

**Zoning Board of Appeals
February 28, 2018 Regular Meeting**

STAFF REPORT

Subject: ZBA18-001; 2398 E. Stadium Blvd.

Summary:

Don Strack, Director of Construction for Trader Joe's, representing the owners Lamp Post Limited, is seeking two variances from Chapter 55 Zoning Section 5:43 Area, Height, and Placement regulations. A 16foot nine (9) inch variance for the rear yard setback and a nine (9) foot variance for the side yard setback is required for the installation of a 98 square foot cooler at the rear of the building of an existing Trader Joe's retail center.

Background:

The property is zoned C1, local business district, and is located on the south side of Stadium Boulevard and east of Saint Francis Drive. The zoning ordinance allows for a zero side and rear yard setback for C1 districts, except when a property abuts residentially zoned land. The business abuts two (2) apartment complexes along Medford Road and therefore the thirty foot side and rear setbacks are applicable. The property is currently non-conforming as it does not meet the 30 foot setbacks for both the side and rear property lines.

Description:

A new 12 foot six (6) inch by seven (7) foot ten (10) inch cooler will be installed to provide additional stocking area to an existing small stocking area.

Standards for Approval- Variance

The Zoning Board of Appeals has all the power granted by State law and by Section 5:99, Application of the Variance Power from the City of Ann Arbor Zoning Ordinance. The following criteria shall apply:

- (a). *That the alleged hardships or practical difficulties, or both, are exceptional and peculiar to the property of the person requesting the variance, and result from conditions which do not exist generally throughout the city.***

The applicant states that the existing receiving area is non-conforming and there is no alternative location to install the proposed cooler. The cooler is to be installed behind a sound and screening wall where it will not be visible to adjacent properties.

- (b). *That the alleged hardships are practical difficulties, or both, which will result from a failure to grant the variance, include substantially more than mere inconvenience, inability to attain a higher financial return or both.***

The installation of a new cooler will provide increased stocking area to an existing smaller interior area that is no longer adequate or feasible.

- (c). ***That allowing the variance will result in substantial justice being done, considering the public benefits intended to be secured by this Chapter, the individual hardships that will be suffered by a failure of the Board to grant a variance, and the rights of others whose property would be affected by the allowance of the variance.***

The applicant states the variance will have little impact on surrounding properties as the cooler will not create noise or produce negative visual aesthetics. The existing sound and screening barrier wall will provide a buffer for the adjacent residential properties.

- (d). ***That the conditions and circumstances on which the variance request is based shall not be a self-imposed hardship or practical difficulty.***

The applicants contend that the variance is necessary as this is the only possible location for the cooler and will not interfere with the other tenants in the complex.

- (e). ***A variance approved shall be the minimum variance that will make possible a reasonable use of the land or structure.***

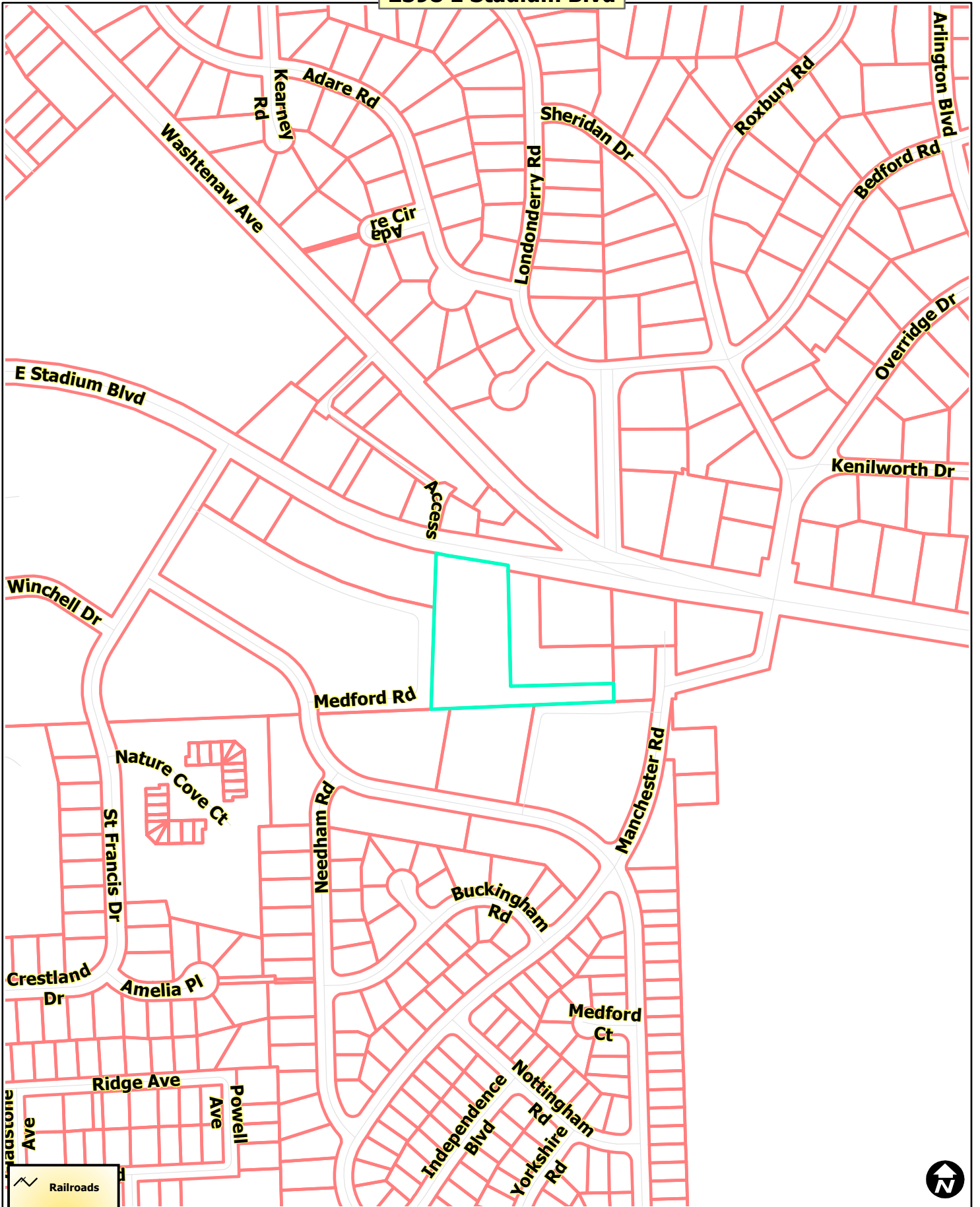
The existing area is being used as open storage for seasonal displays and extra equipment. By allowing the cooler to be installed in the proposed location would give purpose and function to the space and eliminate some outdoor storage.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Jon Barrett". The signature is stylized with large loops and a cursive script.

Jon Barrett
Zoning Coordinator

2398 E Stadium Blvd



- Railroads
- Huron River
- Tax Parcels



Map date 2/2/2018
Any aerial imagery is circa 2015 unless otherwise noted
Terms of use: www.a2gov.org/terms

2398 E Stadium Blvd

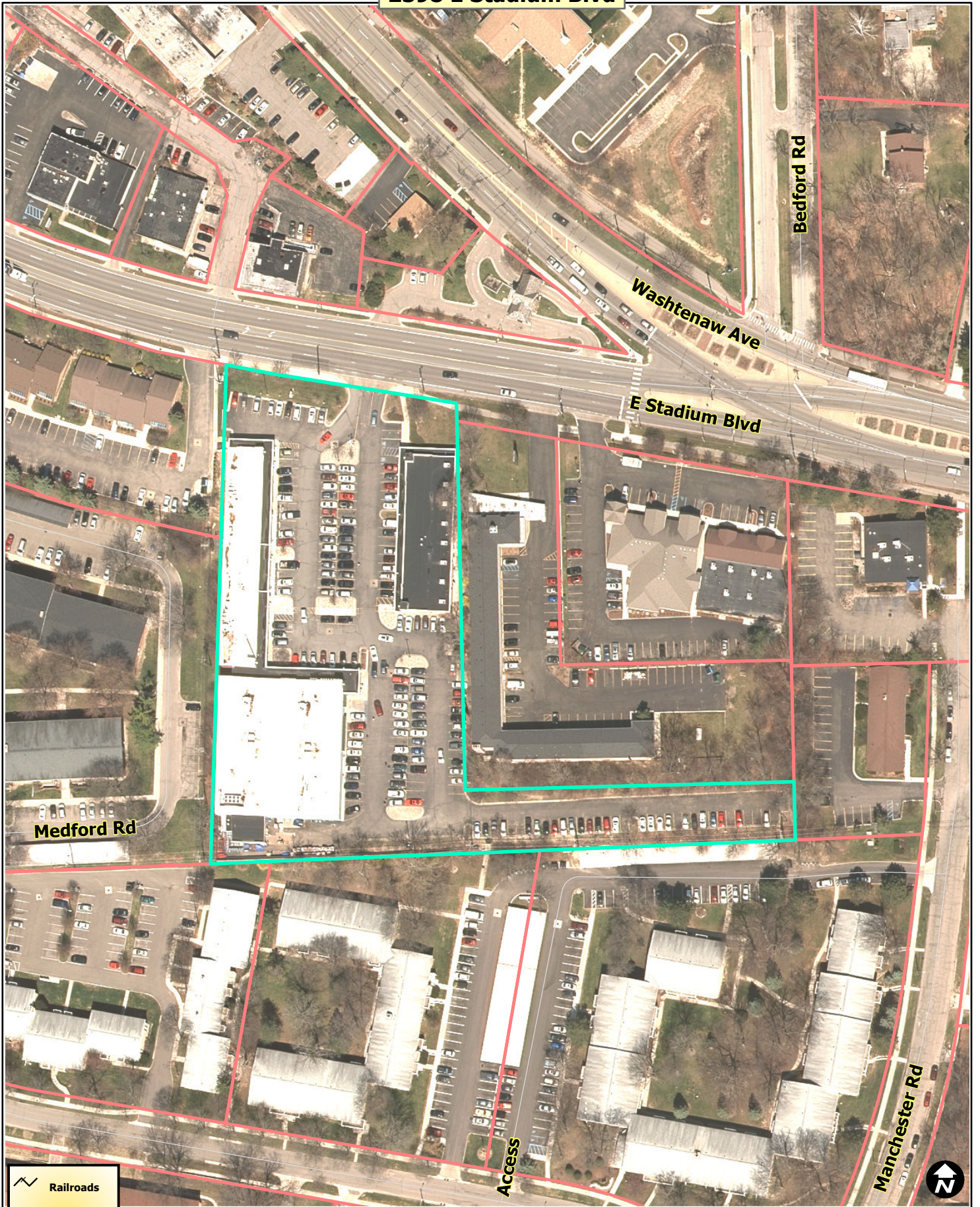





- Railroads
- Huron River
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2398 E Stadium Blvd



-  Railroads
-  Huron River
-  Tax Parcels



Map date 2/2/2018
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**ZONING BOARD OF APPEALS
PLANNING DEPARTMENT**

City Hall: 301 E. Huron St. Ann Arbor, MI 48104-6120
 Mailing: P.O. Box 8647, Ann Arbor, MI 48107-8647
 Phone: 734.794.6265 planning@a2gov.org
 Fax: 734.994.8460

APPLICATION MUST BE FILLED OUT COMPLETELY

Office Use Only	
Fee Paid: <u>\$600</u>	ZBA: <u>18-001</u>
DATE STAMP CITY OF ANN ARBOR RECEIVED JAN 18 2018	
PLANNING & DEVELOPMENT SERVICES	

PROPERTY INFORMATION

ADDRESS OF PROPERTY: 2398 E. Stadium Blvd., Ann Arbor, MI 48104	
ZONING CLASSIFICATION: C1 (zoning district 0934)	TAX ID: (if known) <u>09-09-34-310-003</u>
NAME OF PROPERTY OWNER*: Lamp Post Limited	

**If different than applicant, a letter of authorization from the property owner must be provided*

APPLICANT INFORMATION

NAME OF APPLICANT: Trader Joe's	
ADDRESS OF APPLICANT: 711 Atlantic Ave., 3rd Floor, Boston, MA 02111	
DAYTIME PHONE NUMBER: (317) 605-9423	FAX NO:
EMAIL: dstrack@traderjoes.com	
APPLICANT'S RELATIONSHIP TO PROPERTY: Trader Joe's Director of Construction	

REQUEST INFORMATION

<input checked="" type="checkbox"/> VARIANCE REQUEST (Complete the section 1 below)	<input type="checkbox"/> ALTERATION TO A NON-CONFORMING STRUCTURE (skip to Section 2)
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Section 1 - VARIANCE REQUEST

CHAPTER(S) AND SECTION(S) FROM WHICH A VARIANCE IS REQUESTED: (Example: Chapter 55, Section 5:26) Chapter 55 zoning, Section 5:43, Schedule of Area, Height, and Placement Regulations	
Required Dimension: (Example: 40' front setback) 30' rear setback	PROPOSED Dimension: (Example: 32') 13'-3 1/4"
Give a detailed description of the work you are proposing and why it will require a variance (Attach additional sheets if necessary) installation of cooler addition to exterior of existing receiving area roughly 98 sq. ft. due to no room inside existing receiving and stock areas	



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Section 1 - VARIANCE REQUEST con't

The City of Ann Arbor Zoning Board of Appeals has the powers granted by State law and City Code Chapter 55, Section 5:98. A variance may be granted by the Zoning Board of Appeals only in cases involving practical difficulties or unnecessary hardships when **ALL** of the following is found **TRUE**. Please provide a complete response to each item below. These responses, together with the required materials in Section 5 of this application, will form the basis for evaluation of the request by staff and the Zoning Board of Appeals.

1. That the alleged hardships or practical difficulties, or both, are exceptional and peculiar to the property of the person requesting the variance, and result from conditions which do not exist generally throughout the city.

The existing receiving area is currently built within the 30' rear setback limit, with no additional room behind or in front of the receiving area to place the additional cooler to avoid the setback. In addition, due to no room available inside the existing receiving and stock areas to place the cooler, it was placed exterior to the building behind the sound/screen wall where it would not be seen or interfere with existing travel or structures already on site.

2. That the alleged hardships are practical difficulties, or both, which will result from a failure to grant the variance, include substantially more than mere inconvenience, inability to attain a higher financial return, or both.

The installation of the exterior cooler is to provide additional stocking area, particularly produce, due to their existing small stocking area. Produce will also last longer being kept at the optimal temperature in a designated cooler, rather than open in the existing stock area or other coolers and freezers not dialed to the temperature specific to keep produce fresh.

3. That allowing the variance will result in substantial justice being done, considering the public benefits intended to be secured by this chapter, the individual hardships that will be suffered by a failure of the board to grant a variance, and the rights of others whose property would be affected by the allowance of the variance.

In addition to statements from 1 and 2 above, more produce-related product will be able to be stored on site on a daily basis, particularly during the holidays, so less produce is "sold out" during high demand times of the year. The cooler does not make any noise or provide any unsightly sight lines, with it purposefully located behind the sound/screen wall separating this property from the adjacent residential properties.

