRIOR TO MOVE-IN.

CONTRACTOR TO PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE THE SAFETY OF THE EXISTING TENANT AND GENERAL PUBLIC DURING CONSTRUCTION.

COORDINATE ALL WORK BEFORE AND DURING CONSTRUCTION WITH ALL OTHER AFFECTED TRADES.

WHERE INTERFERENCES DEVELOP, NOTIFY ARCHITECT FOR RESOLUTION OF CONFLICT.

RELOCATION OF CONFLICTING INSTALLED WORK, DUE TO LACK OF COORDINATION, OR POOR COORDINATION WILL NOT BE CONSIDERED EXTRA WORK.

FLOOR CONSTRUCTION SHALL MEET UL LISTING FOR 1 HR FIRE RATING WITH 1/2" HARDY BACKER + TILE.

ELECTRICAL NOTES:

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD).

ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.

CONTRACTOR SHALL INSTALL NEW EMERGENCY LIGHTS, W/BATTERY BACKUP, AND EXIT SIGNS W/BATTERY BACKUP THROUGHOUT AS REQUIRED BY ALL CODES AND THE LOCAL FIRE MARSHAL. CONTRACTOR SHALL FIELD INSPECT EXISTING FIXTURES LOCATE BOXES BACK-TO-BACK WITHIN PARTITIONS. STAGGER AS REQUIRED TO MINIMIZE SOUND TRANSMISSION.

ALL BAR ELECTRICAL EQUIPMENT AND LIGHT FIXTURES ARE OWNER FURNISHED. CONTRACTOR TO FIELD VERIFY EXISTING DIMENSIONS. CONTRACTOR(S) SHALL SUBMIT SHOP DRAWINGS, SAMPLES OR MANUFACTURERS LITERATURE OF ALL EQUIPMENT TO BE INSTALLED. CONTRACTOR SHALL DETERMINE COMPLIANCE WITH QUALITY STANDARDS AND DESIGN INTENT.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

LOCATE POWER AND COMMUNICATION RECEPICLES TO NEAREST STUD IN APPROXIMATE POSITION INDICATED ON PLANS. PROVIDE BRIDGING BETWEEN STUDS AS REQUIRED FOR ALL DIMENSIONED RECEPICLE LOCATIONS. DO NOT LOCATE BOXES BACK-TO-BACK WITHIN PARTITIONS. STAGGER AS REQUIRED TO MINIMIZE SOUND TRANSMISSION.

CONTRACTOR TO PROVIDE THE FOLLOWING:
INSTALL EQUIPMENT, WHICH IS OWNER FURNISHED,
AS NOTED ON SCHEDULES.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION, TESTING AND BALANCING OF THE HVAC SYSTEM. MODIFY AND SUPPLEMENT EXISTING SYSTEM AS NECESSARY. AIR DUCTS AND RETURN AIR GRILLES SHALL BE DAMPERED AS REQUIRED.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

HVAC THERMOSTAT CONTROL FOR ALL ROOMS SHALL BE LOCATED WITHIN THE THERMOSTAT AND THE SUPPLY DIFFUSERS WHICH ARE CONTROLLED BY THAT THERMOSTAT.

HVAC CONTRACTOR SHALL VERIFY WORKING CONDITION OF ALL VAV BOXES, EXHAUST FANS AND ANY OTHER DEVICES DIRECTLY RELATED TO THE HVAC SYSTEM. CONTRACTOR SHALL NOTIFY TENANT REP. IMMEDIATELY UPON DISCOVERY OF ANY DEFECTIVE DEVICES.

HVAC CONTRACTOR TO VERIFY WORKING CONDITION OF EVERY THERMOSTAT AND REPLACE IF NECESSARY (TYPICAL THROUGHOUT).

UPON COMPLETION OF THE WORK, HVAC CONTRACTOR SHALL PROVIDE TO THE TENANT REP. A DRAWING (AT 1/8" = 1'-0") INDICATING THE LOCATION OF EACH THERMOSTAT AND THE SUPPLY DIFFUSERS WHICH ARE CONTROLLED BY THAT THERMOSTAT.

FURNISH AND INSTALL SPIRAL DUCT SUPPLY AIR DISTRIBUTION SYSTEMS FROM EXISTING RMTU PACKAGE UNIT IN MECH. CLOSET.

SUPPLY AIR GRILLES TO BE SIDE MOUNT TYPE MOUNTED ON SPIRAL SUPPLY AIR DUCT.

INSTALL EXISTING UNIT MOUNTED THERMOSTAT ON WALL.

(1) IN LINE EXHAUST FAN INSTALLED ON EXISTING EXHAUST DUCT VENTED TO OUTSIDE.

DEFINED SUBMITTALS:
ALL ENGINEERED DRAWINGS ARE TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

ELECTRICAL DRAWINGS
HVAC DRAWINGS
PLUMBING DRAWINGS
FIRE SUPPRESSION DRAWINGS
FIRE ALARM DRAWINGS

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD).

ALL NEW TELEPHONE AND DATA WIRING SHALL BE CONTAINED IN METAL WIRE CABLE TRAYS.

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD).

CONTRACTOR SHALL PROVIDE OR REWORK PLUMBING SYSTEM PER INFORMATION ON DRAWINGS.

ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION, TESTING AND BALANCING OF THE HVAC SYSTEM. MODIFY AND SUPPLEMENT EXISTING SYSTEM AS NECESSARY. AIR DUCTS AND RETURN AIR GRILLES SHALL BE DAMPERED AS REQUIRED.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

HVAC THERMOSTAT CONTROL FOR ALL ROOMS SHALL BE LOCATED WITHIN THE THERMOSTAT AND THE SUPPLY DIFFUSERS WHICH ARE CONTROLLED BY THAT THERMOSTAT.

HVAC CONTRACTOR SHALL VERIFY WORKING CONDITION OF ALL VAV BOXES, EXHAUST FANS AND ANY OTHER DEVICES DIRECTLY RELATED TO THE HVAC SYSTEM. CONTRACTOR SHALL NOTIFY TENANT REP. IMMEDIATELY UPON DISCOVERY OF ANY DEFECTIVE DEVICES.

HVAC CONTRACTOR TO VERIFY WORKING CONDITION OF EVERY THERMOSTAT AND REPLACE IF NECESSARY (TYPICAL THROUGHOUT).

UPON COMPLETION OF THE WORK, HVAC CONTRACTOR SHALL PROVIDE TO THE TENANT REP. A DRAWING (AT 1/8" = 1'-0") INDICATING THE LOCATION OF EACH THERMOSTAT AND THE SUPPLY DIFFUSERS WHICH ARE CONTROLLED BY THAT THERMOSTAT.

FURNISH AND INSTALL SPIRAL DUCT SUPPLY AIR DISTRIBUTION SYSTEMS FROM EXISTING RMTU PACKAGE UNIT IN MECH. CLOSET.

SUPPLY AIR GRILLES TO BE SIDE MOUNT TYPE MOUNTED ON SPIRAL SUPPLY AIR DUCT.

INSTALL EXISTING UNIT MOUNTED THERMOSTAT ON WALL.

(1) IN LINE EXHAUST FAN INSTALLED ON EXISTING EXHAUST DUCT VENTED TO OUTSIDE.

DEFINED SUBMITTALS:
ALL ENGINEERED DRAWINGS ARE TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

ELECTRICAL DRAWINGS
HVAC DRAWINGS
PLUMBING DRAWINGS
FIRE SUPPRESSION DRAWINGS
FIRE ALARM DRAWINGS

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD).

ALL NEW TELEPHONE AND DATA WIRING SHALL BE CONTAINED IN METAL WIRE CABLE TRAYS.

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD).

CONTRACTOR SHALL PROVIDE OR REWORK PLUMBING SYSTEM PER INFORMATION ON DRAWINGS.

ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION, TESTING AND BALANCING OF THE HVAC SYSTEM. MODIFY AND SUPPLEMENT EXISTING SYSTEM AS NECESSARY. AIR DUCTS AND RETURN AIR GRILLES SHALL BE DAMPERED AS REQUIRED.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

HVAC THERMOSTAT CONTROL FOR ALL ROOMS SHALL BE LOCATED WITHIN THE THERMOSTAT AND THE SUPPLY DIFFUSERS WHICH ARE CONTROLLED BY THAT THERMOSTAT.

HVAC CONTRACTOR SHALL VERIFY WORKING CONDITION OF ALL VAV BOXES, EXHAUST FANS AND ANY OTHER DEVICES DIRECTLY RELATED TO THE HVAC SYSTEM. CONTRACTOR SHALL NOTIFY TENANT REP. IMMEDIATELY UPON DISCOVERY OF ANY DEFECTIVE DEVICES.

HVAC CONTRACTOR TO VERIFY WORKING CONDITION OF EVERY THERMOSTAT AND REPLACE IF NECESSARY (TYPICAL THROUGHOUT).

UPON COMPLETION OF THE WORK, HVAC CONTRACTOR SHALL PROVIDE TO THE TENANT REP. A DRAWING (AT 1/8" = 1'-0") INDICATING THE LOCATION OF EACH THERMOSTAT AND THE SUPPLY DIFFUSERS WHICH ARE CONTROLLED BY THAT THERMOSTAT.

FURNISH AND INSTALL SPIRAL DUCT SUPPLY AIR DISTRIBUTION SYSTEMS FROM EXISTING RMTU PACKAGE UNIT IN MECH. CLOSET.

SUPPLY AIR GRILLES TO BE SIDE MOUNT TYPE MOUNTED ON SPIRAL SUPPLY AIR DUCT.

INSTALL EXISTING UNIT MOUNTED THERMOSTAT ON WALL.

(1) IN LINE EXHAUST FAN INSTALLED ON EXISTING EXHAUST DUCT VENTED TO OUTSIDE.

DEFINED SUBMITTALS:
ALL ENGINEERED DRAWINGS ARE TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

ELECTRICAL DRAWINGS
HVAC DRAWINGS
PLUMBING DRAWINGS
FIRE SUPPRESSION DRAWINGS
FIRE ALARM DRAWINGS

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD).

ALL NEW TELEPHONE AND DATA WIRING SHALL BE CONTAINED IN METAL WIRE CABLE TRAYS.

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD).

CONTRACTOR SHALL PROVIDE OR REWORK PLUMBING SYSTEM PER INFORMATION ON DRAWINGS.

ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION, TESTING AND BALANCING OF THE HVAC SYSTEM. MODIFY AND SUPPLEMENT EXISTING SYSTEM AS NECESSARY. AIR DUCTS AND RETURN AIR GRILLES SHALL BE DAMPERED AS REQUIRED.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

HVAC THERMOSTAT CONTROL FOR ALL ROOMS SHALL BE LOCATED WITHIN THE THERMOSTAT AND THE SUPPLY DIFFUSERS WHICH ARE CONTROLLED BY THAT THERMOSTAT.

HVAC CONTRACTOR SHALL VERIFY WORKING CONDITION OF ALL VAV BOXES, EXHAUST FANS AND ANY OTHER DEVICES DIRECTLY RELATED TO THE HVAC SYSTEM. CONTRACTOR SHALL NOTIFY TENANT REP. IMMEDIATELY UPON DISCOVERY OF ANY DEFECTIVE DEVICES.

HVAC CONTRACTOR TO VERIFY WORKING CONDITION OF EVERY THERMOSTAT AND REPLACE IF NECESSARY (TYPICAL THROUGHOUT).

UPON COMPLETION OF THE WORK, HVAC CONTRACTOR SHALL PROVIDE TO THE TENANT REP. A DRAWING (AT 1/8" = 1'-0") INDICATING THE LOCATION OF EACH THERMOSTAT AND THE SUPPLY DIFFUSERS WHICH ARE CONTROLLED BY THAT THERMOSTAT.

FURNISH AND INSTALL SPIRAL DUCT SUPPLY AIR DISTRIBUTION SYSTEMS FROM EXISTING RMTU PACKAGE UNIT IN MECH. CLOSET.

SUPPLY AIR GRILLES TO BE SIDE MOUNT TYPE MOUNTED ON SPIRAL SUPPLY AIR DUCT.

INSTALL EXISTING UNIT MOUNTED THERMOSTAT ON WALL.

(1) IN LINE EXHAUST FAN INSTALLED ON EXISTING EXHAUST DUCT VENTED TO OUTSIDE.

DEFINED SUBMITTALS:
ALL ENGINEERED DRAWINGS ARE TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

ELECTRICAL DRAWINGS
HVAC DRAWINGS
PLUMBING DRAWINGS
FIRE SUPPRESSION DRAWINGS
FIRE ALARM DRAWINGS

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD).

ALL NEW TELEPHONE AND DATA WIRING SHALL BE CONTAINED IN METAL WIRE CABLE TRAYS.

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD).

CONTRACTOR SHALL PROVIDE OR REWORK PLUMBING SYSTEM PER INFORMATION ON DRAWINGS.

ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION, TESTING AND BALANCING OF THE HVAC SYSTEM. MODIFY AND SUPPLEMENT EXISTING SYSTEM AS NECESSARY. AIR DUCTS AND RETURN AIR GRILLES SHALL BE DAMPERED AS REQUIRED.

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

HVAC THERMOSTAT CONTROL FOR ALL ROOMS SHALL BE LOCATED WITHIN THE THERMOSTAT AND THE SUPPLY DIFFUSERS WHICH ARE CONTROLLED BY THAT THERMOSTAT.

HVAC CONTRACTOR SHALL VERIFY WORKING CONDITION OF ALL VAV BOXES, EXHAUST FANS AND ANY OTHER DEVICES DIRECTLY RELATED TO THE HVAC SYSTEM. CONTRACTOR SHALL NOTIFY TENANT REP. IMMEDIATELY UPON DISCOVERY OF ANY DEFECTIVE DEVICES.

HVAC CONTRACTOR TO VERIFY WORKING CONDITION OF EVERY THERMOSTAT AND REPLACE IF NECESSARY (TYPICAL THROUGHOUT).

UPON COMPLETION OF THE WORK, HVAC CONTRACTOR SHALL PROVIDE TO THE TENANT REP. A DRAWING (AT 1/8" = 1'-0") INDICATING THE LOCATION OF EACH THERMOSTAT AND THE SUPPLY DIFFUSERS WHICH ARE CONTROLLED BY THAT THERMOSTAT.

FURNISH AND INSTALL SPIRAL DUCT SUPPLY AIR DISTRIBUTION SYSTEMS FROM EXISTING RMTU PACKAGE UNIT IN MECH. CLOSET.

SUPPLY AIR GRILLES TO BE SIDE MOUNT TYPE MOUNTED ON SPIRAL SUPPLY AIR DUCT.

INSTALL EXISTING UNIT MOUNTED THERMOSTAT ON WALL.

(1) IN LINE EXHAUST FAN INSTALLED ON EXISTING EXHAUST DUCT VENTED TO OUTSIDE.

DEFINED SUBMITTALS:
ALL ENGINEERED DRAWINGS ARE TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.

ELECTRICAL DRAWINGS
HVAC DRAWINGS
PLUMBING DRAWINGS
FIRE SUPPRESSION DRAWINGS
FIRE ALARM DRAWINGS

LIST OF DRAWINGS

T-01 TITLE SHEET, GENERAL NOTES, LOCATION MAP, CODE ANALYSIS
A-101 FIRST FLOOR PLAN, DOOR AND EQUIPMENT SCHEDULES
A-201 INTERIOR FINISH PLAN AND LIGHT FIXTURE SCHEDULE
A-202 INTERIOR ELEVATIONS
A-203 RESTROOM TILE PATTERN ELEVATIONS
A-301 CROSS SECTIONS
A-302 WALL SECTIONS
A-303 WALL SECTIONS
AF-101 FINISH PLAN AND ROOM AND FINISH SCHEDULES

CODE ANALYSIS

REVIEW CODE
2012 MICHIGAN BUILDING CODE
A-101 2012 MICHIGAN EXISTING STRUCTURES CODE
2011 MICHIGAN ELECTRIC CODE
2009 ICC ANCI A117.1
3 STORES + BASEMENT, 2, 100 SF / FLOOR
A-2 (MBC 2012 303.3)
TYPE III-B (MBC TABLE 601)
2 STORY, 9,500 SF ALLOWED, AUTOMATIC SPRINKLER SYSTEM ALLOWS 1 STORY INCREASE (MBC TABLE 503)

TOTAL FLOORS IN BLDG.

USE GROUP

TYPE OF CONSTRUCTION

FIRE RESISTANCE RATINGS:

STRUCTURAL FRAME: 0

NON-BEARING WALLS AND PARTITIONS: 0

BEARING WALLS: 2

ROOF CONSTRUCTION: 0

OCCUPANCY LOAD

UNCONCENTRATED: 75 NET (MBC TABLE 1004.1.2)

1,000 SF 15 SF PER OCCUP. = 71 OCCUPANTS

KITCHENS, COMMERCIAL: 200 GROSS (MBC TABLE 1004.1.2)

524 SF/200 SF PER OCCUP. = 3 OCCUPANTS

EXITS PROVIDED: 2 (MBC 1015.1)

EXITS PROVIDED: 2, 1 ACCESSIBLE (MESC 4.0.6 EXCEPTION 2)

EGRESS PATH DISTANCE: NOT TO EXCEED 75' (MBC TABLE 1014.3)

74 OCCUP. * 0.2' = 14.8' REQUIRED, MIN 30'

SPRINKLER SYSTEM

RESTROOMS

NOT REQUIRED (MBC 903.2.1.2), EXISTING

WC: 1 PER 40, 2 REQUIRED (MFC 403.1)

LAU: 1 PER 75, 1 REQUIRED (MFC 403)

SEPARATE FACILITIES: YES (MFC 403.2)

SCOPE OF WORK

INTERIOR RENOVATION OF EXISTING RETAIL SPACE (GROUP M) TO A CORKYAL BAR

RENOVATION OF EXISTING RESTROOMS TO BECOME ADA COMPLIANT

BUILDING UPGRADE: EXISTING BATHROOMS TO BECOME ADA COMPLIANT

REMOVAL OF DROP CEILING GRID AND INTERIOR PARTITIONS, NEW BAR AREA, STORAGE ROOM AND SEATING, SMALL PREP AREA PROVIDED WITH STORAGE IN REAR OF SPACE.

LIFE SAFETY GRAPHIC LEGEND

FIRE-RESISTANCE RATED WALL ASSEMBLIES

15FB 15FB 15FB 9'3" 15FB

1 HOUR FIRE AND SMOKE BARRIER



LOCATION



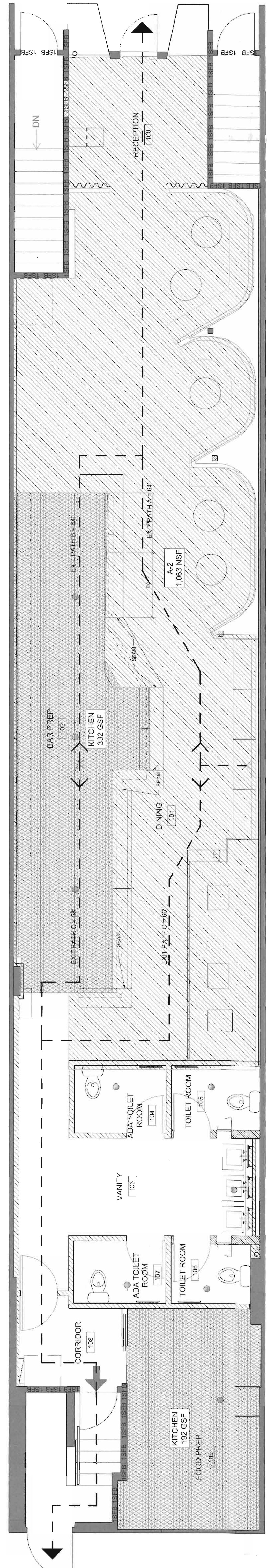
SYNECDOCHE DESIGN STUDIO
ANN ARBOR, MI 48104
1342 N MAIN ST #5
SYNECDOCHE DESIGN STUDIO, LLC
734.926.5593

TITLE SHEET

220 S. MAIN STREET
ANN ARBOR, MI 48104

BAR STAR

SYNECDOCHE DESIGN STUDIO
ANN ARBOR, MI 48104
1342 N MAIN ST #5
SYNECDOCHE DESIGN STUDIO, LLC
734.926.5593



LIFE SAFETY PLAN

1/4" = 1'-0"

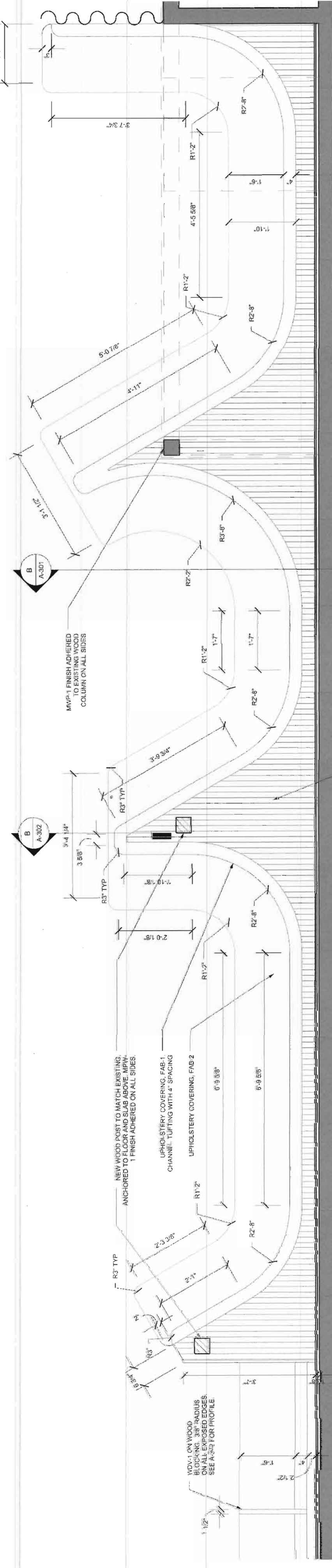
A

10/18/2016

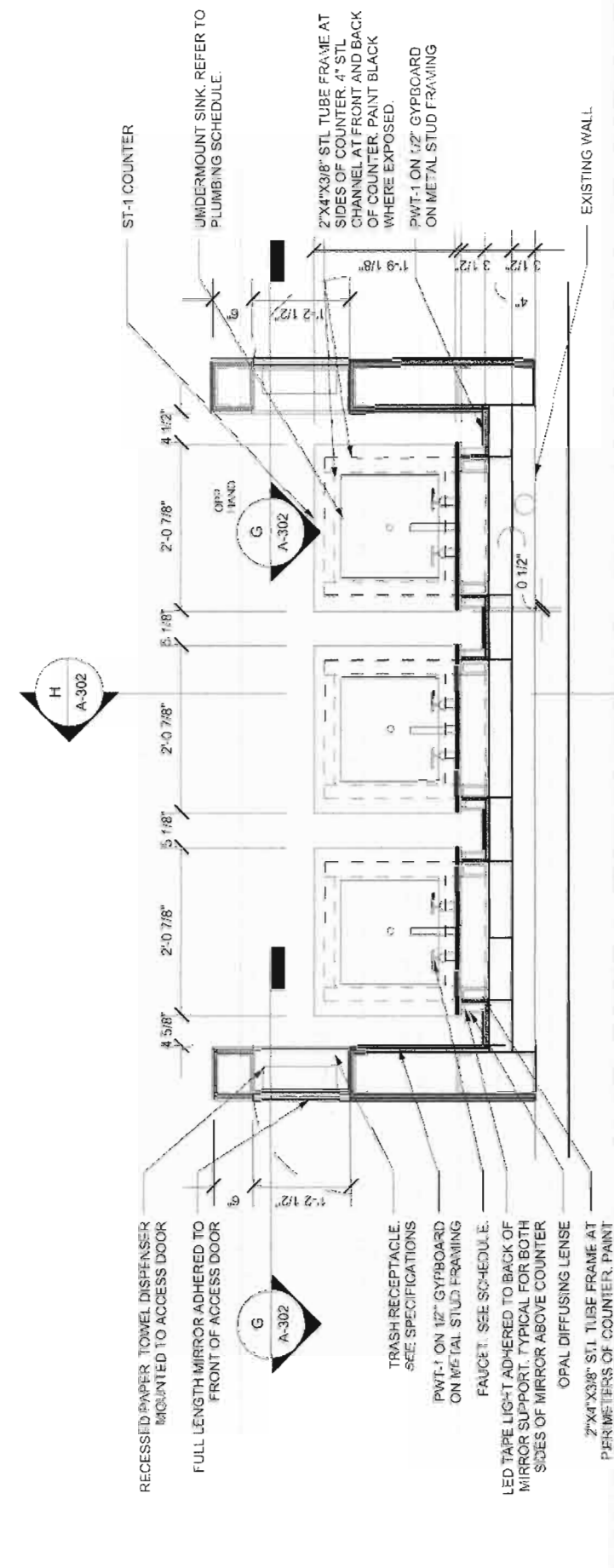
DOOR SCHEDULE			
NO.	TYPE	MANUFACTURER	FINISH
100A	NEW 1/2" DOOR	8 LADDER RAIL FLUSH HANDLE DOOR	PAINT TO MATCH EXISTING
100B	EXISTING 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
100C	EXISTING 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
104	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
105	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
106	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
107	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
108A	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
108B	EXISTING 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
109	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING

PLUMBING SCHEDULE			
NO.	TYPE	MANUFACTURER	FINISH
P1	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
P2	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
P3	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
P4	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
P5	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
P6	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
P7	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
P8	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
P9	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
P10	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
P11	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
P12	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
P13	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
P14	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
P15	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING

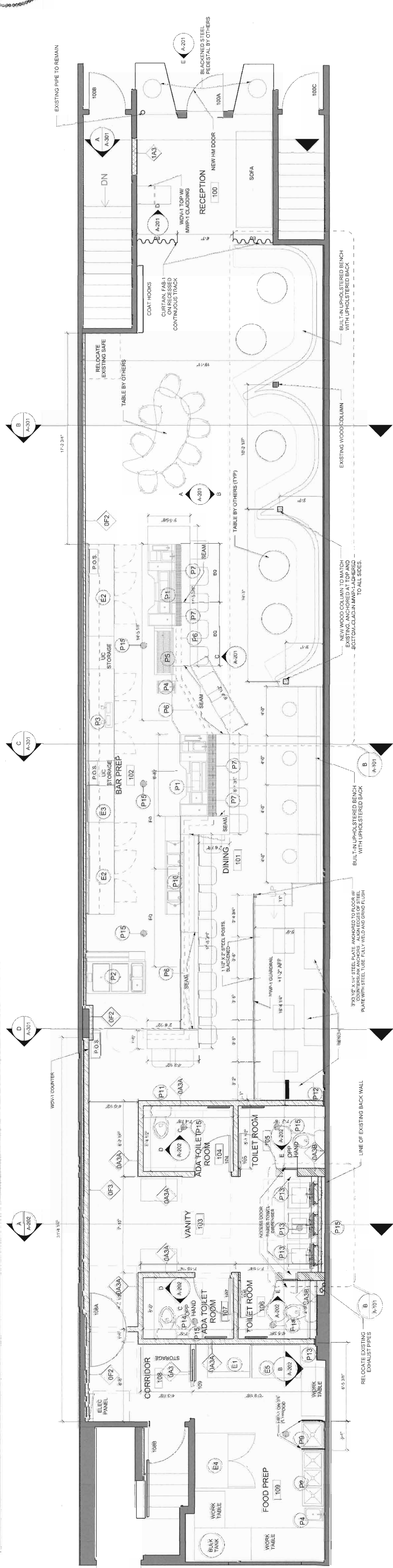
EQUIPMENT SCHEDULE			
NO.	TYPE	MANUFACTURER	FINISH
E1	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
E2	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
E3	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
E4	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING
E5	NEW 1/2" DOOR	EMERGENCY CRASH BAR	PAINT TO MATCH EXISTING



C ENLARGED FLOOR PLAN
1/2" = 1'-0"



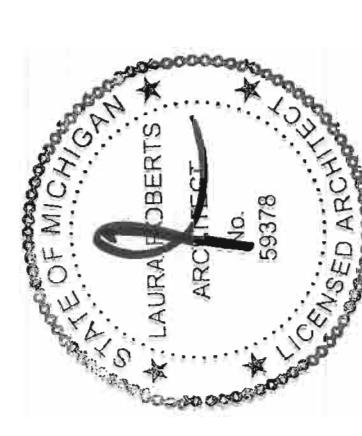
B ENLARGED FLOOR PLAN
1/2" = 1'-0"



A FLOOR PLAN
1/4" = 1'-0"

SYNECOCHE DESIGN STUDIO, LLC
1342 N MAIN ST #5
ANN ARBOR, MI 48104
734.926.5693

SYNECOCHE
DESIGN STUDIO



FLOOR PLAN, ENLARGED
PARTITIONS SCHEDULE,
EQUIPMENT SCHEDULE,
10/10/2016

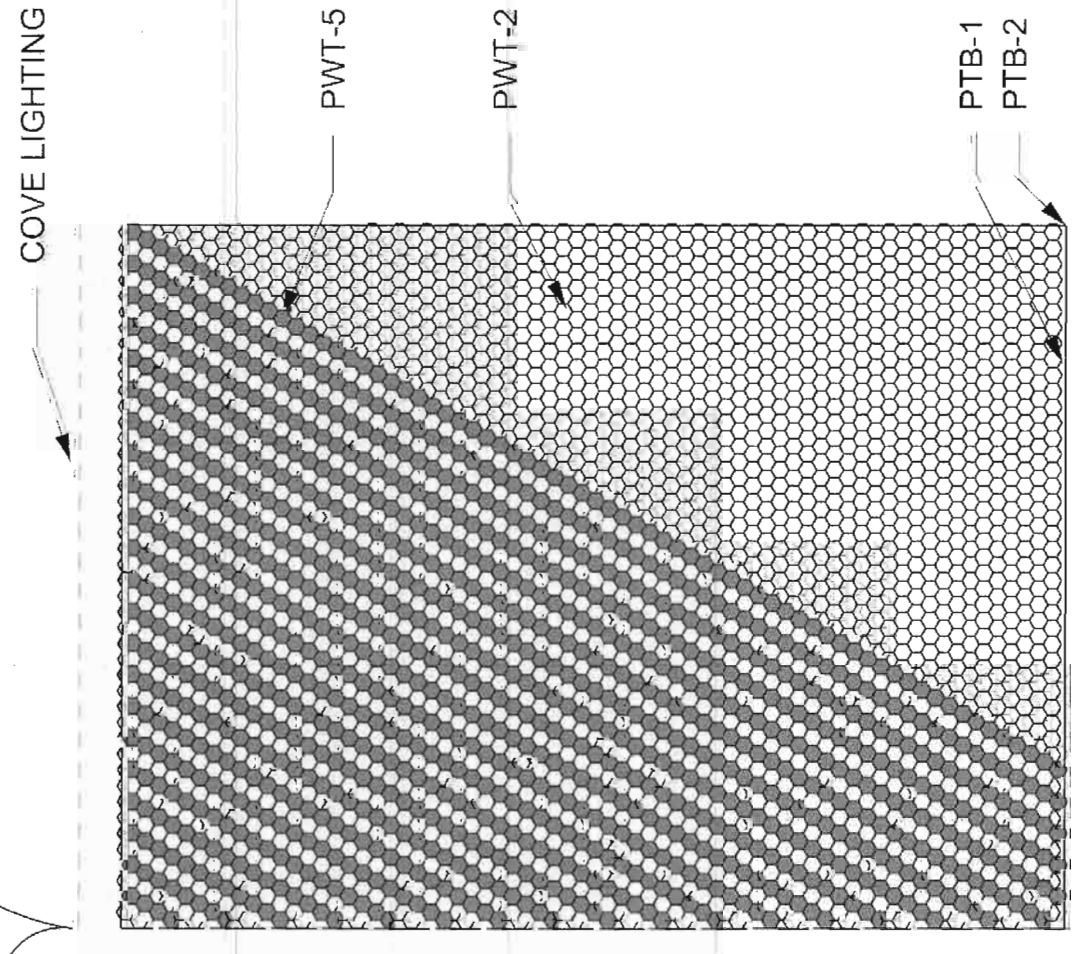
A-101



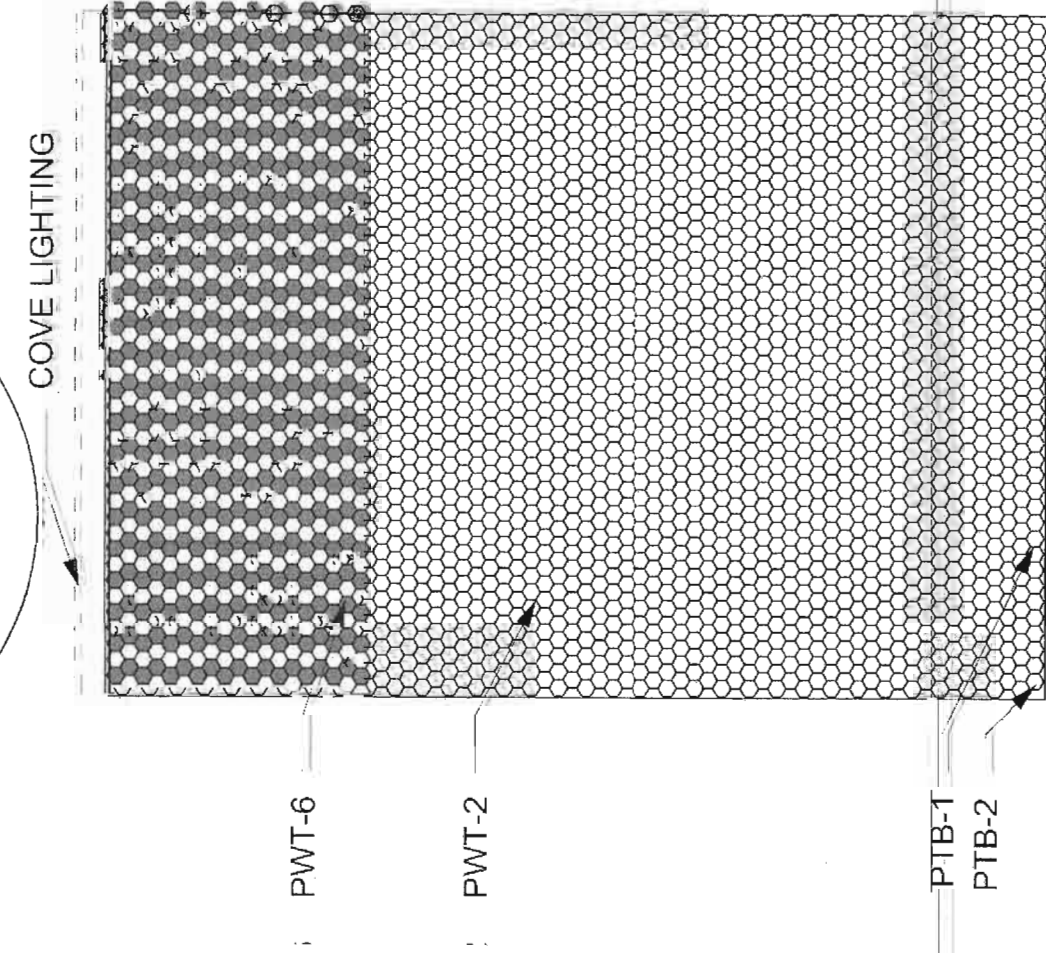
BAR STAR, LLC
220 SOUTH MAIN STREET
ANN ARBOR, MI 48104

