

## ANN ARBOR HISTORIC DISTRICT COMMISSION

### Staff Report

**ADDRESS:** 418 S First Street, Application Number HDC11-091

**DISTRICT:** Old West Side Historic District

**REPORT DATE:** July 8, for the July 14, 2011 HDC Meeting

**REPORT PREPARED BY:** Jill Thacher, Historic Preservation Coordinator

**REVIEW COMMITTEE DATE:** Monday, July 11, 2011

	<b>OWNER</b>	<b>APPLICANT</b>
<b>Name:</b>	Margaret Wong	Same
<b>Address:</b>	418 S First Street Ann Arbor, MI 48103	
<b>Phone:</b>	(734) 998-2546	

**BACKGROUND:** This simple single-story cottage first appears in the 1928 Polk City Directory as the home of Gottlieb Weltz, a mason. It features a partial-width front porch and one-over-one double hung windows. The house has had at least two rear additions since 1965. The garage does not appear on the 1965 Sanborn map, and was either constructed after that date or moved to its current site.

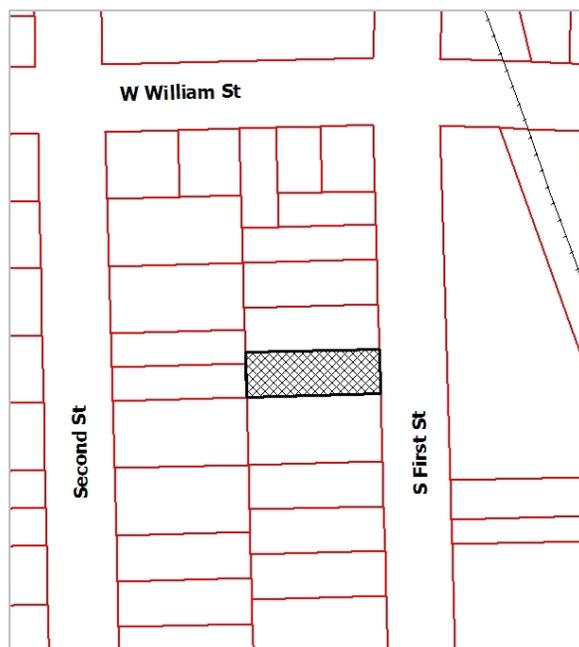
**LOCATION:** The site is located on the west side of South First Street, south of West William and north of West Jefferson.

**APPLICATION:** The applicant seeks HDC approval to demolish a one-story garage and construct a two story tandem garage with a studio above.

#### **APPLICABLE REGULATIONS:**

##### **From the Secretary of the Interior's Standards for Rehabilitation:**

- (2) The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale,



and architectural features to protect the historic integrity of the property and its environment.

- (10) New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property will be unimpaired.

**From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):**

**Building Site**

*Recommended:* Designing new exterior additions to historic buildings or adjacent new construction which is compatible with the historic character of the site and which preserve the historic relationship between a building or buildings, landscape features, and open space.

Retaining the historic relationship between buildings, landscape features, and open space.

Identifying, retaining, and preserving buildings and their features as well as features of the site that are important in defining its overall historic character.

*Not Recommended:* Introducing new construction onto the building site which is visually incompatible in terms of size, scale, design, materials, color and texture or which destroys historic relationships on the site.

Removing or radically changing buildings and their features or site features which are important in defining the overall historic character of the building site so that, as a result, the character is diminished.

**District or Neighborhood Setting**

*Not Recommended:* Introducing new construction into historic districts that is visually incompatible or that destroys historic relationships within the setting.