4. That the conditions and circumstances on which the variance request is based shall not be a self-imposed hardship or practical difficulty.

Locating the cooler exterior to the building by not reducing the existing receiving and stock square footage, and providing a direct connection from the receiving and stock areas, provides the best use and most efficient location for Trader Joe's operation. Any other alternative otherwise would provide a hardship to Trader Joe's operation and the operation of surrounding tenants.

5. A variance approved shall be the minimum variance that will make possible a reasonable use of the land or structure.

The current area behind the sound/screen wall and Trader Joe's receiving area is unused space that Trader Joe's uses as open storage for seasonal displays and extra fixtures. By installing the cooler as proposed, this would give purpose and function to this area that would eliminate this area as free and open storage for extra items not in use.



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Section 2 – ALTERATION TO A NON-CONFORMING STRUCTURE

Current Use of the Property: Mercantile

The proposed change is allowed in accordance with Structure Non-Conformance, Section 5:87 (1) (a) & (b), which reads as follows:

(1) A non-conforming structure may be maintained or restored, but no alteration shall be made to a non-conforming structure unless one of the following conditions is met:

- a. The alteration is approved by the Zoning Board of Appeals upon finding that it complies as nearly as practicable with the requirements of this Chapter and that it will not have a detrimental effect on neighboring property.
- b. The alteration conforms to all the requirements of this Chapter and is made to a building which will be a single-family dwelling on completion of the alteration and is located in an R1, R2, R3, or R4 district.
- c. The structure is considered non-conforming due to the following reasons.

REQUIREMENT	EXISTING CONDITION	CODE REQUIREMENT
Lot Area		
Lot Width		
Floor Area Ratio		
Open Space Ratio		
Setbacks		
Parking		
Landscaping		
Other		

Describe the proposed alterations and state why you are requesting this approval:

The alteration complies as nearly as is practicable with the requirements of the Chapter and will not have a detrimental effect on neighboring property for the following reasons:



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Section 2 – ALTERATION TO A NON-CONFORMING STRUCTURE

Wherefore, Petitioner requests that permission be granted from the above named Chapter and Section of the Ann Arbor City Code in order to permit:

REQUIRED MATERIALS

The following materials are required for **ALL** variance requests. Failure to provide these materials will result in an incomplete application and will delay staff review and Zoning Board of Appeals consideration of the request. The materials listed below must accompany the application and constitute an inseparable part of the application.

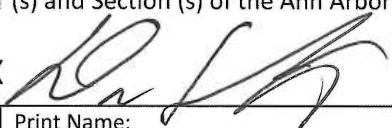
All materials must be provided on **8 ½" by 11"** sheets:

- One (1) hardcopy and one (1) electronic copy shall be submitted.
 - The electronic copy shall include all associated supporting documentation with application submission.
- Survey of the property including all existing and proposed structures, dimensions of property, and area of property.
 - Building floor plans showing interior rooms, including dimensions.
 - Photographs of the property and any existing buildings involved in the request.
 - Any other graphic or written materials that support the request.

ACKNOWLEDGEMENT

I, the applicant, hereby request a variance from the above named Chapter (s) and Section (s) of the Ann Arbor City Code for the stated reasons, in accordance with the materials attached hereto.


Phone number: (317) 605-9423

Signature: X 

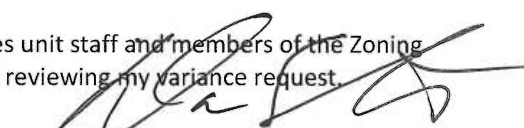
Email address: dstrack@traderjoes.com

Print Name: Don Strack

I, applicant, hereby depose and say that all the aforementioned statements, and the statements contained in the materials submitted herewith, as true and correct.


Signature

Further, I hereby give the City of Ann Arbor Planning and Development Services unit staff and members of the Zoning Board of Appeals permission to access the subject property for the purpose of reviewing my variance request.


Signature

MARTEN/DAVIS, LTD.

2360 E. Stadium #16
Ann Arbor, MI 48104

(313) 973-3185

January 11, 2018

Mr. Jon Barrett
Zoning Coordinator
City of Ann Arbor Planning & Development Services
301 E Huron Street, Ann Arbor, MI 48107

Re: Letter of Authority

Dear Mr. Barrett,

Don Strack, Director of Construction for Trader Joe's, has permission to submit the variance request on behalf of Lamp Post, Ltd., for the installation of the additional cooler.

Sincerely,



Ronald D. Marten, CCIM
Property Owner
General Partner
Lamp Post, Ltd.

RDM/tew



Commercial/Investment
Residential Realtors®







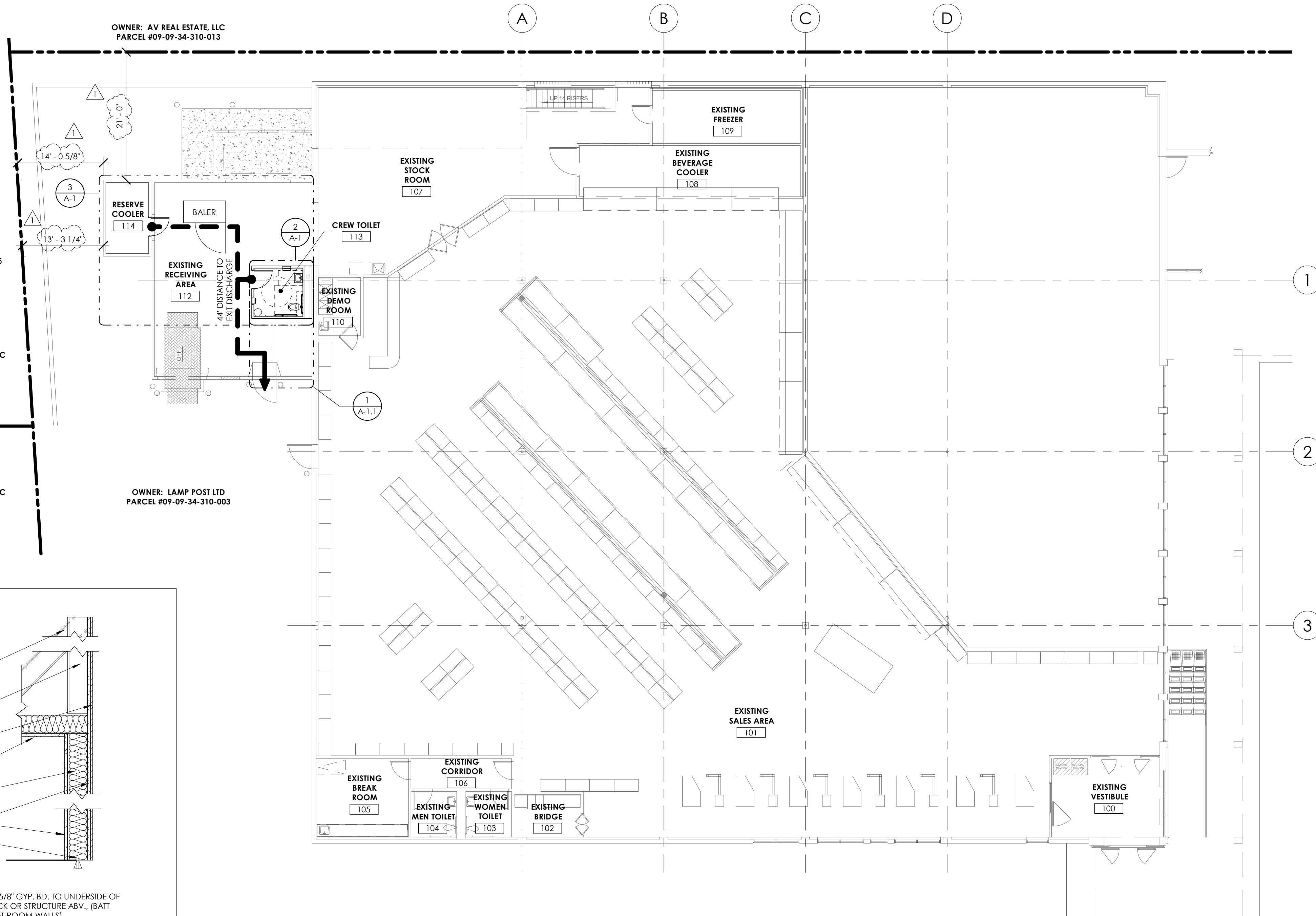


OWNER: AV REAL ESTATE, LLC
PARCEL #09-09-34-310-013

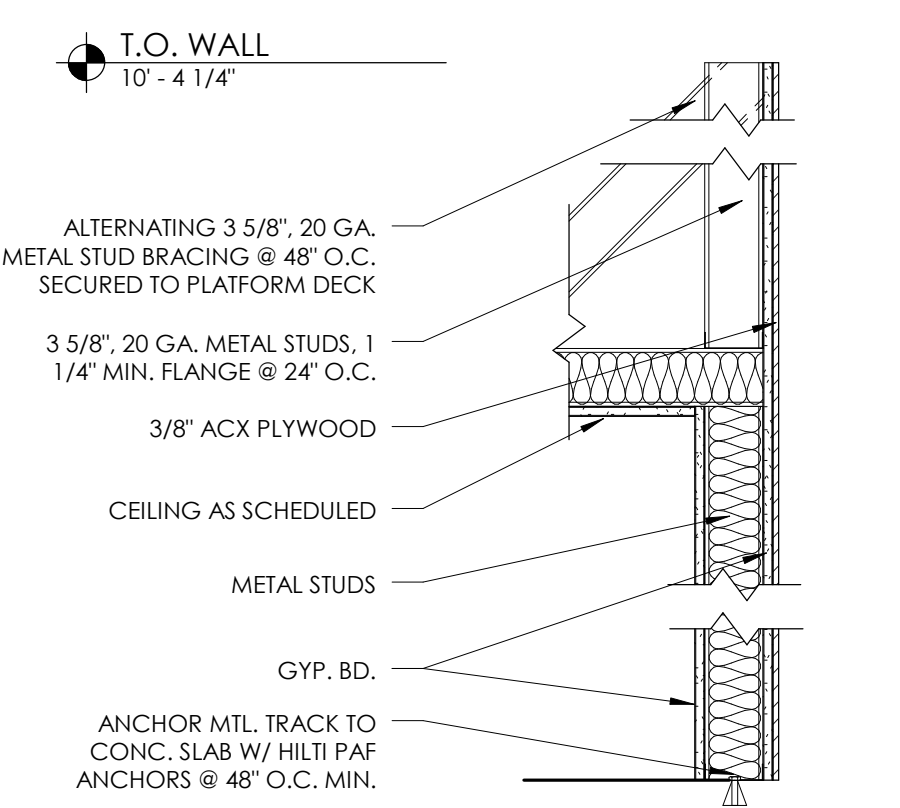
OWNER: ANN ARBOR WOODS, LLC
PARCEL #09-12-03-209-002

OWNER: ANN ARBOR WOODS, LLC
PARCEL #09-12-03-209-003

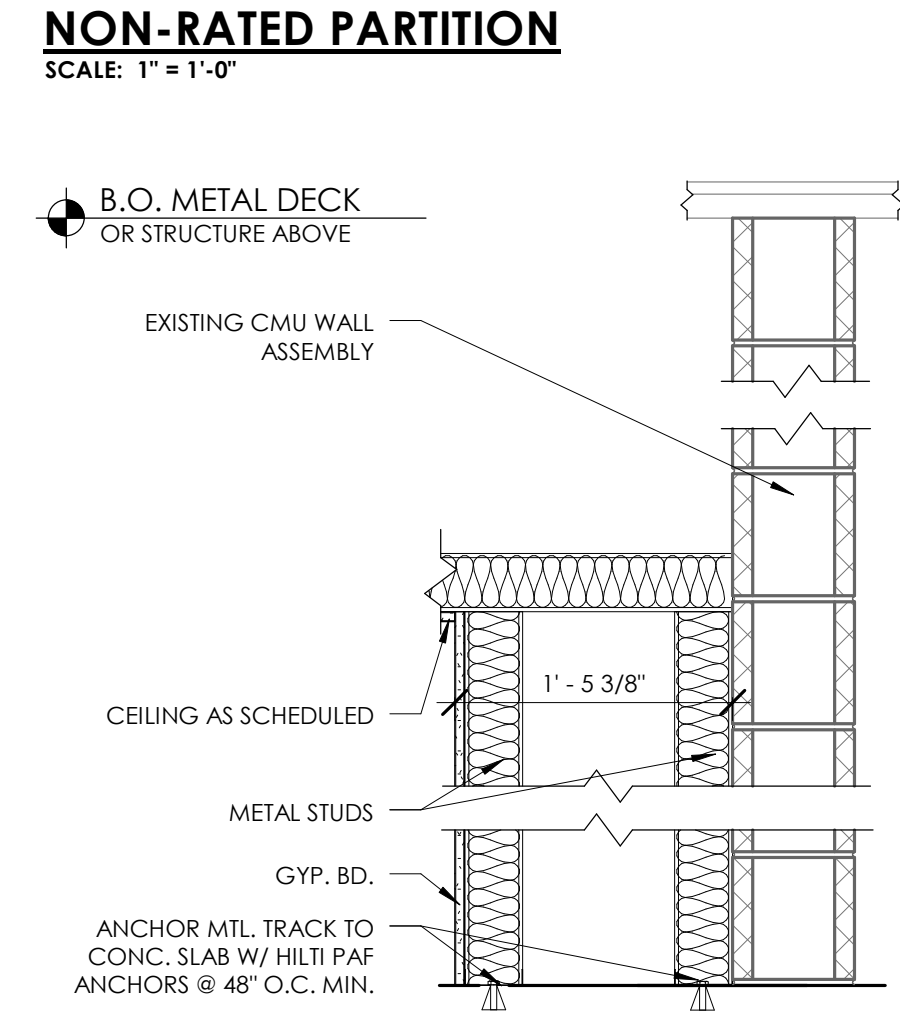
OWNER: LAMP POST LTD
PARCEL #09-09-34-310-003