SYNECDOCHE DESIGN STUDIO, LLC
1342 N MAIN ST #5
ANN ARBOR, MI 48104
734.926.5593

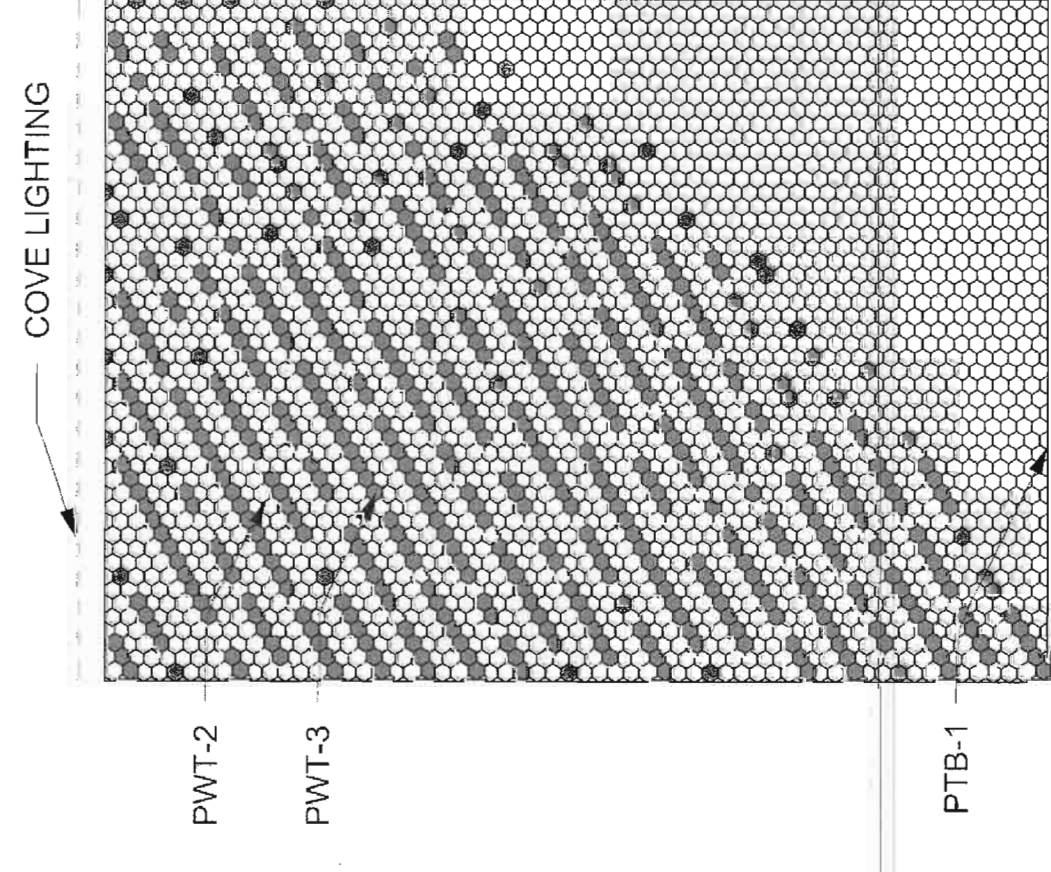
SYNECDOCHE
DESIGN STUDIO



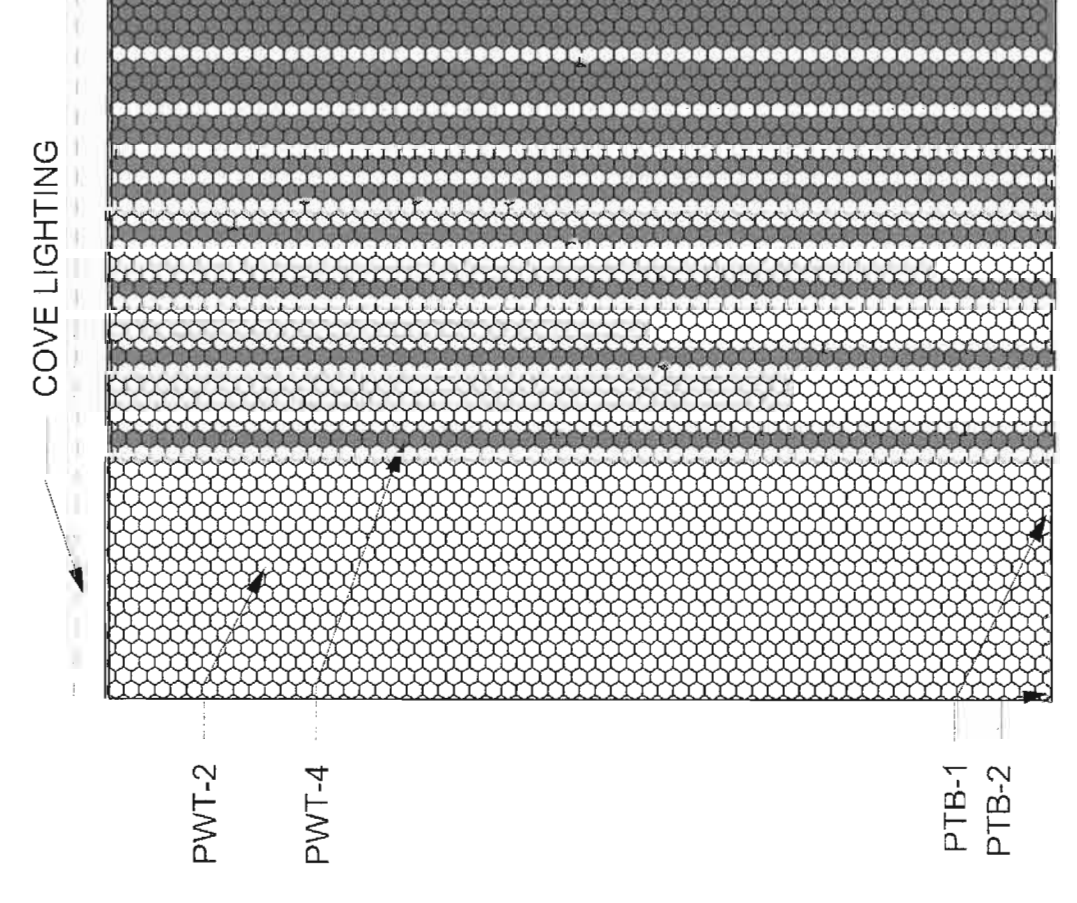
N RM 107 WEST TILE ELEVATION
1/2" = 1'-0"



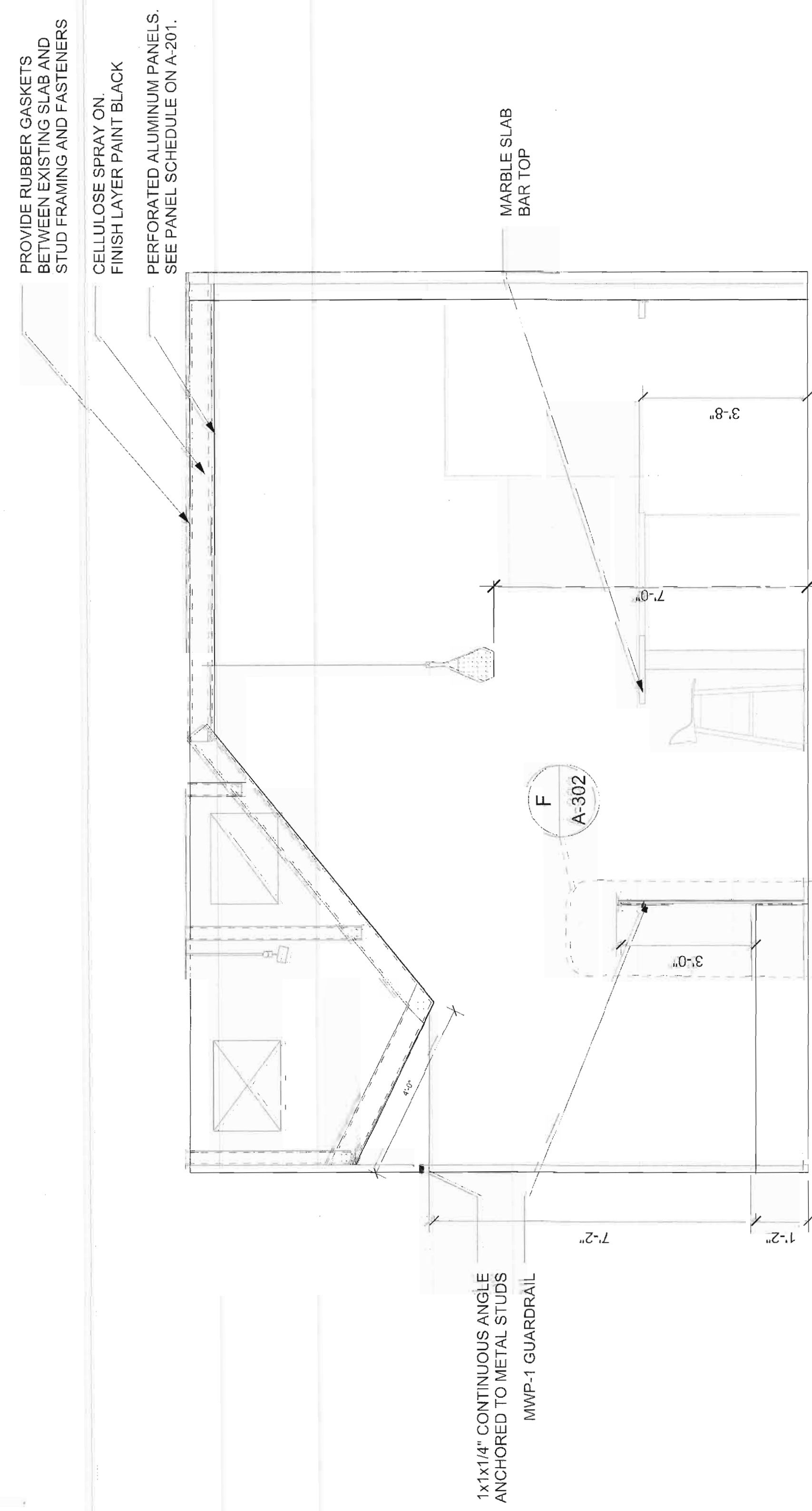
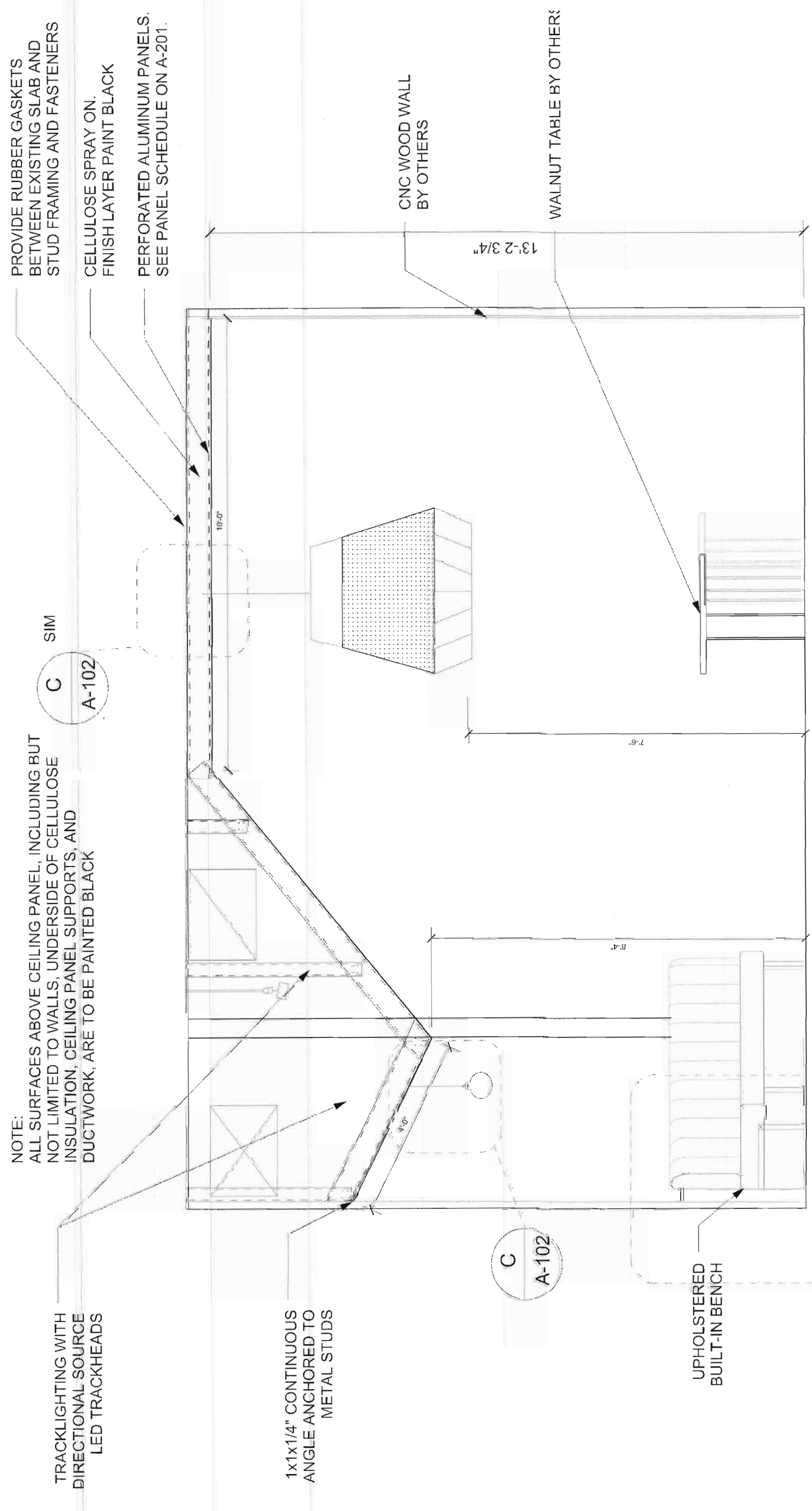
J RM 106 WEST TILE ELEVATION
1/2" = 1'-0"



G RM 105 EAST TILE ELEVATION
1/2" = 1'-0"



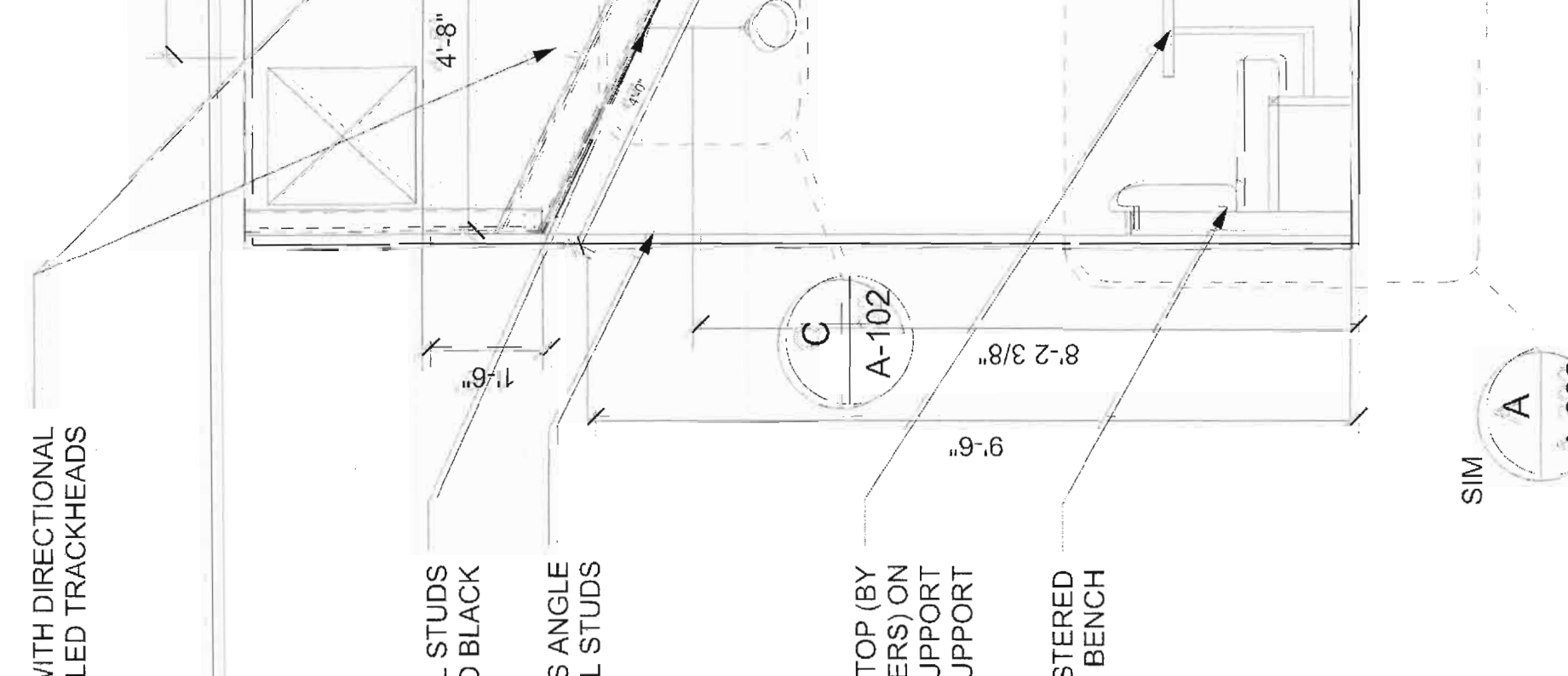
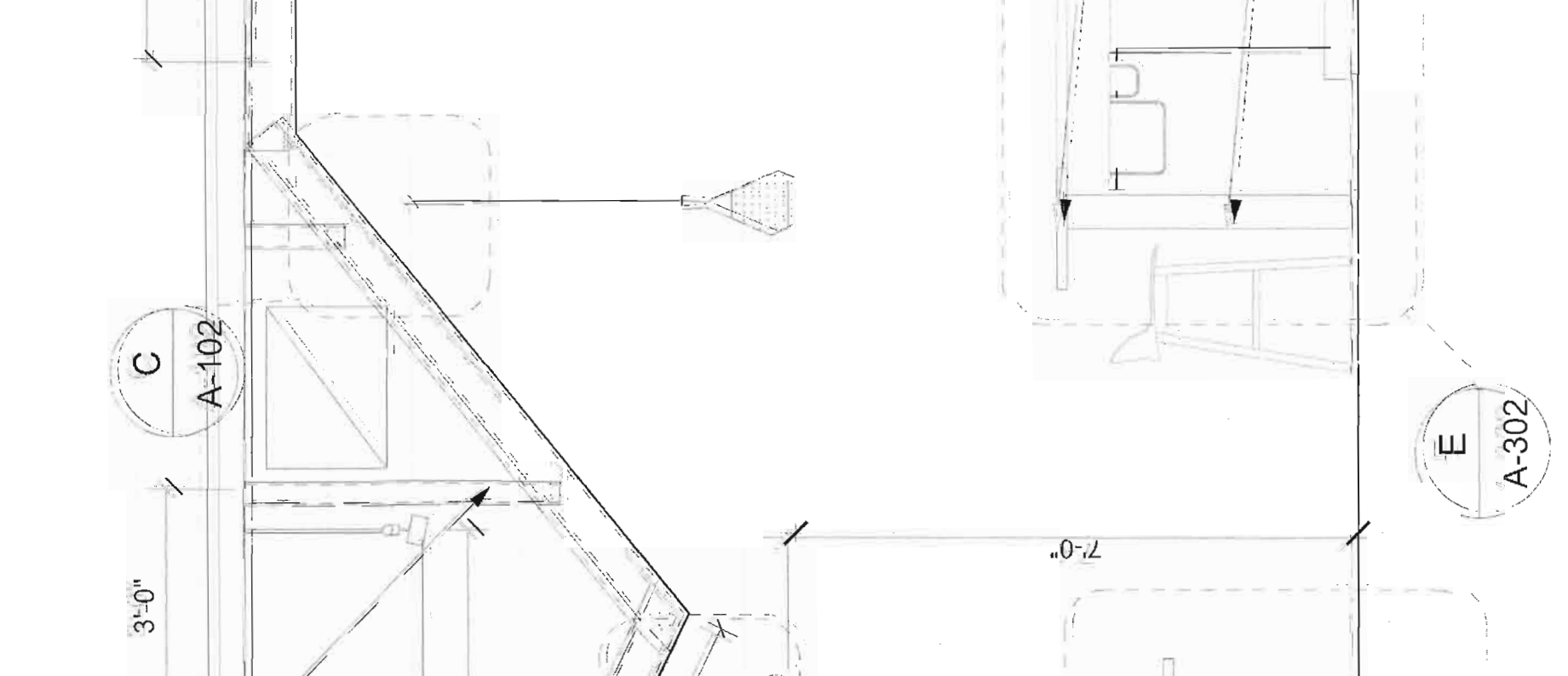
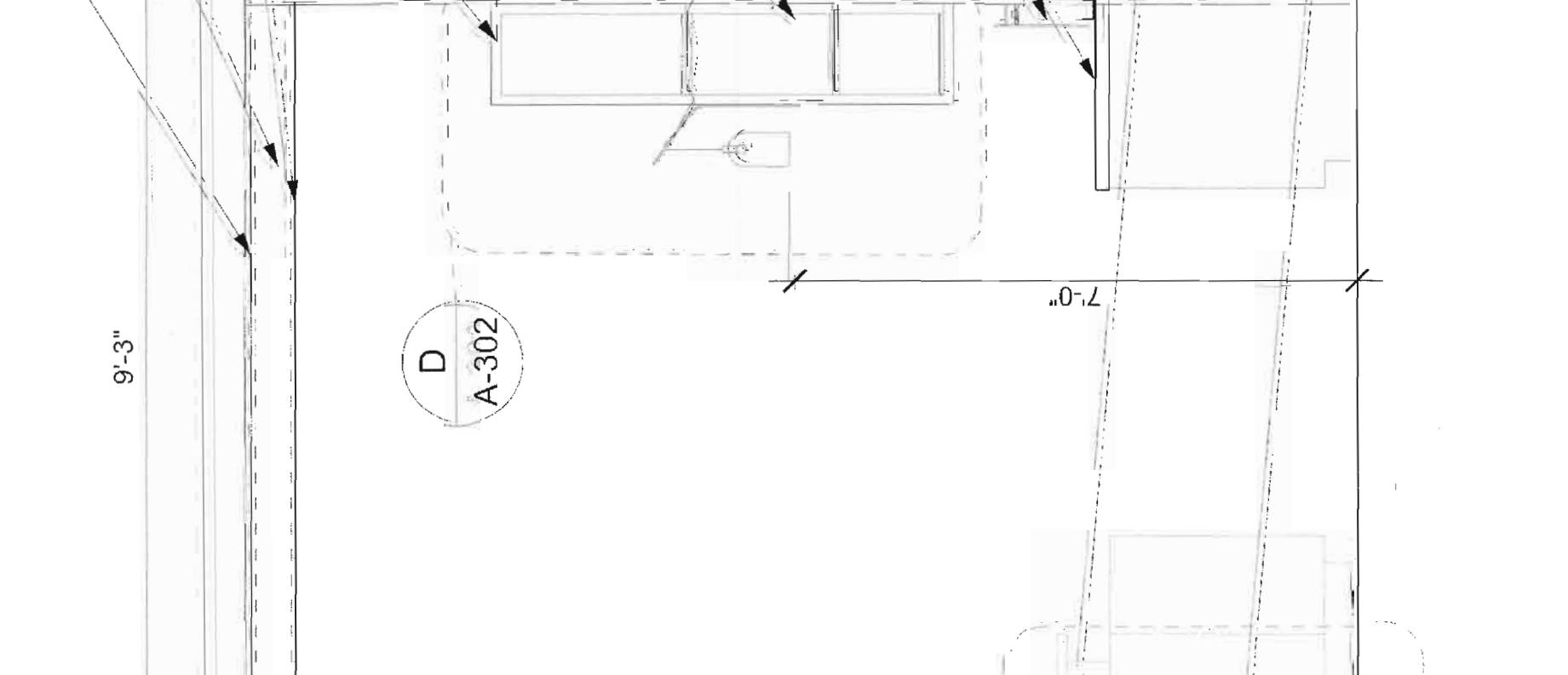
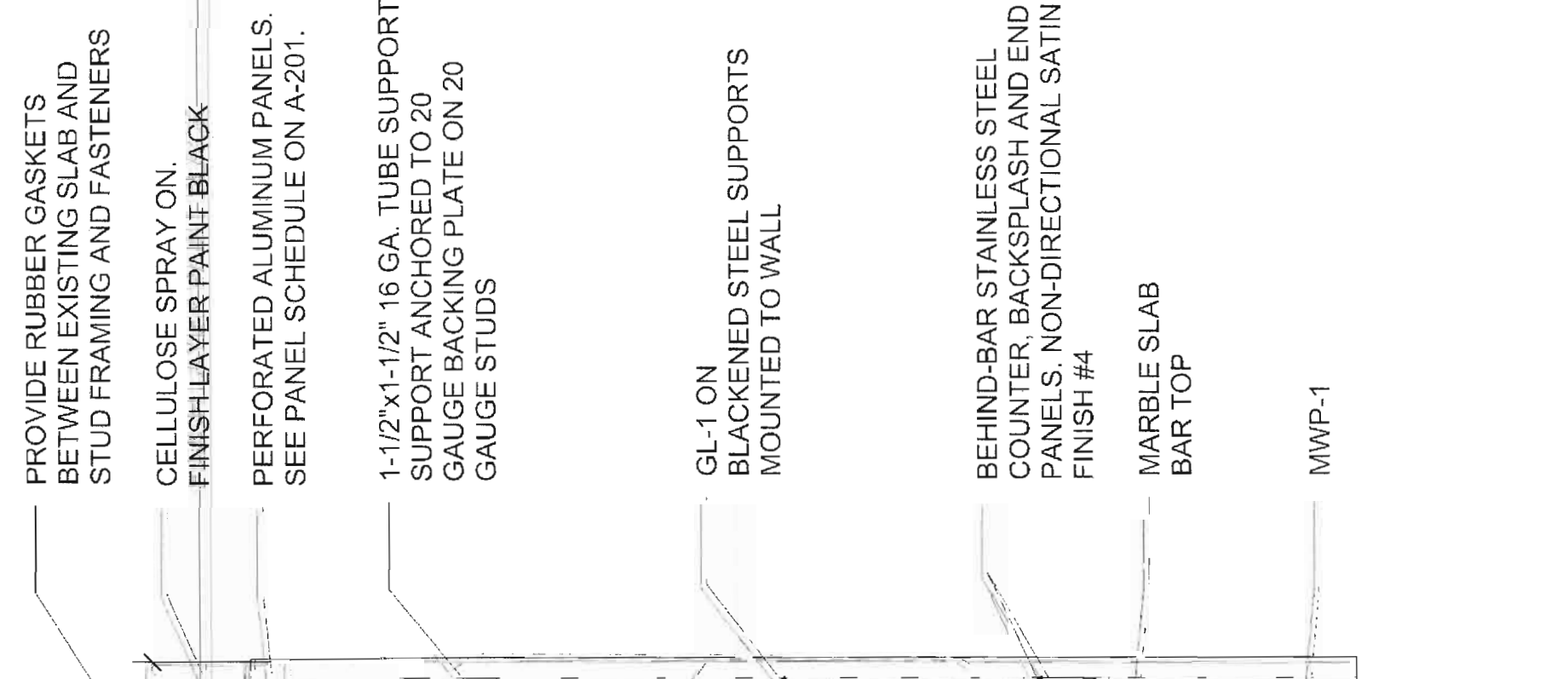
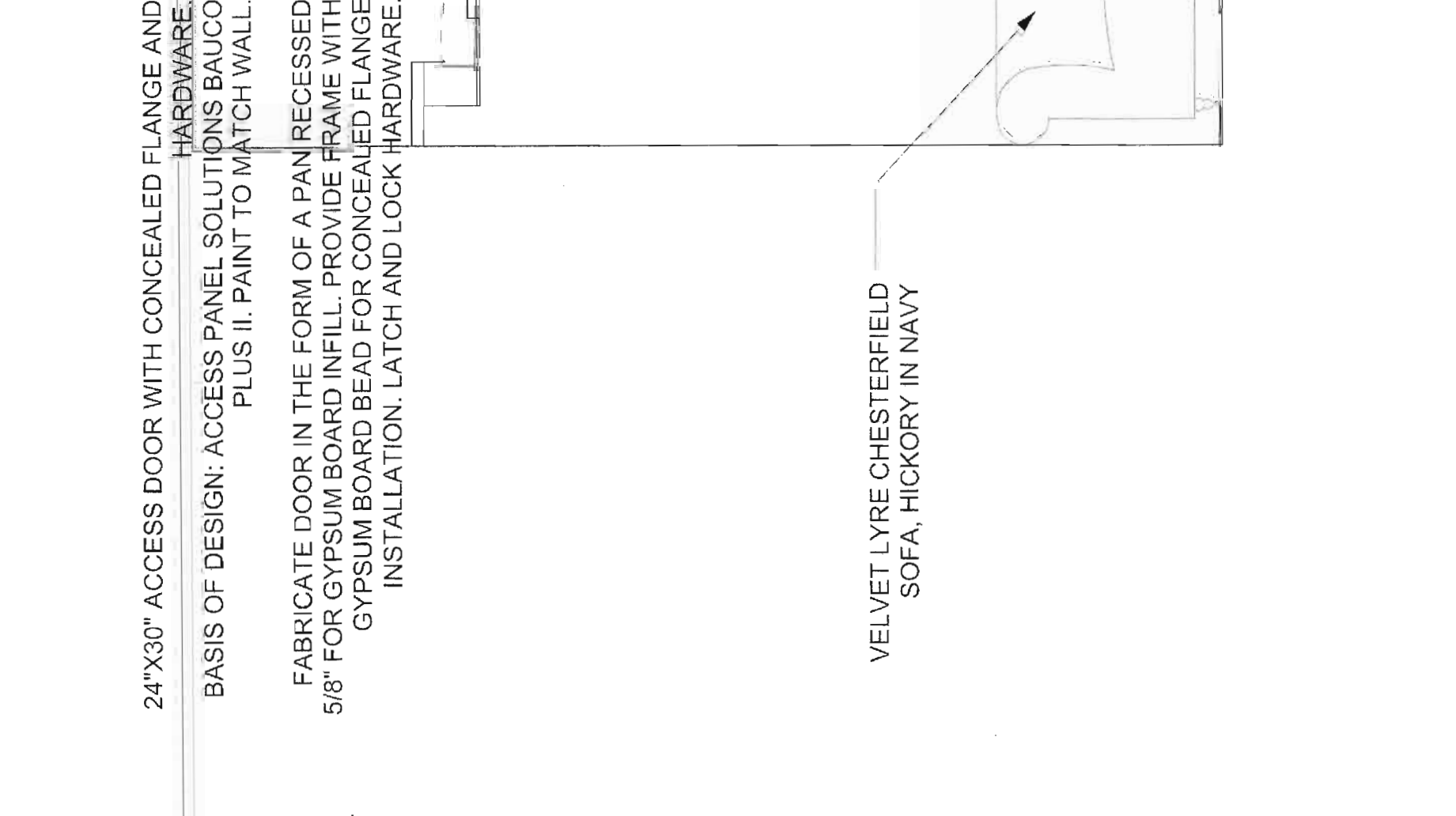
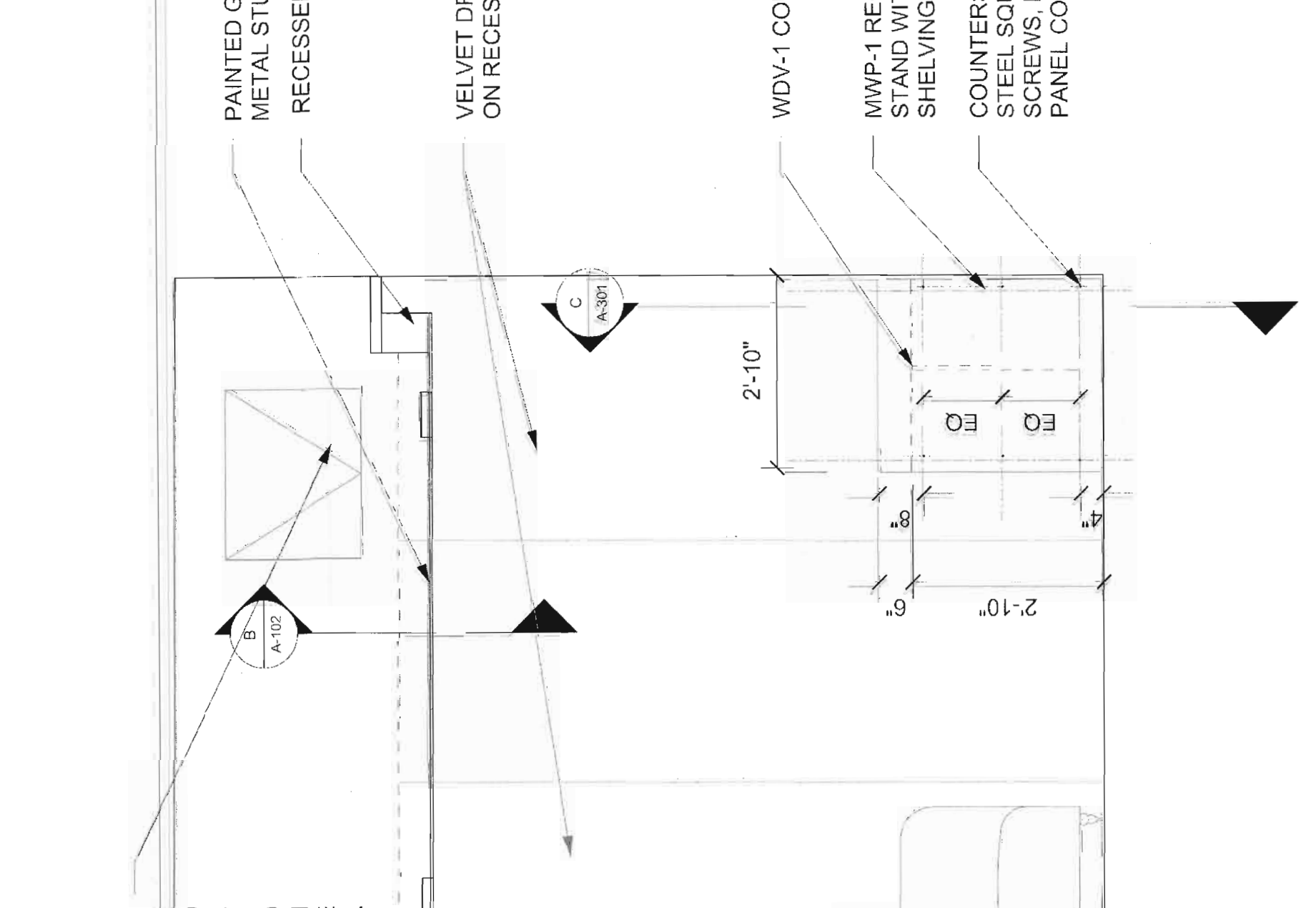
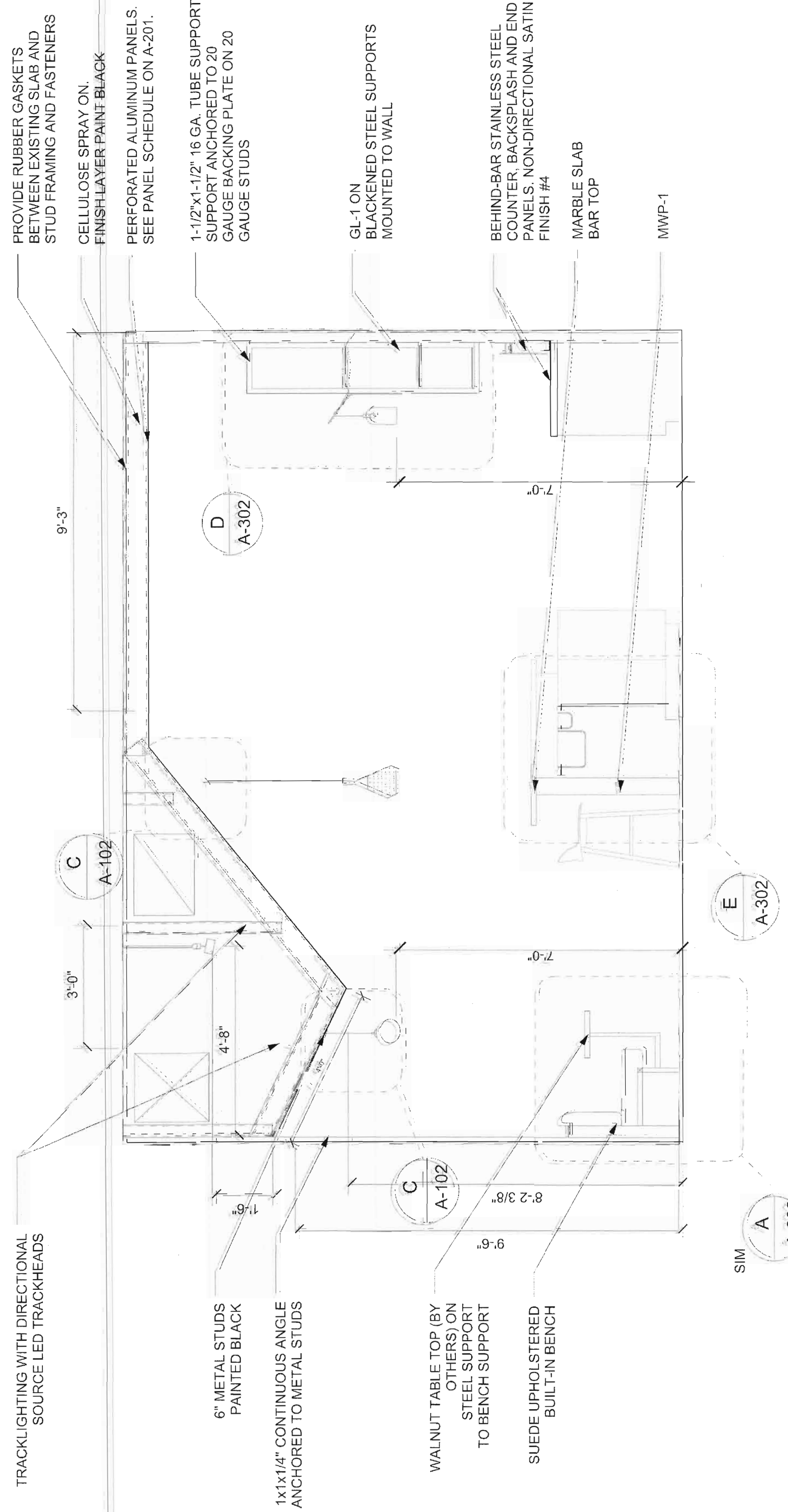
B RM 104 EAST TILE ELEVATION
1/2" = 1'-0"