**STAFF FINDINGS:**

1. The footprint of the garage is 13'6" x 42'. The second level studio overhangs the south garage wall by an additional 4'8", the north studio elevation has a box bay window that projects 2', and the south studio elevation has a balcony that projects 2'. The building is approximately 25' tall at the ridge.
2. This house is situated in a low spot on this block. The houses behind it on Second Street are on ground 8' higher at their front elevations (see topo at end of this report). Surrounding buildings of interest include a large modern apartment building to the south with an entirely paved backyard, a 1 ½ story building near the west (rear) property line that is similar in height to the one proposed in this application, and a large one-story cinderblock building in the backyard two lots to the north that is home to a plumbing and heating company (see area plan submitted with application and aerial photo). Another site consideration is that there are no houses across First Street, only a large lumberyard building that presents a blank wall parallel to the street.
3. It would be difficult to add additional living space onto the existing house without

compromising its historic form. The proposed garage/studio is, in staff's opinion, large for an outbuilding. The view from the street is minimized by the narrow, deep design of the structure. The brunt of the height and length of the building would be felt by the occupants of 414 South First, the lot immediately to the north. That house's backyard is mostly open, with only a garden shed in the rear corner and privacy fencing running along the interior side of the driveway. Staff is less concerned about the impacts to the non-contributing apartment building to the south, and to the Second Street lots to the rear because of their existing outbuildings and higher elevation. The proposed garage/studio will be taller than the single-story house at 418 S First. That is not historically unprecedented on the OWS since barns and outbuildings were often taller than a single story. The location of the garage/studio, farther back than the rear wall of the house's rear additions, adequately separates the historic main block of the house from the taller new structure.

4. The garage/studio's design is modern and would not confuse the historic record, yet retains a traditional gable front and cementitious clapboard siding. The proposed materials are appropriate and compatible with surrounding buildings. The wood or metal trellis structure circling the building is simple and designed to support plant materials.
5. This lot and its First Street neighbors are zoned C2B, which means there are no setback requirements or height limitations on accessory buildings under Chapter 55 Zoning of city code. The applicant has elected to follow most of the zoning requirements for the R4C residential zoning district which abuts this property to the rear, out of deference to the residential character of the block.
6. Staff recommends approval of the application and finds it is generally compatible in design, arrangement, texture, material and relationship to the rest of the site and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation*, in particular standards 2, 9 and 10, and the guidelines for building site and district or neighborhood setting.

## MOTION

I move that the Commission issue a certificate of appropriateness for the application at 418 South First Street, a contributing property in the Old West Side Historic District, to demolish a single-car garage and construct a two-car tandem garage with studio space above, as documented in the owner's submittal. The work is compatible in exterior design, arrangement, materials, and relationship to the house and the surrounding area and meets *The Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 2, 9 and 10 and the guidelines for building site and district or neighborhood setting.

## MOTION WORKSHEET

I move that the Commission issue a Certificate of Appropriateness for the work at 418 S First Street in the Old West Side Historic District

\_\_\_\_ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior's Standards for Rehabilitation, standard(S) number(S) (*circle all that*

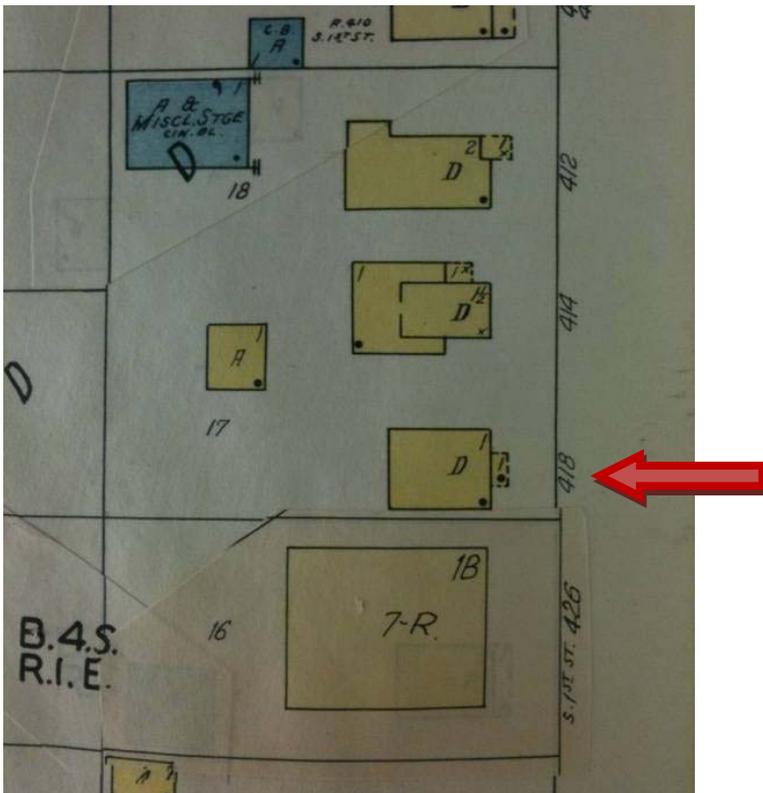
apply): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