1 OVERALL SITE & LIFE SAFETY PLAN
3/32" = 1'-0"

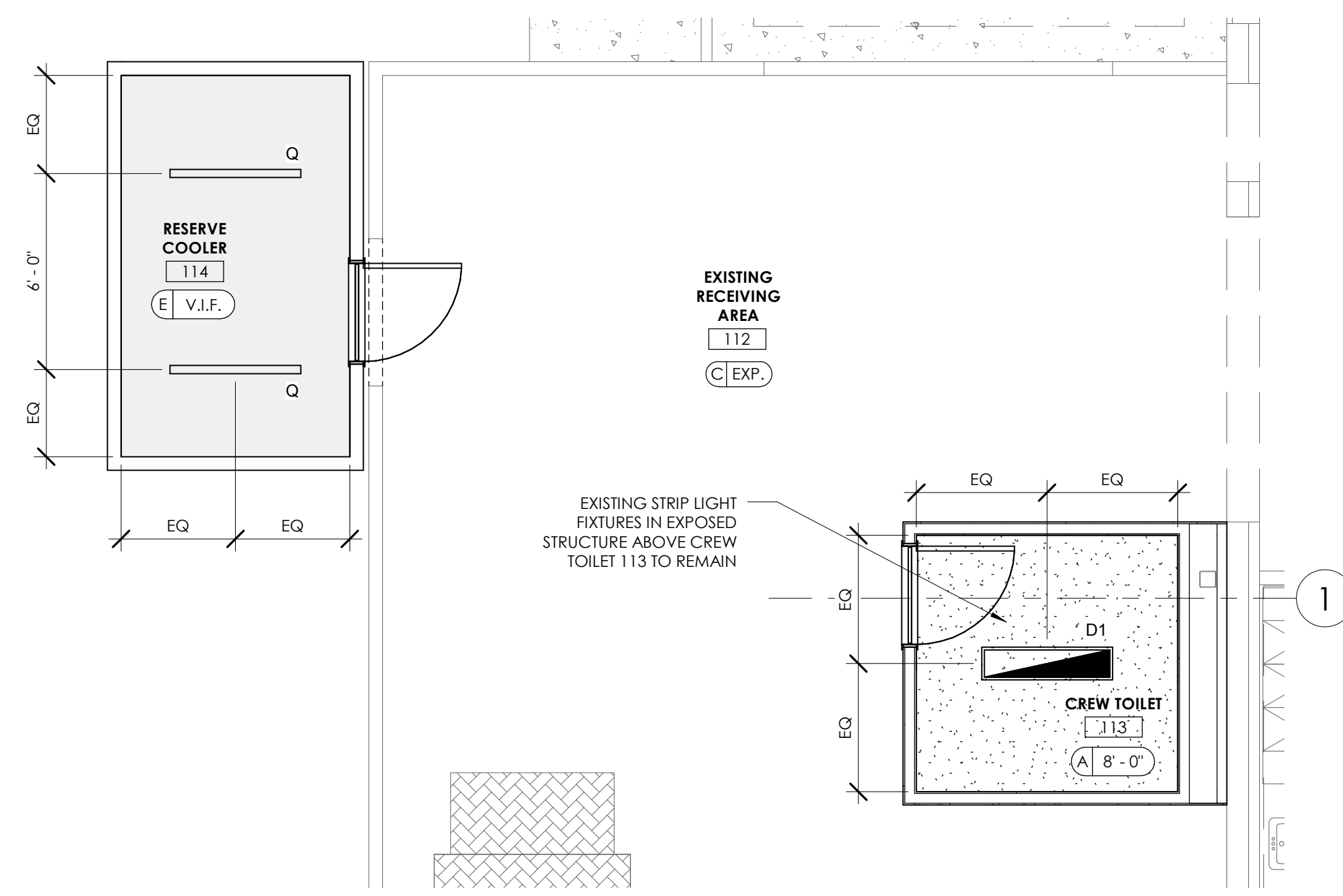


B1 3/5/8" 20 GA. MTL. STUD @ 16" O.C., 5/8" GYP. BD. TO UNDERSIDE OF GYP. BD. CLG. & UNDERSIDE OF DECK OR STRUCTURE ABV., (BATT INSUL. AND M.R. GYP. BD. FOR TOILET ROOM WALLS)

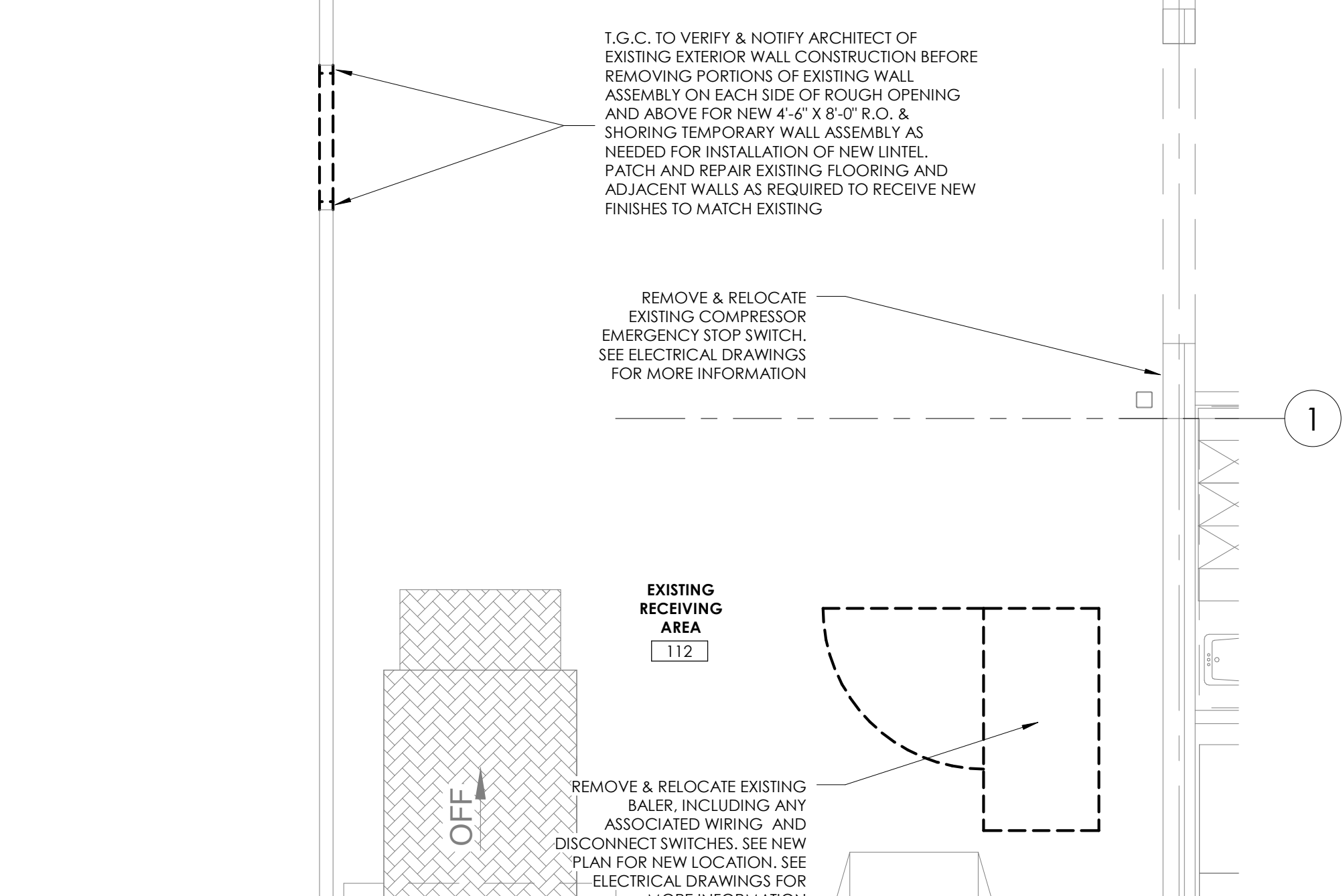


C1 3/5/8" 20 GA. MTL. STUD @ 16" O.C., 5/8" GYP. BD. TO UNDERSIDE OF GYP. BD. CLG. & UNDERSIDE OF DECK OR STRUCTURE ABV., (BATT INSUL. AND M.R. GYP. BD. AT TOILET ROOM)

4 WALL TYPES
1" = 1'-0"

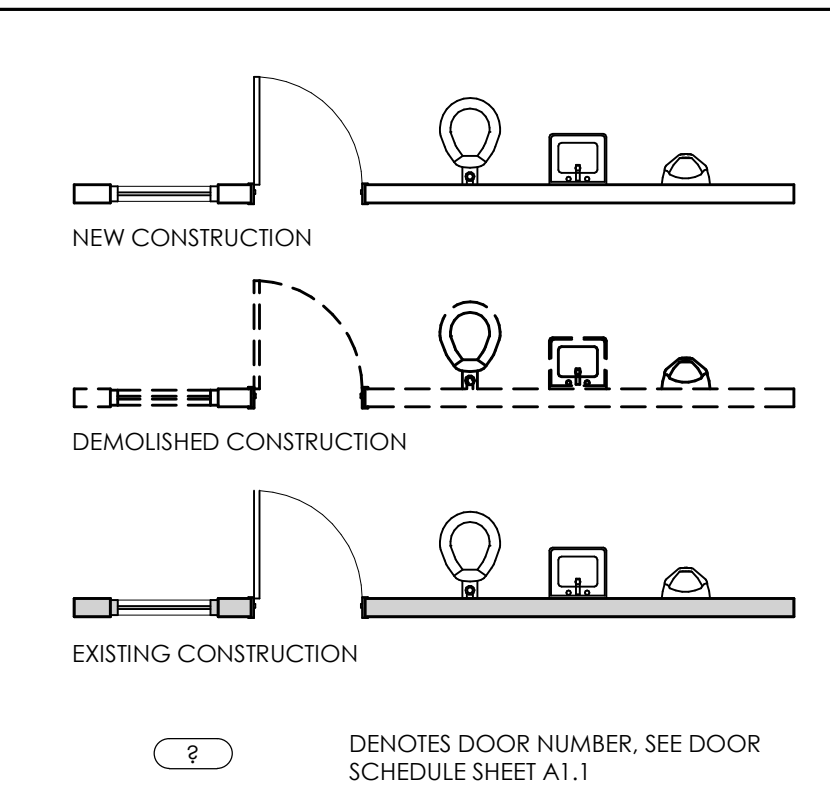


3 NEW REFLECTED CEILING PLAN - RESTROOM & COOLER
1/4" = 1'-0"



2 DEMOLITION FLOOR PLAN
1/4" = 1'-0"

ARCHITECTURAL KEYS LEGEND



CEILING GRID NOTES

1. TRADER JOE'S TO FURNISH ALL INTERIOR LIGHT FIXTURES, UNLESS OTHERWISE NOTED. TENANT GENERAL CONTRACTOR TO INSTALL.
2. ALL LIGHT SWITCHES AND LIGHTING SENSORS TO BE MOUNTED AT +3'-4" A.F.F. (TYP.)
3. SEE ELECTRICAL DRAWINGS FOR LIGHTING FIXTURE SCHEDULE.

LIGHTING FIXTURE SCHEDULE

MARK	SYMBOL	MFG./MODEL #	DESCRIPTION	VOLTS	LAMPS	MOUNTING	LAMP TYPE
Q		FURNISHED BY TRADER JOES	LIGHTING @ REFRIGERATION & FREEZER BOXES	SEE SHT. MEP-1	--	--	VAPOR TIGHT, INSTALLED BY ELEC. CONTRACTOR
D1		LITHONIA - STL4 40L D40 LP850 NX EL7L	4'-0" SURFACE WRAP W/ EMERGENCY BATTERY, LED	SEE SHT. MEP-1	2	SURFACE GYP. BD.	LED 4000 LUMENS

(*)= INSERT VOLTAGE REQUIRED NO. (SEE SHT. MEP-1)

EM HALF-SHADED FIXTURES SHALL BE EQUIPPED WITH AN EMERGENCY BATTERY PACK CAPABLE OF OPERATING LED LAMP AT 1,400 LUMENS INITIAL OUTPUT IN THE EMERGENCY MODE FOR A MINIMUM OF 90 MINUTES. THE EMERGENCY BATTERY PACK SHALL BE FURNISHED WITH AN ILLUMINATED TEST SWITCH AND CHARGING INDICATOR LIGHT TO MONITOR THE BATTERY AND CHARGER, AND SHALL BE UL LISTED.

PER NEC 410.73, ALL RECESSED FLUORESCENT LUMINAIRES SHALL BE FURNISHED WITH A DISCONNECTING MEANS INSTALLED BETWEEN THE BALLAST (FOR "NORMAL" LIGHTING) AND THE INCOMING POWER, TO ENABLE SERVICING OF THE LUMINAIRE WITHOUT EXPOSURE TO UNINSULATED ENERGIZED CONDUCTORS.

REFLECTED CEILING LEGEND

A		GYP. BOARD ATTACHED TO 3/5/8", 20 GA. METAL STUD FRAMING @ 16" O.C. (U.N.O.)
C		EXISTING EXPOSED
E		INSULATED PANEL SYSTEM HEIGHT BY MANUFACTURER

CEILING TYPE
CEILING HEIGHT ABOVE FIN FLR AT LOWER LEVEL
CEILING TAG

Cripe
Architects + Engineers
Solutions by Design Since 1937

3939 Priority Way South Dr., Suite 200
INDIANAPOLIS, INDIANA 46240
(317) 844-6777 FAX (317) 706-6464
E-Mail cripe@cripe.biz

- ARCHITECTURE
- INTERIOR DESIGN
- CIVIL/TRANSPORTATION ENGINEERS
- LAND PLANNING
- LAND SURVEYING
- GIS
- OWNER'S REPRESENTATION