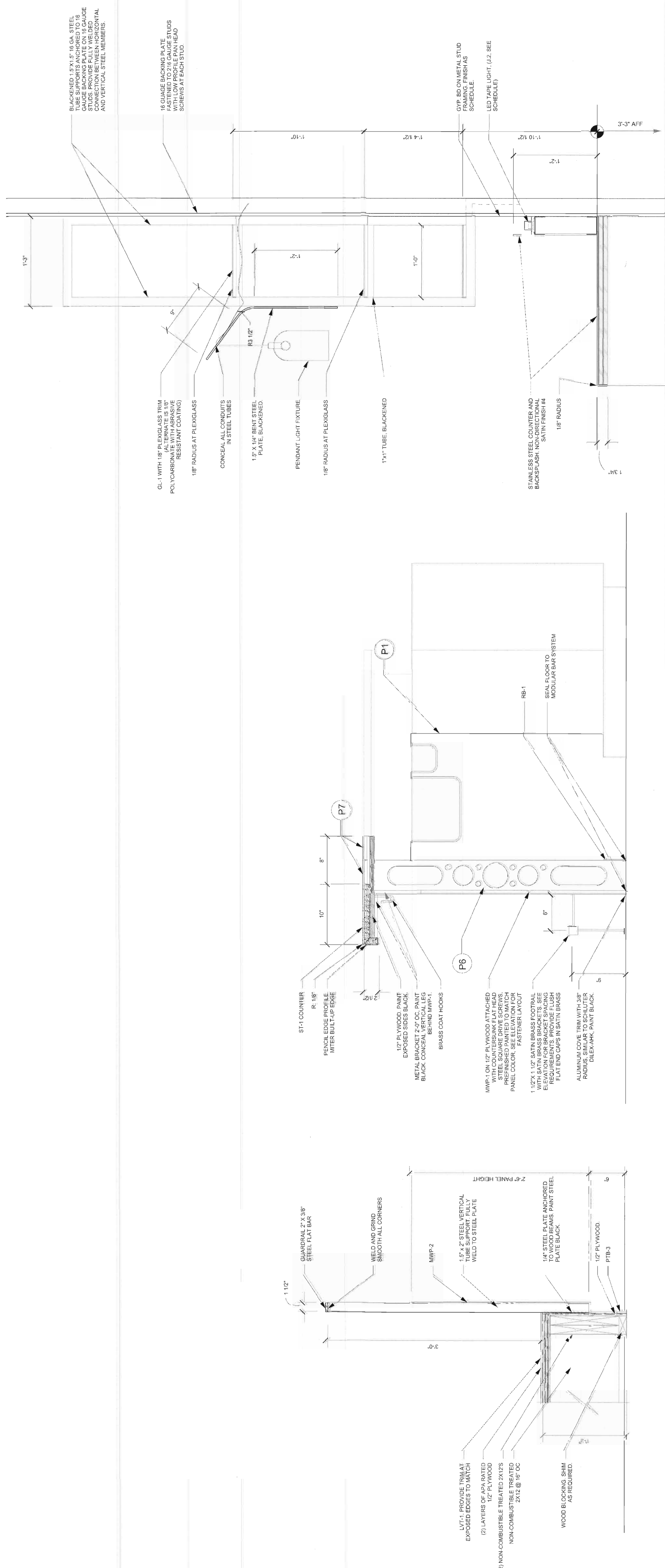


B CROSS SECTION THRU CHEF'S TABLE
1/2" = 1'-0"

D CROSS SECTION THRU RAISED PLATFORM
1/2" = 1'-0"

A CROSS SECTION THRU RECEPTION
1/2" = 1'-0"





F SECTION THRU GUARDRAIL
1 1/2" = 1'-0"

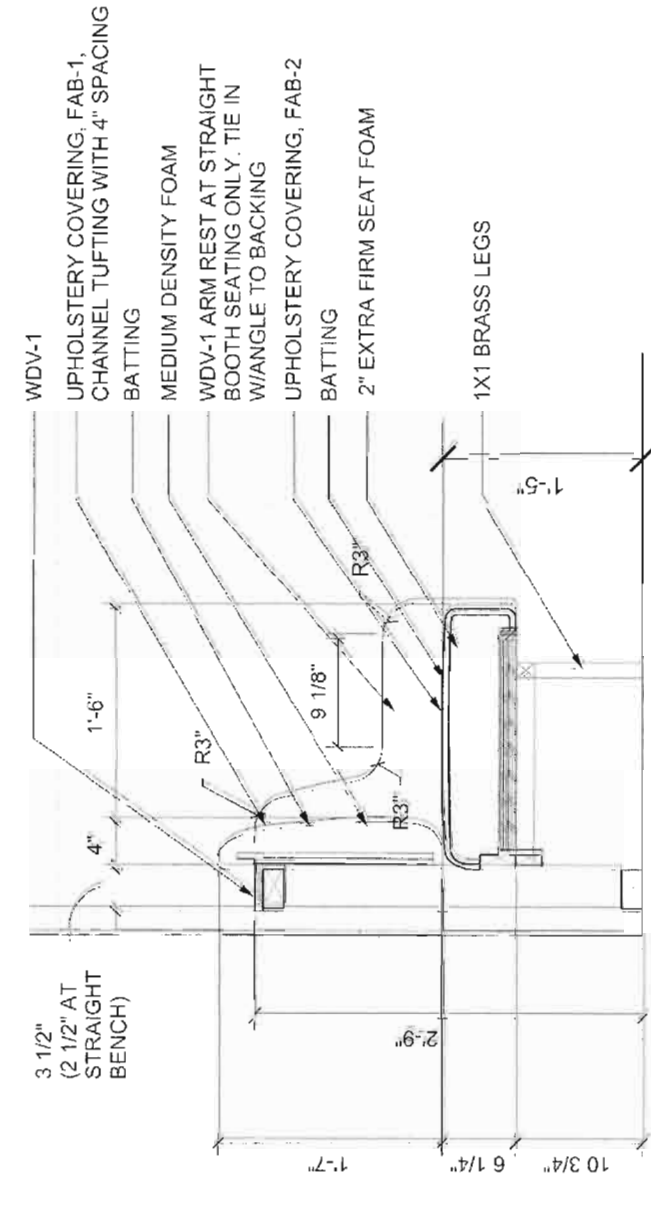
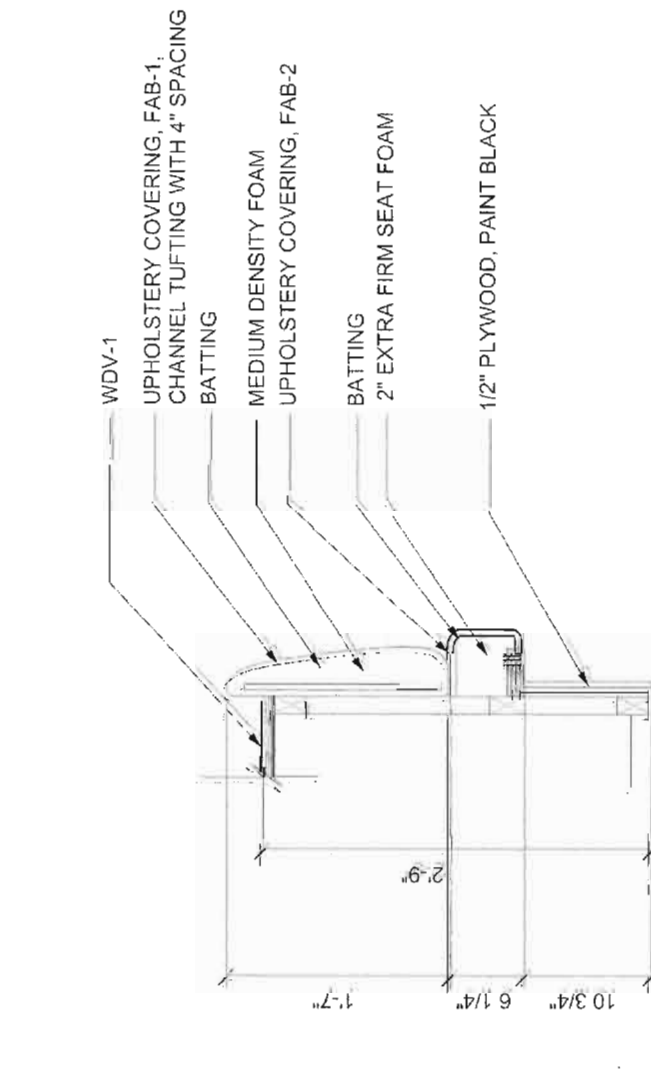
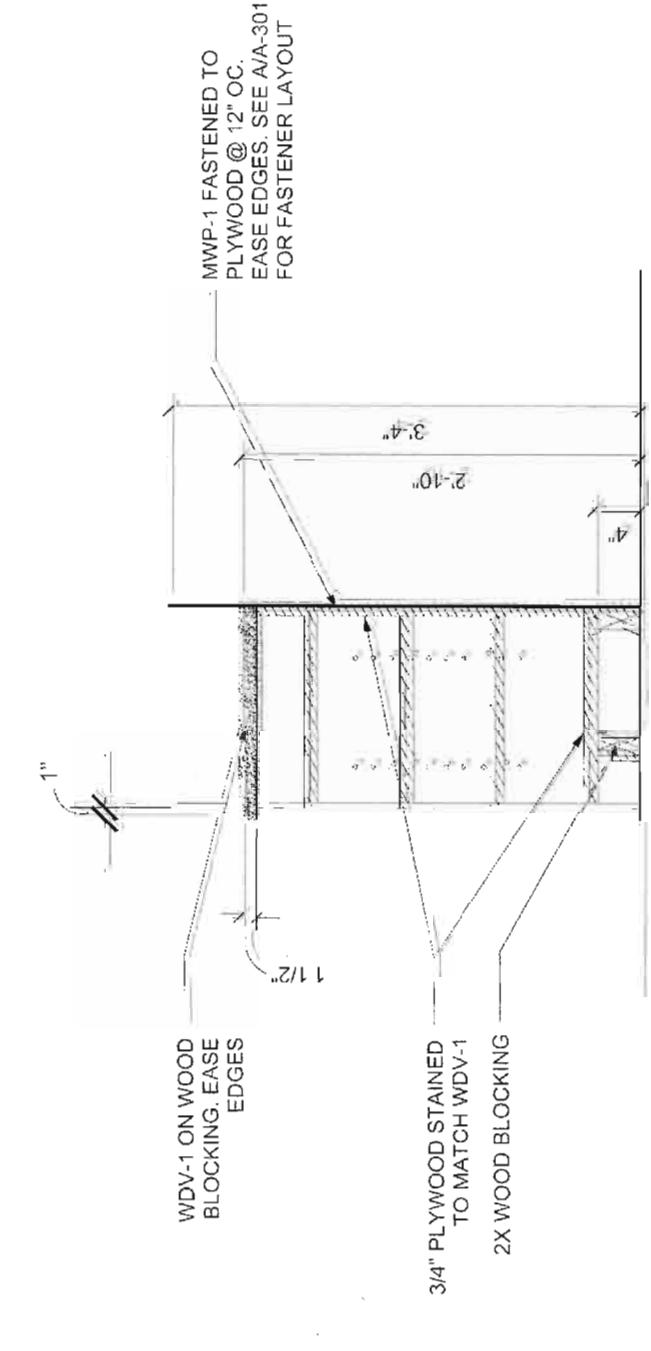
E SECTION THRU BAR
1 1/2" = 1'-0"

D SECTION THRU BACKBAR DISPLAY
1 1/2" = 1'-0"

C SECTION THROUGH HOST STAND
3/4" = 1'-0"

B SECTION THRU BOOTH END
3/4" = 1'-0"

A SECTION THRU BOOTH
3/4" = 1'-0"

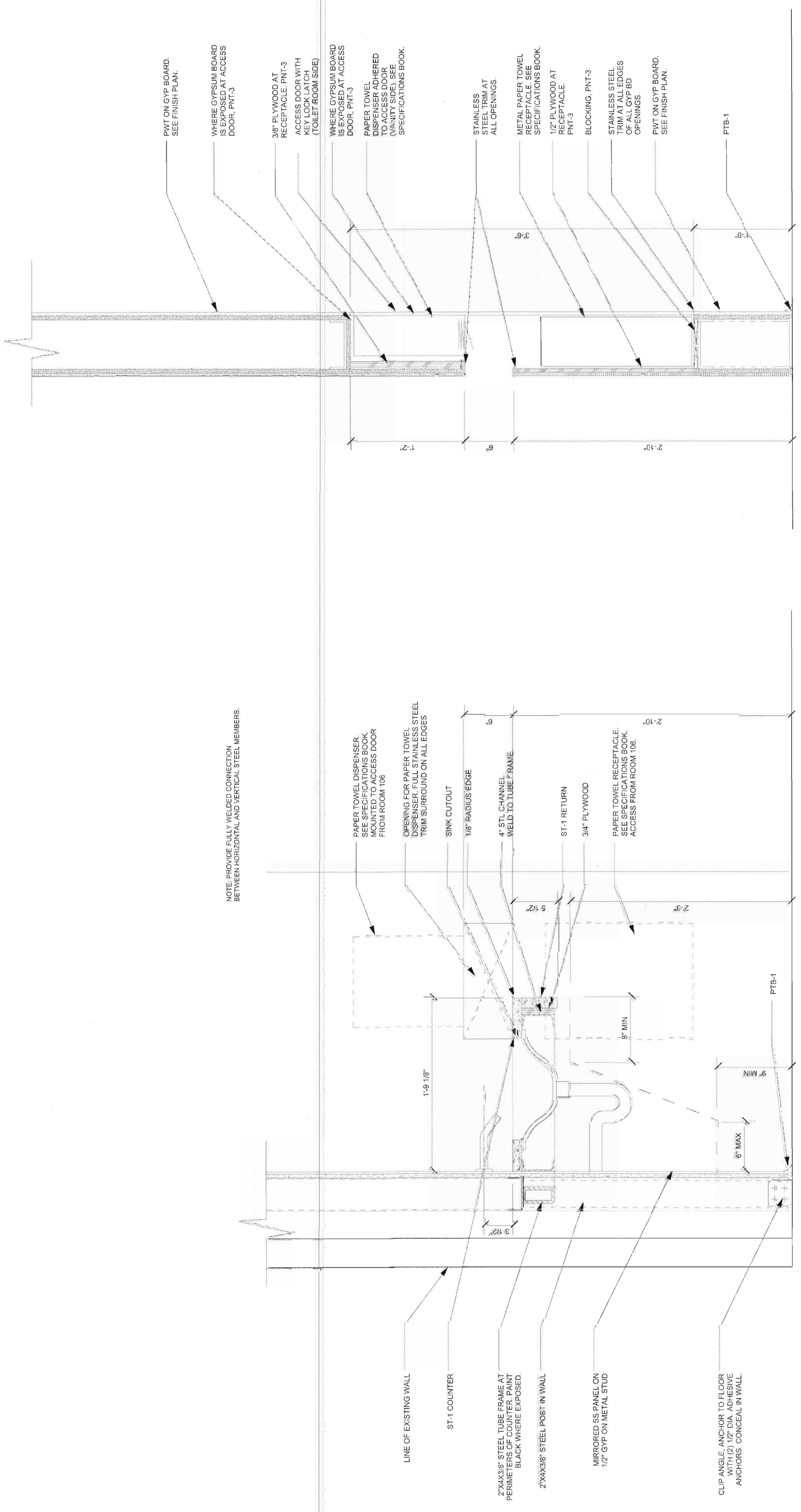




BAR STAR, LLC
220 SOUTH MAIN STREET
ANN ARBOR, MI 48104

SYNECDOCHE DESIGN STUDIO, LLC
1342 N MAIN ST #5
ANN ARBOR, MI 48104
734.926.5693

SYNECDOCHE
DESIGN STUDIO



A SECTION THRU TOWEL DISPENSER AND WASTE
1 1/2" = 1'-0"

B SECTION THRU TOWEL DISPENSER AND WASTE
1 1/2" = 1'-0"

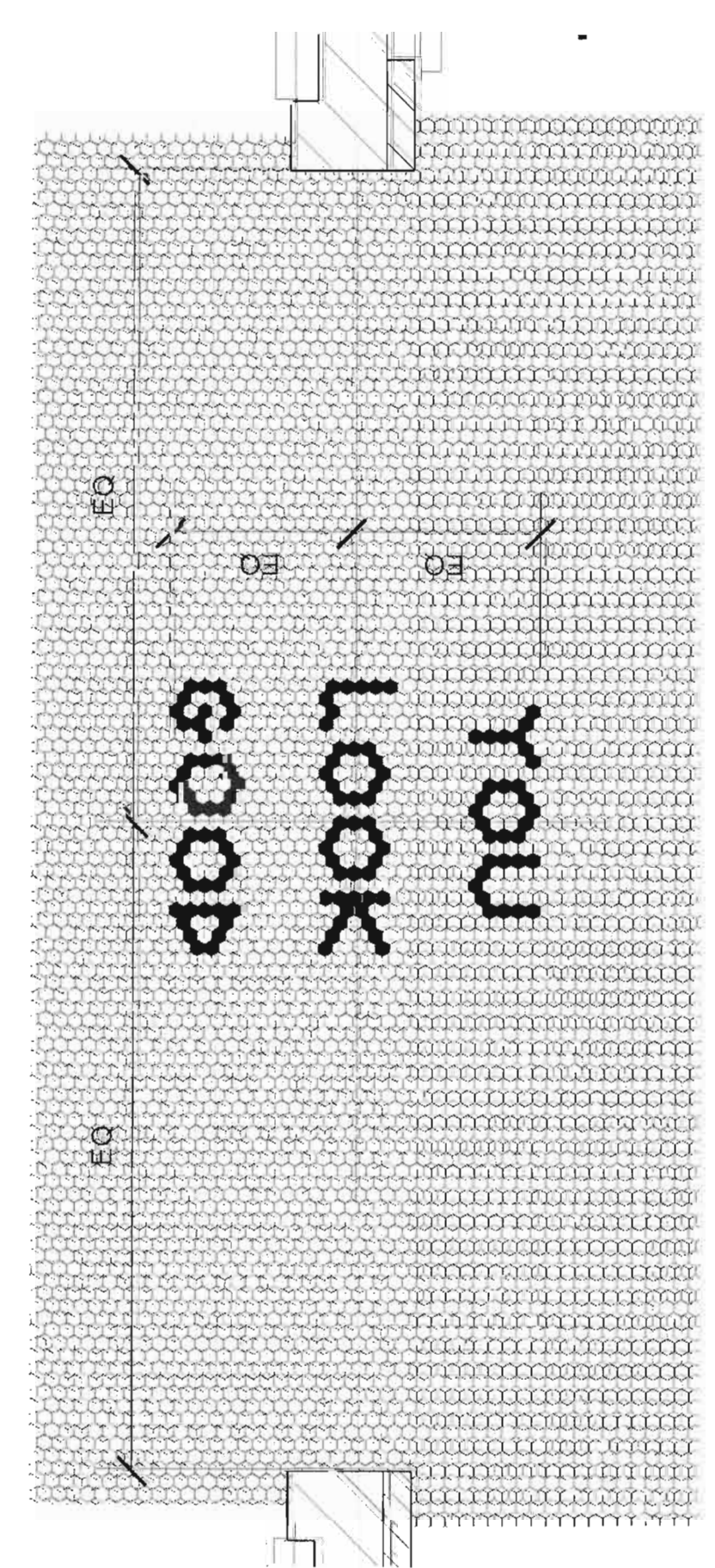


ROOM FINISH SCHEDULE

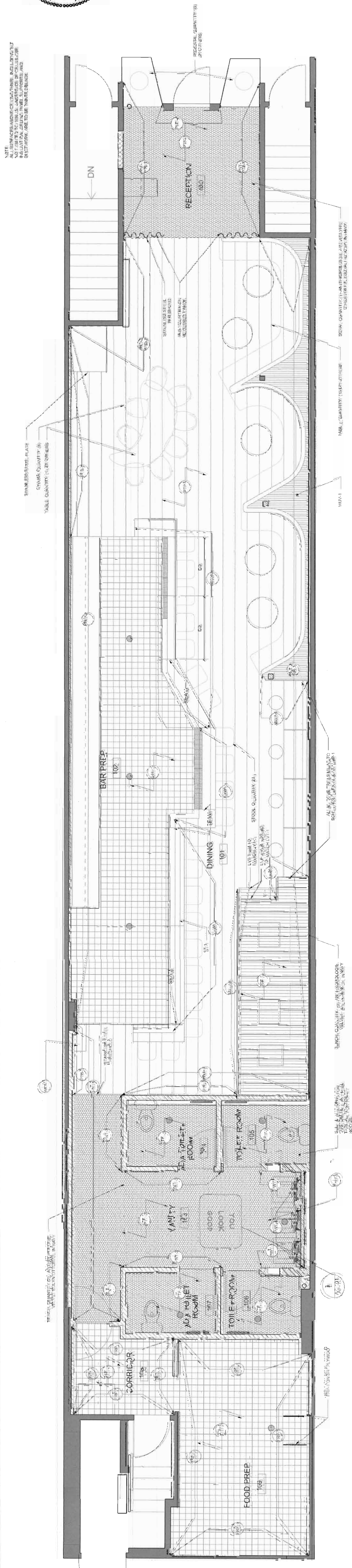
NO.	ROOM NAME	FLOOR	BASE	NOURTH	LAB	SOUTH	WEST	CEILING	MILLWORK	NOTES
05	RECEPTION	PTF-2	PTF-2/2	PTF-1	PTF-1	PTF-1	PTF-1	PTF-5	Y	
07	DNRM	PTF-1	PTF-2	PTF-2	PTF-2	PTF-2	PTF-2	MD-1	Y	
08	DMT (MFI)	PTF-1	PTF-1	PTF-1	PTF-1	PTF-1	PTF-1	MD-1	Y	
09	VANITY	PTF-5	PTF-5	PTF-5	PTF-5	PTF-5	PTF-5	PTF-6	Y	
09	ADA USGS TOILET ROOM	PTF-2	PTF-2	PTF-2	PTF-2	PTF-2	PTF-2	PTF-5	N	PULL LENGTH MARKER
09	UNDECK TOILET ROOM	PTF-2	PTF-2	PTF-2	PTF-2	PTF-2	PTF-2	PTF-5	N	PULL LENGTH MARKER
09	ADA USGS TOILET ROOM	PTF-2	PTF-2	PTF-2	PTF-2	PTF-2	PTF-2	PTF-5	N	PULL LENGTH MARKER
09	UNDECK TOILET ROOM	PTF-2	PTF-2	PTF-2	PTF-2	PTF-2	PTF-2	PTF-5	N	PULL LENGTH MARKER
09	CORRIDOR	PTF-1	PTF-1	PTF-1	PTF-1	PTF-1	PTF-1	ADT-1	N	
09	FOOD PREP	PTF-1	PTF-1	PTF-1	PTF-1	PTF-1	PTF-1	ADT-1	N	

FINISH AND MATERIAL SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	SERIES/NAME	NUMBER / COLOR	FINISH	SIZE	INSTALLATION	NOTES
FLOORING								
PTF-1	PORCELAN TILE FLOOR	AMERINO	IMAX METAL SERIES	BLACK		12x24	RUNNING BOND W/ STAGGERED JOINTS	GROUT: TEC-A-COLOR
PTF-2	PORCELAN TILE FLOOR	DAL TILE	RE-VITONES	BISCUIT / D317		1" HEXAGON		GROUT: TEC-A-COLOR
PTF-3	PORCELAN TILE FLOOR	DAL TILE	RE-VITONES	BLACK D311		1" HEXAGON		GROUT: TEC-A-COLOR
PTF-4	PORCELAN TILE FLOOR	DAL TILE	RE-VITONES	ANTIC WHITE / D317		1" HEXAGON	CUSTOM PATTERN - SEE PLAN	GROUT: TEC-A-COLOR
PTF-5	QUARRY TILE FLOOR	DAL TILE	QUARRY TILE	ANTIC GRAY / D3		6"x6"		GROUT: TEC-A-COLOR
PTF-6	LUXURY VINY TILE	SHAW HAND SURFACES	QUILT COUCH	50700 BLACK WALNUT		7'x4' TYPICAL	25 MIL PLANT INLAY	GROUT: TEC-A-COLOR
BASE								
PTF-1	PORCELAN TILE BASE	DAL TILE	CONC BASE	CLASS MATCH FULL FLOOR TILE		3"x1		
PTF-2	PORCELAN TILE BASE	DAL TILE	CONC BASE	CLASS MATCH FULL FLOOR TILE		1"x1		
PTF-3	PORCELAN TILE BASE	DALRND	BM5 METAL SERIES	BLACK		4" x 4"	CUT TO SIZE	
PTF-4	RESILIENT BASE	JOHNSONITE	TRADITIONAL	39 BROWN ROCK		4" HIGH		
CEILING								
ACT-1	PERFORATED METAL PANEL			BLACK		24" x 24"	SEE PAVE. SCHEDULE DN-A-102	
ACT-2	ADJUSTABLE CEILING TILE	AMERINO	ULTIMATE	103 WHITE		24" x 24"	LAY IN W/ 1/8" GRID - 1/8" RIE	
PTF-5	PAINT	SHERRIN WILLIAMS		SW 707 JORDAN GRAY				
PTF-6	PAINT	SHERRIN WILLIAMS		SW 718 DOVETAIL				
WALL								
PTF-1	MARBLE STONE SLAB			CARRARA		3' x 9'		SEAMS ON PLAN
PTF-2	TEXTILE FABRIC	WEST ELM	PERFORM VELVET	INK BLUE		54" W		
PTF-3	TEXTILE FABRIC	AMAZA	COPY COW	POW-DHANI		54" W		
GL-1	TEMPERED GLASS	DANODINO GLASS		CLEAR		1/2" THICK	W/ FLOOR MASS TRM	
WV-1	WOOD VENEER	SHIPS	WALNUT				PRE-VENEERED PLYWOOD	
WALL								
PTF-1	PAINT	SHERRIN WILLIAMS		SW 707 JORDAN GRAY				
PTF-2	PAINT	SHERRIN WILLIAMS		SW 709 DUNE TALL				
PTF-3	PAINT	SHERRIN WILLIAMS		SW 719 BLAKE / CRY				
PTF-4	PAINT	SHERRIN WILLIAMS		SW 720 GOLDEN RULE				
PTF-5	PAINT	SHERRIN WILLIAMS		SW 721 HAWAII				
PTF-6	PAINT	SHERRIN WILLIAMS		SW 722 DOWN POLE				
PTF-7	PAINT	SHERRIN WILLIAMS		SW 723 DOWN POLE				
PTF-8	PAINT	SHERRIN WILLIAMS		SW 724 DOWN POLE				
PTF-9	PAINT	SHERRIN WILLIAMS		SW 725 DOWN POLE				
PTF-10	PAINT	SHERRIN WILLIAMS		SW 726 DOWN POLE				
PTF-11	PAINT	SHERRIN WILLIAMS		SW 727 DOWN POLE				
PTF-12	PAINT	SHERRIN WILLIAMS		SW 728 DOWN POLE				
PTF-13	PAINT	SHERRIN WILLIAMS		SW 729 DOWN POLE				
PTF-14	PAINT	SHERRIN WILLIAMS		SW 730 DOWN POLE				
PTF-15	PAINT	SHERRIN WILLIAMS		SW 731 DOWN POLE				
PTF-16	PAINT	SHERRIN WILLIAMS		SW 732 DOWN POLE				
PTF-17	PAINT	SHERRIN WILLIAMS		SW 733 DOWN POLE				
PTF-18	PAINT	SHERRIN WILLIAMS		SW 734 DOWN POLE				
PTF-19	PAINT	SHERRIN WILLIAMS		SW 735 DOWN POLE				
PTF-20	PAINT	SHERRIN WILLIAMS		SW 736 DOWN POLE				
PTF-21	PAINT	SHERRIN WILLIAMS		SW 737 DOWN POLE				
PTF-22	PAINT	SHERRIN WILLIAMS		SW 738 DOWN POLE				
PTF-23	PAINT	SHERRIN WILLIAMS		SW 739 DOWN POLE				
PTF-24	PAINT	SHERRIN WILLIAMS		SW 740 DOWN POLE				
PTF-25	PAINT	SHERRIN WILLIAMS		SW 741 DOWN POLE				
PTF-26	PAINT	SHERRIN WILLIAMS		SW 742 DOWN POLE				
PTF-27	PAINT	SHERRIN WILLIAMS		SW 743 DOWN POLE				
PTF-28	PAINT	SHERRIN WILLIAMS		SW 744 DOWN POLE				
PTF-29	PAINT	SHERRIN WILLIAMS		SW 745 DOWN POLE				
PTF-30	PAINT	SHERRIN WILLIAMS		SW 746 DOWN POLE				
PTF-31	PAINT	SHERRIN WILLIAMS		SW 747 DOWN POLE				
PTF-32	PAINT	SHERRIN WILLIAMS		SW 748 DOWN POLE				
PTF-33	PAINT	SHERRIN WILLIAMS		SW 749 DOWN POLE				
PTF-34	PAINT	SHERRIN WILLIAMS		SW 750 DOWN POLE				
PTF-35	PAINT	SHERRIN WILLIAMS		SW 751 DOWN POLE				
PTF-36	PAINT	SHERRIN WILLIAMS		SW 752 DOWN POLE				
PTF-37	PAINT	SHERRIN WILLIAMS		SW 753 DOWN POLE				
PTF-38	PAINT	SHERRIN WILLIAMS		SW 754 DOWN POLE				
PTF-39	PAINT	SHERRIN WILLIAMS		SW 755 DOWN POLE				
PTF-40	PAINT	SHERRIN WILLIAMS		SW 756 DOWN POLE				
PTF-41	PAINT	SHERRIN WILLIAMS		SW 757 DOWN POLE				
PTF-42	PAINT	SHERRIN WILLIAMS		SW 758 DOWN POLE				
PTF-43	PAINT	SHERRIN WILLIAMS		SW 759 DOWN POLE				
PTF-44	PAINT	SHERRIN WILLIAMS		SW 760 DOWN POLE				
PTF-45	PAINT	SHERRIN WILLIAMS		SW 761 DOWN POLE				
PTF-46	PAINT	SHERRIN WILLIAMS		SW 762 DOWN POLE				
PTF-47	PAINT	SHERRIN WILLIAMS		SW 763 DOWN POLE				
PTF-48	PAINT	SHERRIN WILLIAMS		SW 764 DOWN POLE				
PTF-49	PAINT	SHERRIN WILLIAMS		SW 765 DOWN POLE				
PTF-50	PAINT	SHERRIN WILLIAMS		SW 766 DOWN POLE				
PTF-51	PAINT	SHERRIN WILLIAMS		SW 767 DOWN POLE				
PTF-52	PAINT	SHERRIN WILLIAMS		SW 768 DOWN POLE				
PTF-53	PAINT	SHERRIN WILLIAMS		SW 769 DOWN POLE				
PTF-54	PAINT	SHERRIN WILLIAMS		SW 770 DOWN POLE				
PTF-55	PAINT	SHERRIN WILLIAMS		SW 771 DOWN POLE				
PTF-56	PAINT	SHERRIN WILLIAMS		SW 772 DOWN POLE				
PTF-57	PAINT	SHERRIN WILLIAMS		SW 773 DOWN POLE				
PTF-58	PAINT	SHERRIN WILLIAMS		SW 774 DOWN POLE				
PTF-59	PAINT	SHERRIN WILLIAMS		SW 775 DOWN POLE				
PTF-60	PAINT	SHERRIN WILLIAMS		SW 776 DOWN POLE				
PTF-61	PAINT	SHERRIN WILLIAMS		SW 777 DOWN POLE				
PTF-62	PAINT	SHERRIN WILLIAMS		SW 778 DOWN POLE				
PTF-63	PAINT	SHERRIN WILLIAMS		SW 779 DOWN POLE				
PTF-64	PAINT	SHERRIN WILLIAMS		SW 780 DOWN POLE				
PTF-65	PAINT	SHERRIN WILLIAMS		SW 781 DOWN POLE				
PTF-66	PAINT	SHERRIN WILLIAMS		SW 782 DOWN POLE				
PTF-67	PAINT	SHERRIN WILLIAMS		SW 783 DOWN POLE				
PTF-68	PAINT	SHERRIN WILLIAMS		SW 784 DOWN POLE				
PTF-69	PAINT	SHERRIN WILLIAMS		SW 785 DOWN POLE				
PTF-70	PAINT	SHERRIN WILLIAMS		SW 786 DOWN POLE				
PTF-71	PAINT	SHERRIN WILLIAMS		SW 787 DOWN POLE				
PTF-72	PAINT	SHERRIN WILLIAMS		SW 788 DOWN POLE				
PTF-73	PAINT	SHERRIN WILLIAMS		SW 789 DOWN POLE				
PTF-74	PAINT	SHERRIN WILLIAMS		SW 790 DOWN POLE				
PTF-75	PAINT	SHERRIN WILLIAMS		SW 791 DOWN POLE				
PTF-76	PAINT	SHERRIN WILLIAMS		SW 792 DOWN POLE				
PTF-77	PAINT	SHERRIN WILLIAMS		SW 793 DOWN POLE				
PTF-78	PAINT	SHERRIN WILLIAMS		SW 794 DOWN POLE				
PTF-79	PAINT	SHERRIN WILLIAMS		SW 795 DOWN POLE				
PTF-80	PAINT	SHERRIN WILLIAMS		SW 796 DOWN POLE				
PTF-81	PAINT	SHERRIN WILLIAMS		SW 797 DOWN POLE				
PTF-82	PAINT	SHERRIN WILLIAMS		SW 798 DOWN POLE				
PTF-83	PAINT	SHERRIN WILLIAMS		SW 799 DOWN POLE				
PTF-84	PAINT	SHERRIN WILLIAMS		SW 800 DOWN POLE				
PTF-85	PAINT	SHERRIN WILLIAMS		SW 801 DOWN POLE				
PTF-86	PAINT	SHERRIN WILLIAMS		SW 802 DOWN POLE				
PTF-87	PAINT	SHERRIN WILLIAMS		SW 803 DOWN POLE				
PTF-88	PAINT	SHERRIN WILLIAMS		SW 804 DOWN POLE				
PTF-89	PAINT	SHERRIN WILLIAMS		SW 805 DOWN POLE				
PTF-90	PAINT	SHERRIN WILLIAMS		SW 806 DOWN POLE				
PTF-91	PAINT	SHERRIN WILLIAMS		SW 807 DOWN POLE				
PTF-92	PAINT	SHERRIN WILLIAMS		SW 808 DOWN POLE				
PTF-93	PAINT	SHERRIN WILLIAMS		SW 809 DOWN POLE				
PTF-94	PAINT	SHERRIN WILLIAMS		SW 810 DOWN POLE				
PTF-95	PAINT	SHERRIN WILLIAMS		SW 811 DOWN POLE				
PTF-96	PAINT	SHERRIN WILLIAMS		SW 812 DOWN POLE				
PTF-97	PAINT	SHERRIN WILLIAMS		SW 813 DOWN POLE				
PTF-98	PAINT	SHERRIN WILLIAMS		SW 814 DOWN POLE				
PTF-99	PAINT	SHERRIN WILLIAMS		SW 815 DOWN POLE				
PTF-100	PAINT	SHERRIN WILLIAMS		SW 816 DOWN POLE				



B ENLARGED TILE PATTERN
 1" = 1'-0"



NOTE: ALL FINISHES AND MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. ALL FINISHES ARE TO BE MATCHED TO THE FINISH PLAN.