**ATTACHMENTS:** application, drawings, photos.

418 S First (2007)



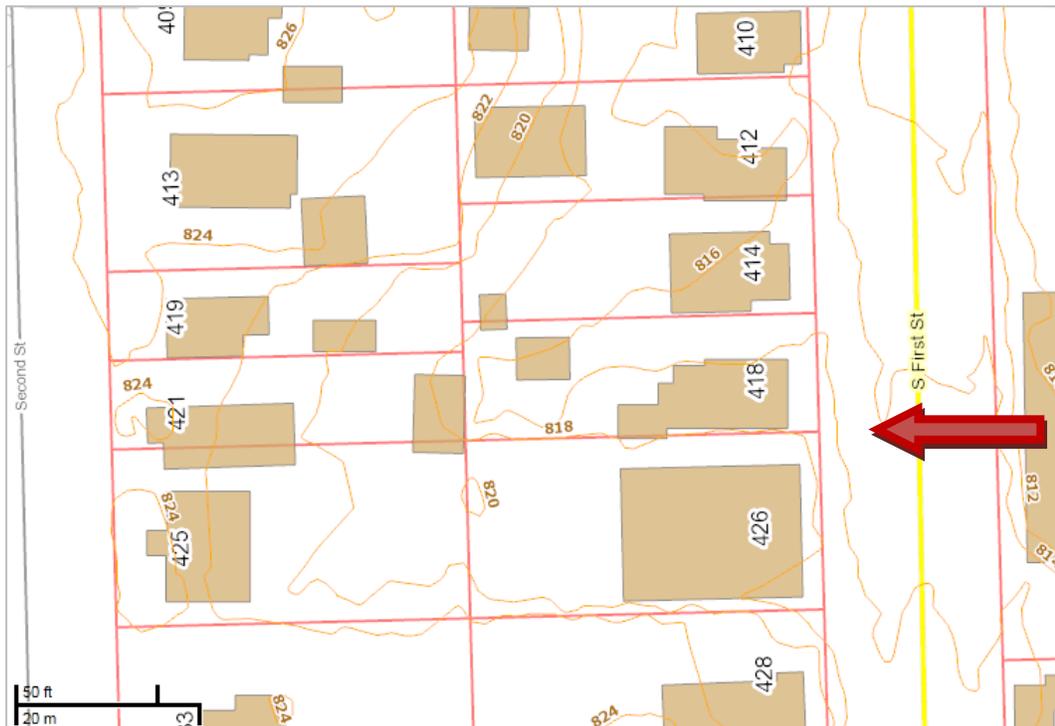
Sanborn Fire Insurance Map, 1931 updated to 1965



2010 Aerial Photo



Topographic map with building footprints (footprints are taken from aerials and are not necessarily to scale)





**City of Ann Arbor**  
**PLANNING & DEVELOPMENT SERVICES — PLANNING SERVICES**  
 100 North Fifth Avenue | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647  
 p. 734.794.6265 | f. 734.994.8312 | [planning@a2gov.org](mailto:planning@a2gov.org)

**ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION**

<b>Section 1: Property Being Reviewed and Ownership Information</b>	
Address of Property:	<u>418 S. 1st Street, Ann Arbor</u>
Historic District:	<u>OLD WEST SIDE</u>
Name of Property Owner (If different than the applicant):	<u>(SAME)</u>
Address of Property Owner:	<u>418 S. 1st St.</u>
Daytime Phone and E-mail of Property Owner:	<u>(734) 958-2546</u> <u>mlwongarchitecture@earthlink.net</u>
Signature of Property Owner:	<u>[Signature]</u> Date: <u>6/24/2011</u>
<b>Section 2: Applicant Information</b>	
Name of Applicant:	<u>MARGARET WONG</u>
Address of Applicant:	<u>418 S. 1st St., Ann Arbor, 48103</u>
Daytime Phone:	<u>(734) 958-2546</u> Fax: <u>( ) SAME</u>
E-mail:	<u>mlwongarchitecture@earthlink.net</u>
Applicant's Relationship to Property:	<input type="checkbox"/> owner <input checked="" type="checkbox"/> architect <input type="checkbox"/> contractor <input type="checkbox"/> other
Signature of applicant:	<u>[Signature]</u> Date: <u>6/24/2011</u>
<b>Section 3: Building Use (check all that apply)</b>	
<input checked="" type="checkbox"/> Residential	<input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Multiple Family <input type="checkbox"/> Rental
<input type="checkbox"/> Commercial	<input type="checkbox"/> Institutional
<b>Section 4: Stille-DeRossett-Hale Single State Construction Code Act</b> (This item <b>MUST BE INITIALED</b> for your application to be <b>PROCESSED</b> )	
Public Act 169, Michigan's Local Historic Districts Act, was amended April 2004 to include the following language: "...the applicant has certified in the application that the property where the work will be undertaken has, or will have before the proposed completion date, a a fire alarm or smoke alarm complying with the requirements of the Stille-DeRossett-Hale Single State Construction Code Act, 1972 PA 230, MCL 125.1501 to 125.1531."	
Please initial here:	<u>[Initials]</u>

**Section 5: Description of Proposed Changes (attach additional sheets as necessary)**

1. Provide a brief summary of proposed changes. SEE ATTACHED SHEET

2. Provide a description of existing conditions. SEE ATTACHED SHEET

3. What are the reasons for the proposed changes? SEE ATTACHED SHEET

4. Attach any additional information that will further explain or clarify the proposal, and indicate these attachments here.

SEE ATTACHED IMAGES / PHOTOS / DRAWINGS (11 TOTAL)

5. Attach photographs of the existing property, including at least one general photo and detailed photos of proposed work area.

**STAFF USE ONLY**

Date Submitted: \_\_\_\_\_ Application to \_\_\_\_\_ Staff or \_\_\_\_\_ HDC

Project No.: \_\_\_\_\_ **HDC** \_\_\_\_\_ Fee Paid: \_\_\_\_\_

Pre-filing Staff Reviewer & Date: \_\_\_\_\_ Date of Public Hearing: \_\_\_\_\_

Application Filing Date: \_\_\_\_\_ Action: \_\_\_\_\_ HDC COA \_\_\_\_\_ HDC Denial

Staff signature: \_\_\_\_\_ \_\_\_\_\_ HDC NTP \_\_\_\_\_ Staff COA

Comments:

## **Ann Arbor Historic District Commission Application**

Applicant: Margaret Wong (property owner)

Address: 418 S. 1st St., Ann Arbor; Old West Side Historic District

Project: Proposed Garage / Studio

Submittal Date: June 24, 2011

### **Section 5: Description of Proposed Changes**

#### **1. Provide a brief summary of proposed changes.**

Applicant proposes to demolish an existing one-story wood framed 14.3' x 20.3' one-car garage and replace it with a two-level wood framed two-car garage and a studio space. Proposed footprint of garage level is 12.8' x 42'; proposed footprint of upper studio level is 18.3' x 42', with a 13.0' long x 2.0' deep south deck cantilever and a 14.5' long x 2.0' deep north window bay cantilever. The height of the proposed garage / studio's main roof will not exceed 21.0' as measured between average grade within 20 ft. of the building and the midpoint elevation between the building's eaves and ridge. (See Building Section drawing)

Existing garage is located 4 ft. south of the north property line and 13.4 ft. from the west property line. Proposed garage / studio will be located 3 ft. from the north and west property lines as is permitted by zoning for an accessory building. A 2 ft. projection into a required open space is explicitly permitted by zoning for eaves and gutters. Applicant proposes that the north window bay is considered a comparable "architectural feature" under zoning ordinance section exception 5:54(2)(c).