FREDRICK J. GREEN
REGISTERED
No. 1301045998
STATE OF MICHIGAN
ARCHITECT

SEAL

CERTIFIED BY: *Frederick J. Green*

NO.	DATE	REVISIONS	COMMENTS
1	01.09.18	City Comments	

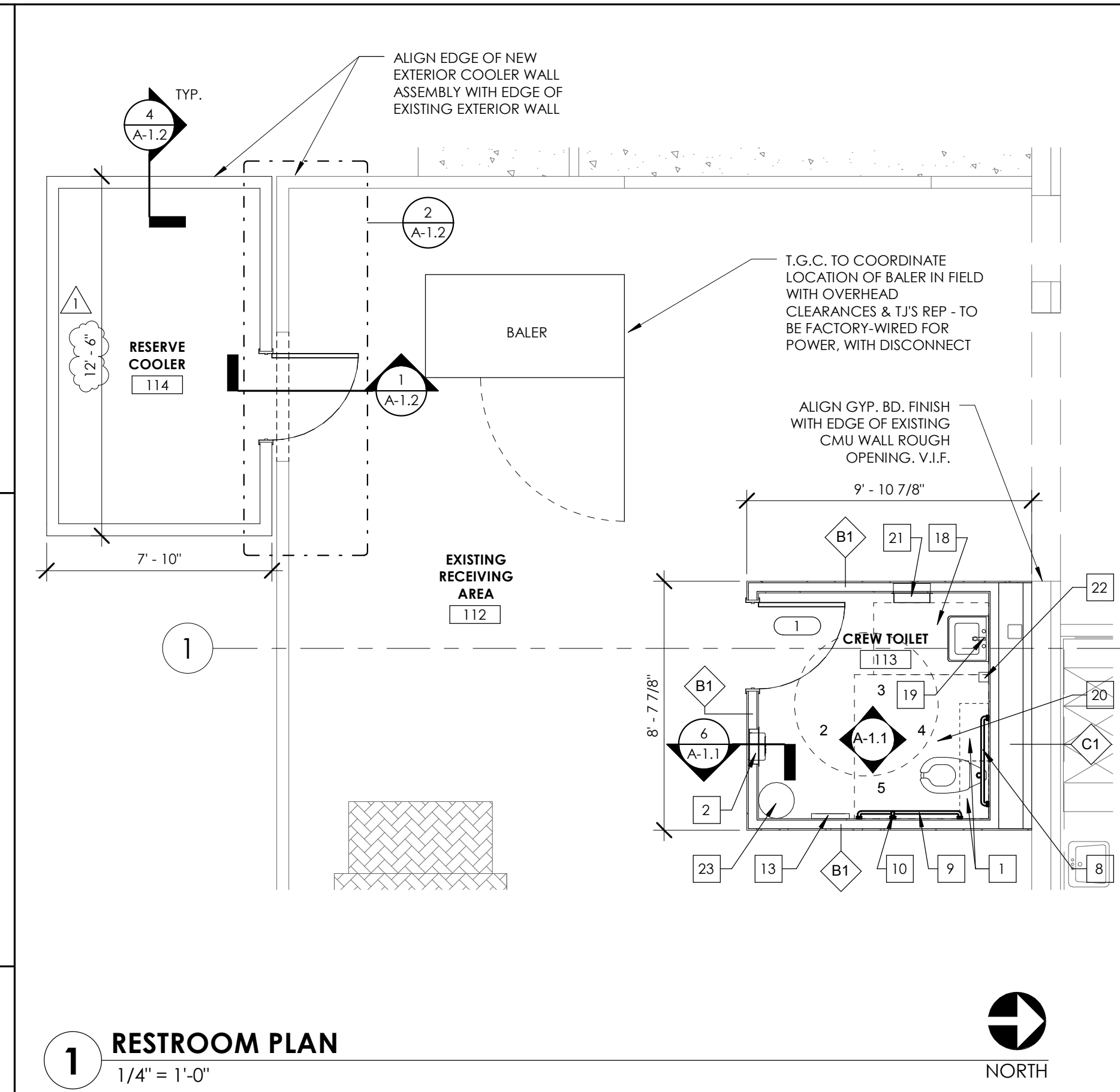
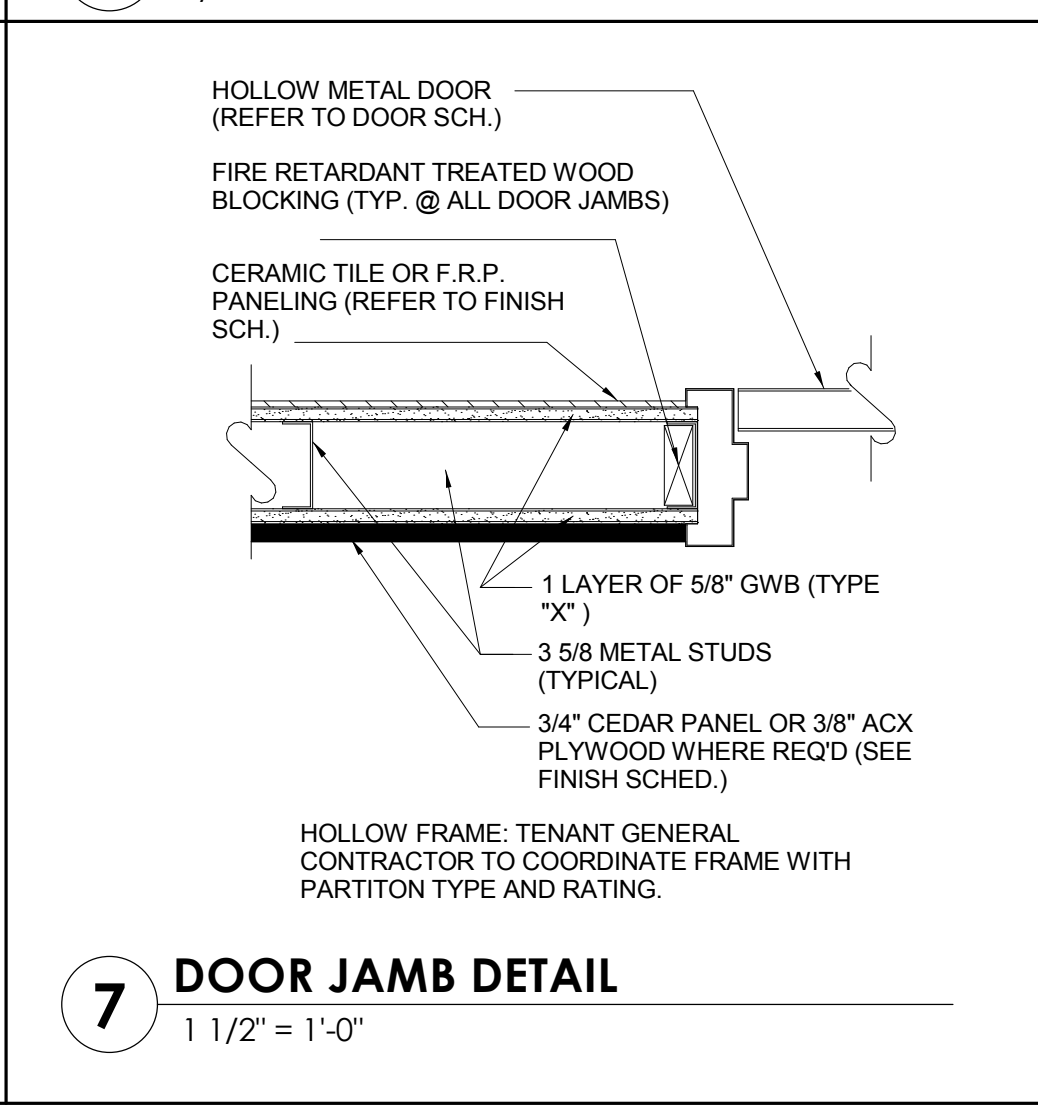
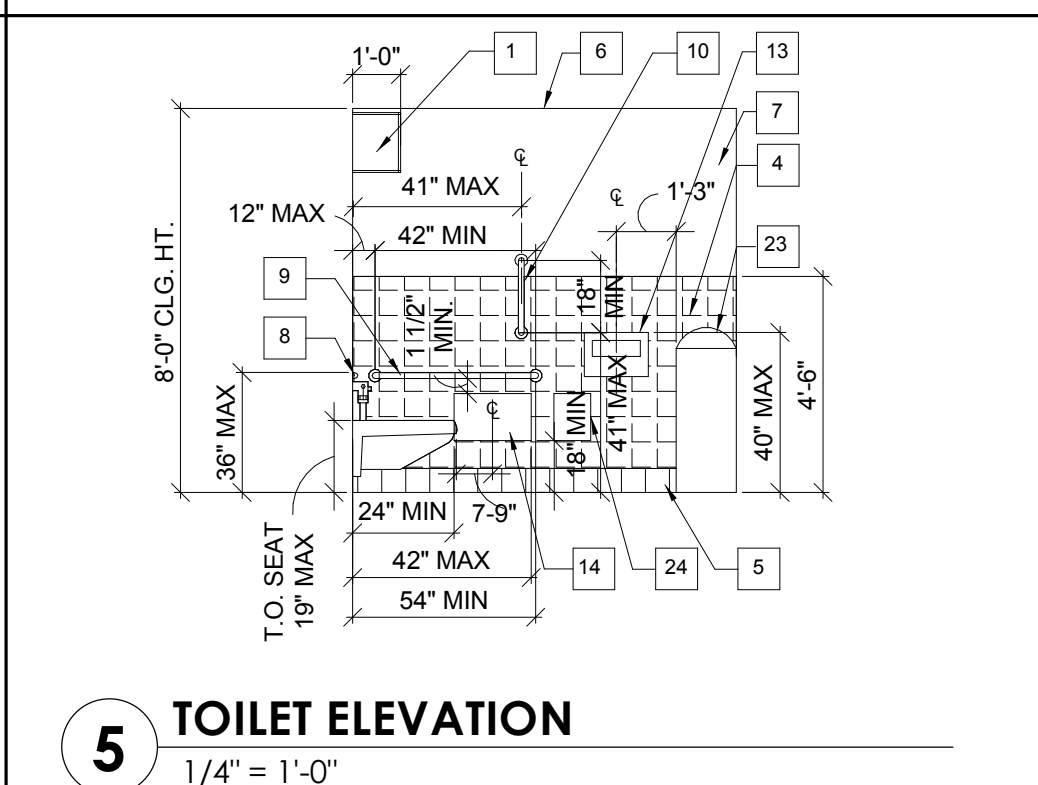
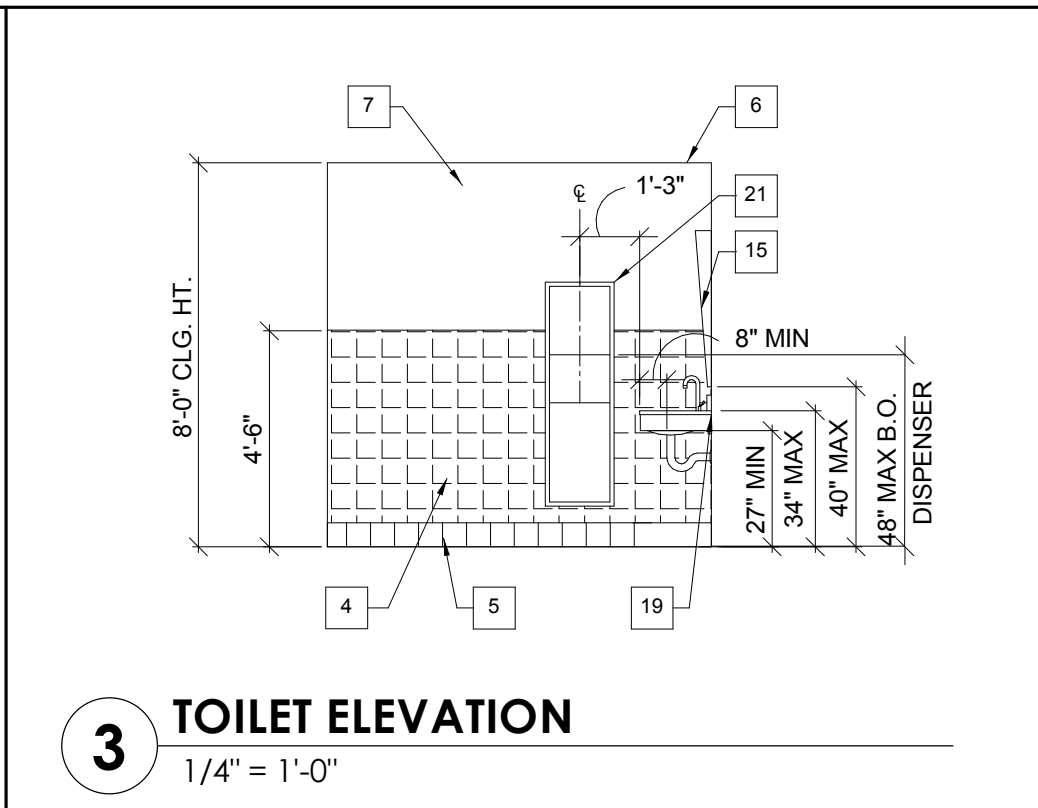
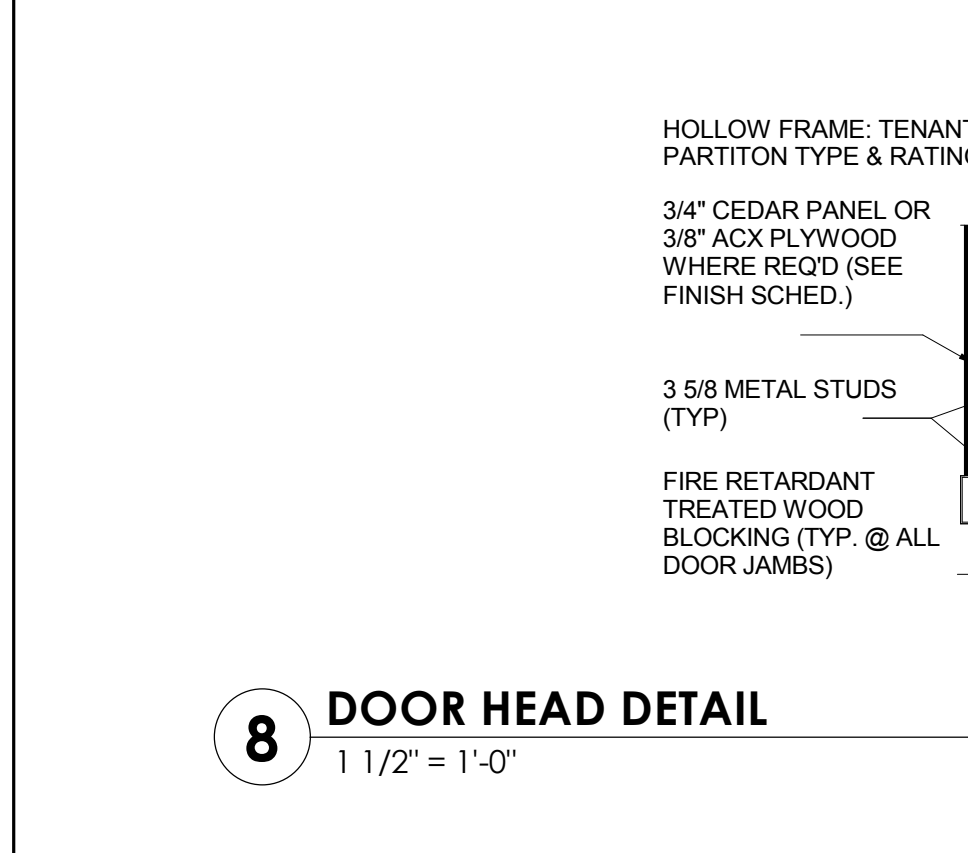
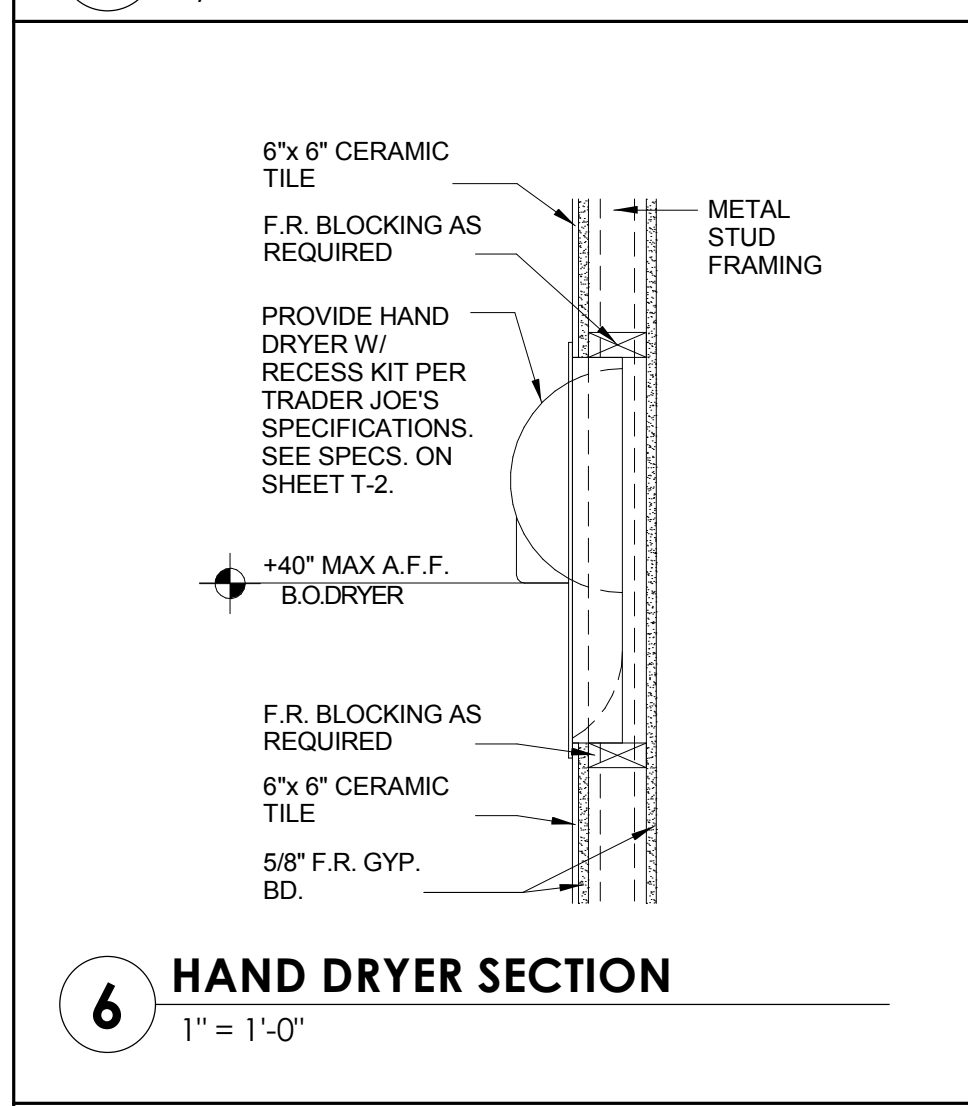
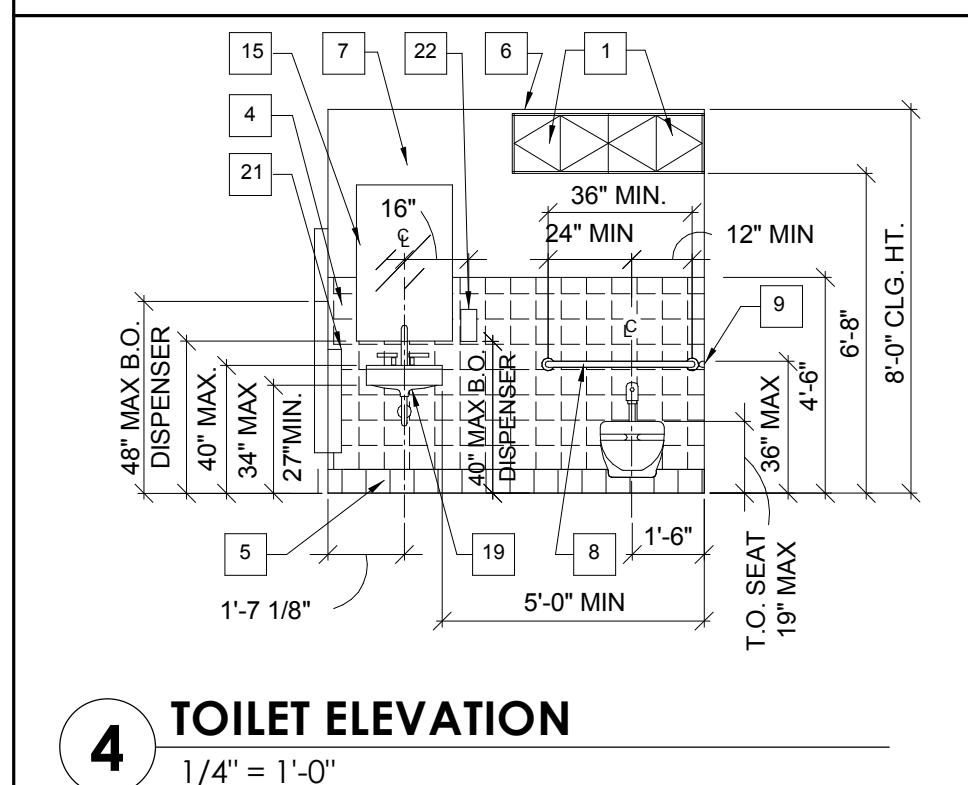
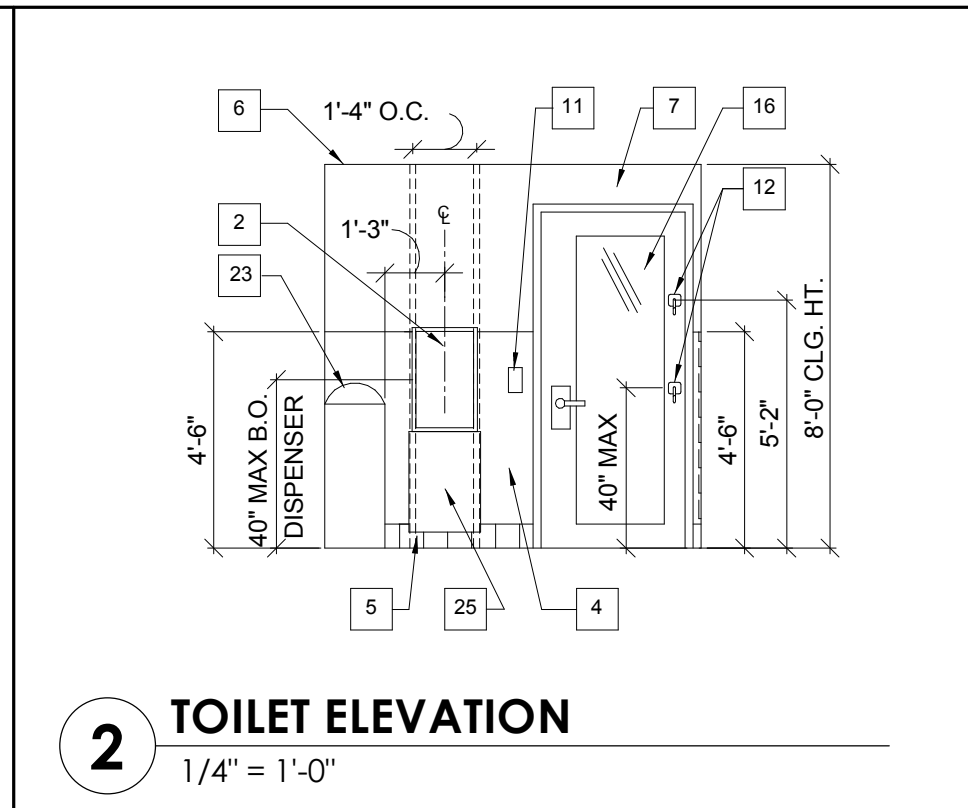
ISSUE DATE: 02/22/18
JOB NO.: TRPJ01000
DRAWN BY: EP
TRADER JOE'S STORE NO.: 478
SPACE NO.:

TRADER JOE'S
2598 E. SPROUL BLVD.
ANN ARBOR, MI 48104

PROJECT: RESTROOM & COOLER - PLANS & DETAILS

SHEET NAME: RESTROOM & COOLER - PLANS & DETAILS

A-1



DOOR SCHEDULE

DOOR #	LOCATION	DOOR		FRAME			DOOR			GLAZING TYPE	GLAZING FINISH	HARDWARE SET #	CLOSER	NOTES			
		WIDTH	HEIGHT	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	CORE						THICK	JAMB	HEAD
1	CREW TOILET	3'-0"	7'-0"	-	PT4	D	METAL	PT4	HOLLOW CORE	1 3/4"	7/A-1.1	8/A-1.1	N/A	N/A	3	YES	1" UNDERCUT



ROOM FINISH SCHEDULE 1

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	CEILING HEIGHT (A.F.F.)	NOTES
112	EXISTING RECEIVING AREA	EXIST.	MB	GWB, PLY, PT3	EXIST.	EXIST.	
113	CREW TOILET	EXIST.	CB	GWB, CT, PT1	GWB	8'-0"	
114	RESERVE COOLER	C2	MB	IP	IP	V.I.F.	

FINISH SCHEDULE DESCRIPTIONS

MATERIAL	DESCRIPTION	MANUFACTURER	COLOR/FINISH	FLAME SPREAD RATING (F.S.R.) SMOKE	APPLICATION REMARKS AND NOTES
FLOORING:					
C2	COOLER CONCRETE SLAB TOP COAT	SIKA	T.B.D.	F.S.R. = 0, SMOKE = 0	SIKA FLOOR 19NA PURCEM, APPLY PER MANUFACTURER RECOMMENDATIONS
WALL BASE:					
CB	6X6 (INCH) CERAMIC BASE TILE	DAL TILE	COLOR T.B.D. PRICE GROUP #2	F.S.R. = 0, SMOKE = 0	
MB	6" HIGH METAL BASE	REFRIGERATION MANUFACTURER	N/A	F.S.R. = 0, SMOKE = 0	PROVIDED BY TRADER JOE'S & INSTALLED BY REFRIGERATION CONTRACTOR
WALLS:					
CT	6X6 (INCH) CERAMIC TILE	DAL TILE	COLOR T.B.D. PRICE GROUP #2/ EGG SHELL	-	
GWB	GYP. WALL BD.	N/A	N/A	F.S.R. = 15, SMOKE = 0	
PLY	3/8" THICK ACX PLYWOOD	N/A	N/A	F.S.R. = 110-150, SMOKE < 450	
IP	INSULATED PANELS	REFRIGERATION MANUFACTURER	N/A	F.S.R. = 15-20, SMOKE = 400	PROVIDED & INSTALLED BY REFRIGERATION CONTRACTOR
PT1	PAINT	SHERWIN WILLIAMS	T.B.D.	F.S.R. = 0, SMOKE = 0	EGGSHELL IN TOILET RMS., VERIFY FINISH IN SALES AREA
PT3	PAINT	SHERWIN WILLIAMS	ANTIQUE WHITE SW6119	F.S.R. = 0, SMOKE = 0	FINISH: SEMI-GLOSS IN STOCK ROOM
PT4	PAINT	SHERWIN WILLIAMS	NOMADIC DESERT SW6107	F.S.R. = 0, SMOKE = 0	
CEILING:					
GWB	GYP. WALL BD.	N/A	N/A	F.S.R. = 15, SMOKE = 0	
IP	INSULATED PANELS	REFRIGERATION MANUFACTURER	N/A	F.S.R. = 15-20, SMOKE = 400	PROVIDED BY TRADER JOE'S & INSTALLED BY REFRIGERATION CONTRACTOR

- TOILET ROOM KEY NOTES**
- 24" W x 15" D PRE-FINISHED WOODGRAIN WALL CABINETS.
 - RECESSED HAND DRYER
 - BABY-CHANGING STATION. SEE SPECS. ON SHEET T-2. PROVIDE 2X WOOD NOT USED AS REQUIRED BY MANUFACTURER.
 - 6" X 6" CERAMIC TILE SEE FINISH SCHEDULE.
 - 6" CERAMIC TILE COVE BASE.
 - NEW GYP. BD. CEILING @ 8'-0" A.F.F. SEE FINISH SCHEDULE.
 - PAINT TO CLG. SEE FINISH SCHEDULE.
 - 36" L. GRAB BAR
 - 42" L. GRAB BAR
 - 18" L. VERTICAL GRAB BAR
 - LIGHT SWITCH OR OCCUPANCY SENSOR SEE ELECTRICAL DWGS FOR MOUNTING HT.
 - STAINLESS STEEL COAT HOOK.
 - SEAT COVER DISPENSER
 - DOUBLE TOILET PAPER DISPENSER
 - BEVELED MIRROR. CERAMIC TILE TO BE CUT AROUND MIRROR FRAME
 - BEVELED FULL LENGTH MIRROR ON INSIDE FACE OF DOOR
 - ADD: DO NOT USE WATER COOLER
 - 30" X 48" CLEAR FLOOR AREA
 - PROVIDE 10" X 10" ACCESS PANEL FOR FAUCET SENSOR CONTROLS - V.I.F.
 - 56" X 60" CLEAR FLOOR AREA
 - RECESSED CONVERTIBLE PAPER TOWEL DISPENSER AND WASTE RECEPTACLE
 - SURFACE-MOUNTED SOAP DISPENSER
 - FREE STANDING (15 GAL.) WASTE RECEPTACLE
 - SANITARY NAPKIN DISPENSER
 - WATER SHIELD.
- ALL EXPOSED PIPING BELOW LAV. SHALL BE PROTECTED W/ UNDERSINK PROTECTION PIPE COVERS. LAV GUARD AS MANUFACTURED BY TRUBRO CO. OR EQUAL. (TYPICAL)

- GENERAL DOOR NOTES**
- ALL DOORS SHALL HAVE A MINIMUM CLEAR OPENING WIDTH OF 32".
 - ALL DOOR LATCHES SHALL BE EQUIPPED WITH LEVER-TYPE HANDLES, OR PANIC BARS. DOOR OPENING HARDWARE SHALL BE MOUNTED BETWEEN 30" AND 40" ABOVE FINISHED FLOOR.
 - FLOOR AREAS AT EACH SIDE OF ALL DOORS SHALL BE CLEAR AND LEVEL. MAXIMUM THRESHOLD HEIGHT SHALL BE 1/2".
 - ALL INTERIOR DOORS TO BE PAINTED (PT4), TO MATCH DISPLAY SHELVING (U.O.N.), SEE FINISH SCHEDULE.
 - ALL LOCKABLE DOORS SHALL BE EQUIPPED W/ REMOVABLE CORE HARDWARE MANUFACTURED BY "MEDECO" LOCK CO. HARDWARE TO BE SUPPLIED FROM THE MANUFACTURER W/ "MEDECO" REMOVABLE CORE CYLINDERS, W/ CONSTRUCTION MASTER-KEYING. "TENANT" WILL REPLACE CORES W/ THEIR OWN "MEDECO" CORES, KEYS TO THEIR OWN SYSTEM, AFTER FINAL SIGN-OFF. ONLY THE HARDWARE SPECIFIED WILL BE ACCEPTED UNLESS OTHERWISE APPROVED BY TENANT REPRESENTATIVE OR ARCHITECT.
- DOOR HARDWARE SCHEDULE**
- SET #3 - HARDWARE @ TOILET ROOM DOORS**
- NAME PLATES: CREW
 - SUMT24W OR SUW24W
 - B0179 NRP 2D 4.5X4.5 HINGES
 - DDDXGT 126-626 BSN PASSAGE ADA LEVER GRADE 1
 - D271 FALCON OCCUPANCY INDICATOR
 - DDD348C30 KICK PLATES STAINLESS STEEL
 - DDD7101 8C PA GRADE ONE DOOR CLOSER