QUANTITY NOTES:
 VANITY: QUANTITY TO MATCH
 ADA TOILET ROOM: QUANTITY TO MATCH
 TOILET ROOM: QUANTITY TO MATCH
 DINING: QUANTITY TO MATCH
 BAR PREP: QUANTITY TO MATCH
 RECEPTION: QUANTITY TO MATCH

KITCHEN EQUIPMENT PLUMBING CONNECTION SCHEDULE

SUBWAY ITEM NUMBER	MARK	EQUIPMENT DESCRIPTION	140°F HW	100°F HW	CW	FILTERED CW	NATURAL GAS	WASTE	INDIRECT	DIRECT	REMARKS
A	SK-1	HAND SINK	1/2"	1/2"	1/2"		1-1/2"	3/2"	X	X	A
B	SK-2	3-COMPARTMENT SINK	1/2"	1/2"	1/2"		3/4"	3/4"	X	X	B
C	99-1	MOP SINK	1/2"				1/2", 2 1/2"-1/2"	3/4"	X	X	D/E
D		ICE MACHINE AND BIN	1/2"				5/8"-1/2"	1/2"	X	X	E
E	SK-3	COCKTAIL STATION	1/2"				2 1/2"-1/2", 1", 2 1/2"-1/2"	1-1/2"	X	X	C
F		COCKTAIL STATION	1/2"				1-1/2"	1"	X	X	E
G	SK-4	HAND SINK	1/2"				3/4"		X	X	A
H		DRAIN BOARD							X	X	E
I		DRIP TROUGH							X	X	E
J									X	X	E

A. PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL WATTS US9-B-W2 OR EQUAL THERMOSTATIC TEMPERING VALVE FOR EACH SINK AND FAUCET. PROVIDE 1-1/2" DRAINS AND 2" DRAIN MANIFOLD TERMINATED AT FSK-1 W/ 4" AIR GAP.
 B. PLUMBING CONTRACTOR SHALL PROVIDE 1-1/2" DRAINS AND 2" DRAIN MANIFOLD TERMINATED AT FSK-1 W/ 4" AIR GAP.
 C. PLUMBING CONTRACTOR SHALL PROVIDE 1-1/2" DRAINS AND 2" DRAIN MANIFOLD TERMINATED AT FSK-1 W/ 4" AIR GAP.
 D. PLUMBING CONTRACTOR SHALL PROVIDE 1-1/2" DRAINS AND 2" DRAIN MANIFOLD TERMINATED AT FSK-1 W/ 4" AIR GAP.
 E. PIPE DRAINS NEAREST TO FSK-1

PLUMBING FIXTURE SCHEDULE

MARK	MANUFACTURER	MODEL NUMBER	FITTINGS	ACCESSORIES	REMARKS
WC-1	KOHLER	K-5172 SAN SOUCI	STOP AND SUPPLY	CHURCH #9500 WHITE SEAT	ADA COMPLIANT
L-1	KOHLER	K-2827-0	KOHLER K-14413-4 FAUCET	OFFSET GRID DRAIN 17 GA. CP. P-TRAP	ADA COMPLIANT
				STOPS AND SUPPLIES TRUENO TRAP AND SUPPLY SAFETY COVERS	
SK-1				WATTS US9-B-W2 THERMOSTATIC TEMPERING VALVE	
				17 GA. CP. P-TRAP	
				STOPS AND SUPPLIES	
SK-2				WATTS US9-B-W2 THERMOSTATIC TEMPERING VALVE	
				STOPS AND SUPPLIES	
SK-3				2" DRAIN MANIFOLD	
				STOPS AND SUPPLIES	
SK-4				17 GA. CP. P-TRAP	
				STOPS AND SUPPLIES	
SS-1				WATTS US9-B-W2 THERMOSTATIC TEMPERING VALVE	
				STOPS AND SUPPLIES	
FSK-1	ZURN	Z-1910 8"x8" FLOOR SINK	LESS GRATE		
			6" DEEP SUMP DEPTH		
FD-1	ZURN	Z-115	6"x6" SQUARE TYPE 19" STRAINER	"SURE SEAL" TRAP GUARD	FLOOR CLEANOUT
FCO	ZURN	ZN-1400T			WALL CLEANOUT
WCO	ZURN	Z-1441			

WATER HEATER SCHEDULE

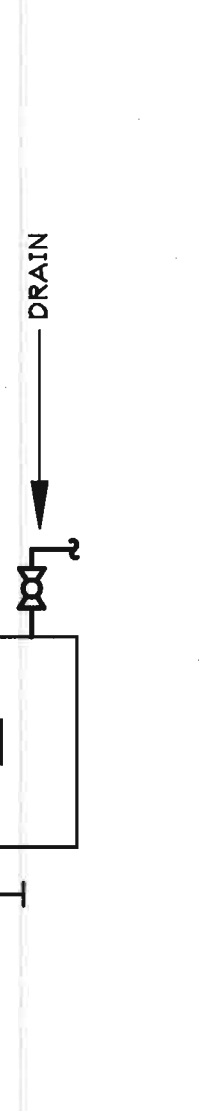
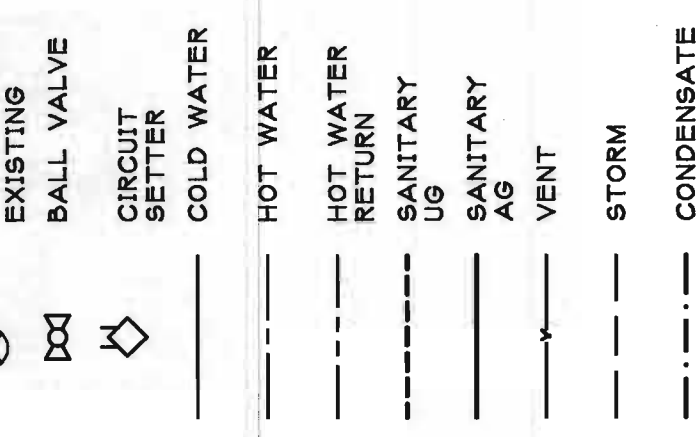
MARK	MANUFACTURER	MODEL NUMBER	NSR/IT	TANK CAP	RECOVERY	TANK	VOLTAGE	DIA.	HT.	REMARKS
WH-1	LOCHINVAR	SN4201-100	189	90	233	80	115/160	28"	75"	A,B,C

A. TAP RELIEF VALVE
 B. 115V 3 AMP CIRCUIT
 C. EXPANSION TANK

WATER HEATER WH-1 SIZING CHART

FIXTURE	QTY.	TEMP RISE °F	GPH EACH	INPUT BTU TOTAL @ 90% EFF.
LAVATORY	3	70	5	15
MOP SINK	1	100	5	4,627
SS-1	2	70	5	10
3-COMPARTMENT SINK	1	100	65	60,161
4-COMPARTMENT SINK	1	100	45	41,650
COCKTAIL STATION	2	100	10	18,911
TOTALS				141,146

GALLONS OF STORAGE REQUIRED:
 GALLONS OF STORAGE = 160 GPH X 3.4 X 1.1 = 60 GALLONS



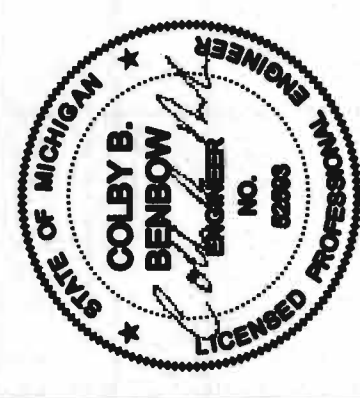
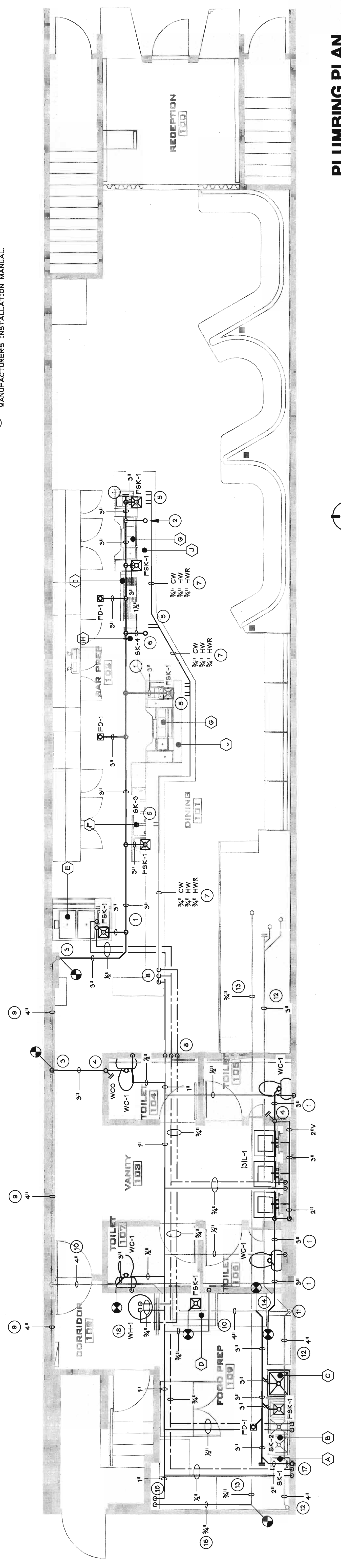
WATER HEATER WH-1 DETAIL
 NO SCALE

KEYED PLUMBING NOTES:

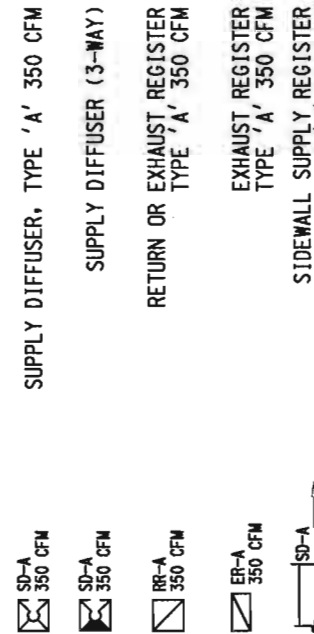
- NEW SANITARY PIPING LOCATED ABOVE BASEMENT CEILING.
- 2" VENT UP TO AAV LOCATED IN BAR CASEWORK. PROVIDE 12"x10" LOUVERED GRILLE AS REQUIRED FOR VALVE ACCESS.
- CONNECT NEW 3" SANITARY TO EXISTING 4" CAST IRON SANITARY RISER IN BASEMENT.
- 2" VENT UP TO AAV LOCATED IN WALL ABOVE. PROVIDE 12"x10" LOUVERED GRILLE ON TOILET ROOM SIDE OF WALL FOR VALVE ACCESS.
- 3/4" HOT AND 3/4" COLD WATER TO BAR SINK/EQUIPMENT.
- 1 1/2" SANITARY UP TO HAND SINK TERMINATES WITH 1 1/2" AAV. PROVIDE 12"x10" LOUVERED GRILLE AS REQUIRED FOR VALVE ACCESS.
- DOMESTIC WATER PIPING LOCATED IN BASE CASEWORK.
- 3/4" COLD WATER, 3/4" HOT WATER AND 3/4" HOT WATER RETURN DOWN TO BASEMENT CEILING AND BACK UP TO BAR CASEWORK.
- EXISTING 4" SANITARY LOCATED IN BASEMENT WALL.
- EXISTING 4" SANITARY LOCATED ABOVE BASEMENT CEILING.
- EXISTING 4" SANITARY RIBER DOWN TO BASEMENT CEILING.
- EXISTING SANITARY AT FIRST FLOOR CEILING.
- EXISTING 3/4" DOMESTIC WATER AT FIRST FLOOR CEILING.
- CONNECT NEW 3" SANITARY TO EXISTING 4" SANITARY ABOVE BASEMENT CEILING.
- EXTEND NEW 1" DOMESTIC COLD WATER TO EXISTING METER LOCATED IN BASEMENT.
- REROUTE EXISTING 3/4" COLD WATER SERVING SECOND FLOOR.
- 2" SANITARY UP TO HAND SINK TERMINATES WITH 2" AAV. PROVIDE 12"x10" LOUVERED GRILLE AS REQUIRED FOR VALVE ACCESS.
- PROVIDE AND INSTALL 3" PVC FLOOR AND 3" COMBUSTION AIR. TERMINATE PER MANUFACTURERS' INSTALLATION MANUAL.

GENERAL PLUMBING NOTES:

- ALL EXISTING PLUMBING FIXTURES, SANITARY, VENT, DOMESTIC WATER AND GAS PIPING NOT REUSED IN NEW LAYOUT SHALL BE REMOVED.
- ALL FLOOR CUT AND PATCH REQUIRED FOR INSTALLATION OF PLUMBING SYSTEM(S), SHALL BE PROVIDED BY PLUMBING CONTRACTOR.
- ALL WALL CUT AND PATCH REQUIRED FOR INSTALLATION OF PLUMBING SYSTEM(S), SHALL BE PROVIDED BY PLUMBING CONTRACTOR.
- SANITARY AND VENT PIPING SHALL BE PVC OR NO-HUB TYPE.
- PVC PIPING SHALL NOT BE LOCATED IN RETURN AIR PLENUM CEILINGS.
- ALL DOMESTIC WATER PIPING SHALL BE COVERED WITH 1" GLASS FIBER INSULATION AND VAPOR BARRIER JACKET.
- PROVIDE GALVANIZED STEEL DRIP PANS BELOW ALL SANITARY PIPING LOCATED ABOVE FOOD PREPARATION SURFACES AS REQUIRED BY HEALTH DEPARTMENT.



NOTATION METHODS



SUPPLY DIFFUSER, TYPE 'A', 350 CFM
 SUPPLY DIFFUSER (S-MK)
 RETURN OR EXHAUST REGISTER
 TYPE 'A', 350 CFM
 EXHAUST REGISTER
 TYPE 'A', 350 CFM
 SIDEWALL SUPPLY REGISTER
 TYPE 'A', 350 CFM
 TYPE 'A', 350 CFM

SUPPLY AIR DIFFUSER
 TYPE 'A' WITH FLEXIBLE
 DUCT CONNECTION (1/2" MIN THICK)
 BELL MOUTH AIR INLET AREA EQUAL
 WILL BE 2 TIMES DUCT AREA
 AIR HANDLING UNIT No. 1

EXHAUST FAN No. 1
 SUPPLY AIR BRANCH CONNECTION
 WITH VOLUME DAMPER
 RETURN AIR EXHAUST AIR BRANCH
 CONNECTION WITH VOLUME DAMPER
 SOUND TRAP (ATTENUATOR)

FINISHED TUBE RADIATION
 WITH REFER TO EQUIPMENT SCHEDULES
 TYPE 'A' 5'-0" ELEMENT 5.7 TOTAL
 MBH (REFER TO EQUIPMENT SCHEDULES)
 CABINET UNIT HEATER, TYPE 'A'

CONVECTOR, TYPE 'A'
 TERMINAL VARIABLE VOLUME BOX, TYPE 'A' - SIZE '1'
 (HEATING COIL, REFER TO EQUIPMENT SCHEDULES)
 TERMINAL VARIABLE VOLUME BOX, TYPE 'A' - SIZE '1'
 (NO HEATING COIL, REFER TO EQUIPMENT SCHEDULES)
 DUAL DUCT CONSTANT VOLUME MIXING BOX
 (REFER TO EQUIPMENT SCHEDULES)
 HEATING COIL, TYPE 'A'
 (REFER TO EQUIPMENT SCHEDULES)
 POINT WHERE CHANGE IN DUCT SIZE OR
 PIPE PITCH TAKES PLACE
 POINT WHERE FLEXION, ELONG,
 POINT OF NEW CONNECTION
 NEW MECHANICAL
 EXISTING MECHANICAL

MECHANICAL DRAWING INDEX
 MB.1 MECHANICAL REFERENCE INFORMATION
 MB.2 FIRST FLOOR PLAN - HVAC
 MB.1 MECHANICAL SCHEDULES AND DETAILS

Project Administrator
 D. Paone
 Project Designer
 J. Humbert
 Project Architect/Engineer
 D. Paone
 Drawn By
 J. Humbert
 G.M. Review
 D. Paone
 Approved
 D. DiCiccio
 Drawing Scale
 No Scale
 Issued for Issue Date
 Owner Review 09-07-16
 Bids 09-12-16
 Permits 09-28-16
 Permits 10-25-16

THIS PROJECT MAY NOT UTILIZE ALL THE
 SYMBOLS, MATERIALS, ABBREVIATIONS AND
 NOTATION INFORMATION SHOWN ON
 THIS SHEET.

Project Title
The Wickfield Center
 Bar Star, LLC

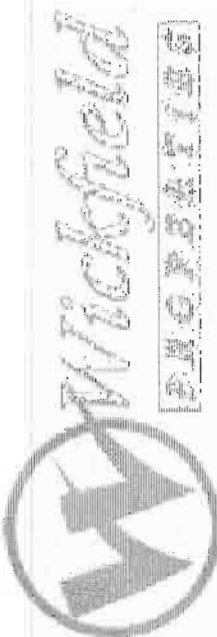
220 South Main Street
 Ann Arbor, MI 48104

Key Plan

© 2015 WICKFIELD DESIGN SOLUTIONS, LLC

ABBREVIATIONS

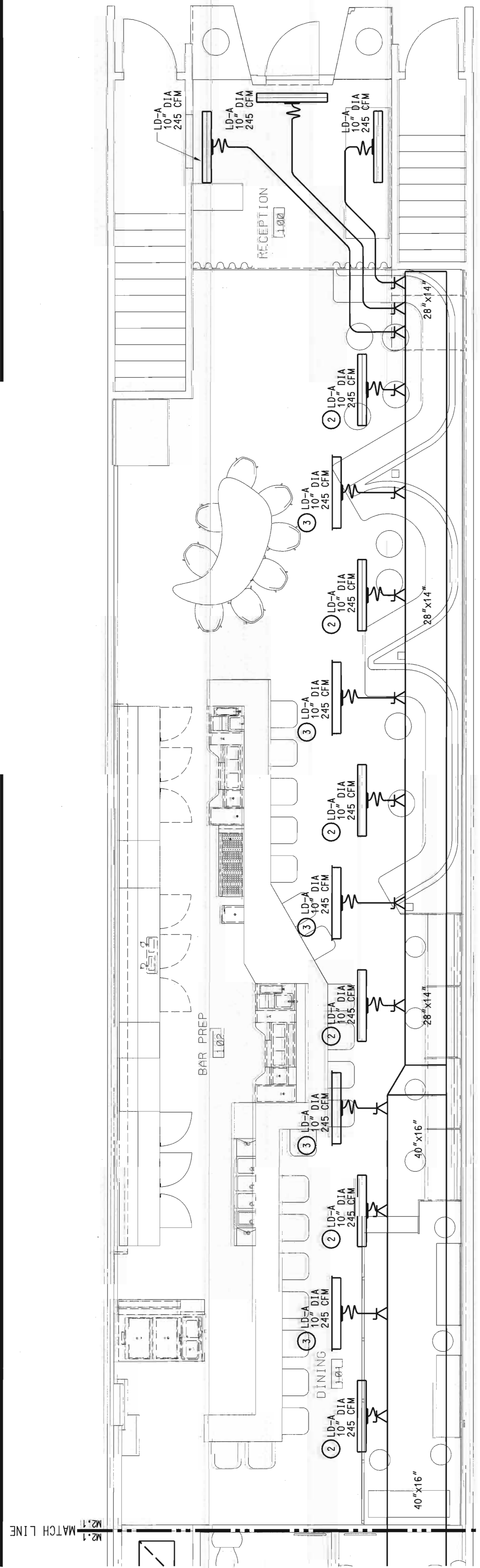
AW	AIR ADVANTAGE VALVE
AC	AIR COMPRESSOR
AD	AIR DUCT ACCESS DOOR
AE	AIR EXTRACTOR
AF	AIR FLOW TRANSDUCER
AG	AIR FLOW TRANSDUCER
AH	AIR HANDLING UNIT
AI	AIR APPROXIMATELY
AK	AIR APPROXIMATELY
AL	AIR APPROXIMATELY
AM	AUTOMATIC SPRINKLER RISER
AN	ARCHITECTURAL
AO	ARCHITECTURAL
AP	ARCHITECTURAL
AQ	ARCHITECTURAL
AR	ARCHITECTURAL
AS	ARCHITECTURAL
AT	ARCHITECTURAL
AV	ARCHITECTURAL
AW	ARCHITECTURAL
AX	ARCHITECTURAL
AY	ARCHITECTURAL
AZ	ARCHITECTURAL
BA	ARCHITECTURAL
BB	ARCHITECTURAL
BC	ARCHITECTURAL
BD	ARCHITECTURAL
BE	ARCHITECTURAL
BF	ARCHITECTURAL
BG	ARCHITECTURAL
BH	ARCHITECTURAL
BI	ARCHITECTURAL
BJ	ARCHITECTURAL
BK	ARCHITECTURAL
BL	ARCHITECTURAL
BM	ARCHITECTURAL
BN	ARCHITECTURAL
BO	ARCHITECTURAL
BP	ARCHITECTURAL
BQ	ARCHITECTURAL
BR	ARCHITECTURAL
BS	ARCHITECTURAL
BT	ARCHITECTURAL
BV	ARCHITECTURAL
BW	ARCHITECTURAL
BX	ARCHITECTURAL
BY	ARCHITECTURAL
BZ	ARCHITECTURAL
CA	ARCHITECTURAL
CB	ARCHITECTURAL
CC	ARCHITECTURAL
CD	ARCHITECTURAL
CE	ARCHITECTURAL
CF	ARCHITECTURAL
CG	ARCHITECTURAL
CH	ARCHITECTURAL
CI	ARCHITECTURAL
CJ	ARCHITECTURAL
CK	ARCHITECTURAL
CL	ARCHITECTURAL
CM	ARCHITECTURAL
CN	ARCHITECTURAL
CO	ARCHITECTURAL
CP	ARCHITECTURAL
CQ	ARCHITECTURAL
CR	ARCHITECTURAL
CS	ARCHITECTURAL
CT	ARCHITECTURAL
CU	ARCHITECTURAL
CV	ARCHITECTURAL
CW	ARCHITECTURAL
CX	ARCHITECTURAL
CY	ARCHITECTURAL
CZ	ARCHITECTURAL
DA	ARCHITECTURAL
DB	ARCHITECTURAL
DC	ARCHITECTURAL
DD	ARCHITECTURAL
DE	ARCHITECTURAL
DF	ARCHITECTURAL
DG	ARCHITECTURAL
DH	ARCHITECTURAL
DI	ARCHITECTURAL
DJ	ARCHITECTURAL
DK	ARCHITECTURAL
DL	ARCHITECTURAL
DM	ARCHITECTURAL
DN	ARCHITECTURAL
DO	ARCHITECTURAL
DP	ARCHITECTURAL
DQ	ARCHITECTURAL
DR	ARCHITECTURAL
DS	ARCHITECTURAL
DT	ARCHITECTURAL
DU	ARCHITECTURAL
DV	ARCHITECTURAL
DW	ARCHITECTURAL
DX	ARCHITECTURAL
DY	ARCHITECTURAL
DZ	ARCHITECTURAL
EA	ARCHITECTURAL
EB	ARCHITECTURAL
EC	ARCHITECTURAL
ED	ARCHITECTURAL
EE	ARCHITECTURAL
EF	ARCHITECTURAL
EG	ARCHITECTURAL
EH	ARCHITECTURAL
EI	ARCHITECTURAL
EJ	ARCHITECTURAL
EK	ARCHITECTURAL
EL	ARCHITECTURAL
EM	ARCHITECTURAL
EN	ARCHITECTURAL
EO	ARCHITECTURAL
EP	ARCHITECTURAL
EQ	ARCHITECTURAL
ER	ARCHITECTURAL
ES	ARCHITECTURAL
ET	ARCHITECTURAL
EU	ARCHITECTURAL
EV	ARCHITECTURAL
EW	ARCHITECTURAL
EX	ARCHITECTURAL
EY	ARCHITECTURAL
EZ	ARCHITECTURAL
FA	ARCHITECTURAL
FB	ARCHITECTURAL
FC	ARCHITECTURAL
FD	ARCHITECTURAL
FE	ARCHITECTURAL
FF	ARCHITECTURAL
FG	ARCHITECTURAL
FH	ARCHITECTURAL
FI	ARCHITECTURAL
FJ	ARCHITECTURAL
FK	ARCHITECTURAL
FL	ARCHITECTURAL
FM	ARCHITECTURAL
FN	ARCHITECTURAL
FO	ARCHITECTURAL
FP	ARCHITECTURAL
FQ	ARCHITECTURAL
FR	ARCHITECTURAL
FS	ARCHITECTURAL
FT	ARCHITECTURAL
FU	ARCHITECTURAL
FV	ARCHITECTURAL
FW	ARCHITECTURAL
FX	ARCHITECTURAL
FY	ARCHITECTURAL
FZ	ARCHITECTURAL
GA	ARCHITECTURAL
GB	ARCHITECTURAL
GC	ARCHITECTURAL
GD	ARCHITECTURAL
GE	ARCHITECTURAL
GF	ARCHITECTURAL
GG	ARCHITECTURAL
GH	ARCHITECTURAL
GI	ARCHITECTURAL
GJ	ARCHITECTURAL
GK	ARCHITECTURAL
GL	ARCHITECTURAL
GM	ARCHITECTURAL
GN	ARCHITECTURAL
GO	ARCHITECTURAL
GP	ARCHITECTURAL
GQ	ARCHITECTURAL
GR	ARCHITECTURAL
GS	ARCHITECTURAL
GT	ARCHITECTURAL
GU	ARCHITECTURAL
GV	ARCHITECTURAL
GW	ARCHITECTURAL
GX	ARCHITECTURAL
GY	ARCHITECTURAL
GZ	ARCHITECTURAL
HA	ARCHITECTURAL
HB	ARCHITECTURAL
HC	ARCHITECTURAL
HD	ARCHITECTURAL
HE	ARCHITECTURAL
HF	ARCHITECTURAL
HG	ARCHITECTURAL
HH	ARCHITECTURAL
HI	ARCHITECTURAL
HJ	ARCHITECTURAL
HK	ARCHITECTURAL
HL	ARCHITECTURAL
HM	ARCHITECTURAL
HN	ARCHITECTURAL
HO	ARCHITECTURAL
HP	ARCHITECTURAL
HQ	ARCHITECTURAL
HR	ARCHITECTURAL
HS	ARCHITECTURAL
HT	ARCHITECTURAL
HU	ARCHITECTURAL
HV	ARCHITECTURAL
HW	ARCHITECTURAL
HX	ARCHITECTURAL
HY	ARCHITECTURAL
HZ	ARCHITECTURAL
IA	ARCHITECTURAL
IB	ARCHITECTURAL
IC	ARCHITECTURAL
ID	ARCHITECTURAL
IE	ARCHITECTURAL
IF	ARCHITECTURAL
IG	ARCHITECTURAL
IH	ARCHITECTURAL
II	ARCHITECTURAL
IJ	ARCHITECTURAL
IK	ARCHITECTURAL
IL	ARCHITECTURAL
IM	ARCHITECTURAL
IN	ARCHITECTURAL
IO	ARCHITECTURAL
IP	ARCHITECTURAL
IQ	ARCHITECTURAL
IR	ARCHITECTURAL
IS	ARCHITECTURAL
IT	ARCHITECTURAL
IU	ARCHITECTURAL
IV	ARCHITECTURAL
IW	ARCHITECTURAL
IX	ARCHITECTURAL
IY	ARCHITECTURAL
IZ	ARCHITECTURAL
JA	ARCHITECTURAL
JB	ARCHITECTURAL
JC	ARCHITECTURAL
JD	ARCHITECTURAL
JE	ARCHITECTURAL
JF	ARCHITECTURAL
JG	ARCHITECTURAL
JH	ARCHITECTURAL
JI	ARCHITECTURAL
JJ	ARCHITECTURAL
JK	ARCHITECTURAL
JL	ARCHITECTURAL
JM	ARCHITECTURAL
JN	ARCHITECTURAL
JO	ARCHITECTURAL
JP	ARCHITECTURAL
JQ	ARCHITECTURAL
JR	ARCHITECTURAL
JS	ARCHITECTURAL
JT	ARCHITECTURAL
JU	ARCHITECTURAL
JV	ARCHITECTURAL
JW	ARCHITECTURAL
JX	ARCHITECTURAL
JY	ARCHITECTURAL
JZ	ARCHITECTURAL
KA	ARCHITECTURAL
KB	ARCHITECTURAL
KC	ARCHITECTURAL
KD	ARCHITECTURAL
KE	ARCHITECTURAL
KF	ARCHITECTURAL
KG	ARCHITECTURAL
KH	ARCHITECTURAL
KI	ARCHITECTURAL
KJ	ARCHITECTURAL
KK	ARCHITECTURAL
KL	ARCHITECTURAL
KM	ARCHITECTURAL
KN	ARCHITECTURAL
KO	ARCHITECTURAL
KP	ARCHITECTURAL
KQ	ARCHITECTURAL
KR	ARCHITECTURAL
KS	ARCHITECTURAL
KT	ARCHITECTURAL
KU	ARCHITECTURAL
KV	ARCHITECTURAL
KW	ARCHITECTURAL
KX	ARCHITECTURAL
KY	ARCHITECTURAL
KZ	ARCHITECTURAL
LA	ARCHITECTURAL
LB	ARCHITECTURAL
LC	ARCHITECTURAL
LD	ARCHITECTURAL
LE	ARCHITECTURAL
LF	ARCHITECTURAL
LG	ARCHITECTURAL
LH	ARCHITECTURAL
LI	ARCHITECTURAL
LJ	ARCHITECTURAL
LK	ARCHITECTURAL
LL	ARCHITECTURAL
LM	ARCHITECTURAL
LN	ARCHITECTURAL
LO	ARCHITECTURAL
LP	ARCHITECTURAL
LQ	ARCHITECTURAL
LR	ARCHITECTURAL
LS	ARCHITECTURAL
LT	ARCHITECTURAL
LU	ARCHITECTURAL
LV	ARCHITECTURAL
LW	ARCHITECTURAL
LX	ARCHITECTURAL
LY	ARCHITECTURAL
LZ	ARCHITECTURAL
MA	ARCHITECTURAL
MB	ARCHITECTURAL
MC	ARCHITECTURAL
MD	ARCHITECTURAL
ME	ARCHITECTURAL
MF	ARCHITECTURAL
MG	ARCHITECTURAL
MH	ARCHITECTURAL
MI	ARCHITECTURAL
MJ	ARCHITECTURAL
MK	ARCHITECTURAL
ML	ARCHITECTURAL
MM	ARCHITECTURAL
MN	ARCHITECTURAL
MO	ARCHITECTURAL
MP	ARCHITECTURAL
MQ	ARCHITECTURAL
MR	ARCHITECTURAL
MS	ARCHITECTURAL
MT	ARCHITECTURAL
MU	ARCHITECTURAL
MV	ARCHITECTURAL
MW	ARCHITECTURAL
MX	ARCHITECTURAL
MY	ARCHITECTURAL
MZ	ARCHITECTURAL
NA	ARCHITECTURAL
NB	ARCHITECTURAL
NC	ARCHITECTURAL
ND	ARCHITECTURAL
NE	ARCHITECTURAL
NF	ARCHITECTURAL
NG	ARCHITECTURAL
NH	ARCHITECTURAL
NI	ARCHITECTURAL
NJ	ARCHITECTURAL
NK	ARCHITECTURAL
NL	ARCHITECTURAL
NM	ARCHITECTURAL
NO	ARCHITECTURAL
NP	ARCHITECTURAL
NQ	ARCHITECTURAL
NR	ARCHITECTURAL
NS	ARCHITECTURAL
NT	ARCHITECTURAL
NU	ARCHITECTURAL
NV	ARCHITECTURAL
NW	ARCHITECTURAL
NX	ARCHITECTURAL
NY	ARCHITECTURAL
NZ	ARCHITECTURAL
OA	ARCHITECTURAL
OB	ARCHITECTURAL
OC	ARCHITECTURAL
OD	ARCHITECTURAL
OE	ARCHITECTURAL
OF	ARCHITECTURAL
OG	ARCHITECTURAL
OH	ARCHITECTURAL
OI	ARCHITECTURAL
OJ	ARCHITECTURAL
OK	ARCHITECTURAL
OL	ARCHITECTURAL
OM	ARCHITECTURAL
ON	ARCHITECTURAL
OO	ARCHITECTURAL
OP	ARCHITECTURAL
OQ	ARCHITECTURAL
OR	ARCHITECTURAL
OS	ARCHITECTURAL
OT	ARCHITECTURAL
OU	ARCHITECTURAL
OV	ARCHITECTURAL
OW	ARCHITECTURAL
OX	ARCHITECTURAL
OY	ARCHITECTURAL
OZ	ARCHITECTURAL
PA	ARCHITECTURAL
PB	ARCHITECTURAL
PC	ARCHITECTURAL
PD	ARCHITECTURAL
PE	ARCHITECTURAL
PF	ARCHITECTURAL
PG	ARCHITECTURAL
PH	ARCHITECTURAL
PI	ARCHITECTURAL
PJ	ARCHITECTURAL
PK	ARCHITECTURAL
PL	ARCHITECTURAL
PM	ARCHITECTURAL
PN	ARCHITECTURAL
PO	ARCHITECTURAL
PP	ARCHITECTURAL
PQ	ARCHITECTURAL
PR	ARCHITECTURAL
PS	ARCHITECTURAL
PT	ARCHITECTURAL
PV	ARCHITECTURAL
PW	ARCHITECTURAL
PX	ARCHITECTURAL
PY	ARCHITECTURAL
PZ	ARCHITECTURAL
QA	ARCHITECTURAL
QB	ARCHITECTURAL
QC	ARCHITECTURAL
QD	ARCHITECTURAL
QE	ARCHITECTURAL
QF	ARCHITECTURAL
QG	ARCHITECTURAL
QH	ARCHITECTURAL
QI	ARCHITECTURAL
QJ	ARCHITECTURAL
QK	ARCHITECTURAL
QL	ARCHITECTURAL
QM	ARCHITECTURAL
QN	ARCHITECTURAL
QO	ARCHITECTURAL
QP	ARCHITECTURAL
QQ	ARCHITECTURAL
QR	ARCHITECTURAL
QS	ARCHITECTURAL
QT	ARCHITECTURAL
QU	ARCHITECTURAL
QV	ARCHITECTURAL
QW	ARCHITECTURAL
QX	ARCHITECTURAL
QY	ARCHITECTURAL
QZ	ARCHITECTURAL
RA	ARCHITECTURAL
RB	ARCHITECTURAL
RC	ARCHITECTURAL
RD	ARCHITECTURAL
RE	ARCHITECTURAL
RF	ARCHITECTURAL
RG	ARCHITECTURAL
RH	ARCHITECTURAL
RI	ARCHITECTURAL
RJ	ARCHITECTURAL
RK	ARCHITECTURAL
RL	ARCHITECTURAL
RM	ARCHITECTURAL
RN	ARCHITECTURAL
RO	ARCHITECTURAL
RP	ARCHITECTURAL
RQ	ARCHITECTURAL
RR	ARCHITECTURAL
RS	ARCHITECTURAL
RT	ARCHITECTURAL
RU	ARCHITECTURAL
RV	ARCHITECTURAL
RW	ARCHITECTURAL
RX	ARCHITECTURAL
RY	ARCHITECTURAL
RZ	ARCHITECTURAL
SA	ARCHITECTURAL
SB	ARCHITECTURAL
SC	ARCHITECTURAL
SD	ARCHITECTURAL
SE	ARCHITECTURAL
SF	ARCHITECTURAL
SG	ARCHITECTURAL
SH	ARCHITECTURAL
SI	ARCHITECTURAL
SJ	ARCHITECTURAL
SK	ARCHITECTURAL
SL	ARCHITECTURAL
SM	ARCHITECTURAL
SN	ARCHITECTURAL
SO	ARCHITECTURAL
SP	ARCHITECTURAL
SQ	ARCHITECTURAL
SR	ARCHITECTURAL
SS	ARCHITECTURAL
ST	ARCHITECTURAL
SV	ARCHITECTURAL
SW	ARCHITECTURAL
SX	ARCHITECTURAL
SY	ARCHITECTURAL
SZ	ARCHITECTURAL
TA	ARCHITECTURAL
TB	ARCHITECTURAL
TC	ARCHITECTURAL
TD	ARCHITECTURAL
TE	ARCHITECTURAL
TF	ARCHITECTURAL
TG	ARCHITECTURAL
TH	ARCHITECTURAL
TI	ARCHITECTURAL
TJ	ARCHITECTURAL
TK	ARCHITECTURAL
TL	ARCHITECTURAL
TM	ARCHITECTURAL
TN	ARCHITECTURAL
TO	ARCHITECTURAL
TP	ARCHITECTURAL
TQ	ARCHITECTURAL
TR	ARCHITECTURAL
TS	ARCHITECTURAL
TT	ARCHITECTURAL
TU	ARCHITECTURAL
TV	ARCHITECTURAL
TV	ARCHITECTURAL
TW	ARCHITECTURAL
TX	ARCHITECTURAL
TY	ARCHITECTURAL
TZ	ARCHITECTURAL
UA	ARCHITECTURAL
UB	ARCHITECTURAL
UC	ARCHITECTURAL
UD	ARCHITECTURAL
UE	ARCHITECTURAL
UF	ARCHITECTURAL
UG	ARCHITECTURAL
UH	ARCHITECTURAL
UI	ARCHITECTURAL
UJ	ARCHITECTURAL
UK	ARCHITECTURAL
UL	ARCHITECTURAL
UM	ARCHITECTURAL
UN	ARCHITECTURAL
UO	ARCHITECTURAL
UP	ARCHITECTURAL
UQ	ARCHITECTURAL
UR	ARCHITECTURAL
US	ARCHITECTURAL
UT	ARCHITECTURAL
UU	ARCHITECTURAL
UV	ARCHITECTURAL
UV	ARCHITECTURAL
UW	ARCHITECTURAL