418 S. 1st St. property is zoned C2B per zoning map 0929SW, dated 10/17/08. Adjacent residential properties to the north and south are also zoned C2B, and there are no required setbacks. However, a residential use will comply with R4C requirements. Adjacent residential property to the west is zoned R4C. Accordingly, a 30.0' rear setback is shown on the site plan. The location of the proposed garage / studio accessory building within the rear setback may occupy more than 35% of this area (see zoning 5:59(1)(d)).

#### **2. Provide a description of existing conditions.**

Applicant spoke with City of Ann Arbor Historic Preservation Coordinator Jill Thacher in early April 2011 to ask if the existing garage has the status of a contributing resource in the Old West Side. Given the likely date of construction (not definitive, but not prior to the mid-1920s based on a review of Sanborn Fire Insurance maps), the building's construction, and its architectural character, her feedback was that it does not merit this status. On the strength of that feedback, the applicant is presenting this proposal.

The existing one-story wood framed 14.3' x 20.3' one-car garage has standard 2x4 wood wall and roof framing. There is 7.5' from the slab to the top of the wall top plate. The roof was replaced by a previous owner; modern plywood sheathing is visible. The

roofing is conventional asphalt shingle. The previous owner also installed a low-clearance storage area on dropped collar ties at the rear of the garage. The garage's steel garage door and a steel side door were installed previously. The two existing windows are fixed "barn sash" type units, and do not appear to be historical material (i.e. no wavy glass). The expectation is that there is only a shallow perimeter foundation. The existing slab shows significant cracks. Overall, the existing garage is lightly built and does not offer any viable expansion options.

### **3. What are the reasons for the proposed changes?**

In May 2011, an additional full-time occupant moved into 418 S. 1st St., triggering a re-consideration of all the living spaces. The main level area of the existing one-story house is 797 sq. ft. (including interior walls and circulation space). This main level consists of: living room; home office (former small bedroom); bedroom; kitchen; bathroom; dining room; rear entry vestibule. The partially finished basement is not suitable for conversion to living space due to poor humidity control (and existing mold growth), low ceiling height and lack of legal egress. The existing attic space is too low for conversion. The owner's current home office for her architectural practice in an 80 sq. ft. former bedroom is not large enough to accommodate a second user. Converting the existing 11.9' x 15.3' living room or the 11.0' x 16.9' dining room (added in 2002) would have a major negative impact of the livability of this small house.

The proposed two-level two-car garage / studio will significantly enhance the livability of the 418 S. 1st St. property, without making any changes to the 1926 house. The northwest corner location is the farthest away from all the neighboring primary structures. The existing grade mitigates impact of the proposed story-and-a-half building. The Old West Side has a tradition of attractive and useful accessory outbuildings, including two-level structures. The S. 1st St. image of the proposed garage / studio shows the new building in a sympathetic relationship to the existing houses at 418 S. 1st St. and 414 S. 1st St.