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OWNER'S REPRESENTATION

FREDRICK J. GREEN
REGISTERED ARCHITECT
No. 1301045998
STATE OF INDIANA

CERTIFIED BY: *John J. Green*

NO.	DATE	COMMENTS
1	01.09.18	City Comments

ISSUE DATE	JOB NO.	DRAWN BY	TRADER JOE'S STORE NO.	SPACE NO.
02/26/18	TR24P-0000	EP	678	

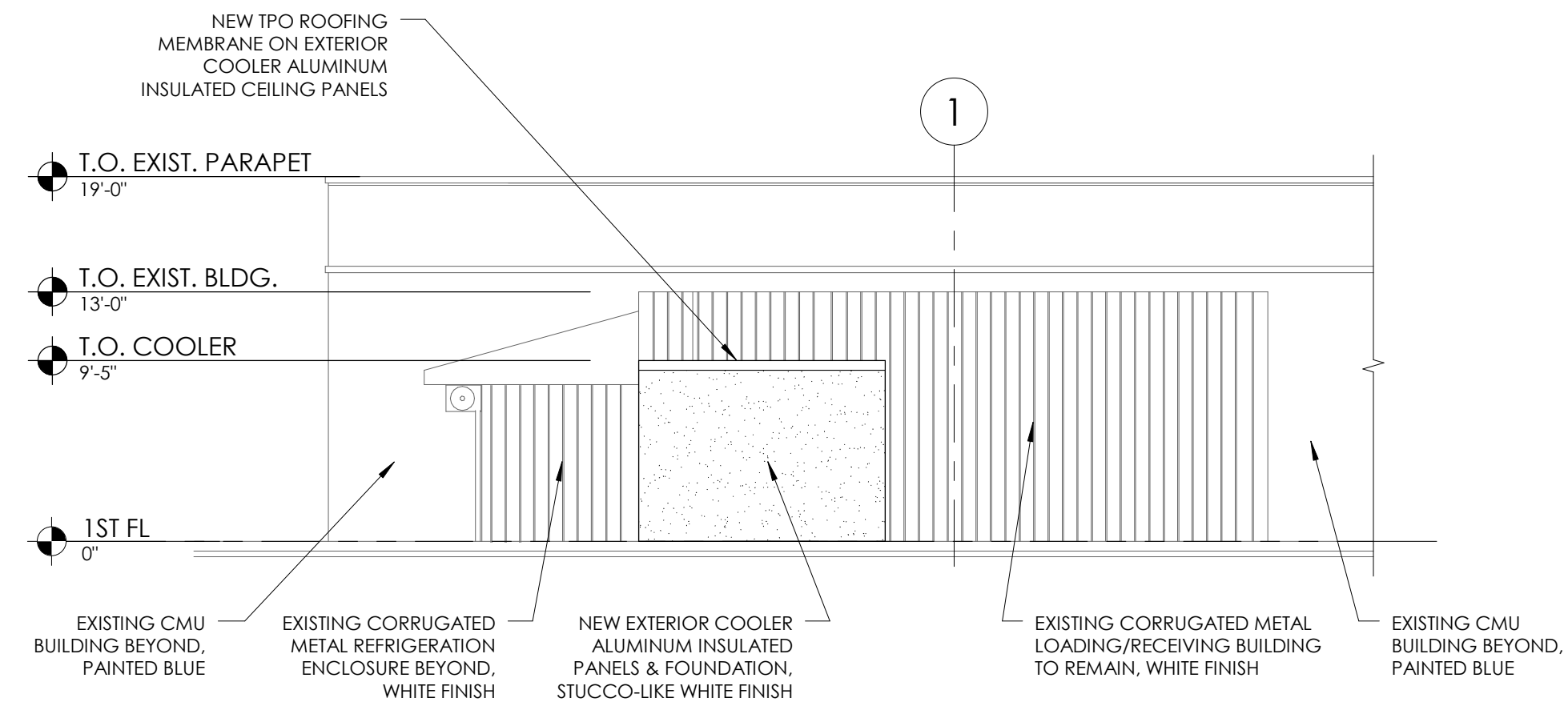
SALES AREA:

STOCK	MISC.	TOTAL

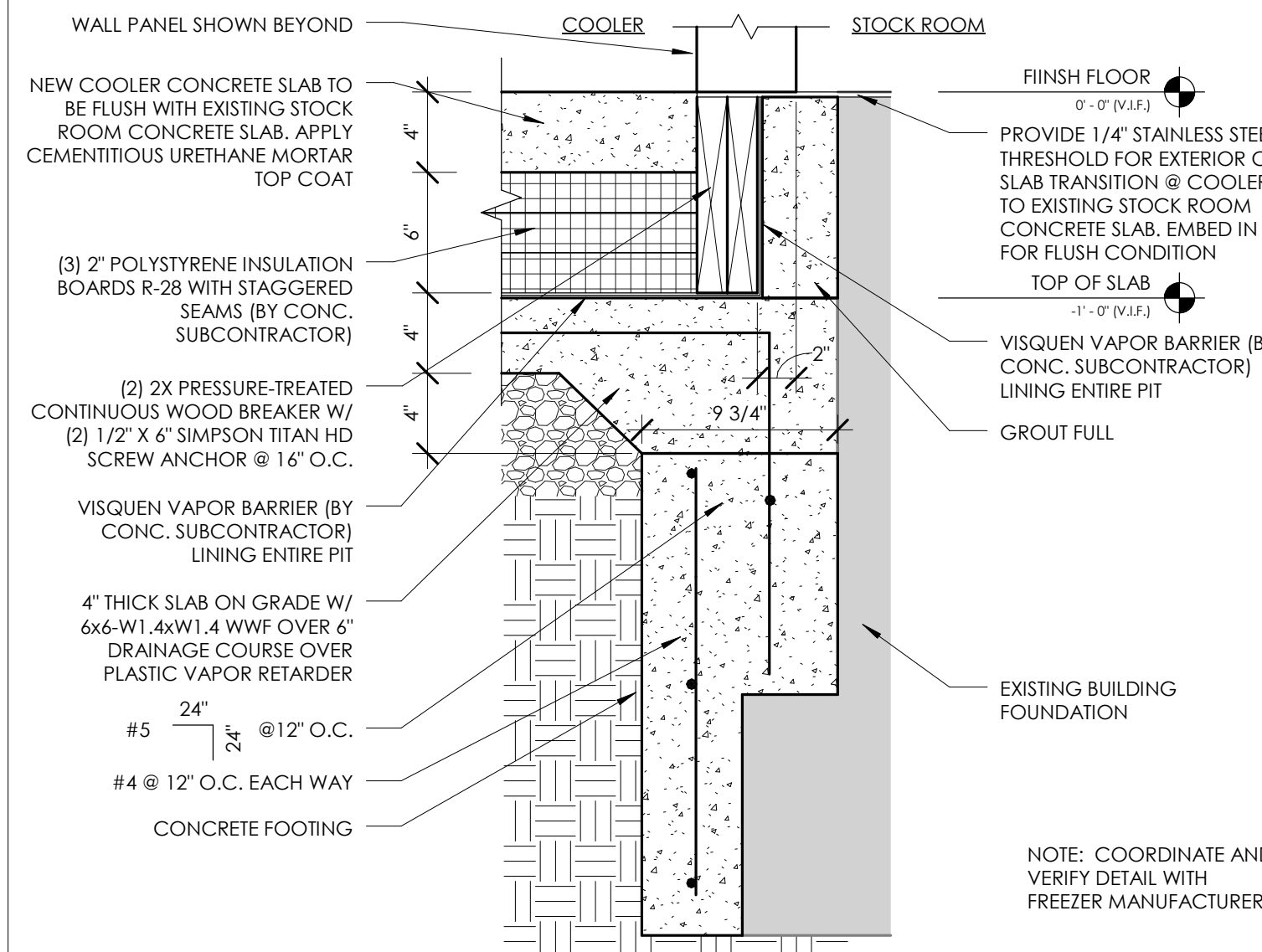
PROJECT: **TRADER JOE'S**
2598 E. SPOKILLIN BLVD.
ANN ARBOR, MI 48104

SHEET NAME: RESTROOM & COOLER - PLANS & DETAILS

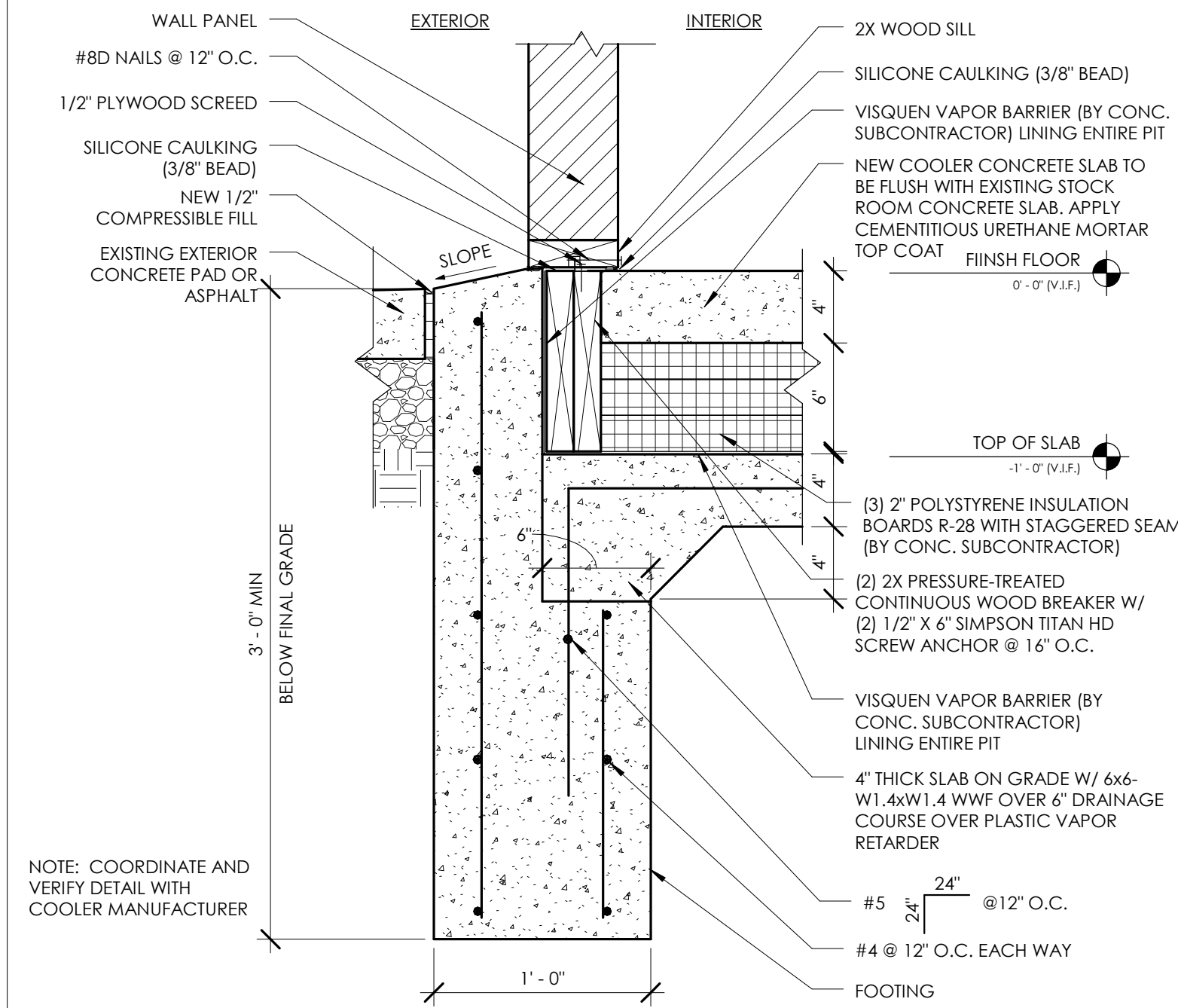
A-1.1



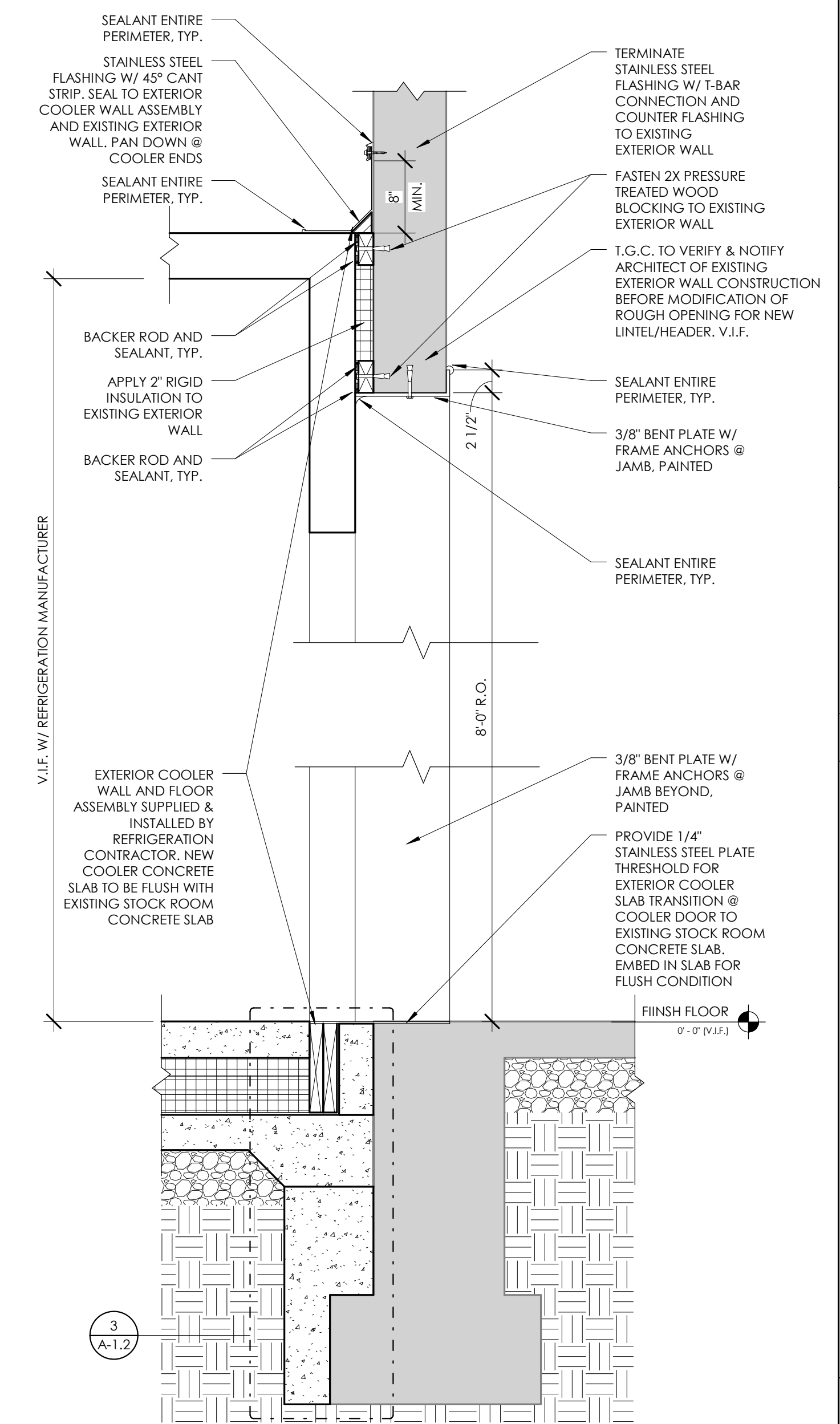
5 SOUTH ELEVATION
1/8" = 1'-0"