The Wickfield Center Bar Star, LLC

220 South Main Street
 Ann Arbor, MI 48104

Key Plan

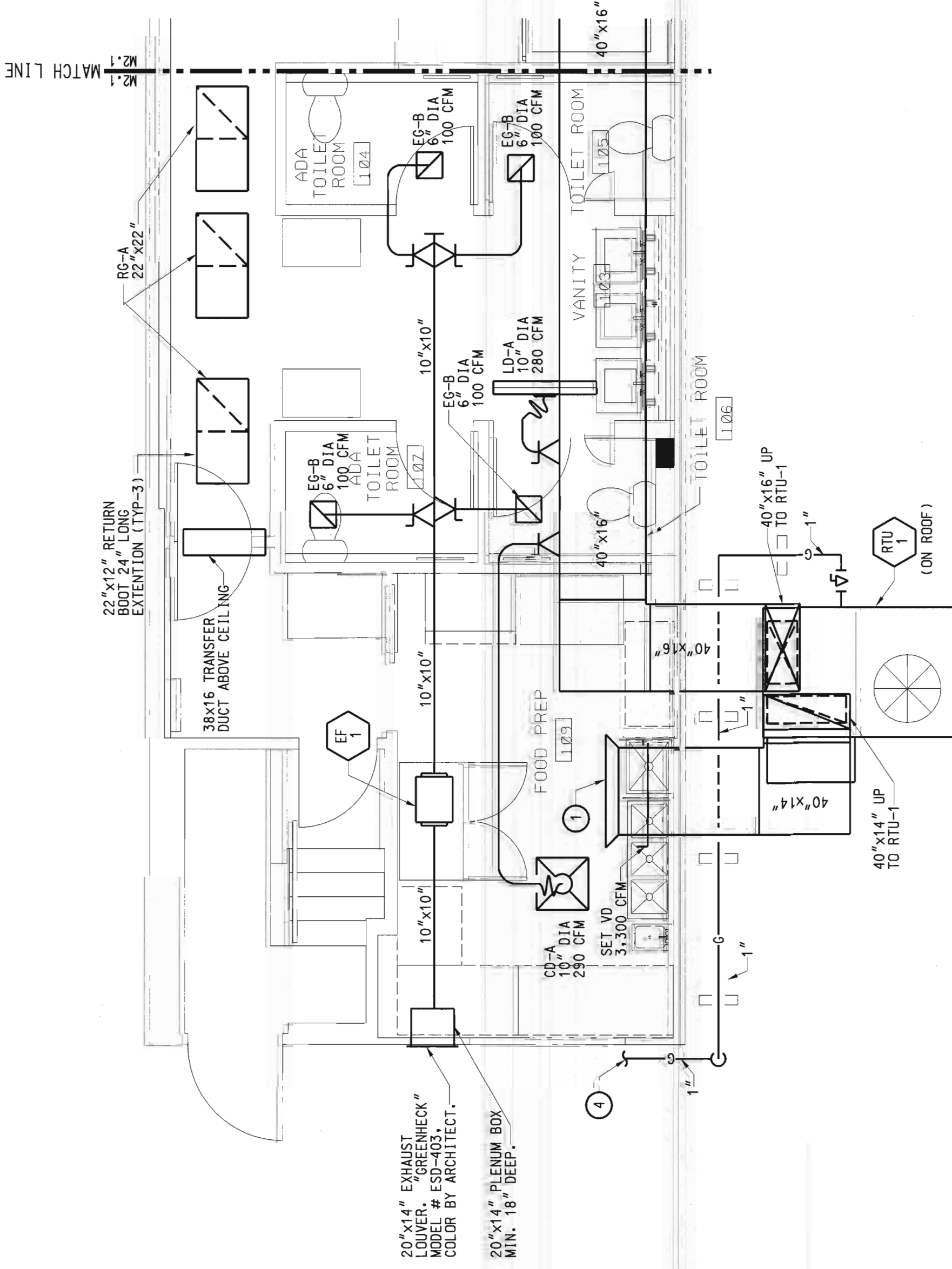


KEYNOTES:

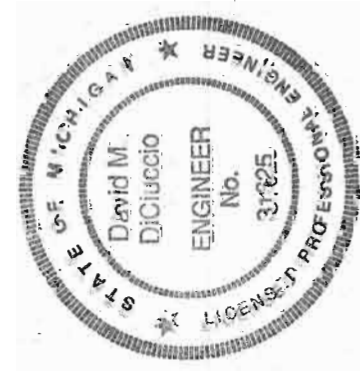
1. 40"x14" RETURN DUCT. TERMINATE WITH BELLMOUTH AND COVER WITH WIRE MESH.
2. INSTALL LINEAR DIFFUSER IN ANGLED PORTION OF CEILING. CENTER LINEAR DIFFUSER BETWEEN ANGLE CEILING.
3. INSTALL LINEAR DIFFUSER IN VERTICAL SOFFIT. CENTER LINEAR DIFFUSER IN HORIZONTAL SOFFIT.
4. ROUTE NEW 1" GAS TO TENANT GAS METER. CONTRACTOR TO FIELD VERIFY AND COORDINATE WITH LOCAL UTILITY COMPANY. PIPE SIZED BASED ON 125 FEET EQUIVALENT LENGTH OF PIPE WITH A ENTERING PRESSURE 7 WC TO 6 WC AT RTU-1 (250 CFM).

GENERAL NOTES:

1. NO VALVES, VAV BOXES, JUNCTION BOXES, ETC. REQUIRING ACCESS SHALL BE LOCATED ABOVE DRYWALL CEILINGS.
2. NO CONDUITS, PIPING, DUCTWORK, ETC. SHALL BE LOCATED IN FRONT OF FIRE DAMPER ACCESS DOORS.
3. NO PIPING, DUCTWORK, ETC. SHALL BE RUN OVER ELECTRICAL PANES OR THRU ELECTRICAL ROOMS AND COMMUNICATION CLOSETS.



FIRST FLOOR PLAN - HVAC 1/4"=1'-0"



First Floor Plan- HVAC

Reference Finish Floor Elevation: XXX'-X"
 TDS Project Number Drawing Number

16190-1000

M2.1



The Wickfield Center Bar Star, LLC

220 South Main Street
 Ann Arbor, MI 48104

Key Plan

THIS PROJECT MAY NOT UTILIZE ALL THE SYMBOLS, MATERIALS, ABBREVIATIONS AND STANDARD INFORMATION SHOWN ON THIS SHEET.

PACKAGED ROOFTOP UNIT SCHEDULE

MARK	AREA SERVED (CFM)	AIRFLOW		SUPPLY FAN			FILTERS			ELECTRICAL DATA			DIMENSIONS L x W x H (IN)	WEIGHT (LBS)	"BRYANT" MODEL No.	REMARKS													
		SA (CFM)	OA (CFM)	EXT. S.P. (IN.WC.)	TOTAL S.P. (IN.WC.)	FAN QTY.	DRIVE	FAN RPM	TYPE	MERV	VIP/PHZ	FLA					MCA	MAX FUSE SIZE (AMPS)											
RTU-1	BUILDING	4,000	1,000	1.0	1.2	1	BELT	1,042	1,750	2.9	5.0	119.5	88.6	80/67	59,357.6	5.1	250/205	48.2	95.7	2" PLT	8	230/360	56.0	53.0	60	88.13 x 59.5 x 48.38	1,099	561UP12D250	

- NOTES:
 1. PROVIDE WITH FACTORY MOUNTED & WIRED NON-FUSED DISCONNECT.
 2. PROVIDE WITH FACTORY MOUNTED AND WIRED 20A GFRC RECEPTACLE.

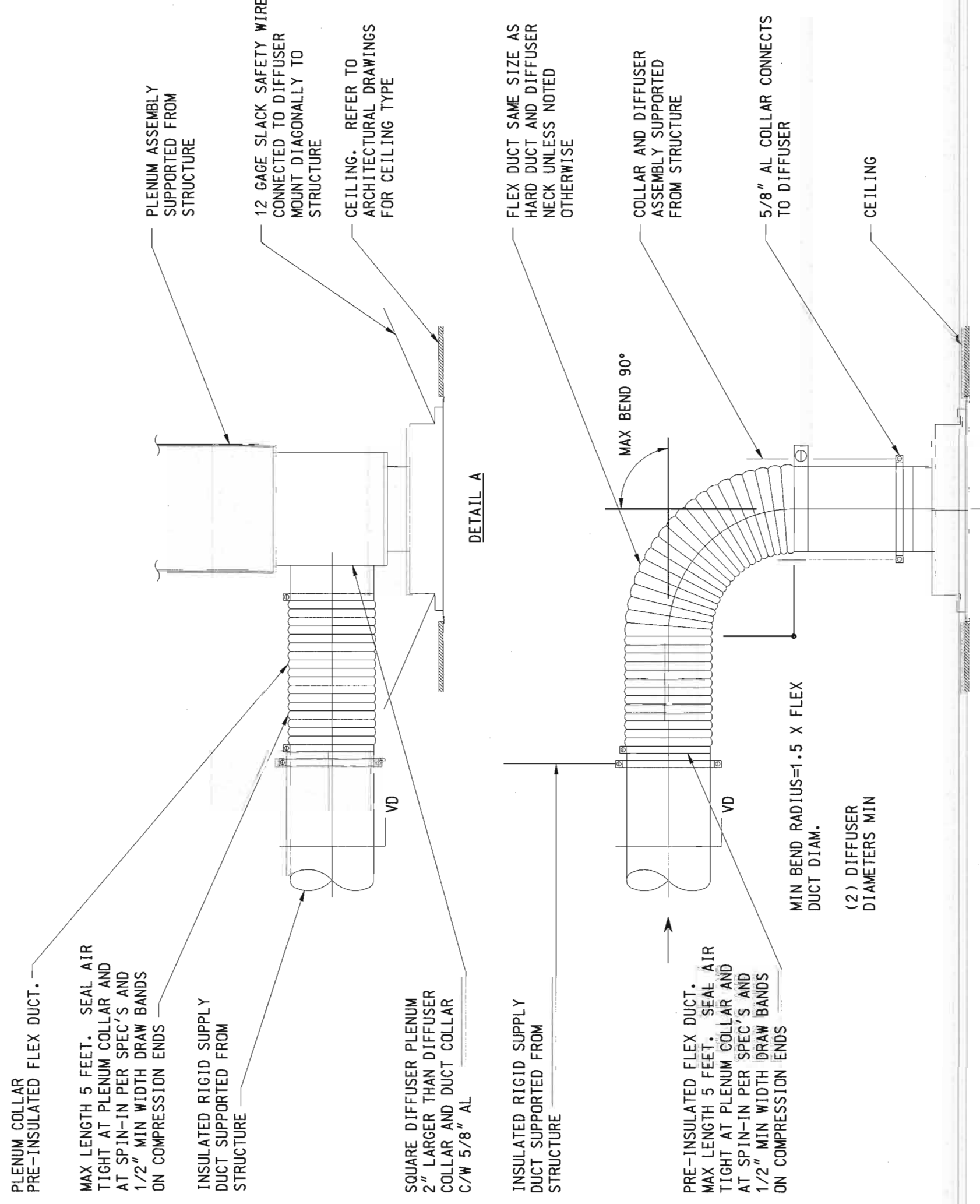
FAN SCHEDULE

MARK	SERVICE	DESIGN AIRFLOW (CFM)	EXT. SP. (IN.WC.)	FAN DATA			MOTOR DATA			ELECTRICAL DATA			"GREENHECK" MODEL No.	REMARKS
				TYPE	DRIVE	BELT	TYPE	RPM	BHP	HP	VOLT	PHASE		
EF-1	TOILET ROOMS	400	0.5	INLINE	BELT	1,460	1725	0.14	0.25	115	1	5.8	BSQ-80	

GRILLE, REGISTER AND DIFFUSER SCHEDULE

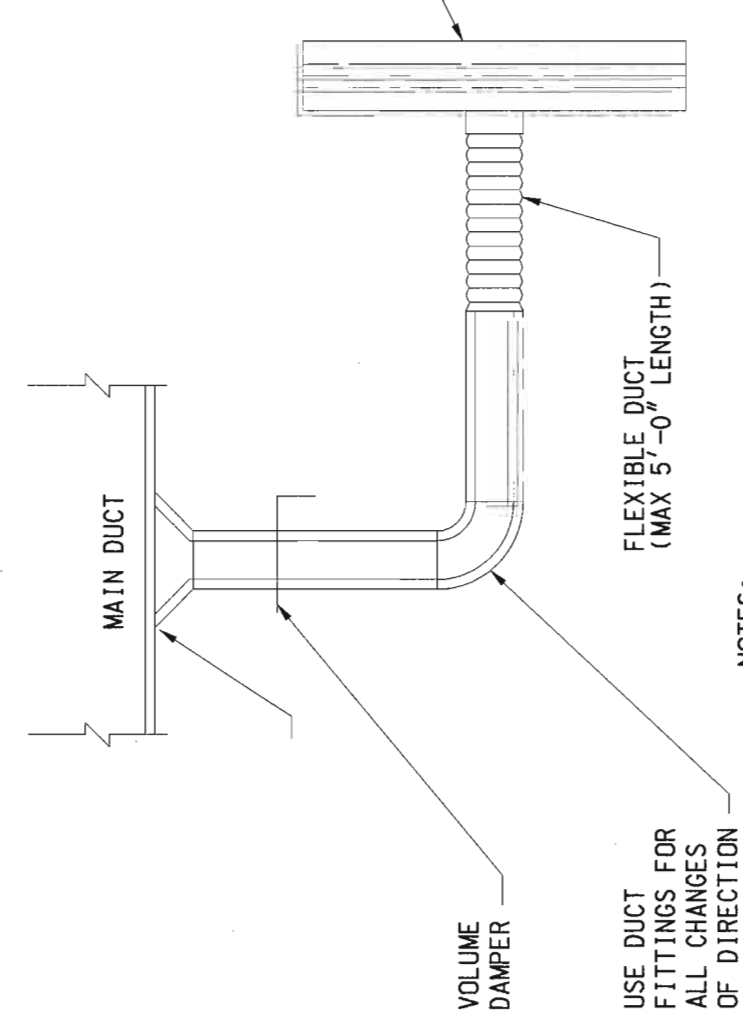
MARK	CORE STYLE	BORDER FRAME TYPE	MODULE SIZE	FINISH	ACCESSORY	CONSTRUCTION	"PRICE" MODEL No.	REMARKS
LD-A	LINEAR SLOT	SURFACE MOUNT	48" LONG	REFER TO ARCH.	SDB PLENUM	ALUMINUM	SDS75	48" LONG / 4-SLOT
CD-A	LOUVER	DRYWALL	24"x24"	WHITE	NONE	ALUMINUM	SCDAS	
RG-A	PERFORATED	LAY-IN / GYP	24"x24"	WHITE	NONE	ALUMINUM	APDDR	
EG-B	PERFORATED	LAY-IN / GYP	12"x12"	WHITE	NONE	ALUMINUM	APDDR	

- NOTES:
 1. ALL WALL AND DUCT MOUNTED GRILLES AND REGISTERS SHALL HAVE COUNTERSUNK SCREW HOLES.

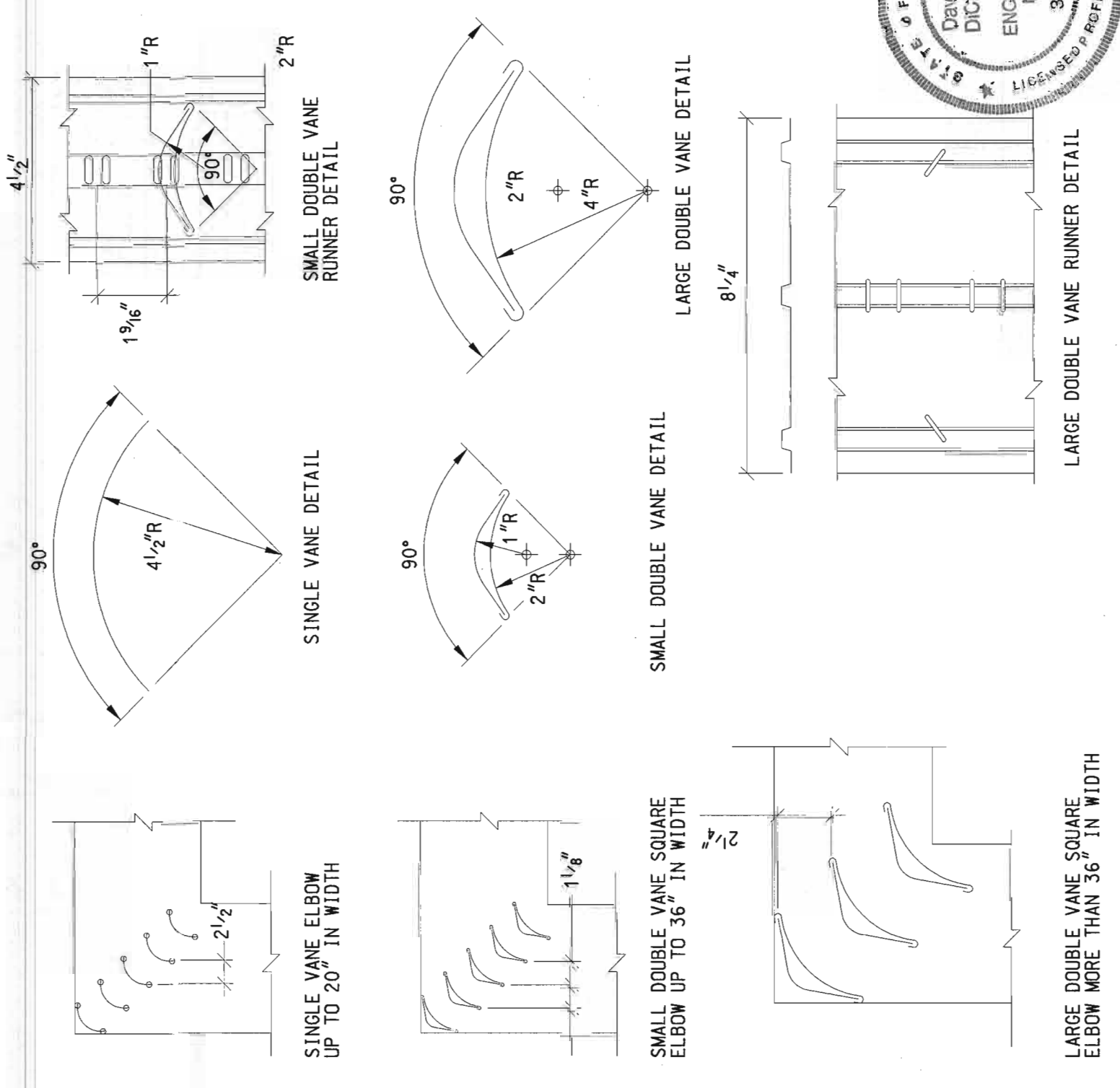


DIFFUSER CONNECTION

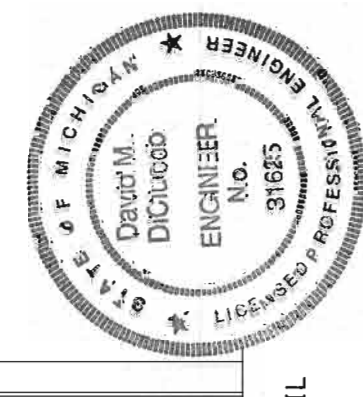
- NO SCALE
 NOTES:
 1. RETURN DUCTS & PLENUMS DO NOT REQUIRE INSULATION UNLESS SPECIFIED OTHERWISE.
 2. USE DETAIL B WHERE SPACE PERMITS. USE DETAIL A ELSEWHERE.



- NO SCALE
 NOTES:
 1. PLENUM DIMENSIONS AS SHOWN ON SCHEDULES.



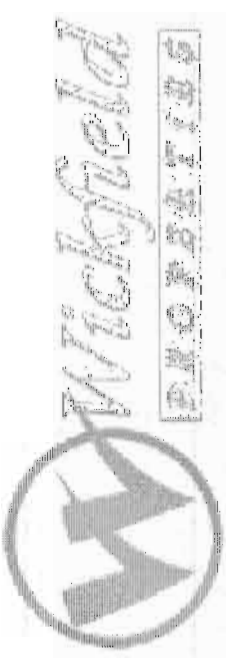
- NO SCALE
 SQUARE AND RECTANGULAR ELBOWS-
 LOW VELOCITY



Mechanical Schedules and Details

Issued for	Issue Date
Owner Review	09-07-16
Bids	09-12-16
Permits	09-28-16
Permits	10-25-16

Project Administrator	Drawn By
D. Paone	J. Humbert
Project Designer	G.M. Review
J. Humbert	D. Paone
Project Architect / Engineer	Approved
D. Paone	D. DiCiccio
	Drawing Scale
	No Scale



The Wickfield Center Bar Star, LLC

220 South Main Street
 Ann Arbor, MI 48104

Key Plan

Project Administrator	D. Paone
Project Designer	J. Humbert
Project Architect/Engineer	D. Paone
Drawn By	J. Humbert
G.M. Review	D. Paone
Approved	D. DiCiccio
Drawing Scale	1/4"=1'-0"

Issued for	Issue Date
Bids	09-12-16
Permits	09-28-16
Permits	10-25-16

© 2015 INTEGRATED DESIGN SOLUTIONS, LLC

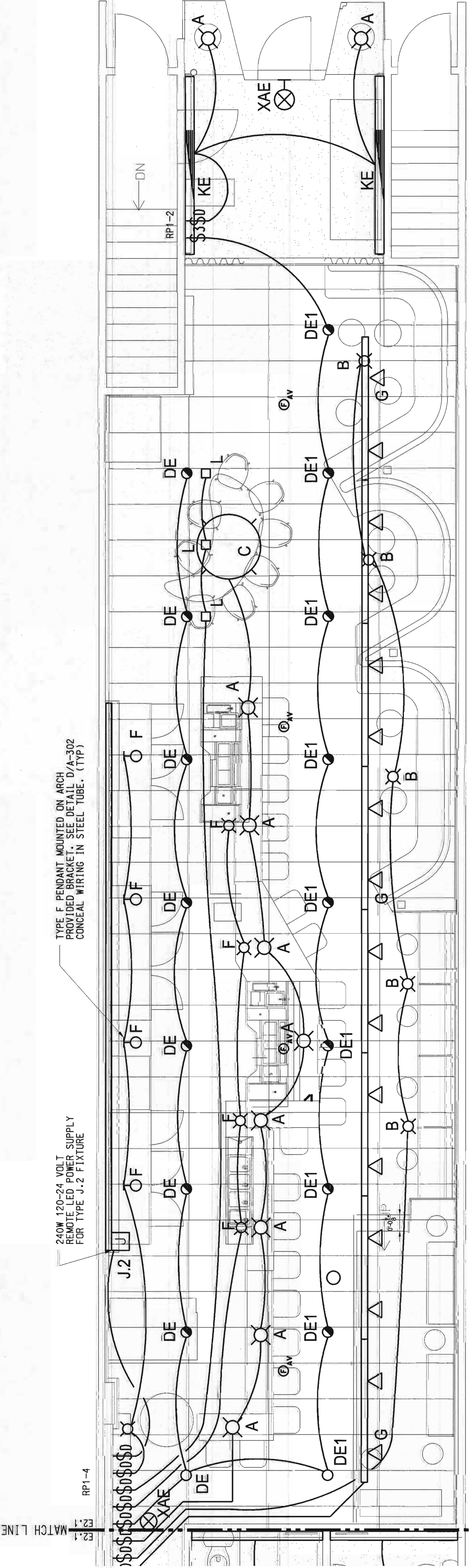


First Floor Plan - Lighting

Reference Finish Floor Elevation: XXX'-X"
 Drawing Number

16190-1000

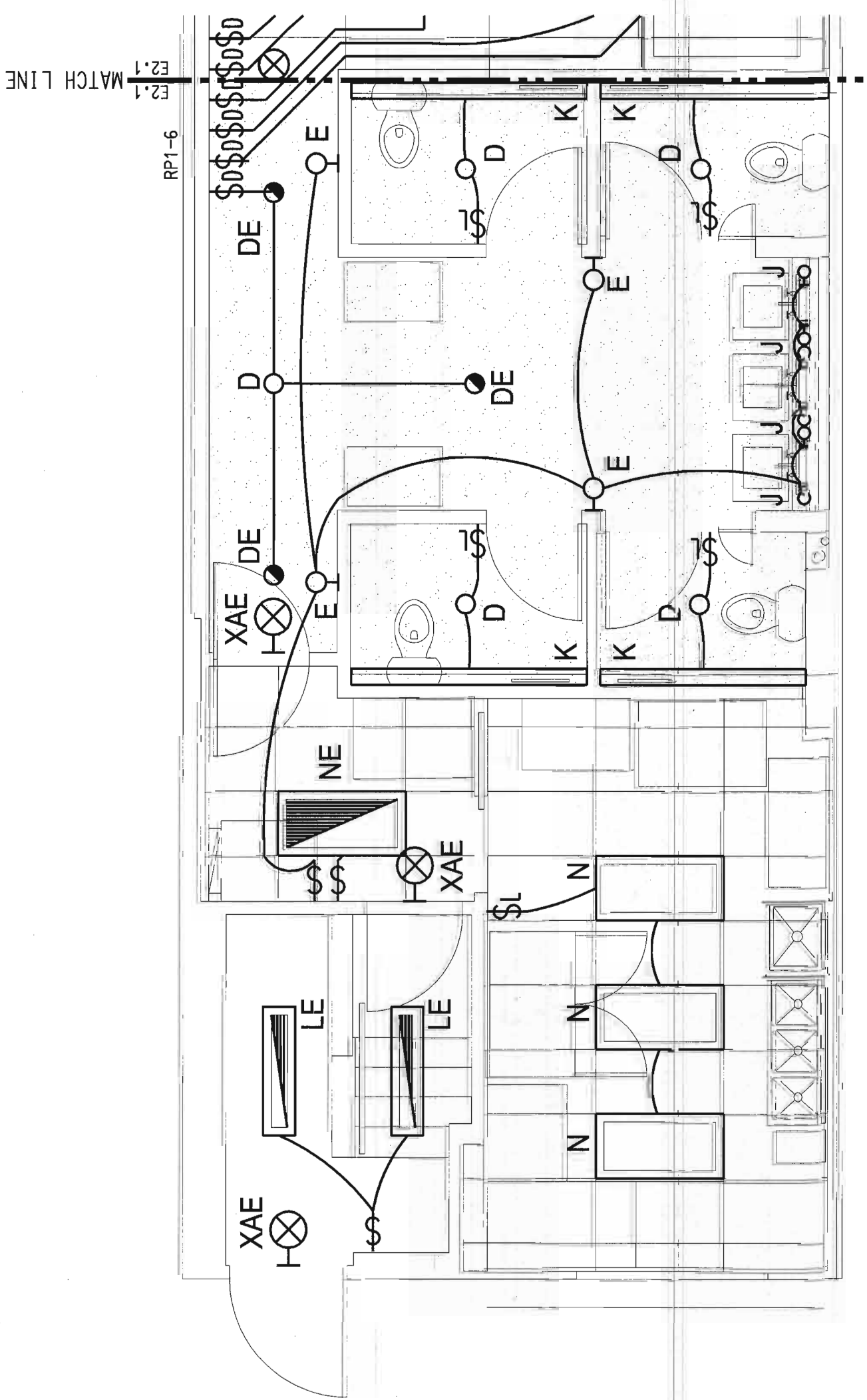
E2.1



TYPE G TRACK LIGHT MOUNTED ABOVE
 HEADS AND AIMS DIRECTED BY
 ARCHITECT

- DE FOCAL POINT 4.5" DIAMETER LED DOWNLIGHT WITH: 0-10 VOLT DIMMING, 1000 LUMEN, 3000 DEG & LED; EMERGENCY BATTERY BACKUP FOR 90 MINUTES
- DE1 FOCAL POINT 4.5" DIAMETER ADJUSTABLE LED DOWNLIGHT WITH: 0-10 VOLT DIMMING, 1000 LUMEN, 3000 DEG & LED; EMERGENCY BATTERY BACKUP FOR 90 MINUTES
- KE PRENDENTIAL 6 INCH WIDE RECESSED LED COVE FIXTURE WITH: STEEL HOUSING, ALUMINUM TRIM FOR GYP BOARD CEILING, CUSTOM LENGTH AND SELF DIAGNOSTIC/SELF TESTING NI-CAD EMERGENCY BATTERY BACKUP
- LE PHILIPS 4 FOOT LONG LED STRIP FIXTURE WITH: STEEL HOUSING, ALUMINUM TRIM FOR GYP BOARD CEILING, CUSTOM LENGTH AND SELF DIAGNOSTIC/SELF TESTING NI-CAD EMERGENCY BATTERY BACKUP
- NE METALUX RECESSED 2X4 LED LAY-IN FIXTURE WITH: STEEL HOUSING, ACRYLIC LENS AND SELF DIAGNOSTIC/SELF TESTING NI-CAD EMERGENCY BATTERY BACKUP
- XAE LITHONIA LED EXIT LIGHT FIXTURE WITH: STEEL HOUSING, ACRYLIC LENS AND SELF DIAGNOSTIC/SELF TESTING NI-CAD EMERGENCY BATTERY BACKUP

- FLC4D-RD-1000L-120-LD1-T-EM TRIM LC4EM-1000L-35K-ON-BK-BP
- FLCS4-RD-1000L-30K-FL-LD1-EMR TRIM LC34-1000L-RD-BK-BP
- P59-A6-LED3-MD-R-W-UNV-A3B-DM-G-EMH
- LF-4-RR-30-40-U-EM-ED
- 24CZ-LD4-40-S-UNV-EL-TW
- LES-B-1/2-R-ELN-SO



TYPE J TAPE LIGHT MOUNTED VERTICALLY

FIRST FLOOR PLAN - LIGHTING

1/4"=1'-0"



1-5-17

1-5-17 Review



**City of Ann Arbor
PLANNING & DEVELOPMENT SERVICES — CONSTRUCTION SERVICES**

Mailing: 301 E. Huron Street | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647
Location: Larcom City Hall | First Floor | 301 E. Huron St. | Ann Arbor, MI 48104-6120
p. 734.794.6263 | f. 734.994.8460 | building@a2gov.org

PLAN REVISION REQUEST

Please fill in all information below. Failure to do so will result in this Revision Request placed on hold until additional information is submitted.

**NOTE: All revisions on drawings must be clearly marked.
This is usually accomplished by "bubbling-up" the change(s).
Failure to do this will result in the drawings being returned for re-submittal.**

Date: 1-5-17

Address: 220 S Main St.

Permit Number (if known): BLDG16-2336

Contractor/Applicant: R.W. Mercer Co.

Contact Name: Matt Stoddard

Contact Number: 313-286-3300

Additional Cost for this work: N/A

Description of change (Please describe in detail what these drawings and/or information show and what has changed from the original submission):

Revisions per attached review letter from CES dated 11-23-16.

B706.11 - HVAC Plans have been revised. Property line wall will no longer be penetrated. Sheet M-1 replaces M0.1, M2.1 and M6.1.

B903-2.1.2 - The building owner is in the process of installing a building-wide suppression system.