VIEWS OF EXISTING GARAGE

**PROPOSED GARAGE / STUDIO**

418 SOUTH 1ST STREET ANN ARBOR, MICHIGAN 48103  
ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION

JUNE 24, 2011



CURRENT SOUTH 1ST STREET VIEW OF EXISTING GARAGE

**PROPOSED GARAGE / STUDIO**

418 SOUTH 1ST STREET ANN ARBOR, MICHIGAN 48103  
ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION

JUNE 24, 2011

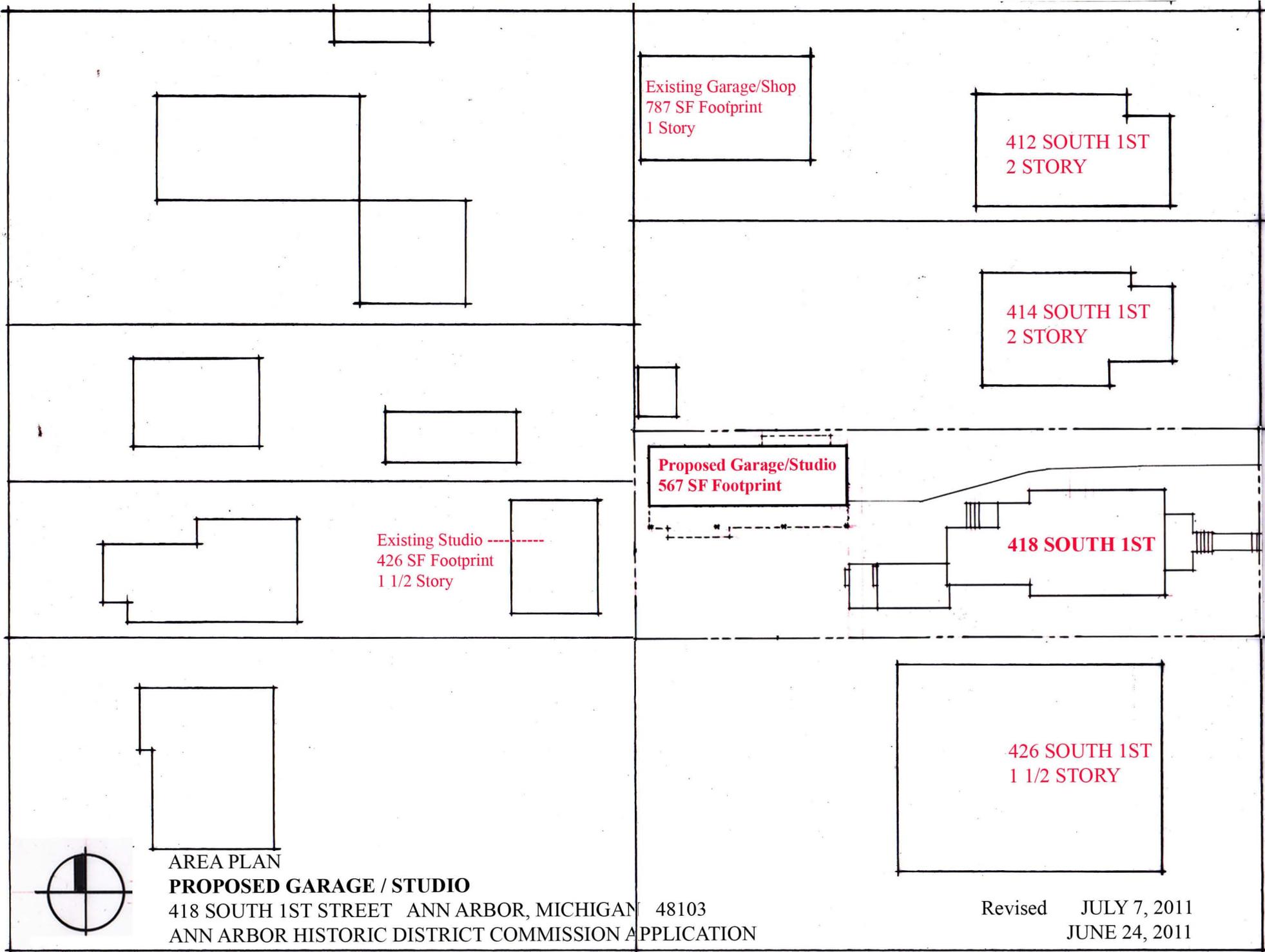


PROPOSED SOUTH 1ST STREET VIEW OF GARAGE / STUDIO

**PROPOSED GARAGE / STUDIO**

418 SOUTH 1ST STREET ANN ARBOR, MICHIGAN 48103  
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Revised JULY 7, 2011  
JUNE 24, 2011