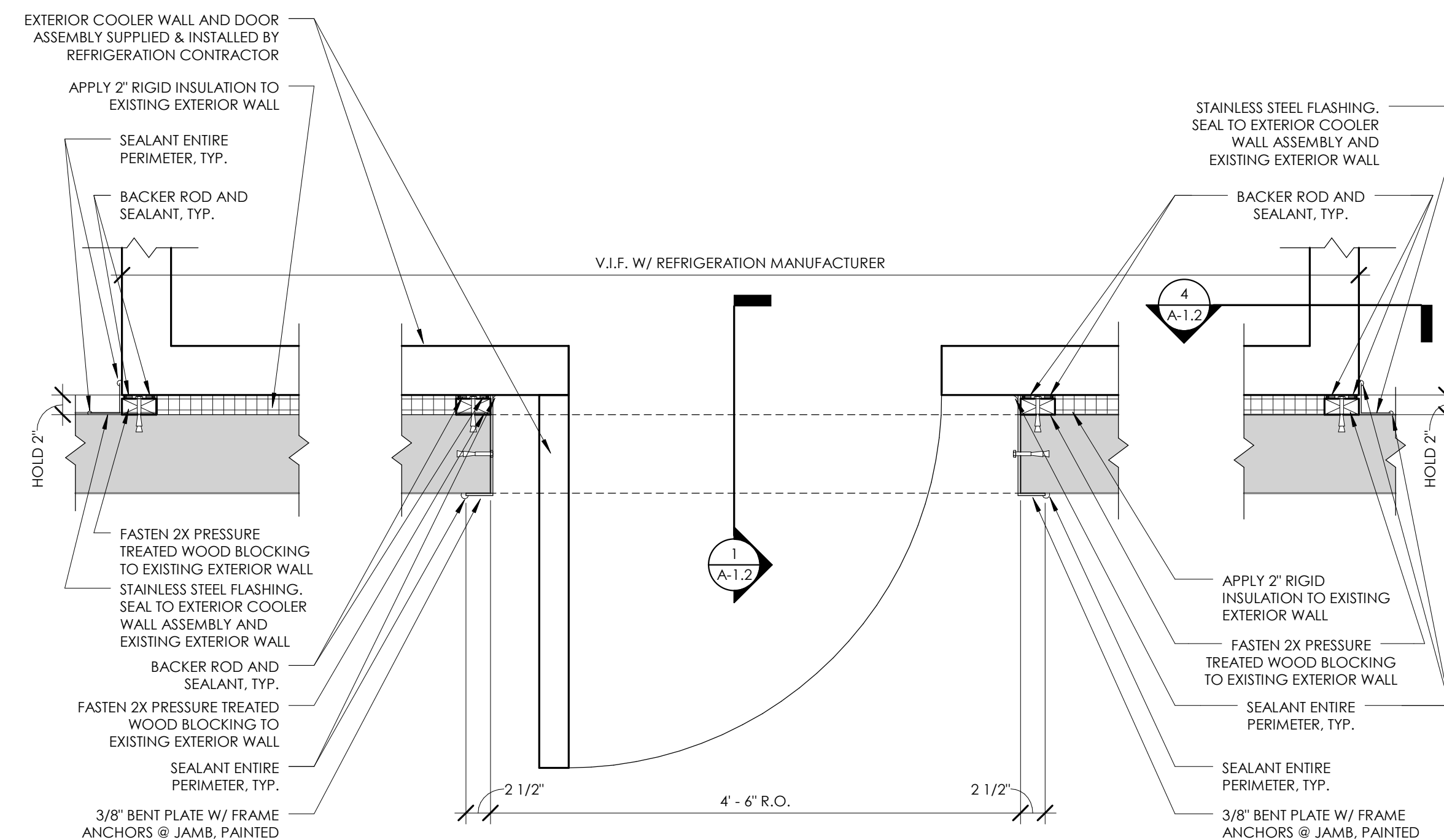
3 WALL TO FLOOR FREEZER DETAIL - ENTRY
1 1/2" = 1'-0"



4 WALL TO FLOOR FREEZER DETAIL - EXTERIOR
1 1/2" = 1'-0"



1 SECTION - EXTERIOR FREEZER FLASHING
1" = 1'-0"



2 DETAIL - EXTERIOR FREEZER FLASHING
1" = 1'-0"



CERTIFIED BY: *Frederick J. Green*

NO.	DATE	REVISIONS	COMMENTS

ISSUE DATE:	12/22/16
JOB NO.:	TR2016-0000
DRAWN BY:	EP
TRADER JOE'S STORE NO.:	478
SPACE NO.:	

SALES AREA:	
STOCK:	
MISC.:	
TOTAL:	

PROJECT
TRADER JOE'S
2598 E. 54TH AVENUE
ANN ARBOR, MI 48104

SHEET NAME
COOLER - DETAILS

PLUMBING FIXTURE SCHEDULE							
TAG	TYPE	WASTE	VENT	CW	HW	MANUFACTURER/MODEL	REMARKS
P-1	ADA FLUSH VALVE WATER CLOSET	4"	2"	1"	--	AMERICAN STANDARD / AFWALL 2257.103 SLOAN / UPPERCUT WES-111 CHURCH / 9500C	WALL HUNG, VITREOUS CHINA, COLOR WHITE, ELONGATED FRONT, HANDICAPPED HEIGHT, WITH DUAL FLUSH TOP SPUD FLUSH VALVE (DOWN 1.6 GPF, UP 1.1 GPF), ELONGATED OPEN-FRONT TOILET SEAT.
P-2	WALL HUNG LAVATORY	1-1/4"	1-1/4"	1/2"	1/2"	AMERICAN STANDARD / ROXALYN 0195.073 SLOAN / ETF-600-B-BDT	VITREOUS CHINA, COLOR WHITE, WITH ELECTRONIC SENSOR ACTIVATED FAUCET WITH THERMOSTATIC MIXING VALVE, GRID STRAINER DRAIN ASSEMBLY, POLISHED CHROME FINISH, AND POLISHED CHROME P-TRAP & SUPPLY STOPS, CONCEALED ARM SUPPORTS. PROVIDE PIPE PROTECTION TO COMPLY WITH ADA AND ANSI A117.1 GUIDELINES.
P-13	FLOOR DRAIN	4"	2"	--	--	JR SMITH / 2030-A	FLOOR DRAIN WITH INTEGRAL DEEP SEAL TRAP, TRAP PRIMER CONNECTION, NICKLE BRONZE STRAINER AND ROUND TOP.

NOTE: ALL BATHROOM LAVATORIES AND HAND WASHING SINKS TO BE FURNISHED WITH A THERMOSTATIC MIXING VALVE TO LIMIT THE HOT WATER TEMPERATURE TO 110°F.

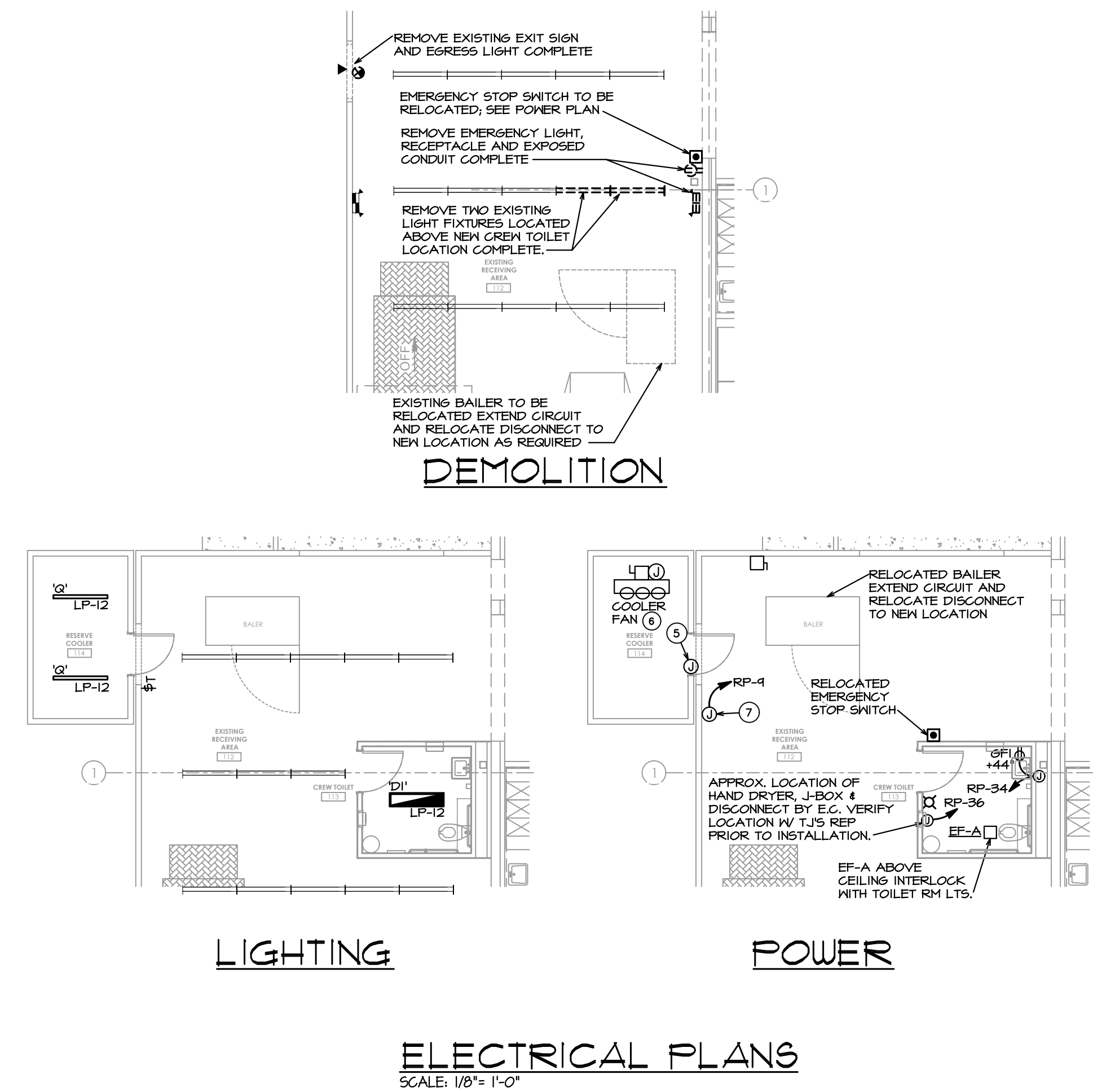
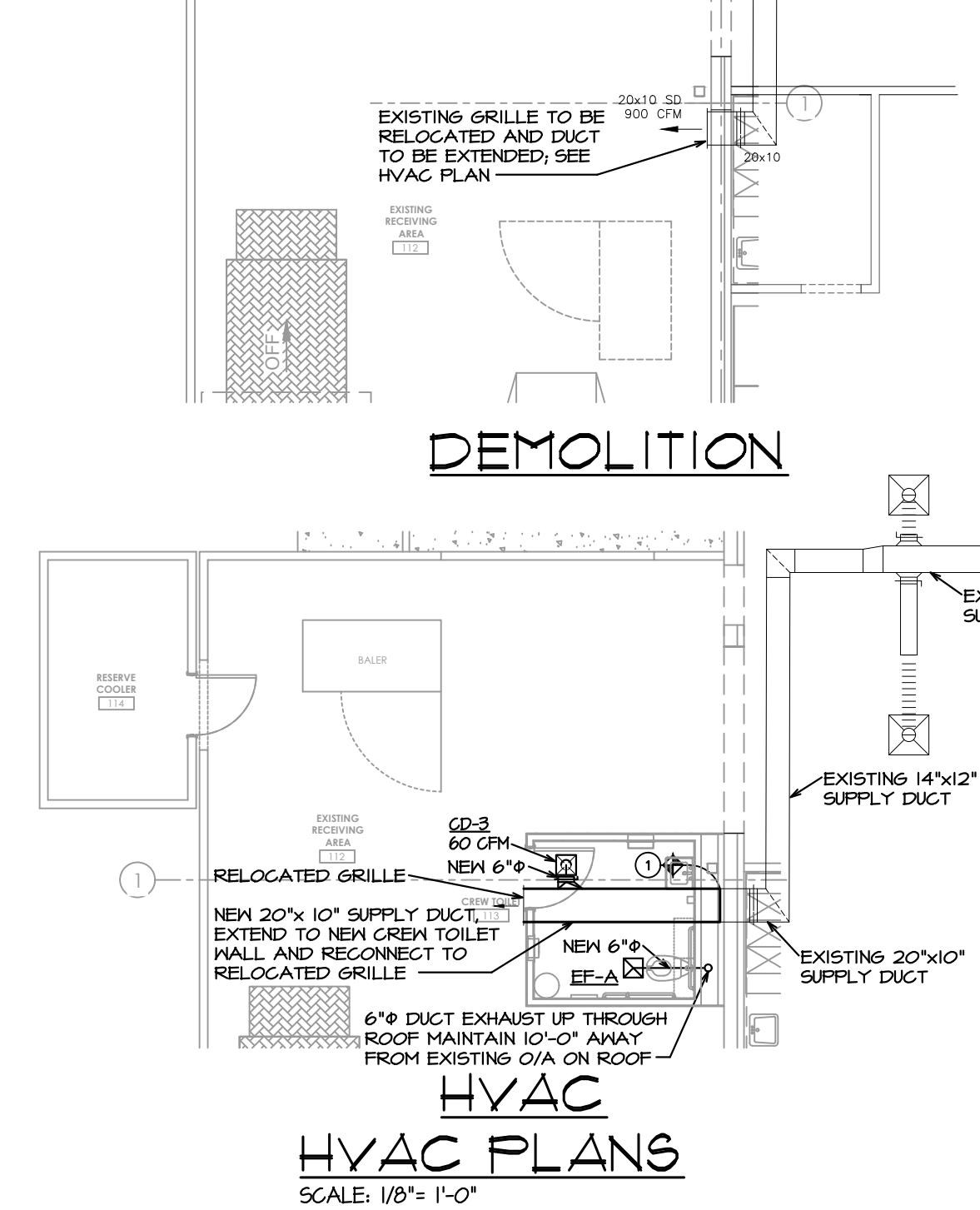
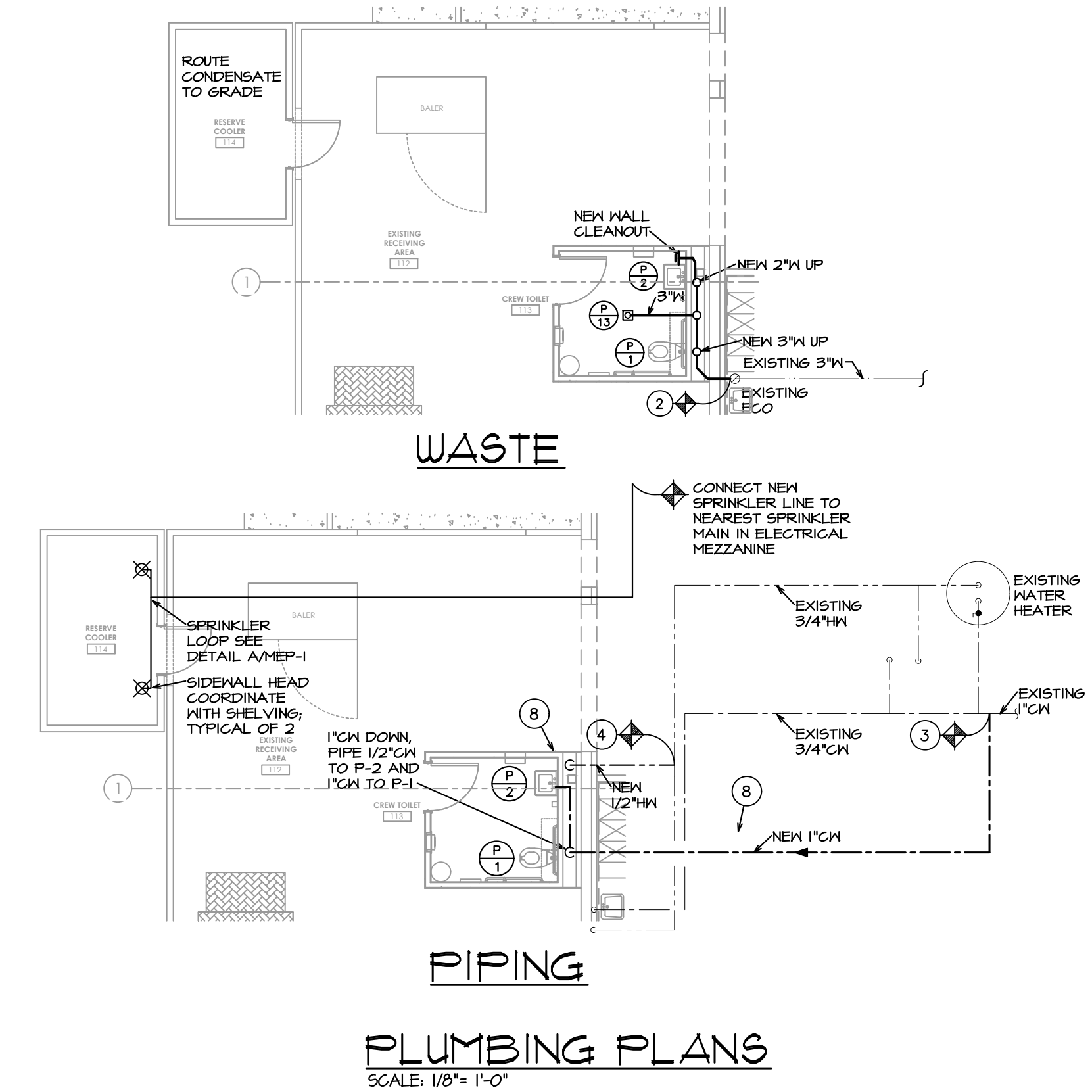
FAN SCHEDULE													
TAG	LOCATION	SERVICE	CFM	SP. W.C.	RPM	DRIVE	TYPE	WEIGHT (LBS.)	HP	VOLTAGE PH. / HZ.	MANUFACTURER MODEL NO.	CONTROL	NOTES
EF-A	TOILET ROOMS	EXHAUST	100	0.25"	1,670	DIRECT	BI	15	98 W	120/1/60	COOK GC-144	LIGHT SWITCH	1