Did the inspector request this information? Yes No

OFFICE USE ONLY:

Approved by: _____ Date: _____

Official Comments: _____

12/27/11

CODE ENFORCEMENT SERVICES

A division of Carlisle/Wortman Associates, Inc.
605 S. Main Street, Suite 1
Ann Arbor, Michigan 48104

Phone: 734-662-2200
Fax: 734-662-1935

November 23, 2016

Mr. Matt Stoddard
R.W. Mercer Co.
2322 Brooklyn Rd.
Jackson, MI 49203

Re: Bar Star
220 S. Main St.
Ann Arbor, MI

Dear Mr. Stoddard,

I have reviewed the proposed work at the above address for compliance with the current codes adopted by the State of Michigan. The review involves the 2012 Michigan Rehabilitation Code for Existing Buildings (MRCEB) and to the extent referenced in that document the 2012 Michigan Building Code (MBC); the 2012 Michigan Mechanical Code (MMC); the 2012 Michigan Plumbing Code (MPC); the 2014 Michigan Electrical Code (MEC); and the affiliated codes and standards referenced in those documents including the Michigan Uniform Energy Code and the State Accessibility standard. A full review of the mechanical, electrical and plumbing drawings is not yet completed.

Please address the following issues so that we may continue the plan review process and be able to recommend approval in an expeditious manner:

ADMINISTRATIVE

B 107.3.4.1 Deferred submittals are allowed for the following components and systems:

- Automatic sprinkler system alterations.
- Kitchen hood and associated suppression / alarm systems
- Energy code compliance report in accordance with ANSI/ASHRAE/IESNA Standard 90.1-2007 section 4.2.2.2
(Please include mechanical and electrical information)

PUBLIC TOILET FACILITIES

P 405.3.2 One male and one female public toilet room is required for this space. In public toilet rooms, the required lavatory must be located in the same room as the required water closet. The "Vanity" area must be redesigned to create at least two separate toilet rooms – one for each sex – each with a toilet and lavatory in the same room.

FIRE AND SMOKE PROTECTION FEATURES

- B 706.1.1 The wall between buildings on the south side of this space is on a lot line and is used for joint service between the two buildings. The requirements for the proposed openings for HVAC equipment are similar to those recently encountered for the new third floor windows in the same building. The rules for the HVAC opening are the same as those for the windows – the code does not allow openings in this wall unless a variance is obtained from the Building Board of Appeals, or other methods of protection are used and approved by the Building Official.
- B 903.2.1.2 Please verify that the sprinkler system in the building is an NFPA 13 system providing complete building-wide coverage on all levels including the basement.

MEANS OF EGRESS

- B 1008.1.2 All doors must swing in the direction of egress travel. Door 108A must be revised so that it cannot swing against egress.
- B 1008.1.10 Egress doors serving rooms or spaces with an occupant load of 50 or more must be equipped with panic hardware or fire exit hardware.
- B1009.1 Stairs serving an occupant load of 50 or less shall have a width of at least 36". The stairs at the rear of the space appear to be less than the minimum requirement.
- B 1028.9 Every occupied portion of any building, room or space used for assembly purposes that contains seats, tables, displays, similar fixtures or equipment shall be provided with aisles leading to exits or exit access doorways in accordance with this section. The minimum aisle width shall comply with section 1028.9.1. Aisle configuration shall comply with sections 1028.9.2-6. Aisle accessways for tables and seating shall comply with Section 1028.10.
- B 1028.10.1 The aisle dimensions in this space provide insufficient clear width. Where seating is located at a table or counter and is adjacent to an aisle or aisle accessway, the measurement of required clear width shall be made to a line 19 inches away from and parallel to the edge of the table or counter. The 19 inch distance shall be measured perpendicular to the side of the table or counter. In this space the required width must include the 19 inch required space on one or both sides depending upon the location in the space. In some cases, a total of 74 inches may be needed between counters / tables and opposite counters / tables.
-

ACCESSIBILITY


- B1104 Provide the required maneuvering clearance at all accessible means of egress doors (ICC A117.1 – 404.2.3) .
- B 1104 Door thresholds shall be a maximum of 1/2” high with rises exceeding 1/4” beveled 1:2 (A117.1 – 404.2.4) .
- B1108.2.9.1 At least 5% (but not less than 1) of the dining surfaces for food or drink consumption, including seating and standing spaces at tables and/or bars, shall be indicated as accessible and such spaces shall be distributed throughout the facility and located on a level accessed by an accessible route. In the event the raised platform contains elements or features not otherwise available on the accessible level, it must also be made accessible.
- B 1108.2.9.1 A clear floor space complying with section A 117.1 - 305, positioned for a forward approach to all seating and standing spaces shall be provided. Knee and toe clearances complying with section A 117.1 - 306 shall be provided (A117.1 – 902.2).
- B 1108.2.9.1 The tops of dining surfaces shall be 28 inches minimum and 34 inches maximum in height above the floor. Clear floor space of 30 inches by 48 inches shall be provided positioned for a forward approach (A117.1 – 902.4).
- B1109.12.3 Counters, hostess stands, cashiers counters, or areas for sales service or distribution of goods shall have at least 1 that is accessible with a 36” long portion no more than 36” above the floor. The accessible portion of the countertop shall extend the same depth as the sales and service countertop (A117.1 – 904.3.2).
- B1109.13 Controls, operating mechanisms and hardware: All controls, operating mechanisms, and hardware in accessible spaces for use by occupants including those at self-serve machines and areas for self-service of utensils and related items shall be accessible being capable of operation with one hand and not requiring tight grasping, pinching or twisting of the wrist to operate and in mounted between 15” and 48” above the floor (A117.1 – 308 & 309).
-

CODE ENFORCEMENT SERVICES

August 13, 2009

Page 4

Respectfully,



Larry Pickel
Construction Code Division
Code Enforcement Services

Cc:

Laura Roberts
Synecdoche Design Studio
1342 N. Main St. #5
Ann Arbor, MI 48104

06 December 2016

PUBLIC TOILET FACILITIES

P 405.3.2 The two ADA toilet rooms will have lavatories installed. All toilet rooms will remain Unisex. The doors will swing out, and the plan shows that the doors will not encroach into the required egress width by more than 7".

MEANS OF EGRESS

B1008.1.2 Door 108A is not required by owner and has been removed.

B1008.1.10 All egress doors are equipped with panic hardware.

B1009.1 The existing stair and landing are 2'-11 1/2" wide, and this has been approved by Code Enforcement Services as an existing condition, since it meets the egress width required by the Occupancy Load.

B1028.9 Aisle ways and their widths are marked on the plan.

B1028.10.1 Aisle ways and their widths are marked on the plan. There will be no additional seating that is not shown on plan.

ACCESSIBILITY

B1104 Maneuvering clearances at all accessible means of egress doors are provided.

B1104 Door thresholds will not exceed the maximum rise of 1/2", and if more it exceeds more than 1/4", it will be beveled.

B1108.2.9.1 The Chef's Table, in the vicinity of the bar seating, will be designed as an accessible dining surface, and will meet the 5% requirement. The table will have the required floor space and knee and toe clearances complying with Sections A 117.1-305 and 306.

B1109.12.3 Host stand has been removed.

B1109.13 All controls used by occupants are ADA compliant, including the toilet room occupancy indicator locks.

CODE ENFORCEMENT SERVICES

A division of Carlisle/Wortman Associates, Inc.
605 S. Main Street, Suite 1
Ann Arbor, Michigan 48104

Phone: 734-662-2200
Fax: 734-662-1935

November 23, 2016

Mr. Matt Stoddard
R.W. Mercer Co.
2322 Brooklyn Rd.
Jackson, MI 49203

Re: Bar Star
220 S. Main St.
Ann Arbor, MI

Dear Mr. Stoddard,

I have reviewed the proposed work at the above address for compliance with the current codes adopted by the State of Michigan. The review involves the 2012 Michigan Rehabilitation Code for Existing Buildings (MRCEB) and to the extent referenced in that document the 2012 Michigan Building Code (MBC); the 2012 Michigan Mechanical Code (MMC); the 2012 Michigan Plumbing Code (MPC); the 2014 Michigan Electrical Code (MEC); and the affiliated codes and standards referenced in those documents including the Michigan Uniform Energy Code and the State Accessibility standard. A full review of the mechanical, electrical and plumbing drawings is not yet completed.

Please address the following issues so that we may continue the plan review process and be able to recommend approval in an expeditious manner:

ADMINISTRATIVE

B 107.3.4.1 Deferred submittals are allowed for the following components and systems:

- Automatic sprinkler system alterations.
- Kitchen hood and associated suppression / alarm systems
- Energy code compliance report in accordance with ANSI/ASHRAE/IESNA Standard 90.1-2007 section 4.2.2.2
(Please include mechanical and electrical information)

PUBLIC TOILET FACILITIES

P 405.3.2 One male and one female public toilet room is required for this space. In public toilet rooms, the required lavatory must be located in the same room as the required water closet. The "Vanity" area must be redesigned to create at least two separate toilet rooms – one for each sex – each with a toilet and lavatory in the same room.

FIRE AND SMOKE PROTECTION FEATURES

- B 706.1.1 The wall between buildings on the south side of this space is on a lot line and is used for joint service between the two buildings. The requirements for the proposed openings for HVAC equipment are similar to those recently encountered for the new third floor windows in the same building. The rules for the HVAC opening are the same as those for the windows – the code does not allow openings in this wall unless a variance is obtained from the Building Board of Appeals, or other methods of protection are used and approved by the Building Official.
- B 903.2.1.2 Please verify that the sprinkler system in the building is an NFPA 13 system providing complete building-wide coverage on all levels including the basement.

MEANS OF EGRESS

- B 1008.1.2 All doors must swing in the direction of egress travel. Door 108A must be revised so that it cannot swing against egress.
- B 1008.1.10 Egress doors serving rooms or spaces with an occupant load of 50 or more must be equipped with panic hardware or fire exit hardware.
- B1009.1 Stairs serving an occupant load of 50 or less shall have a width of at least 36". The stairs at the rear of the space appear to be less than the minimum requirement.
- B 1028.9 Every occupied portion of any building, room or space used for assembly purposes that contains seats, tables, displays, similar fixtures or equipment shall be provided with aisles leading to exits or exit access doorways in accordance with this section. The minimum aisle width shall comply with section 1028.9.1. Aisle configuration shall comply with sections 1028.9.2-6. Aisle accessways for tables and seating shall comply with Section 1028.10.
- B 1028.10.1 The aisle dimensions in this space provide insufficient clear width. Where seating is located at a table or counter and is adjacent to an aisle or aisle accessway, the measurement of required clear width shall be made to a line 19 inches away from and parallel to the edge of the table or counter. The 19 inch distance shall be measured perpendicular to the side of the table or counter. In this space the required width must include the 19 inch required space on one or both sides depending upon the location in the space. In some cases, a total of 74 inches may be needed between counters / tables and opposite counters / tables.

ACCESSIBILITY


- B1104 Provide the required maneuvering clearance at all accessible means of egress doors (ICC A117.1 – 404.2.3)
- B 1104 Door thresholds shall be a maximum of 1/2" high with rises exceeding 1/4" beveled 1:2 (A117.1 – 404.2.4)
- B1108.2.9.1 At least 5% (but not less than 1) of the dining surfaces for food or drink consumption, including seating and standing spaces at tables and/or bars, shall be indicated as accessible and such spaces shall be distributed throughout the facility and located on a level accessed by an accessible route. In the event the raised platform contains elements or features not otherwise available on the accessible level, it must also be made accessible.
- B 1108.2.9.1 A clear floor space complying with section A 117.1 - 305, positioned for a forward approach to all seating and standing spaces shall be provided. Knee and toe clearances complying with section A 117.1 - 306 shall be provided (A117.1 – 902.2).
- B 1108.2.9.1 The tops of dining surfaces shall be 28 inches minimum and 34 inches maximum in height above the floor. Clear floor space of 30 inches by 48 inches shall be provided positioned for a forward approach (A117.1 – 902.4).
- B1109.12.3 Counters, hostess stands, cashiers counters, or areas for sales service or distribution of goods shall have at least 1 that is accessible with a 36" long portion no more than 36" above the floor. The accessible portion of the countertop shall extend the same depth as the sales and service countertop (A117.1 – 904.3.2).
- B1109.13 Controls, operating mechanisms and hardware: All controls, operating mechanisms, and hardware in accessible spaces for use by occupants including those at self-serve machines and areas for self-service of utensils and related items shall be accessible being capable of operation with one hand and not requiring tight grasping, pinching or twisting of the wrist to operate and in mounted between 15" and 48" above the floor (A117.1 – 308 & 309).

CODE ENFORCEMENT SERVICES

August 13, 2009

Page 4

Respectfully,



Larry Pickel
Construction Code Division
Code Enforcement Services

Cc:

Laura Roberts
Synecdoche Design Studio
1342 N. Main St. #5
Ann Arbor, MI 48104

BAR STAR

220 S. MAIN STREET
ANN ARBOR, MI 48104

GENERAL NOTES:

THE ELECTRIC SERVICE IS EXISTING IN THE FIRST FLOOR ELECTRIC ROOM. HVAC SERVICE IS EXISTING FROM BASEMENT LEVEL. MECHANICAL ROOM PLUMBING IS EXISTING IN SPACE.

DEMOLITION NOTES:

REMOVE WALLS, DOORS, FRAMES, & ELECTRICAL AS INDICATED ON PLAN.
TELEPHONE OUTLETS & ELECTRICAL WITHIN WALLS TO BE DEMOLISHED SHALL BE REMOVED AND/OR CAPPED. REMOVE WIRE, CONDUIT AND/OR CABLE BACK TO SOURCE (PHONE BOARD OR ELECTRICAL PANEL).
ALL MATERIALS FROM DEMOLITION SHALL BE DISPOSED OF IN ACCORDANCE WITH CITY, STATE, & FEDERAL REGULATION, UNLESS INDICATED TO BE SALVAGED.

ARCHITECTURAL NOTES:

DO NOT SCALE DRAWINGS.
CONTRACTOR SHALL PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION.
ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE BUILDING AND OTHER PERMITS REQUIRED FOR THE COMPLETION OF THE WORK.
ALL DIMENSION LUMBER, PLANKS, PARTICLE BOARD, FLUORING AND BLOCKING SHALL BE PRESSURE TREATED / UL CERTIFIED NON-COMBUSTIBLE.
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE. NOTIFY THE ARCHITECT OR OWNER PRIOR TO COMMENCING WORK OF ANY DISCREPANCIES, CONFLICTS OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS AND BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESOLVING ANY DISCREPANCIES OR OMISSIONS. ALL DIMENSIONS SHALL BE ASSUMED TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND DEBRIS AND PROVIDE FINAL CLEANUP OF JOB SITE PRIOR TO MOVING IN.
CONTRACTOR TO PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE PROTECTION OF THE EXISTING TENANT AND GENERAL PUBLIC DURING CONSTRUCTION.
COORDINATE ALL WORK BEFORE AND DURING CONSTRUCTION WITH ALL OTHER AFFECTED TRADES.
WHERE INTERFERENCES DEVELOP, NOTIFY ARCHITECT FOR RESOLUTION OF CONFLICT.

RELOCATION OF CONFLICTING INSTALLED WORK DUE TO LACK OF COORDINATION, OR POOR COORDINATION WILL NOT BE CONSIDERED EXTRA WORK.
FLOOR CONSTRUCTION SHALL MEET UL LISTING FOR 1 HR FIRE RATING WITH 1/2" HARDY BACKER + TILE

ELECTRICAL NOTES:

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD).
ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.
CONTRACTOR SHALL INSTALL NEW EMERGENCY LIGHTS W/ BATTERY BACK-UP, AND EXIT SIGNS W/ BATTERY BACK-UP THROUGHOUT AS REQUIRED BY ALL CODES AND REGULATIONS. CONTRACTOR SHALL FIELD INSPECT EXISTING FIXTURES AND REPAIR OR REPLACE AS NECESSARY (TYPICAL THROUGHOUT, AND IN ACCORDANCE WITH SPECIFICATIONS).

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.
LOCATE POWER AND COMMUNICATION RECEPTACLES TO NEAREST STUD. IN APPROXIMATE POSITION INDICATED ON PLANS. PROVIDE BRIDGING BETWEEN STUDS AS REQUIRED FOR ALL DIMENSIONED RECEPTACLE LOCATIONS. DO NOT LOCATE BOXES BACK-TO-BACK WITHIN PARTITIONS. STAGGER AS REQUIRED TO MINIMIZE SOUND TRANSMISSION.
ALL BAR, ELECTRICAL EQUIPMENT AND LIGHT FIXTURES ARE OWNER FURNISHED. CONTRACTOR TO INSTALL. ELECTRICAL CONTRACTOR TO VERIFY WORKING CONDITIONS. CONTRACTOR TO REPLACE NECESSARY (TYPICAL THROUGHOUT, AND IN ACCORDANCE WITH SPECIFICATIONS).
EXCLUDES DTE FEES
XRAY AND CORING OF CONCRETE FLOOR DECK IS NOT INCLUDED

MILLWORK NOTES:

ALL WOODWORK MILLWORK SHALL CONFORM TO THE QUALITY STANDARDS OF ARCHITECTURAL WOODWORK INSTITUTE (AWI) PREMIUM GRADE FOR ALL APPLICABLE SECTIONS. FABRICATOR SHALL BE FAMILIAR WITH AWI STANDARDS.
FABRICATE WOODWORK MILLWORK ITEMS TO ACTUAL FIELD DIMENSIONS. CONTRACTOR TO FIELD VERIFY EXISTING DIMENSIONS. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR REVISIONS TO MILLWORK. CONTRACTOR(S) SHALL PROVIDE SHOP DRAWINGS SHOW SUFFICIENT DETAIL TO DETERMINE COMPLIANCE WITH QUALITY STANDARDS AND DESIGN INTENT.

COORDINATE LOCATION OF BLOCKING WITHIN PARTITIONS FOR ITEMS TO BE SECURED TO SURFACE.
CABINET INTERIORS TO BE CONSTRUCTED OF MELAMINE-FINISH FINISH HIGH DENSITY PARTICLE BOARD. CABINET DOORS TO BE FULLY FINISHED IN SPECIFIED PLASTIC LAMINATE.
ALL FASTENERS SHALL BE CONCEALED. ALL HINGES SHALL BE CONCEALED. 3-WAY ADJUSTABLE SELF CLOSING TYPE BY "STANLEY", "BLUM", "GRASS" OR "HAFELE". ALL DRAWER SLIDES SHALL BE BALL-BEARING FULL EXTENSION TYPE BY "ACCURITE" OR "MANUFACTURER".
COORDINATE AND MATCHING FOR APPLICATIONS AS RECOMMENDED BY MANUFACTURER.

PHONE / DATA / COMMUNICATION NOTES:

CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A JUNCTION BOX WITH PULL POINT FOR ALL NEW TELEPHONE AND DATA WIRING IN CEILING PLENUM SHALL BE PLENUM-RATED WIRE.
ALL NEW TELEPHONE AND DATA WIRING SHALL BE CONTAINED IN METAL WIRE CABLE TRAYS

PLUMBING NOTES:

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD).
CONTRACTOR SHALL PROVIDE OR REWORK PLUMBING SYSTEM PER INFORMATION ON DRAWINGS.
ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.
ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.
CONTRACTOR TO PROVIDE THE FOLLOWING:
INSTALL EQUIPMENT, WHICH IS OWNER FURNISHED, AS NOTED ON SCHEDULES

FIRE ALARM NOTES:

FIRE ALARM CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
DRAWINGS TO BE SUBMITTED TO CITY PRIOR TO BEGINNING WORK.
FIRE ALARM CONTRACTOR SHALL BE RESPONSIBLE FOR REVISED AND UPDATED DRAWINGS TO BE SUBMITTED TO CITY PRIOR TO BEGINNING WORK.
FIRE ALARM CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, & LABOR TO REVISE EXISTING SYSTEM AS REQUIRED (i.e. DESIGN/BUILD).

SPRINKLER NOTES:

SPRINKLER CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
DRAWINGS TO BE SUBMITTED TO CITY PRIOR TO BEGINNING WORK.
SPRINKLER CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, & LABOR TO REVISE EXISTING SYSTEM AS REQUIRED (i.e. DESIGN/BUILD).
INSTALL SEAM-NECESSARY SPRINKLER HEADS TO MATCH THE BUILDING STANDARD IN ACOUSTICAL CEILING AREAS
RELOCATE UPRIGHT BRASS SPRINKLERS IF REQUIRED IN OPEN CEILING AREAS

MECHANICAL (HVAC) NOTES:

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD).
CONTRACTOR SHALL PROVIDE OR REWORK HVAC SYSTEM PER INFORMATION ON DRAWINGS.
ALL ROOMS TO HAVE A MINIMUM OF ONE (1) SUPPLY DIFFUSER AND ONE (1) RETURN AIR GRILLE.
ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.
CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION, TESTING AND BALANCING OF THE HVAC SYSTEM. MODIFY AND SUPPLEMENT EXISTING SYSTEM AS NECESSARY. AIR DUCTS AND RETURN AIR GRILLES SHALL BE DAMPERED AS REQUIRED.
ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

HVAC THERMOSTAT CONTROL FOR ALL ROOMS SHALL BE LOCATED WITHIN THE ROOM. THERMOSTATS SHALL BE LOCATED IN THE MOST REPRESENTATIVE PRIOR TO INSTALLATION.
HVAC CONTRACTORS SHALL VERIFY WORKING CONDITION OF ALL VAV BOXES, EXHAUST FANS AND ANY OTHER DEVICES DIRECTLY RELATED TO THE HVAC SYSTEM. CONTRACTOR SHALL NOTIFY TENANT REP. IMMEDIATELY UPON DISCOVERY OF ANY DEFECTIVE DEVICES.
HVAC CONTRACTOR TO VERIFY WORKING CONDITION OF EVERY THERMOSTAT AND REPLACE IF NECESSARY (TYPICAL THROUGHOUT).
UPON COMPLETION OF THE WORK, HVAC CONTRACTOR SHALL PROVIDE TO THE TENANT REP. A DRAWING (AT 1/8" = 1'-0") INDICATING THE LOCATION OF EACH THERMOSTAT AND THE SUPPLY DIFFUSERS WHICH ARE CONTROLLED BY THAT THERMOSTAT.

FURNISH AND INSTALL SPIRAL DUCT SUPPLY AIR DISTRIBUTION SYSTEMS FROM EXISTING RMTU PACKAGE UNIT IN MECH. CLOSET.
SUPPLY AIR GRILLES TO BE SIDE MOUNT TYPE MOUNTED ON SPIRAL SUPPLY AIR DUCT
INSTALL EXISTING UNIT MOUNTED THERMOSTAT ON WALL
REPLACE EXISTING SYSTEM AS REQUIRED (i.e. DESIGN/BUILD).
OUTSIDE

DEFINED SUBMITTALS:

ALL ENGINEERED DRAWINGS ARE TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
ELECTRICAL DRAWINGS
HVAC DRAWINGS
PLUMBING DRAWINGS
FIRE SUPPRESSION DRAWINGS
FIRE ALARM DRAWINGS

TITLE SHEET

BAR STAR

220 S. MAIN STREET
ANN ARBOR, MI 48104

GENERAL NOTES:

THE ELECTRIC SERVICE IS EXISTING IN THE FIRST FLOOR ELECTRIC ROOM. HVAC SERVICE IS EXISTING FROM BASEMENT LEVEL. MECHANICAL ROOM PLUMBING IS EXISTING IN SPACE.

DEMOLITION NOTES:

REMOVE WALLS, DOORS, FRAMES, & ELECTRICAL AS INDICATED ON PLAN.
TELEPHONE OUTLETS & ELECTRICAL WITHIN WALLS TO BE DEMOLISHED SHALL BE REMOVED AND/OR CAPPED. REMOVE WIRE, CONDUIT AND/OR CABLE BACK TO SOURCE (PHONE BOARD OR ELECTRICAL PANEL).
ALL MATERIALS FROM DEMOLITION SHALL BE DISPOSED OF IN ACCORDANCE WITH CITY, STATE, & FEDERAL REGULATION, UNLESS INDICATED TO BE SALVAGED.

ARCHITECTURAL NOTES:

DO NOT SCALE DRAWINGS.
CONTRACTOR SHALL PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION.
ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL APPLICABLE BUILDING AND OTHER PERMITS REQUIRED FOR THE COMPLETION OF THE WORK.
ALL DIMENSION LUMBER, PLANKS, PARTICLE BOARD, FLUORING AND BLOCKING SHALL BE PRESSURE TREATED / UL CERTIFIED NON-COMBUSTIBLE.
CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AT THE JOB SITE. NOTIFY THE ARCHITECT OR OWNER PRIOR TO COMMENCING WORK OF ANY DISCREPANCIES, CONFLICTS OR OMISSIONS IN THE CONSTRUCTION DOCUMENTS AND BETWEEN CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR RESOLVING ANY DISCREPANCIES OR OMISSIONS. ALL DIMENSIONS SHALL BE ASSUMED TO BE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
CONTRACTOR SHALL KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS AND DEBRIS AND PROVIDE FINAL CLEANUP OF JOB SITE PRIOR TO MOVING IN.
CONTRACTOR TO PROVIDE ALL NECESSARY TEMPORARY PROTECTION TO ENSURE PROTECTION OF THE EXISTING TENANT AND GENERAL PUBLIC DURING CONSTRUCTION.
COORDINATE ALL WORK BEFORE AND DURING CONSTRUCTION WITH ALL OTHER AFFECTED TRADES.
WHERE INTERFERENCES DEVELOP, NOTIFY ARCHITECT FOR RESOLUTION OF CONFLICT.

RELOCATION OF CONFLICTING INSTALLED WORK DUE TO LACK OF COORDINATION, OR POOR COORDINATION WILL NOT BE CONSIDERED EXTRA WORK.
FLOOR CONSTRUCTION SHALL MEET UL LISTING FOR 1 HR FIRE RATING WITH 1/2" HARDY BACKER + TILE

ELECTRICAL NOTES:

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD).
ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.
CONTRACTOR SHALL INSTALL NEW EMERGENCY LIGHTS W/ BATTERY BACK-UP, AND EXIT SIGNS W/ BATTERY BACK-UP THROUGHOUT AS REQUIRED BY ALL CODES AND REGULATIONS. CONTRACTOR SHALL FIELD INSPECT EXISTING FIXTURES AND REPAIR OR REPLACE AS NECESSARY (TYPICAL THROUGHOUT, AND IN ACCORDANCE WITH SPECIFICATIONS).

ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.
LOCATE POWER AND COMMUNICATION RECEPTACLES TO NEAREST STUD. IN APPROXIMATE POSITION INDICATED ON PLANS. PROVIDE BRIDGING BETWEEN STUDS AS REQUIRED FOR ALL DIMENSIONED RECEPTACLE LOCATIONS. DO NOT LOCATE BOXES BACK-TO-BACK WITHIN PARTITIONS. STAGGER AS REQUIRED TO MINIMIZE SOUND TRANSMISSION.
ALL BAR, ELECTRICAL EQUIPMENT AND LIGHT FIXTURES ARE OWNER FURNISHED. CONTRACTOR TO INSTALL. ELECTRICAL CONTRACTOR TO VERIFY WORKING CONDITIONS. CONTRACTOR TO REPLACE NECESSARY (TYPICAL THROUGHOUT, AND IN ACCORDANCE WITH SPECIFICATIONS).
EXCLUDES DTE FEES
XRAY AND CORING OF CONCRETE FLOOR DECK IS NOT INCLUDED

MILLWORK NOTES:

ALL WOODWORK MILLWORK SHALL CONFORM TO THE QUALITY STANDARDS OF ARCHITECTURAL WOODWORK INSTITUTE (AWI) PREMIUM GRADE FOR ALL APPLICABLE SECTIONS. FABRICATOR SHALL BE FAMILIAR WITH AWI STANDARDS.
FABRICATE WOODWORK MILLWORK ITEMS TO ACTUAL FIELD DIMENSIONS. CONTRACTOR TO FIELD VERIFY EXISTING DIMENSIONS. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR REVISIONS TO MILLWORK. CONTRACTOR(S) SHALL PROVIDE SHOP DRAWINGS SHOW SUFFICIENT DETAIL TO DETERMINE COMPLIANCE WITH QUALITY STANDARDS AND DESIGN INTENT.

COORDINATE LOCATION OF BLOCKING WITHIN PARTITIONS FOR ITEMS TO BE SECURED TO SURFACE.
CABINET INTERIORS TO BE CONSTRUCTED OF MELAMINE-FINISH FINISH HIGH DENSITY PARTICLE BOARD. CABINET DOORS TO BE FULLY FINISHED IN SPECIFIED PLASTIC LAMINATE.
ALL FASTENERS SHALL BE CONCEALED. ALL HINGES SHALL BE CONCEALED. 3-WAY ADJUSTABLE SELF CLOSING TYPE BY "STANLEY", "BLUM", "GRASS" OR "HAFELE". ALL DRAWER SLIDES SHALL BE BALL-BEARING FULL EXTENSION TYPE BY "ACCURITE" OR "MANUFACTURER".
COORDINATE AND MATCHING FOR APPLICATIONS AS RECOMMENDED BY MANUFACTURER.

PHONE / DATA / COMMUNICATION NOTES:

CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A JUNCTION BOX WITH PULL POINT FOR ALL NEW TELEPHONE AND DATA WIRING IN CEILING PLENUM SHALL BE PLENUM-RATED WIRE.
ALL NEW TELEPHONE AND DATA WIRING SHALL BE CONTAINED IN METAL WIRE CABLE TRAYS

PLUMBING NOTES:

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD).
CONTRACTOR SHALL PROVIDE OR REWORK PLUMBING SYSTEM PER INFORMATION ON DRAWINGS.
ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.
ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.
CONTRACTOR TO PROVIDE THE FOLLOWING:
INSTALL EQUIPMENT, WHICH IS OWNER FURNISHED, AS NOTED ON SCHEDULES

FIRE ALARM NOTES:

FIRE ALARM CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
DRAWINGS TO BE SUBMITTED TO CITY PRIOR TO BEGINNING WORK.
FIRE ALARM CONTRACTOR SHALL BE RESPONSIBLE FOR REVISED AND UPDATED DRAWINGS TO BE SUBMITTED TO CITY PRIOR TO BEGINNING WORK.
FIRE ALARM CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, & LABOR TO REVISE EXISTING SYSTEM AS REQUIRED (i.e. DESIGN/BUILD).

SPRINKLER NOTES:

SPRINKLER CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
DRAWINGS TO BE SUBMITTED TO CITY PRIOR TO BEGINNING WORK.
SPRINKLER CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS, & LABOR TO REVISE EXISTING SYSTEM AS REQUIRED (i.e. DESIGN/BUILD).
INSTALL SEAM-NECESSARY SPRINKLER HEADS TO MATCH THE BUILDING STANDARD IN ACOUSTICAL CEILING AREAS
RELOCATE UPRIGHT BRASS SPRINKLERS IF REQUIRED IN OPEN CEILING AREAS

MECHANICAL (HVAC) NOTES:

CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS.
CONTRACTOR TO PROVIDE ALL ITEMS, ARTICLES, MATERIALS AND OPERATIONS SCHEDULED INCLUDING ALL LABOR, MATERIALS, AND INCIDENTALS REQUIRED FOR COMPLETION (i.e. DESIGN/BUILD).
CONTRACTOR SHALL PROVIDE OR REWORK HVAC SYSTEM PER INFORMATION ON DRAWINGS.
ALL ROOMS TO HAVE A MINIMUM OF ONE (1) SUPPLY DIFFUSER AND ONE (1) RETURN AIR GRILLE.
ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND LAWS.
CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION, TESTING AND BALANCING OF THE HVAC SYSTEM. MODIFY AND SUPPLEMENT EXISTING SYSTEM AS NECESSARY. AIR DUCTS AND RETURN AIR GRILLES SHALL BE DAMPERED AS REQUIRED.
ANY ENGINEERED DRAWINGS REQUIRED BY CITY SHALL BE PREPARED AND SUBMITTED BY SUBCONTRACTOR. ARCHITECT SHALL RECEIVE RECORD COPY.

HVAC THERMOSTAT CONTROL FOR ALL ROOMS SHALL BE LOCATED WITHIN THE ROOM. THERMOSTATS SHALL BE LOCATED IN THE MOST REPRESENTATIVE PRIOR TO INSTALLATION.
HVAC CONTRACTORS SHALL VERIFY WORKING CONDITION OF ALL VAV BOXES, EXHAUST FANS AND ANY OTHER DEVICES DIRECTLY RELATED TO THE HVAC SYSTEM. CONTRACTOR SHALL NOTIFY TENANT REP. IMMEDIATELY UPON DISCOVERY OF ANY DEFECTIVE DEVICES.
HVAC CONTRACTOR TO VERIFY WORKING CONDITION OF EVERY THERMOSTAT AND REPLACE IF NECESSARY (TYPICAL THROUGHOUT).
UPON COMPLETION OF THE WORK, HVAC CONTRACTOR SHALL PROVIDE TO THE TENANT REP. A DRAWING (AT 1/8" = 1'-0") INDICATING THE LOCATION OF EACH THERMOSTAT AND THE SUPPLY DIFFUSERS WHICH ARE CONTROLLED BY THAT THERMOSTAT.

FURNISH AND INSTALL SPIRAL DUCT SUPPLY AIR DISTRIBUTION SYSTEMS FROM EXISTING RMTU PACKAGE UNIT IN MECH. CLOSET.
SUPPLY AIR GRILLES TO BE SIDE MOUNT TYPE MOUNTED ON SPIRAL SUPPLY AIR DUCT
INSTALL EXISTING UNIT MOUNTED THERMOSTAT ON WALL
REPLACE EXISTING SYSTEM AS REQUIRED (i.e. DESIGN/BUILD).
OUTSIDE

DEFINED SUBMITTALS:

ALL ENGINEERED DRAWINGS ARE TO BE SUBMITTED TO ARCHITECT FOR APPROVAL PRIOR TO COMMENCEMENT OF WORK.
ELECTRICAL DRAWINGS
HVAC DRAWINGS
PLUMBING DRAWINGS
FIRE SUPPRESSION DRAWINGS
FIRE ALARM DRAWINGS



LOCATION



LIST OF DRAWINGS

T-01 TITLE SHEET, GENERAL NOTES, LOCATION MAP, CODE ANALYSIS
A-101 FIRST FLOOR PLAN, DOOR AND EQUIPMENT SCHEDULES
A-201 INTERIOR ELEVATIONS, FINISH SCHEDULES, AND LIGHT FIXTURE SCHEDULE
A-202 RESTROOM ELEVATIONS
A-203 RESTROOM TILE PATTERN ELEVATIONS
A-301 CROSS SECTIONS
A-302 WALL SECTIONS
A-303 WALL SECTIONS
AF-101 FINISH PLAN AND ROOM AND FINISH SCHEDULES

CODE ANALYSIS

REVIEW CODE
2012 MICHIGAN BUILDING CODE
2012 MICHIGAN EXISTING STRUCTURES CODE
2011 MICHIGAN ELECTRIC CODE
2009 ICC/ANSI A117.1
3 STORIES + BASEMENT, 2,100 SF / FLOOR
A-2 (MBC 2012 303.3)
TYPE I/II (MBC TABLE 601)
2 STORY, 9,500 SF ALLOWED, AUTOMATIC SPRINKLER SYSTEM ALLOWS 1 STORY INCREASE (MBC TABLE 505)
FIRE RESISTANCE RATINGS:
STRUCTURAL FRAME: 0
BEARING WALLS: 2
NON-BEARING WALLS AND PARTITIONS: 0
ROOF CONSTRUCTION: 0

TOTAL FLOORS IN BLDG.

USE GROUP

TYPE OF CONSTRUCTION

OCCUPANCY LOAD
UNCONCENTRATED, 15 NET (MBC TABLE 1004.1.2)
1,089 SF / 15 SF PER OCCUP. = 71 OCCUPANTS
KITCHENS, COMMERCIAL, 200 GROSS (MBC TABLE 1004.1.2)
524 SF / 200 SF PER OCCUP. = 3 OCCUPANTS
EXITS REQUIRED: 2 (MBC 1015.1)
EXITS PROVIDED: 2, 1 ACCESSIBLE (MESC 410.6 EXCEPTION 2)
EXCESS TRAVEL DISTANCE: NO EXCEED 200' (MBC 1016.2)
EGRESS TRAVEL DISTANCE: NOT TO EXCEED 75' (MBC TABLE 1016.3)
74 OCCUP. x 0.2' = 14.8' REQUIRED, MIN 35'

SPRINKLER SYSTEM

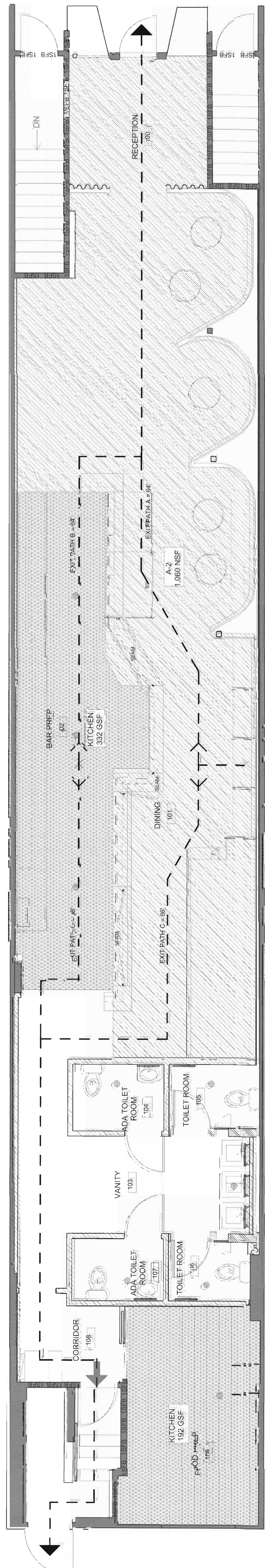
NOT REQUIRED (MBC 903.2-2). EXISTING
WC: 1 PER 40, 2 REQUIRED (MPC-403.1)
LAV: 1 PER 75, 1 REQUIRED (MPC-403)
SEPARATE FACILITIES, YES (MPC 403.2)

RESTROOMS

SCOPE OF WORK
INTERIOR RENOVATION OF EXISTING RETAIL SPACE (GROUP II) TO A COCKTAIL BAR AND RESTROOMS. THE BAR AND RESTROOMS WILL BE ADDED TO THE BUILDING. UPGRADE 2 EXISTING BATHROOMS TO BECOME ADA COMPLIANT. REMOVAL OF DROP CEILING GRID AND INTERIOR PARTITIONS. NEW BAR AREA, STORAGE ROOM AND SEATING. SMALL PREP AREA PROVIDED WITH STORAGE IN REAR OF SPACE.

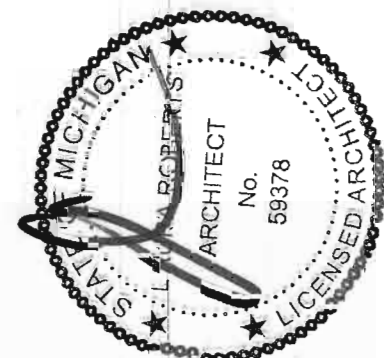
LIFE SAFETY GRAPHIC LEGEND

FIRE-RESISTANCE RATED WALL ASSEMBLIES
1 HOUR FIRE AND SMOKE BARRIER
15FB 15FB 15FB 15FB 15FB

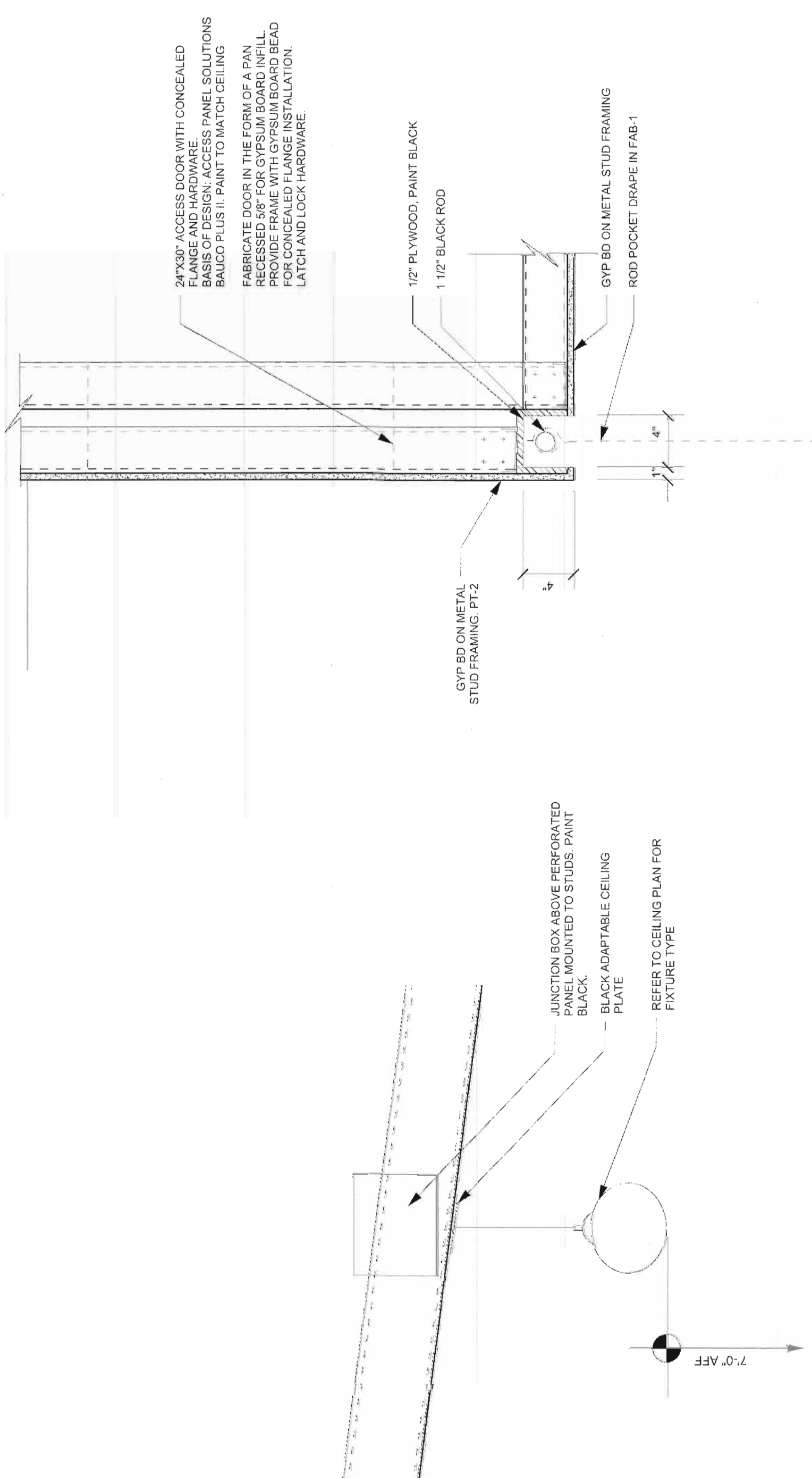
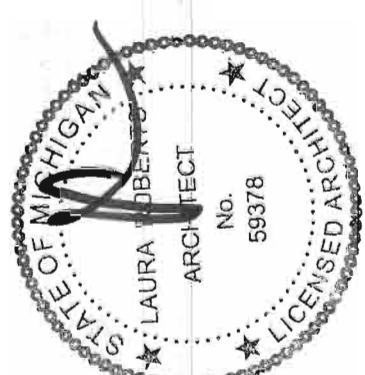


12/9/2016
1/4" = 1'-0"
LIFE SAFETY PLAN
TITLE SHEET AND

T-01
A
1/4" = 1'-0"
LIFE SAFETY PLAN



SYNECDOCHE DESIGN STUDIO, LLC
1342 N MAIN ST #5
ANN ARBOR, MI 48104
734.926.5593



C CEILING DETAIL AT PENDANT MOUNT
 1 1/2" = 1'-0"

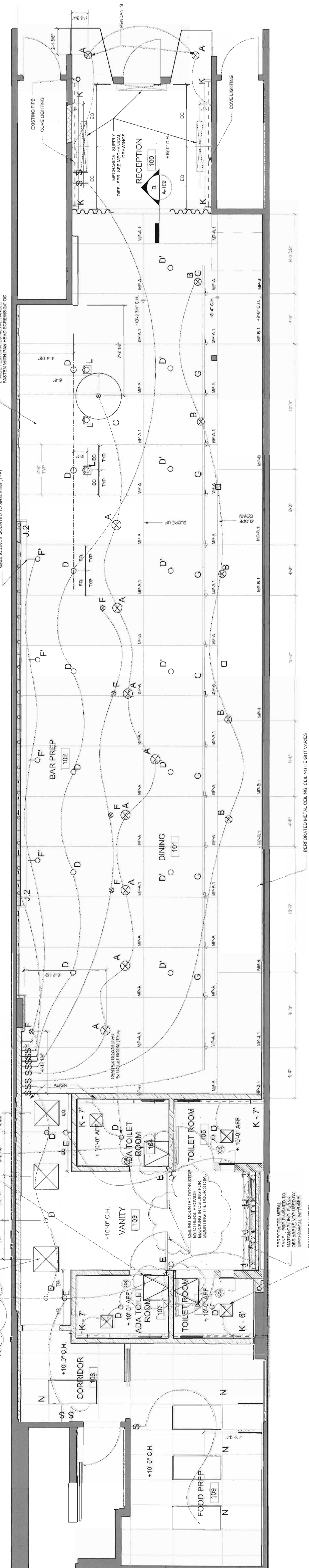
B SECTION THROUGH CURTAIN ROD
 1 1/2" = 1'-0"

SYMBOL	DESCRIPTION	QUANTITY	REMARKS	NOTES
A	8 ROUND PENDANT CLARK	18	ROOM AND BOARD - CLARK 8" T1 - FINISH BLACK W/WHITE	BY CONTRACTOR
B	7 ROUND PENDANT LUSTRA	9	ROOM AND BOARD - LUSTER GLOBE PENDANT - 7" X 6" FINISH GOLD	BY CONTRACTOR
C	48 PANAUNT ARTIC CHANGE	1	ARTICULATING LINE VOLTAGE PENDANT LIMIT - 48" DIA	BY CONTRACTOR
D	RECESSED CAN	8	FOCAL POINT - 10" X 8" BLACK REFLECTOR - 100W	BY CONTRACTOR
E	ADJUSTABLE RECESSED CAN	8	FOCAL POINT - 10" X 8" BLACK REFLECTOR - 300W	BY CONTRACTOR
F	8 ROUND WALL SCONCE	4	CARDONADE 260 TABLE / WALL LAMP	BY CONTRACTOR
G	32 CUSHION PENDANT	8	CARDONADE 160 SPOT PENDANT	BY CONTRACTOR
H	12 CUSHION PENDANT	8	CARDONADE 160 SPOT PENDANT - SUSPENDED FROM RACKBAR	BY CONTRACTOR
I	8 TRACK LIGHT	8	W/IC 1" BONES TRACK IN BLACK	BY CONTRACTOR
J	1/2" X 1/2" X 1/2" LED WALL WASH HEAD	18	W/IC 1" BONES TRACK IN BLACK - ALLOW ACCESS FOR HARDWARE TO MOUNT IN PLACE	BY CONTRACTOR
K	1/2" X 1/2" X 1/2" LED TYPE LIGHT	20	200W DIMMABLE LED TYPE LIGHT - WALL MOUNTED - FINISH W/WHITE - FIELD VERIFY DIMENSIONS	BY CONTRACTOR
L	RECESSED COVE LIGHT	SEE RFP	1/2" X 1/2" X 1/2" LED TYPE LIGHT ON AN ALUMINUM PROFILE - FINISH W/WHITE - LAMINAR CONTAINMENT (1) TRANS. CONTAINMENT (1) FIELD VERIFY DIMENSIONS	BY CONTRACTOR
M	SPOT LIGHT	8	W/IC 1" BONES TRACK IN BLACK INTERIOR - 40 DISCRETE BEAM SPOTS 300W	BY CONTRACTOR
N	2x4 RECESSED LED	4	COOPER CRUISE RECESSED LED DIRECT INDULECT	BY CONTRACTOR

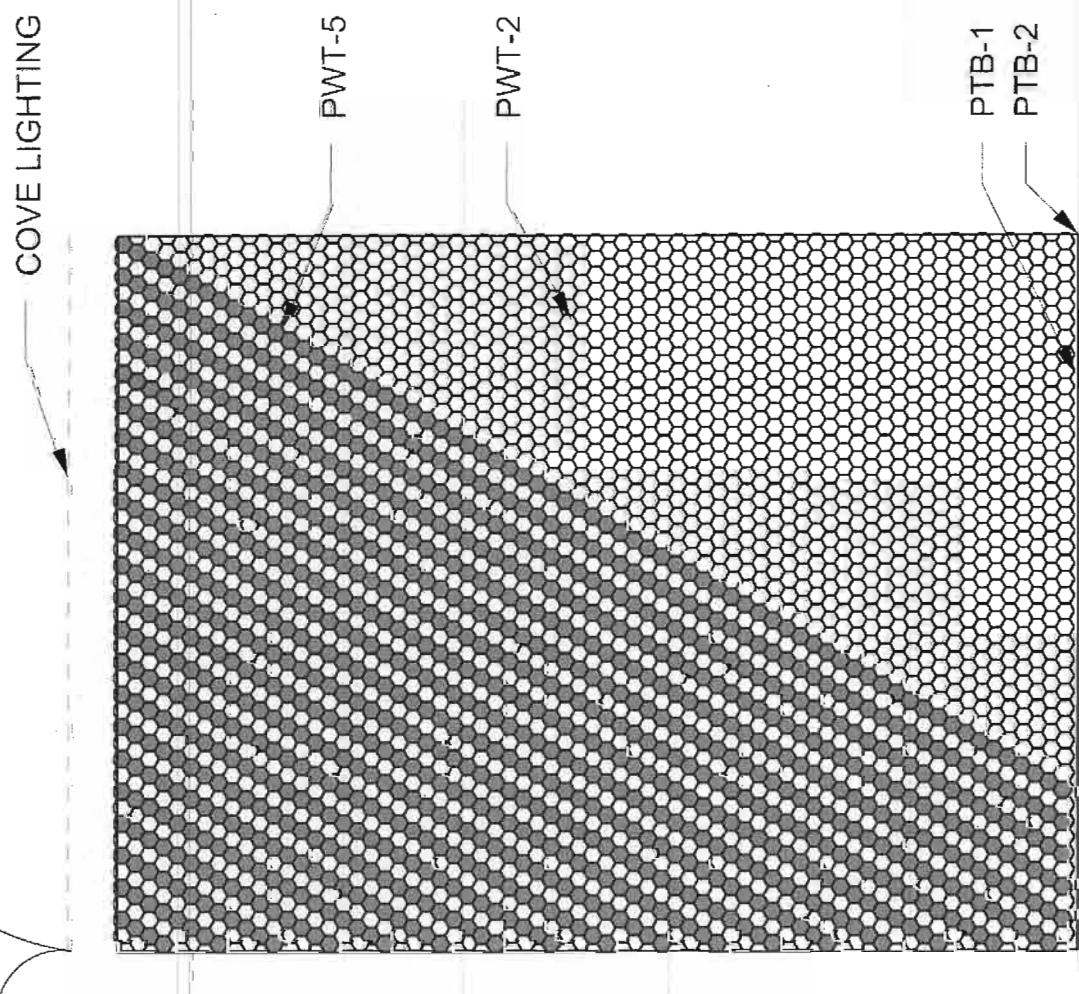
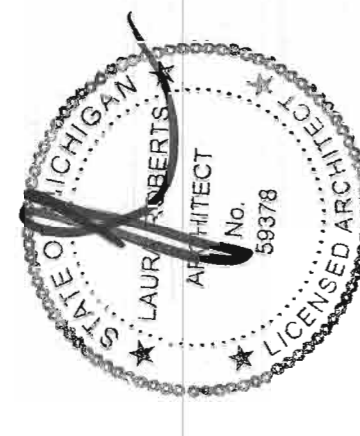
CEILING METAL PANEL SCHEDULE

- MP-A: 1/8" THICK ALUMINUM PANEL - LENGTH VARIES. SEE DRAWINGS. 1/8" MARGINS ALL SIDES. POWDER COAT BLACK PAN HEAD. ALIGN SCREWS FROM PANEL TO PANEL.
- MP-A.1: ACCESSIBLE 1/8" THICK ALUMINUM PANEL - LENGTH VARIES. SEE DRAWINGS. 1/8" MARGINS ALL SIDES. POWDER COAT BLACK HEX HEAD. ALIGN SCREWS FROM PANEL TO PANEL.
- MP-B: 1/8" THICK ALUMINUM PANEL - LENGTH VARIES. SEE DRAWINGS. 1/8" MARGINS ALL SIDES. POWDER COAT BLACK MATE. AT 12" OC. ALIGN SCREWS FROM PANEL TO PANEL.
- MP-B.1: ACCESSIBLE 1/8" THICK ALUMINUM PANEL - LENGTH VARIES. SEE DRAWINGS. 1/8" MARGINS ALL SIDES. POWDER COAT BLACK MATE. AT 12" OC. ALIGN SCREWS FROM PANEL TO PANEL.

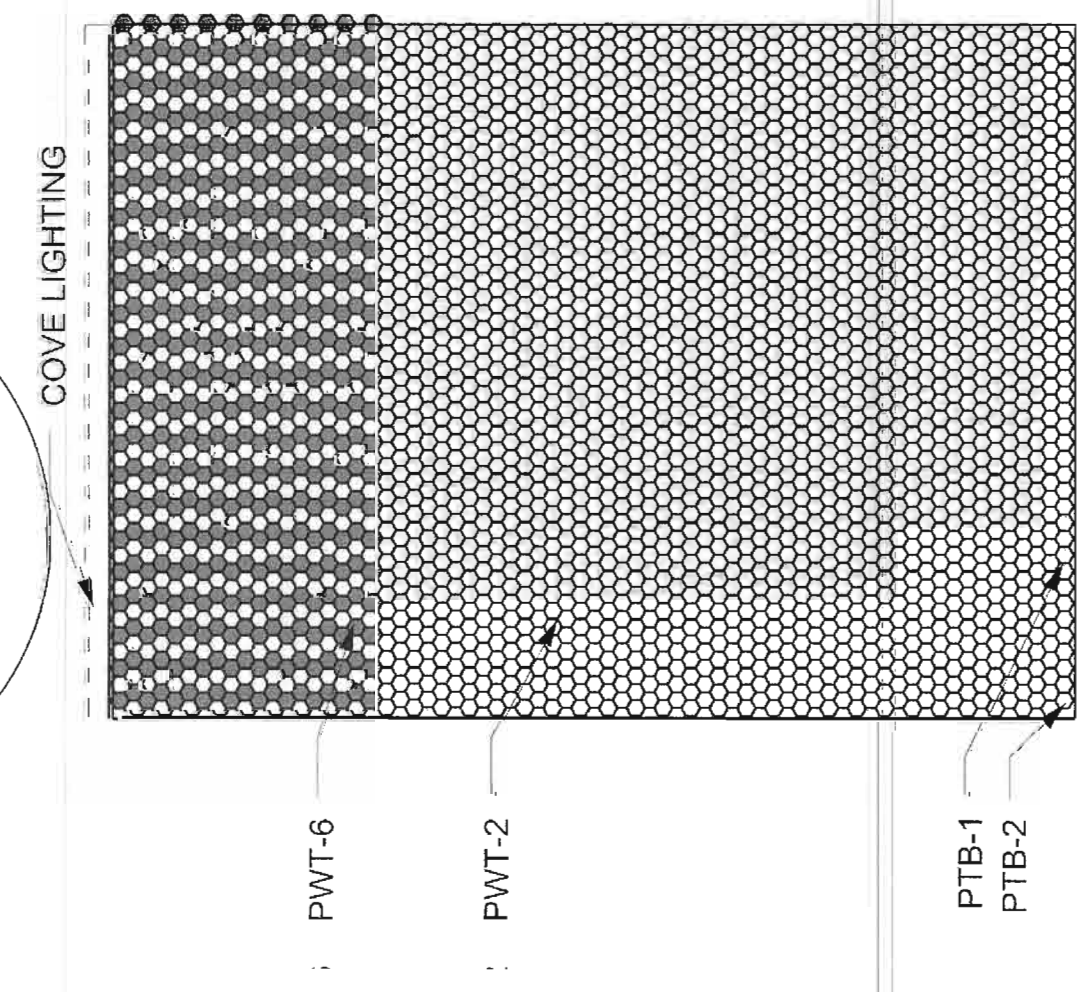
24" ACCESS DOOR WITH CONCEALED FLANGE AND HARDWARE. SEE DRAWINGS FOR PANEL SOLUTIONS (MULTIPLE 1/2" PANELS).
 24" ACCESS DOOR WITH CONCEALED FLANGE AND HARDWARE. SEE DRAWINGS FOR PANEL SOLUTIONS (MULTIPLE 1/2" PANELS).
 24" ACCESS DOOR WITH CONCEALED FLANGE AND HARDWARE. SEE DRAWINGS FOR PANEL SOLUTIONS (MULTIPLE 1/2" PANELS).



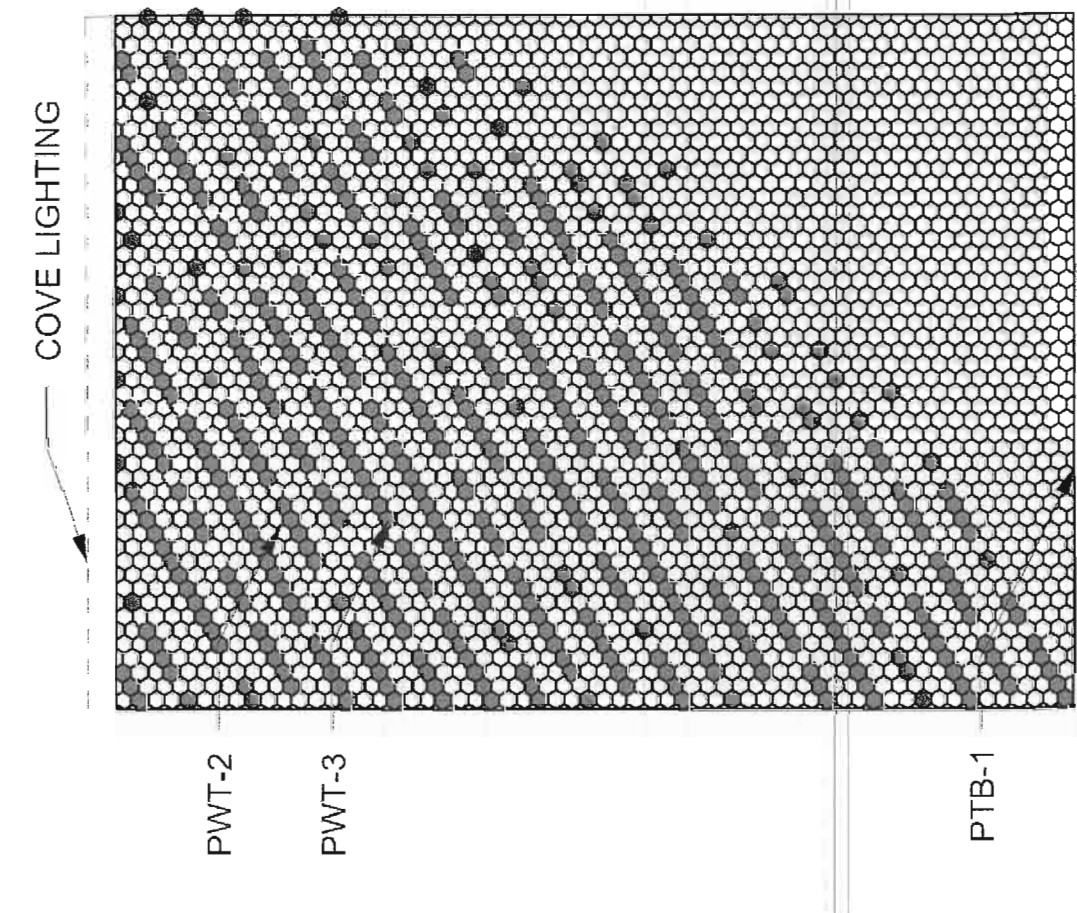
A REFLECTED CEILING PLAN
 1/4" = 1'-0"



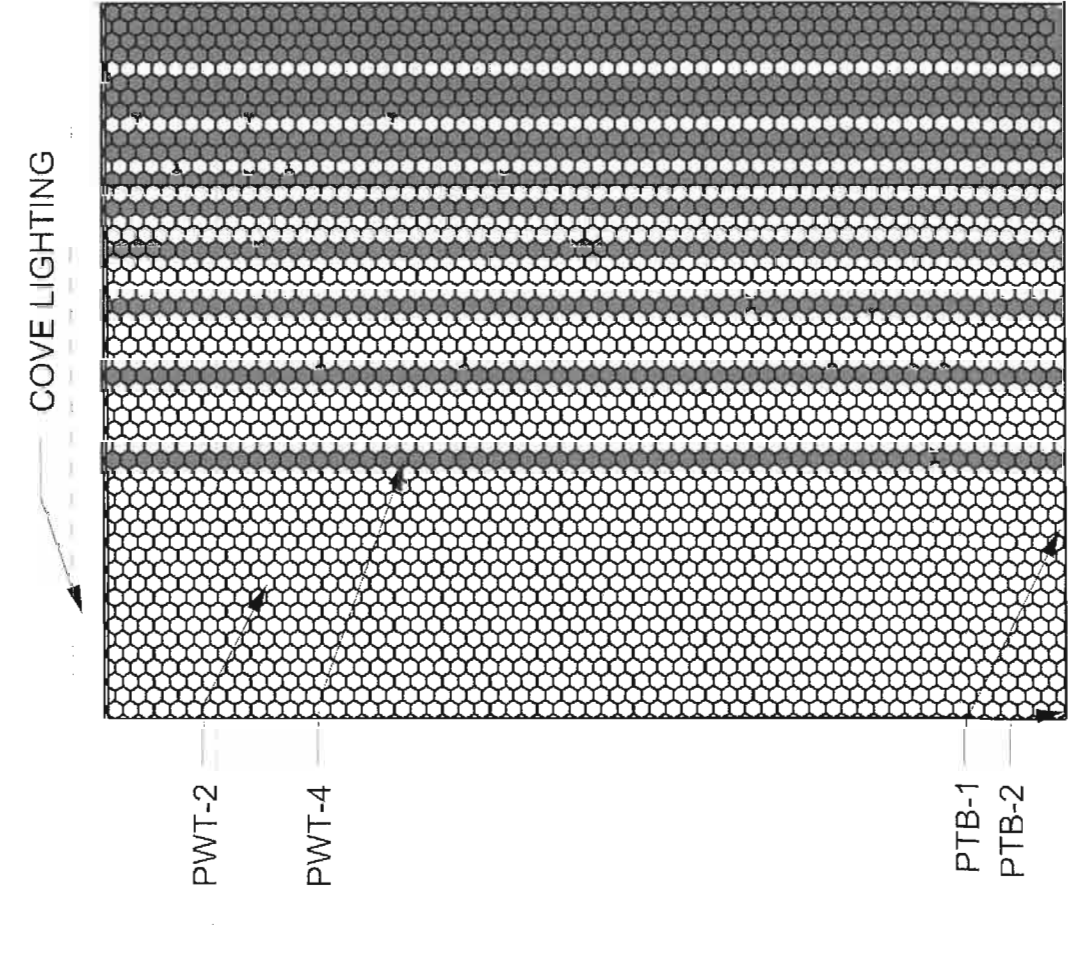
N RM 107 WEST TILE ELEVATION
1/2" = 1'-0"



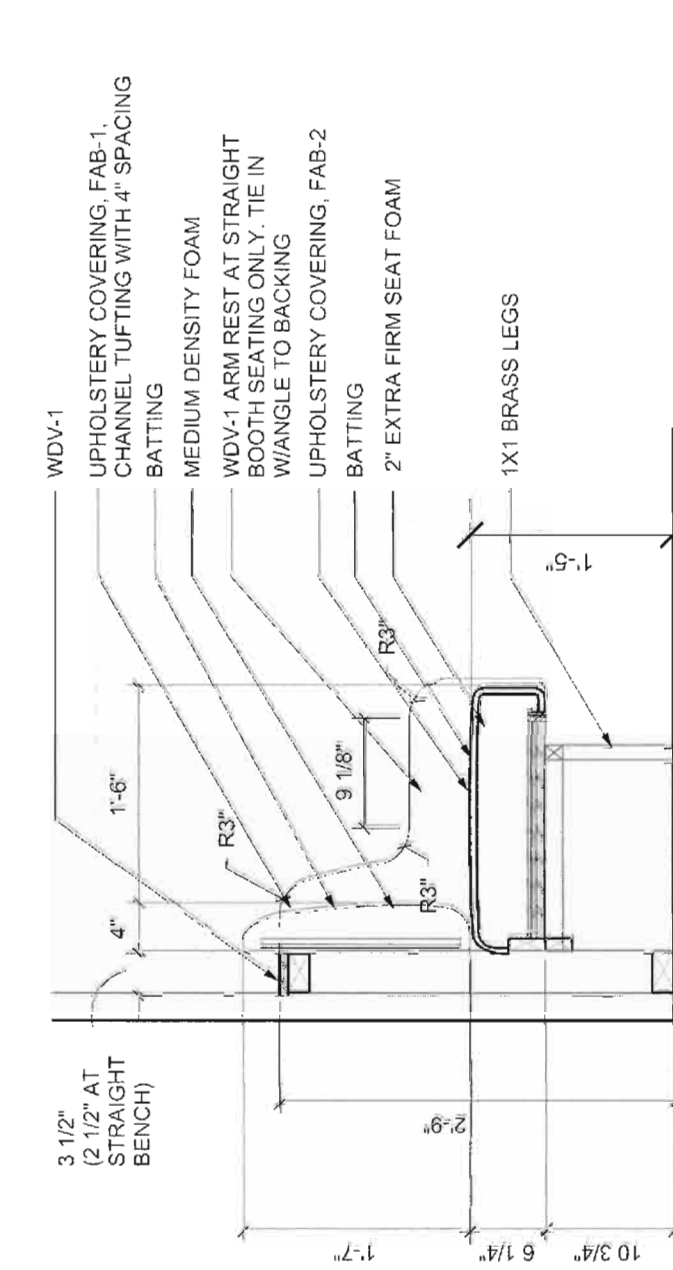
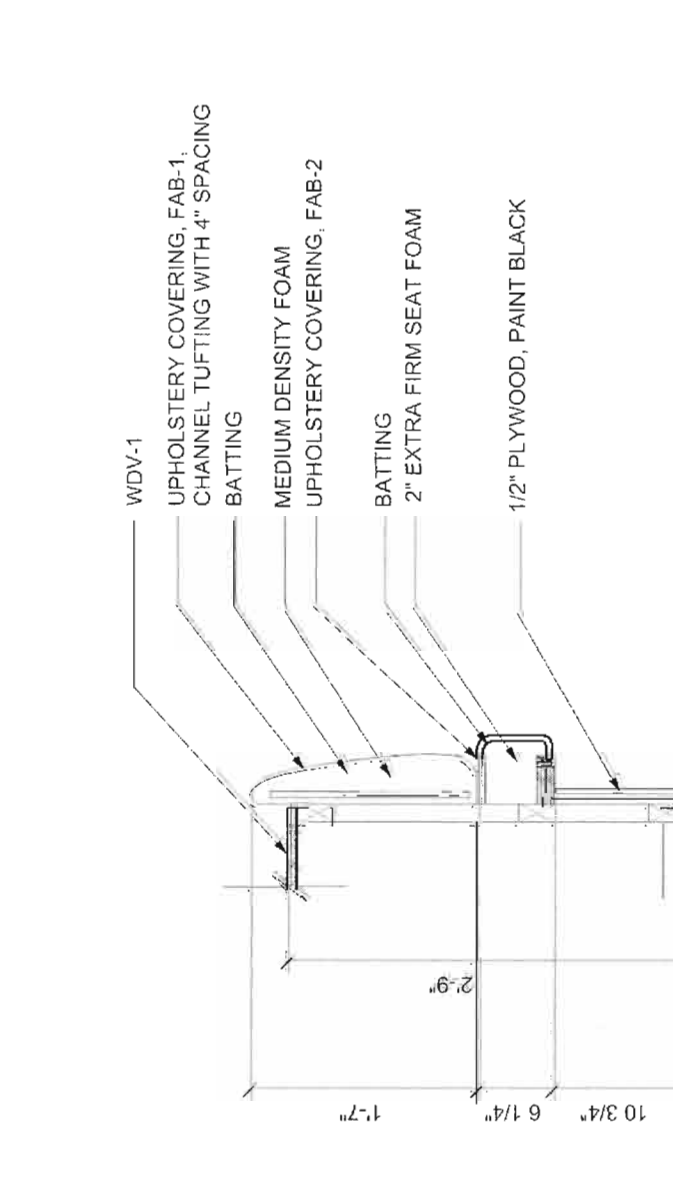
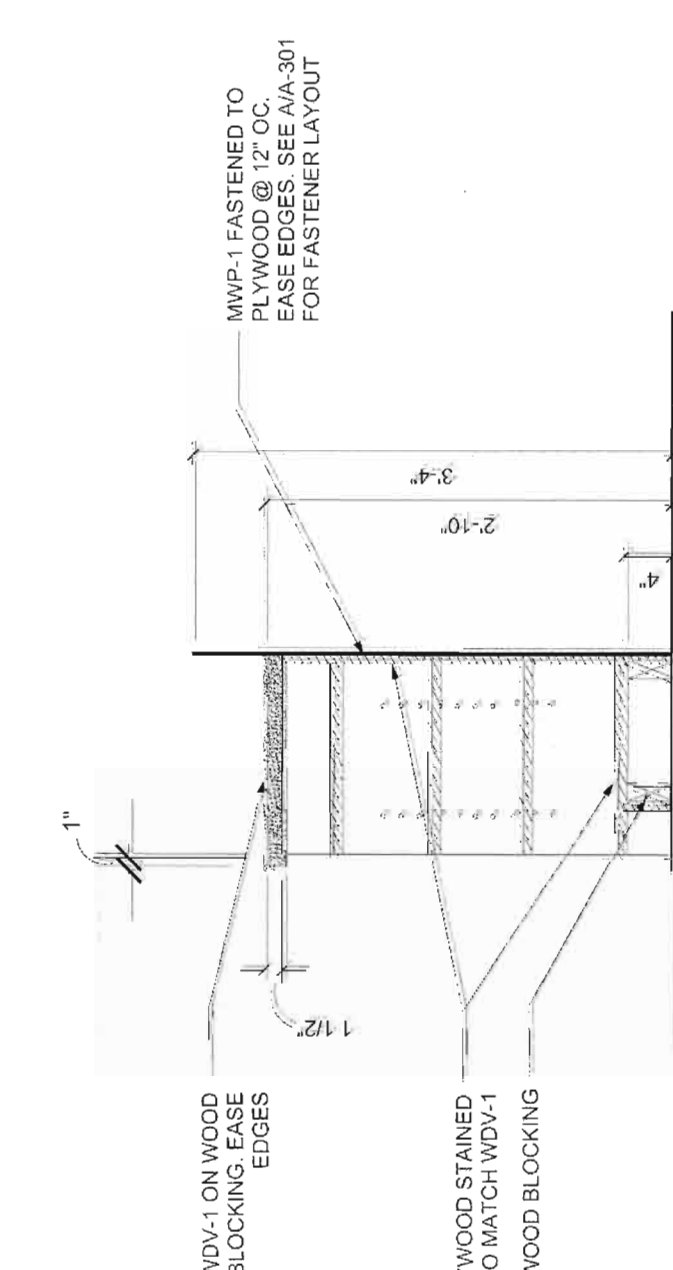
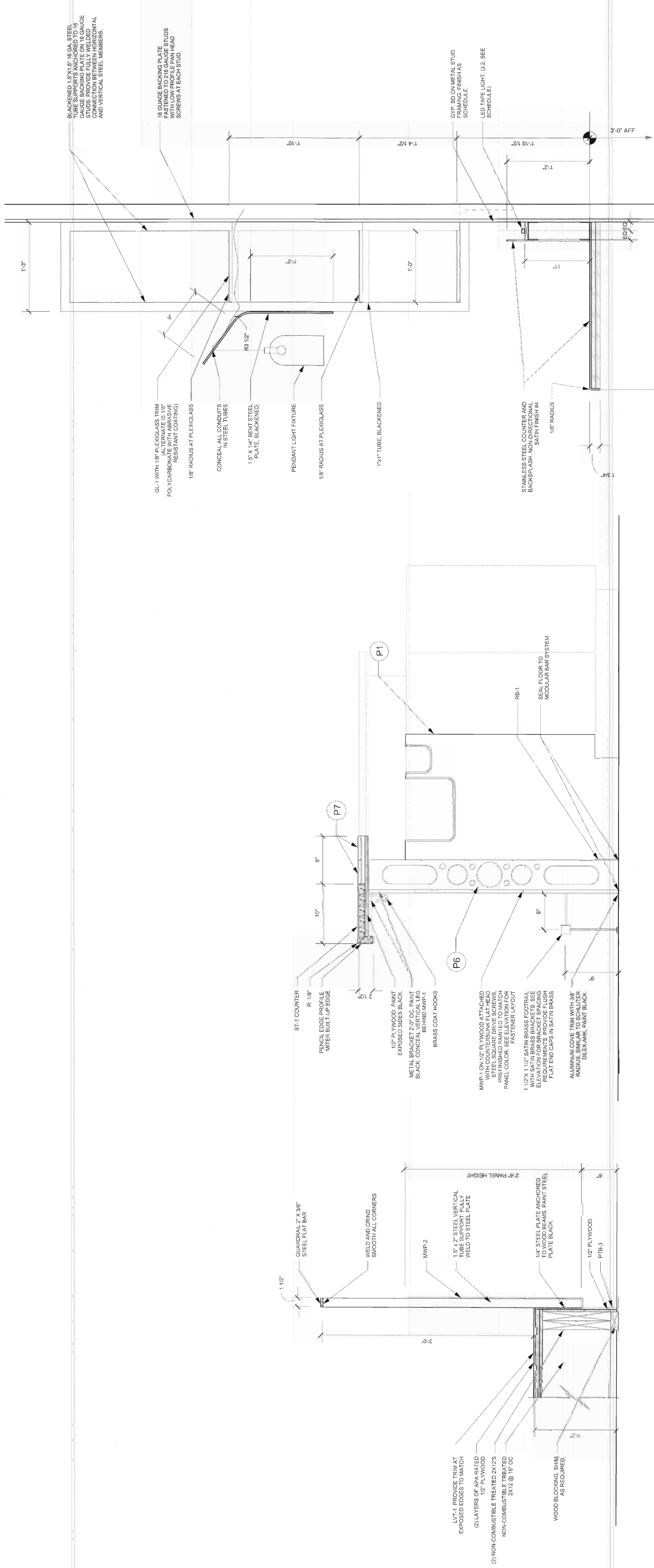
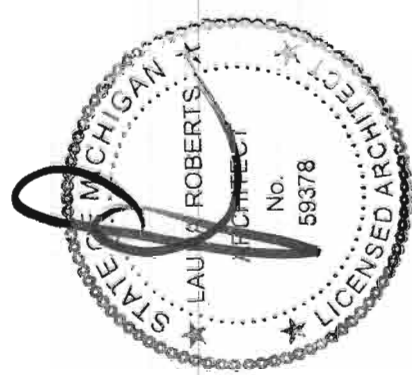
J RM 106 WEST TILE ELEVATION
1/2" = 1'-0"