NOTES:
1. FAN SHALL BE PROVIDED WITH: WHITE CEILING GRILLE, BACKDRAFT DAMPER, UNIT MOUNTED SAFETY DISCONNECT SWITCH.

LIGHTING FIXTURE SCHEDULE						
MARK	SYMBOL	MFG./ MODEL #	DESCRIPTION	VOLTS	LAMPS	LAMP TYPE
STANDARD FLUORESCENT FIXTURES						
D1		LITHONIA STL4 40L D40 LP850 NX EL7L	4'-0" SURFACE WRAP LED	120V	2	LED 4000 LUMENS
Q		FURNISHED BY TRADER JOE'S	LIGHTING @ REFRIGERATION & FREEZER BOXES	120V	--	VAPOR TIGHT, INSTALLED BY ELEC. CONTRACTOR

GRILLE AND DIFFUSER SCHEDULE									
TAG	MAXIMUM CFM	MAX. N.C.	NECK SIZE	MOUNTING	MANUFACTURER/MODEL NO.	FACE	LOCATION	REMARKS	NOTES
CD-3	60	27	6"	SURFACE	ACUTHERM TK-HC	12"x 12"	R.R. & Sales	SUPPLY/VAV	1

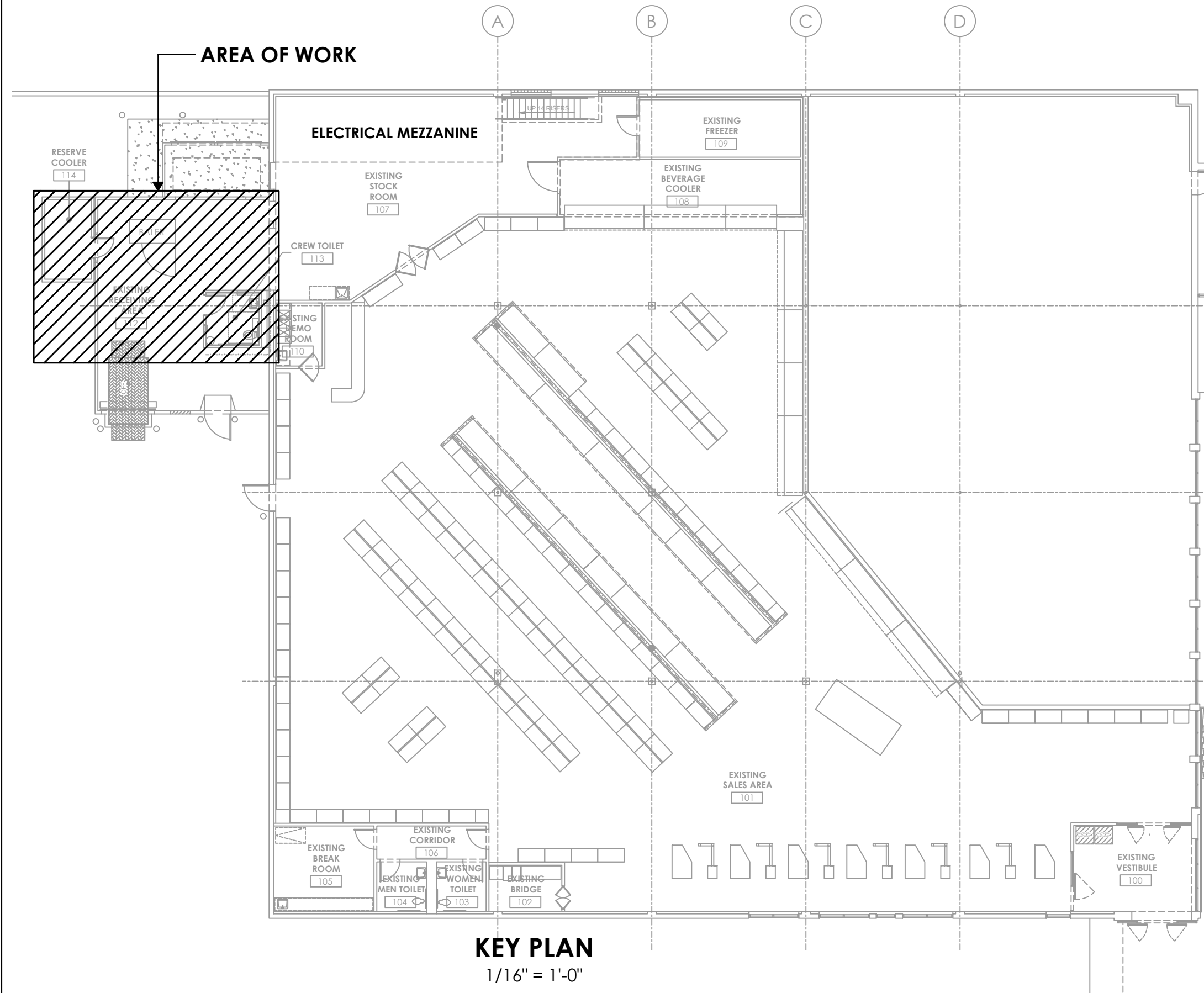
GENERAL NOTES:
A. MAXIMUM N.C. VALUES ARE BASED ON OCTAVE BAND 1 THROUGH 8 SOUND POWER LEVELS MINUS A ROOM ABSORPTION OF 10 DB, RE 10 TO THE -12 WATTS.
B. VERIFY BORDER REQUIREMENTS WITH ALL APPLICABLE ARCHITECTURAL SHEETS, REFLECTED CEILING PLANS, AND ROOM FINISH SCHEDULES.
C. ALL GRILLES, REGISTERS, AND DIFFUSERS SHALL HAVE VISIBLE SHEET METAL AND DUCTWORK PAINTED FLAT BLACK BEHIND FACE.
D. PROVIDE SQUARE TO ROUND TRANSITIONS, BY MANUFACTURER, AS REQUIRED. ALSO SEE PLANS.
NOTES:
1. INTEGRAL HEATING, COOLING AND CHANGEOVER ACCUTHERM THERMAFUSER (NO SUBSTITUTIONS).



SYMBOLS & ABBREVIATIONS	
	CEILING DIFFUSER
	SHEET METAL DUCTWORK
	SPIN COLLAR WITH MANUAL VOLUME DAMPER
	SANITARY WASTE
	SANITARY VENT
	DOMESTIC COLD WATER
	DOMESTIC HOT WATER
	DOMESTIC HOT WATER RETURN
	WALL CLEAN-OUT
	POINT OF CONNECTION
	FLOW DIRECTION ARROW
	CEILING JUNCTION BOX
	DUPLEX RECEPTACLE OUTLET
	GROUND FAULT CIRCUIT INTERRUPTER DUPLEX OUTLET WITH WEATHERPROOF COVER
	VISIBLE NOTIFICATION APPLIANCE 80°F
	SIDEWALL DRY-PENDENT (NON-FREEZE) SPRINKLER HEAD (135°F TEMPERATURE RATING)
	EXISTING
	FLOOR CLEAN-OUT

PIPE MATERIAL SCHEDULE									
PIPING SERVICE	PIPE LOCATION	SIZE	MATERIAL	TYPE/SCHED	FITTINGS	SIZE	MATERIAL	TYPE/SCHED	FITTINGS
POTABLE WATER	ABOVE GROUND	ALL	COPPER	TYPE "L"	WROUGHT	ALL	COPPER	TYPE "L"	WROUGHT
	BELOW GROUND	ALL	COPPER	TYPE "K"	FLARED	ALL	COPPER	TYPE "K"	FLARED
SANITARY DRAINAGE	R/A PLENUM	2"	GALVANIZED STEEL	-	SCREW	2"	CAST IRON	SERVICE WEIGHT	NO HUB
	ABOVE GROUND	ALL	ABS	SCHED. 40	SOLVENT WELD	ALL	ABS	SCHED. 40	SOLVENT WELD
SANITARY VENT	BELOW GROUND	ALL	ABS	SCHED. 40	SOLVENT WELD	ALL	ABS	SCHED. 40	SOLVENT WELD
	R/A PLENUM	2"	GALVANIZED STEEL	-	SCREW	2"	CAST IRON	SERVICE WEIGHT	NO HUB
NATURAL GAS	BELOW GROUND	ALL	ABS	SCHED. 40	SOLVENT WELD	ALL	ABS	SCHED. 40	SOLVENT WELD
	ABOVE GROUND	ALL	ABS	SCHED. 40	SOLVENT WELD	ALL	ABS	SCHED. 40	SOLVENT WELD
NATURAL GAS	ALL	2"	CARBON STEEL	SCHED. 40	SCREW	2"	CARBON STEEL	SCHED. 40	WELDED

- FIELD VERIFY:**
INFORMATION CONCERNING THE LOCATION(S) AND SIZES OF EXISTING MECHANICAL EQUIPMENT, ELECTRICAL EQUIPMENT, FIRE SPRINKLER SYSTEM PIPING, PLUMBING AND DUCTWORK WAS OBTAINED FROM ORIGINAL DESIGN DRAWINGS AND/OR CURSORY FIELD OBSERVATION. HOWEVER, ACTUAL "AS-BUILT" DRAWINGS WERE NOT AVAILABLE. CERTAIN INFORMATION CONCERNING THE LOCATION OF THE EXISTING MECHANICAL EQUIPMENT, ELECTRICAL EQUIPMENT, PIPING, PLUMBING AND DUCTWORK HAS BEEN ASSUMED IN THIS DRAWING. THE EXACT LOCATION(S) AND DIRECTION OF FLOW OF ALL EXISTING WORK IS UNKNOWN. REASONABLE EFFORT HAS BEEN MADE TO ACCURATELY DEPICT THE EXISTING CONDITIONS, HOWEVER, ALL EXISTING WORK MUST BE VERIFIED IN THE FIELD TO DETERMINE THE EXACT LOCATIONS, DIRECTIONS OF FLOW, DEPTH, SIZE, ETC. PRIOR TO STARTING CONSTRUCTION. ANY CONFLICT BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ENGINEER FOR VERIFICATION AND/OR CORRECTION.
- PLAN NOTES:**
- EXTEND EXISTING DUCT ABOVE NEW CREW TOILET CEILING AS SHOWN.
 - CONNECT NEW 3"W TO EXISTING 3"W LINE AS REQUIRED.
 - CONNECT NEW 1"CW TO EXISTING 1"CW LINE.
 - CONNECT NEW 1/2"HV TO EXISTING 3/4"HV LINE.
 - MAGNETIC DOOR SWITCH - (1) CONDUCTOR (BELDEN #8761) IN A 3/4"C. TO FREEZER DFC.
 - PROVIDE THE FOLLOWING LOW-VOLTAGE CONNECTIONS TO THE COOLER DFC PANEL.
 - DANFOSS EEV - 2-#14, 3/4"C.
 - DEFROST TERMINATION PROBE - (2) CONDUCTORS (BELDEN #8761) IN A 3/4"C.
 - SUCTION PRESSURE SENSOR - (3) CONDUCTORS (BELDEN #8711) IN A 3/4"C.
 - SUCTION TEMP PROBE - (2) CONDUCTORS (BELDEN #8710) IN A 3/4"C.
 - LIQUID LINE SOLENOID VALVE - 2-#12 IN A 3/4"C.
 VERIFY REQUIREMENTS WITH COOLER MANUFACTURER.
 - 20A, 120V-1Ø CONNECTION FOR PRODUCE COOLER DEFROST CONTROL PANEL (DFC).
 - ALL NEW CM#14 PIPING TO HAVE 1/2" ELECTROMETRIC INSULATION.



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PROJECT: MEP - PLANS & DETAILS
SHEET NAME: MEP-1

MEP-1