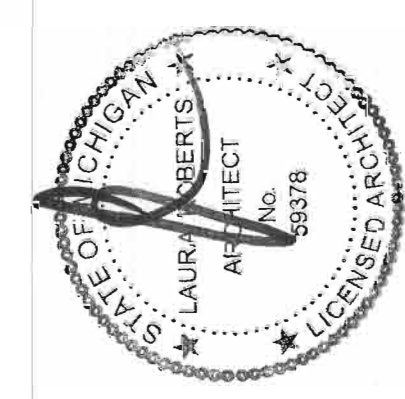


G RM 105 EAST TILE ELEVATION
1/2" = 1'-0"



B RM 104 EAST TILE ELEVATION
1/2" = 1'-0"



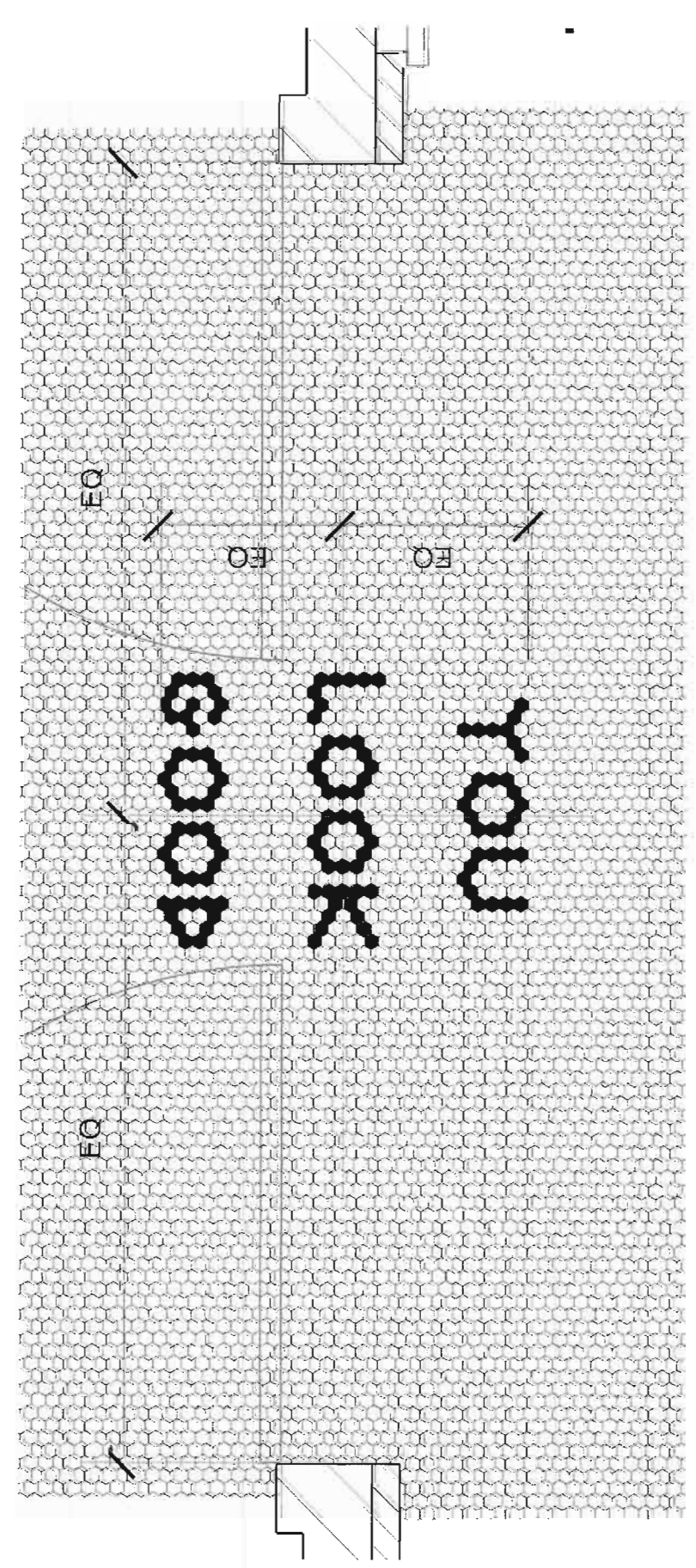


ROOM FINISH SCHEDULE

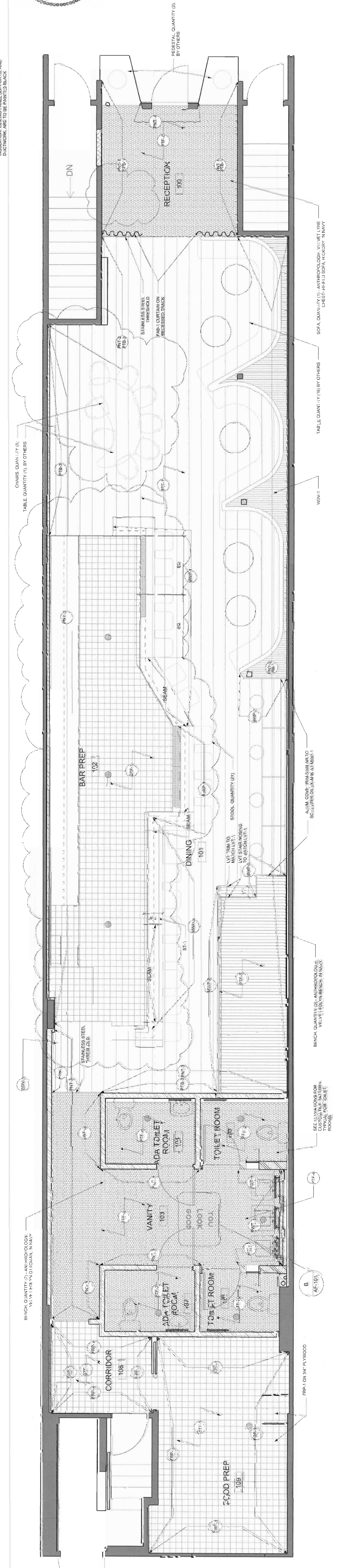
NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	MILLWORK	NOTES
100	RECEPTION	PTF-2	PTF-1	PTF-1	PTF-6	Y	
101	DINING	PTF-2	PTF-2	PTF-2	MDP-1	Y	
102	BAR PREP	PTF-1	PTF-1	PTF-2	MDP-1	Y	
103	VARIETY	PTF-3	PTF-3	PTF-3	PTF-5	Y	
104	ADA UNISEX TOILET ROOM	PTF-2	PTF-1/2	PTF-5	PTF-5	N	FULL LENGTH MIRROR
105	UNISEX TOILET ROOM	PTF-2	PTF-1/2	PTF-5	PTF-5	N	FULL LENGTH MIRROR
106	ADA UNISEX TOILET ROOM	PTF-2	PTF-1/2	PTF-5	PTF-5	N	FULL LENGTH MIRROR
107	UNISEX TOILET ROOM	PTF-2	PTF-1/2	PTF-5	PTF-5	N	FULL LENGTH MIRROR
108	CORRIDOR	OTF-1	FRP-1	FRP-1	ACT-1	N	
109	FOOD PREP	OTF-1	FRP-1	FRP-1	ACT-1	N	

FINISH AND MATERIAL SCHEDULE

TAG	DESCRIPTION	MANUFACTURER	SERIES/NAME	NUMBER / COLOR	FINISH	SIZE	INSTALLATION	NOTES
PTF-1	FLOORING							
PTF-1	PORCELAIN TILE FLOOR	SALENNO	BASE METAL SERIES	BLACK		12X24	RUNNING BOND W/ STAGGERED JOINTS	GROUT: TEC ACCUCOLOR
PTF-2	PORCELAIN TILE FLOOR	DAITILE	KEYSTONES	BLACK/D317		1" HEXAGON		GROUT: TEC ACCUCOLOR
PTF-3	PORCELAIN TILE FLOOR	DAITILE	KEYSTONES	BLACK/D311		1" HEXAGON		GROUT: TEC ACCUCOLOR
PTF-4	PORCELAIN TILE FLOOR	DAITILE	KEYSTONES	ARCTIC WHITE/D817		1" HEXAGON		GROUT: TEC ACCUCOLOR
OTF-1	CORRIDOR TILE FLOOR	DAITILE	QUARRY TILE	ARID GRAY/D1		6" SF		GROUT: TEC ACCUCOLOR
LV1-1	LUXURY VINYL TILE	SHAW HARD SURFACE	QUILT COVER	09795 BLACK/WALNUT		7'x8' NOMINAL	30 MIL FLOTTING LVT	SEE SCHEDULE FOR MATCH AT ALL EXPOSED EDGES
PTF-1	PERFORATED METAL PANEL	DAITILE	COVE BASE	C-333 MATCH/ADJ FLOOR TILE		2x1		
ACT-1	ACUSTICAL CEILING TILE	DAITILE	COVE BASE CONNOR	C6-133 MATCH/ADJ FLOOR TILE		1'x1	CUT TO SIZE	
PTF-3	PORCELAIN TILE BASE	SALENNO	BASE METAL SERIES	BLACK		6" SQ		
FRP-1	RFR FINIT PAIR	JOHNSONITE	TRADITIONAL	99 MOON ROCK		4" HIGH		
MDP-1	PERFORATED METAL PANEL							
ACT-1	ACUSTICAL CEILING TILE	ARMSTRONG	ULTRALAVIN	1913 WHITE		24"X24"	SEE PANEL SCHEDULE ON A-102	
PTF-8	PANT	SHERWIN WILLIAMS	ULTRALAVIN	SW 7017 DORIAN GRAY		EGGSHELL	LAY IN W/ 1/8" GRID - WHITE	
PTF-9	PANT	SHERWIN WILLIAMS	ULTRALAVIN	SW 7018 DOVETAIL		EGGSHELL		
MISCELLANEOUS								
ST-1	MARBLE STONE SLAB			CARRARA		3 CM	SEAMS ON PLAN	
WBT-1	TEXTILE FABRIC	WEST ELM	FELICIA VELVET	INK BLUE		54"W		
WBT-2	TEXTILE FABRIC	WEST ELM	COPIE COW	ZOOBAR DHANI		54"W		
GL-1	TAMPHARD GLASS			CLEAR		1/2" THICK	1/8" P-B EDGLASS TRM	
WOOD-1	WOOD VENEER			WALNUT			PRE-VENEERED PLYWOOD	
WALL								
PTF-1	PANT	SHERWIN WILLIAMS	ULTRALAVIN	SW 7017 DORIAN GRAY		EGGSHELL		
PTF-2	PANT	SHERWIN WILLIAMS	ULTRALAVIN	SW 7018 DOVETAIL		EGGSHELL		
PTF-3	PANT	SHERWIN WILLIAMS	ULTRALAVIN	SW 7019 GAUQUET GRAY		EGGSHELL		
PTF-4	PANT	SHERWIN WILLIAMS	ULTRALAVIN	SW 5981 BLACK/JAGC		EGGSHELL		
PTF-5	PANT	SHERWIN WILLIAMS	ULTRALAVIN	SW 6880 HONEY BLOSH		EGGSHELL		
PTF-6	PANT	SHERWIN WILLIAMS	ULTRALAVIN	SW 6111 TOWNHARBED		EGGSHELL		
PTF-7	PANT	SHERWIN WILLIAMS	ULTRALAVIN	SW 6516 DOWN POUR		EGGSHELL		
MPW-1	HOT ROLLED STEEL	ALRO		BLACKENED W/ SUR FIN E-BLACK 70		18 GAUGE		
MPW-2	HOT ROLLED STEEL	ALRO		BLACKENED		11 GAUGE		
FRP-1	FIBER REINFORCED PANEL	MANLITE	STANDARD FRP	P 151 LIGHT GREY		4"X8"X3/32"		
PTF-1	PORCELAIN WALL TILE	DAITILE	KEYSTONES	BLACK/D311		1"X1" HEXAGON		
PTF-2	PORCELAIN WALL TILE	DAITILE	KEYSTONES	BLACK/D317		1"X1" HEXAGON	CUSTOM PATTERN - SEE A-203	
PTF-3	PORCELAIN WALL TILE	DAITILE	KEYSTONES	SPA D148		1"X1" HEXAGON	CUSTOM PATTERN - SEE A-203	
PTF-4	PORCELAIN WALL TILE	DAITILE	KEYSTONES	MUSTARD D191		1"X1" HEXAGON	CUSTOM PATTERN - SEE A-203	
PTF-5	PORCELAIN WALL TILE	DAITILE	KEYSTONES	GALAXY D203		1"X1" HEXAGON	CUSTOM PATTERN - SEE A-203	
PTF-6	PORCELAIN WALL TILE	DAITILE	KEYSTONES	GALAXY D203		1"X1" HEXAGON	CUSTOM PATTERN - SEE A-203	
PTF-7	PORCELAIN WALL TILE	DAITILE	KEYSTONES	GALAXY D203		1"X1" HEXAGON	CUSTOM PATTERN - SEE A-203	



B ENLARGED TILE PATTERN
 1" = 1'-0"



NOTES:
 ALL SURFACES ABOVE CEILING PANEL INCLUDING BUT NOT LIMITED TO WALLS, MILLWORK, WALLS, MILLWORK, CEILING PANELS, SUSPENDED CEILING, DUCTWORK ARE TO BE FINISHED BLACK.

A FINISH PLAN
 1/4" = 1'-0"

KITCHEN EQUIPMENT PLUMBING CONNECTION SCHEDULE

SUBWAY ITEM NUMBER	MARK	EQUIPMENT DESCRIPTION	140°F HW	110°F HW	CW	FILTERED CW	NATURAL GAS	WASTE	INDIRECT	DIRECT	REMARKS
A	SK-1	HAND SINK	1/2"	1/2"	1/2"			1-1/2"	X	X	A
B	SK-2	3-COMPARTMENT SINK	1/2"	1/2"	1/2"			3/2"	X	X	B
C	SK-3	MOP SINK	1/2"	1/2"	1/2"			3/4"	X	X	D/E
D	SK-4	ICE MACHINE AND BIN	1/2"	1/2"	1/2"	3/4"		1/2" (2) 1-1/2"	X	X	E
E	SK-5	COCKTAIL STATION	1/2"	1/2"	1/2"			1/2" (2) 1-1/2"	X	X	C
F	SK-6	4-COMPARTMENT SINK	1/2"	1/2"	1/2"			1-1/2"	X	X	A
G	SK-7	COCKTAIL STATION	1/2"	1/2"	1/2"			1-1/2"	X	X	E
H	SK-8	HAND SINK	1/2"	1/2"	1/2"			3/4"	X	X	E
I	SK-9	DRINK DISPENSER	1/2"	1/2"	1/2"			3/4"	X	X	E
J	SK-10	DRIP TROUGH									E

A. PLUMBING CONTRACTOR SHALL PROVIDE AND INSTALL WATTS USG-B-W2 OR EQUAL THERMOSTATIC TEMPERING VALVE
 B. PLUMBING CONTRACTOR SHALL PROVIDE 2" DRAINS AND 2" DRAIN MANIFOLD TERMINATED AT FSK-1 W/ 4" AIR GAP
 C. PLUMBING CONTRACTOR SHALL PROVIDE 1-1/2" DRAINS AND 2" DRAIN MANIFOLD TERMINATED AT FSK-1 W/ 4" AIR GAP
 D. PLUMBING CONTRACTOR SHALL PROVIDE 1-1/2" DRAINS AND 2" DRAIN MANIFOLD TERMINATED AT FSK-1 W/ 4" AIR GAP
 E. PIPE DRAINS NEAREST TO FSK-1

PLUMBING FIXTURE SCHEDULE

MARK	MANUFACTURER	MODEL NUMBER	FITTINGS	ACCESSORIES	REMARKS
WC-1	KOHLER	K-5172 SAN SOUCI FLOOR MTD TOILET	STOP AND SUPPLY	CHURCH #9500 WHITE SEAT	ADA COMPLIANT
L-1	KOHLER	K-2827-O	KOHLER K-1415-4 FAUCET	OFFSET GRID DRAIN 17 GA. C.P. P-TRAP STOPS AND SUPPLIES	ADA COMPLIANT
L-2	KOHLER	K-2035 FINOR WALL HUNG LAVATORY	KOHLER K-14406-4 PURIST FAUCET W/ LEVER HANDLES	TRUEBRO TRAP AND SUPPLY SAFETY COVERS WATTS USG-B-W2 THERMOSTATIC TEMPERING VALVE OFFSET GRID DRAIN 17 GA. C.P. P-TRAP STOPS AND SUPPLIES	ADA COMPLIANT
SK-1		SINK AND FAUCET PROVIDED BY OWNER		WATTS USG-B-W2 THERMOSTATIC TEMPERING VALVE STOPS AND SUPPLIES	
SK-2		SINK AND FAUCET PROVIDED BY OWNER		WATTS USG-B-W2 THERMOSTATIC TEMPERING VALVE STOPS AND SUPPLIES	
SK-3		SINK AND FAUCET PROVIDED BY OWNER		WATTS USG-B-W2 THERMOSTATIC TEMPERING VALVE STOPS AND SUPPLIES	
SK-4		SINK AND FAUCET PROVIDED BY OWNER		WATTS USG-B-W2 THERMOSTATIC TEMPERING VALVE STOPS AND SUPPLIES	
SK-5		SINK AND FAUCET PROVIDED BY OWNER		WATTS USG-B-W2 THERMOSTATIC TEMPERING VALVE STOPS AND SUPPLIES	
SK-6		SINK AND FAUCET PROVIDED BY OWNER		WATTS USG-B-W2 THERMOSTATIC TEMPERING VALVE STOPS AND SUPPLIES	
SK-7		SINK AND FAUCET PROVIDED BY OWNER		WATTS USG-B-W2 THERMOSTATIC TEMPERING VALVE STOPS AND SUPPLIES	
SK-8		SINK AND FAUCET PROVIDED BY OWNER		WATTS USG-B-W2 THERMOSTATIC TEMPERING VALVE STOPS AND SUPPLIES	
SK-9		SINK AND FAUCET PROVIDED BY OWNER		WATTS USG-B-W2 THERMOSTATIC TEMPERING VALVE STOPS AND SUPPLIES	
SK-10		SINK AND FAUCET PROVIDED BY OWNER		WATTS USG-B-W2 THERMOSTATIC TEMPERING VALVE STOPS AND SUPPLIES	
FD-1	ZURN	Z-1810 8"x8" FLOOR SINK	LESS GRATE		FLOOR CLEANOUT
FD-2	ZURN	Z-445	6" DEEP SUMP DEPTH		WALL CLEANOUT
FCO	ZURN	ZN-1400T	6"x6" SQUARE TYPE #9" STRAINER		
WCO	ZURN	Z-1441	'SURE SEAL' TRAP GUARD		

WATER HEATER SCHEDULE

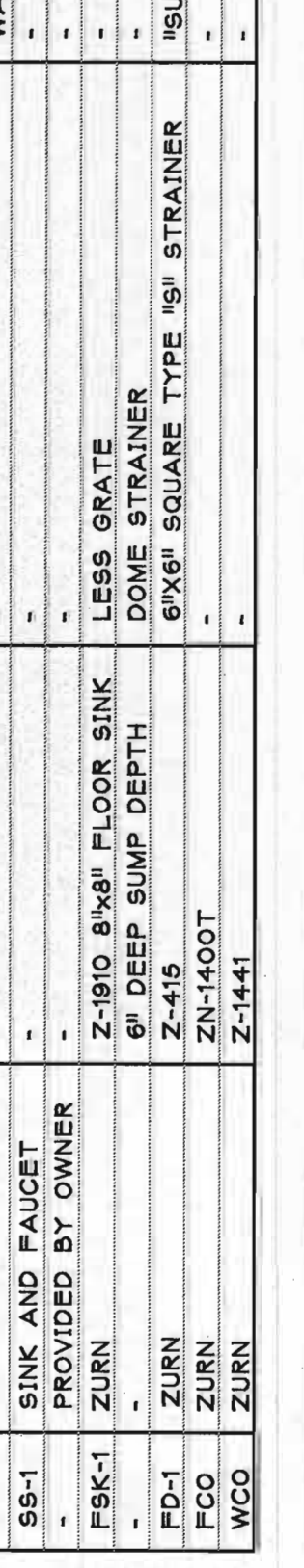
MARK	MANUFACTURER	MODEL NUMBER	INPUT TANK CAP.	RECOVERY	VOLTAGE	DIA.	HT.	REMARKS
WH-1	LOCHINVAR	SN220-100	189	233	125/160	28"	78"	ASB

A. TIE RETURN VALVE
 B. 115V 3 AMP CIRCUIT
 C. EXPANSION TANK

WATER HEATER WH-1 SIZING CHART

FIXTURE	QTY.	TRIPS PER HOUR	TRIPS PER EACH	INPUT BTU @ 50% EFF.
LAVATORY	5	70	5	16,197
MOP SINK	1	100	10	9,256
HAND SINK	3	70	5	8,718
3-COMPARTMENT SINK	1	100	65	60,161
4-COMPARTMENT SINK	1	100	25	23,739
COCKTAIL STATION	3	100	5	13,984
TOTALS				152,355

GALLONS OF STORAGE REQUIRED: 155
 GALLONS OF STORAGE = 155 GPH X .34 X 11 = 56 GALLONS

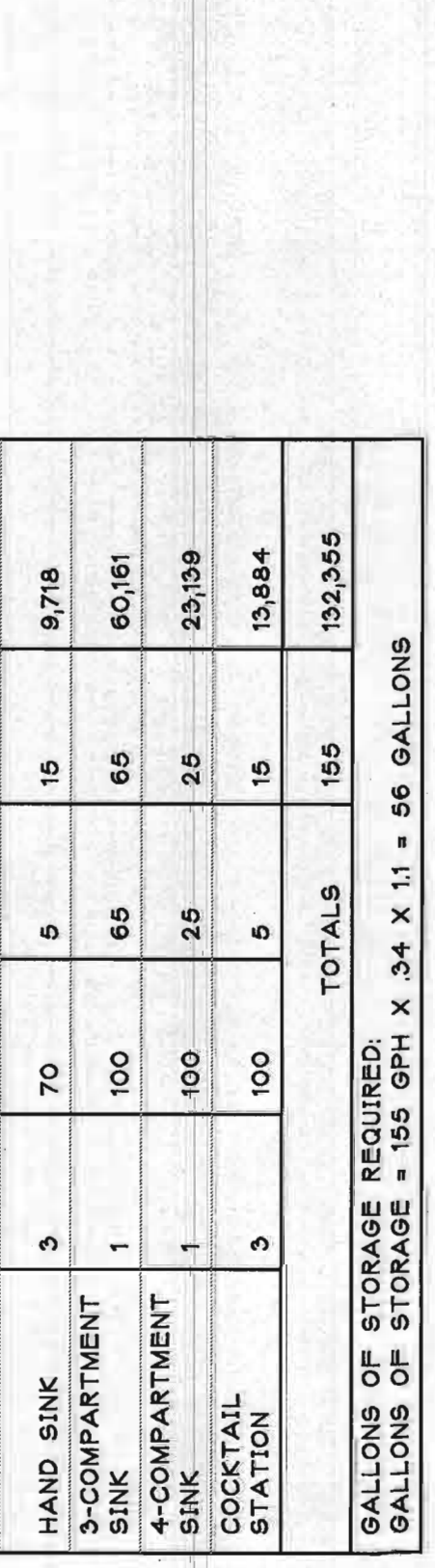


GENERAL PLUMBING NOTES:

- NEW SANITARY PIPING LOCATED ABOVE BASEMENT CEILING.
- 2" VENT UP TO AAV LOCATED IN BAR CASEWORK. PROVIDE 12"x10" LOUVERED GRILLE AS REQUIRED FOR VALVE ACCESS.
- CONNECT NEW 3" SANITARY TO EXISTING 4" CAST IRON SANITARY RISER IN BASEMENT.
- 2" VENT UP TO AAV LOCATED IN WALL ABOVE. PROVIDE 12"x10" LOUVERED GRILLE ON TOILET ROOM SIDE OF WALL FOR VALVE ACCESS.
- 1/2" HOT AND 1/2" COLD WATER TO BAR SINK/EQUIPMENT.
- 1 1/2" SANITARY UP TO HAND SINK TERMINATES WITH 1 1/2" AAV. PROVIDE 12"x10" LOUVERED GRILLE AS REQUIRED FOR VALVE ACCESS.
- DOMESTIC WATER PIPING LOCATED IN BASE CASEWORK.
- 3/4" COLD WATER, 3/4" HOT WATER AND 3/4" HOT WATER RETURN DOWN TO BASEMENT CEILING AND BACK UP TO BAR CASEWORK.
- EXISTING 4" SANITARY LOCATED IN BASEMENT WALL.
- EXISTING 4" SANITARY LOCATED ABOVE BASEMENT CEILING.
- EXISTING 4" SANITARY RISER DOWN TO BASEMENT CEILING.
- EXISTING SANITARY AT FIRST FLOOR CEILING.
- EXISTING 3/4" DOMESTIC WATER AT FIRST FLOOR CEILING.
- CONNECT NEW 3" SANITARY TO EXISTING 4" SANITARY ABOVE BASEMENT CEILING.
- EXTEND NEW 1" DOMESTIC COLD WATER TO EXISTING METER LOCATED IN BASEMENT.
- REROUTE EXISTING 3/4" COLD WATER SERVING SECOND FLOOR.
- 2" SANITARY UP TO HAND SINK TERMINATES WITH 2" AAV. PROVIDE 12"x10" LOUVERED GRILLE AS REQUIRED FOR VALVE ACCESS.
- PROVIDE AND INSTALL 3" PVC FUSE AND 3" COMBUSTION AIR. TERMINATE PER MANUFACTURERS INSTALLATION MANUAL.
- 1" CONDENSATE FROM AIR HANDLING UNIT AHU-1 TERMINATED AT FLOORSINK FSK-1.

KEYED PLUMBING NOTES:

- NEW SANITARY PIPING LOCATED ABOVE BASEMENT CEILING.
- 2" VENT UP TO AAV LOCATED IN BAR CASEWORK. PROVIDE 12"x10" LOUVERED GRILLE AS REQUIRED FOR VALVE ACCESS.
- CONNECT NEW 3" SANITARY TO EXISTING 4" CAST IRON SANITARY RISER IN BASEMENT.
- 2" VENT UP TO AAV LOCATED IN WALL ABOVE. PROVIDE 12"x10" LOUVERED GRILLE ON TOILET ROOM SIDE OF WALL FOR VALVE ACCESS.
- 1/2" HOT AND 1/2" COLD WATER TO BAR SINK/EQUIPMENT.
- 1 1/2" SANITARY UP TO HAND SINK TERMINATES WITH 1 1/2" AAV. PROVIDE 12"x10" LOUVERED GRILLE AS REQUIRED FOR VALVE ACCESS.
- DOMESTIC WATER PIPING LOCATED IN BASE CASEWORK.
- 3/4" COLD WATER, 3/4" HOT WATER AND 3/4" HOT WATER RETURN DOWN TO BASEMENT CEILING AND BACK UP TO BAR CASEWORK.
- EXISTING 4" SANITARY LOCATED IN BASEMENT WALL.
- EXISTING 4" SANITARY LOCATED ABOVE BASEMENT CEILING.
- EXISTING 4" SANITARY RISER DOWN TO BASEMENT CEILING.
- EXISTING SANITARY AT FIRST FLOOR CEILING.
- EXISTING 3/4" DOMESTIC WATER AT FIRST FLOOR CEILING.
- CONNECT NEW 3" SANITARY TO EXISTING 4" SANITARY ABOVE BASEMENT CEILING.
- EXTEND NEW 1" DOMESTIC COLD WATER TO EXISTING METER LOCATED IN BASEMENT.
- REROUTE EXISTING 3/4" COLD WATER SERVING SECOND FLOOR.
- 2" SANITARY UP TO HAND SINK TERMINATES WITH 2" AAV. PROVIDE 12"x10" LOUVERED GRILLE AS REQUIRED FOR VALVE ACCESS.
- PROVIDE AND INSTALL 3" PVC FUSE AND 3" COMBUSTION AIR. TERMINATE PER MANUFACTURERS INSTALLATION MANUAL.
- 1" CONDENSATE FROM AIR HANDLING UNIT AHU-1 TERMINATED AT FLOORSINK FSK-1.



CONNECT TO EXISTING
 BALL VALVE
 CIRCUIT SETTER
 COLD WATER
 HOT WATER
 HOT WATER RETURN
 SANITARY
 UG
 SANITARY
 AG
 VENT
 STORM
 CONDENSATE



PROJECT:
BAR STAR
 220 SOUTH MAIN STREET
 ANN ARBOR, MI 48104

JOB NUMBER: 216100
 DRAWN: 10-31-18
 REVISED: 12-29-18

All drawings and designs copyright 2018 by VF and Associates, Inc. No reproduction or reuse allowed without permission.



SHEET TITLE:
PLUMBING PLAN

SHEET NUMBER:
P-1



**WASHTENAW COUNTY
ENVIRONMENTAL HEALTH DIVISION
PUBLIC HEALTH DEPARTMENT**

February 7, 2017

Micah Bartelme
230 Huronview
Ann Arbor, MI 48103

RE: Plan review for the proposed new construction
BSG 220 LLC located at 220 S. Main St.
Ann Arbor, Michigan

Dear Mr. Bartelme:

The plan review submitted to this department on August 9 2016 and per revised plans/additional information received through February 6, 2017 for the proposed new construction of BSG 220 LLC located at 220 S. Main, Ann Arbor, Michigan have been reviewed in accordance with the State of Michigan's Food Law of 2000 as amended.

This review indicates the plans meet the basic requirements of the above regulations, with exceptions as listed below:

1. Each hand-washing sink must be equipped with soap, paper towel dispensers, waste receptacle and hand-washing reminder sign.
2. Custom fabricated wooden counters, bars or shelving shall be laminated on all exposed surfaces with plastic or other approved material. All raw wood surfaces including the undersides of shelving must be sealed or covered with approvable materials so that they are smooth, non-absorbent, and easily cleanable.
3. Submit an application for a food service license and pay the license fee prior to your 1st preliminary inspection.
4. Horizontal runs of fire extinguisher piping or electrical conduit shall be installed on the external surface of a ventilation hood or in the plenum behind the filters when applicable.
5. Submit a copy of your ventilation test report (If required by the local building department) indicating exhaust and make-up air quantities, and building pressure to this department for review at least 24 hours prior to final inspection when applicable.

All equipment must be installed in accordance with the N.S.F. "Manual on Sanitation Aspects of Installation of Food Service Equipment" - so as to facilitate easy cleaning. All floor mounted equipment must be installed either on 6" legs, on casters or sealed in place. All counter equipment must be easily movable by one person or on 4" legs.

Any changes in approved plans are subject to approval by this department.

These plans are approved with the condition that the above items become an integral part of the proposed construction. This approval does not relieve the owner or builder of any responsibility for full compliance with the law concerning this construction even though specifics may be absent or incorrect on these plans.

705 North Zeeb Road, P.O. Box 8645 Ann Arbor, MI 48107-8645
Phone: (734) 222-3800 Fax: (734) 222-3930
www.eWashtenaw.org

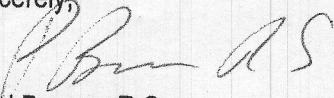
Compliance with applicable laws or ordinances of any other governmental authority is not established through this approval. It is the responsibility of the owner to assure conformance with other applicable codes.

Please note that this approval expires one (1) year from the date of this letter. For an extension beyond that date, a written request must be forwarded to this office with justification for the extension.

Included in the plan review fee are two (2) inspections (1 preliminary, 1 final). When more than two inspections are required to verify compliance or approve construction, a fee of \$131.00 per additional inspection will be assessed. This fee must be paid before an approval to operate will be granted.

It is unlawful to occupy the facility until such time as approval for use of the facility has been received from Washtenaw County Environmental Health. To avoid delays, it is recommended that this department be contacted well in advance of completion of the project so that a timely preliminary inspection can be scheduled.

Sincerely,



Perri Boman, R.S.
Senior Sanitarian

Cc: City of Ann Arbor Building Department