Existing Garage/Shop  
787 SF Footprint  
1 Story

412 SOUTH 1ST  
2 STORY

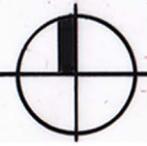
414 SOUTH 1ST  
2 STORY

Proposed Garage/Studio  
567 SF Footprint

418 SOUTH 1ST

Existing Studio  
426 SF Footprint  
1 1/2 Story

426 SOUTH 1ST  
1 1/2 STORY



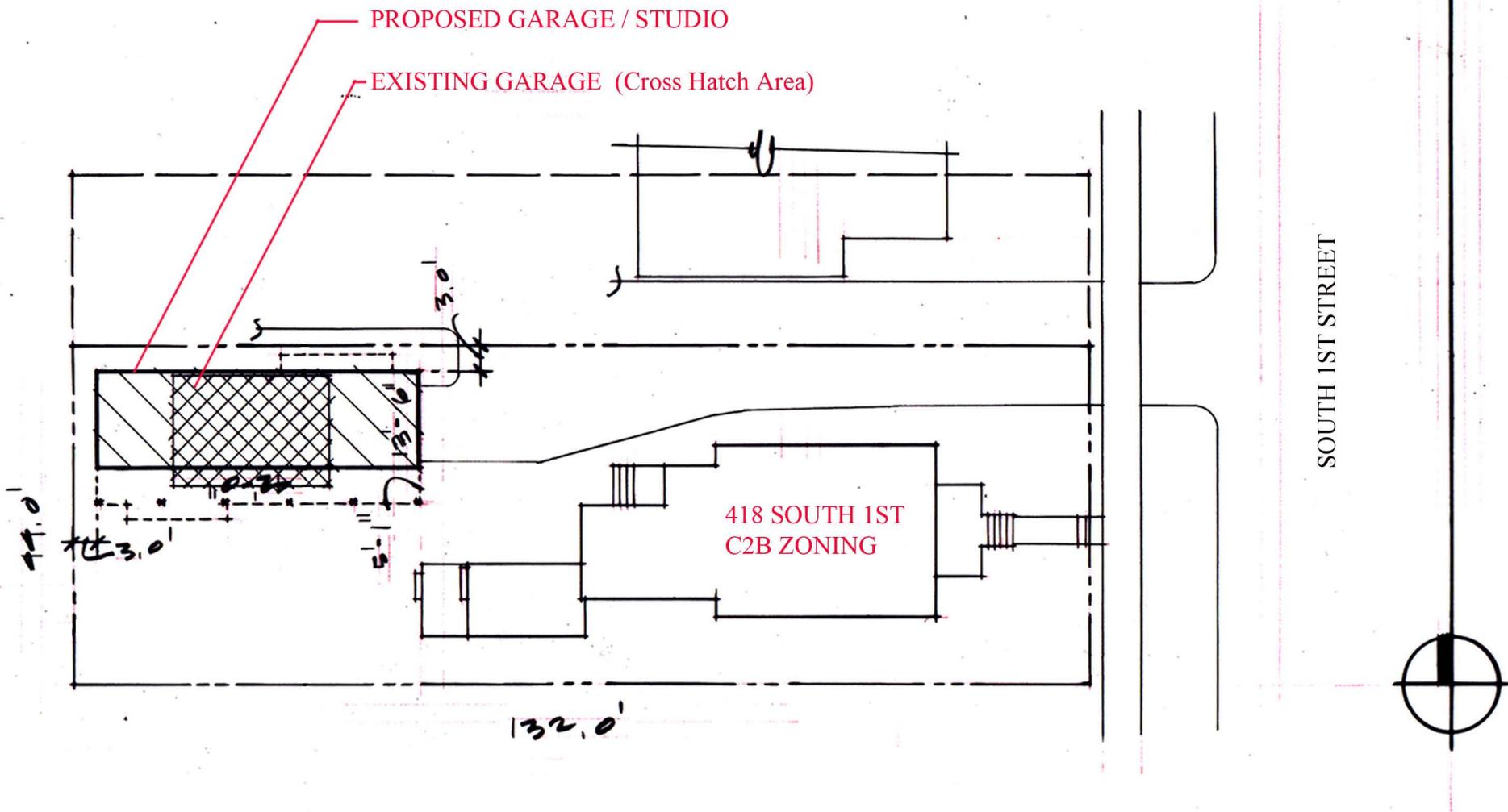
AREA PLAN

**PROPOSED GARAGE / STUDIO**

418 SOUTH 1ST STREET ANN ARBOR, MICHIGAN  
ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION

48103

Revised JULY 7, 2011  
JUNE 24, 2011



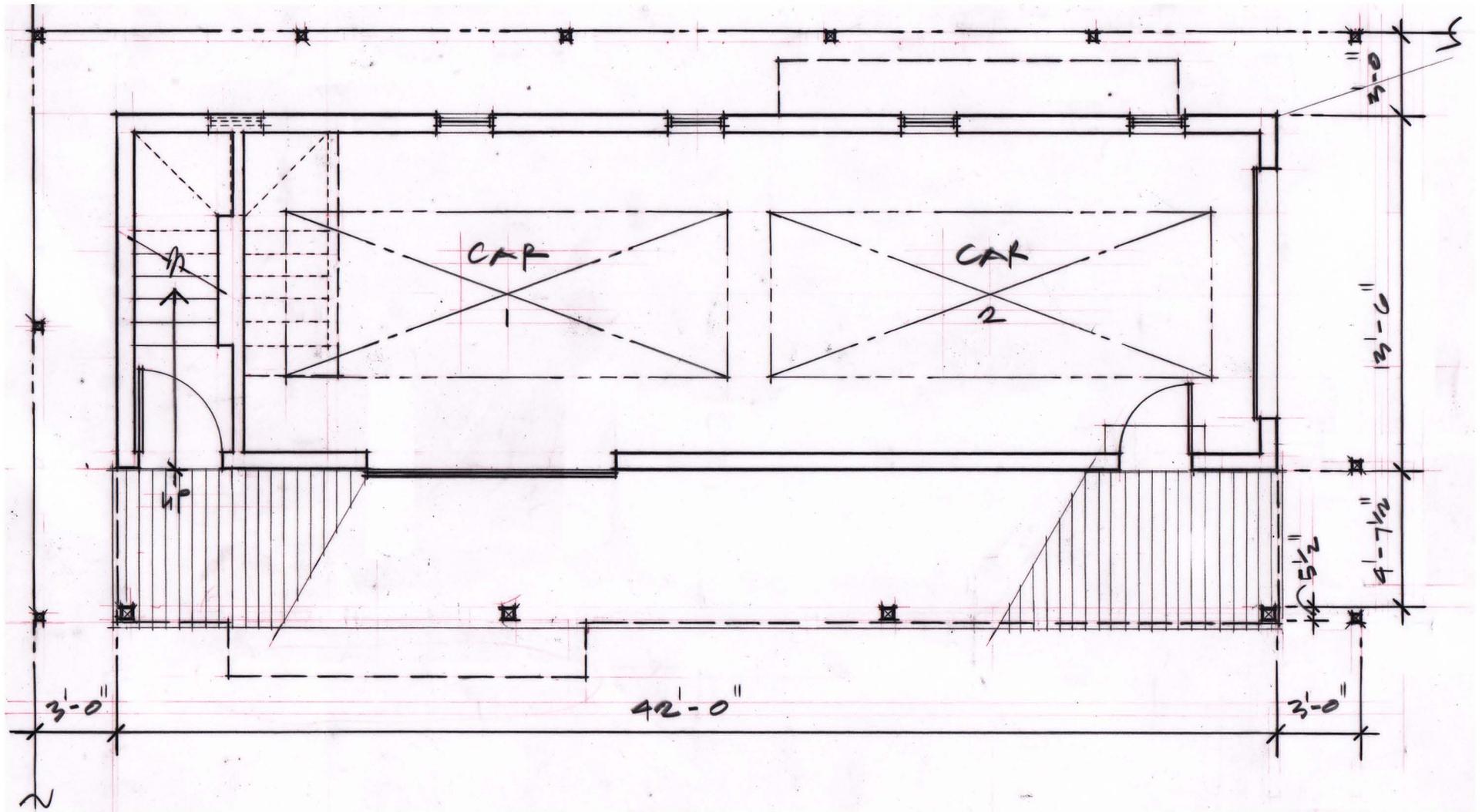
SITE PLAN

**PROPOSED GARAGE / STUDIO**

418 SOUTH 1ST STREET ANN ARBOR, MICHIGAN 48103  
 ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION



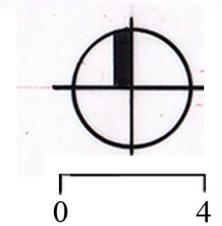
Revised JULY 7, 2011  
 JUNE 24, 2011



GARAGE LEVEL PLAN

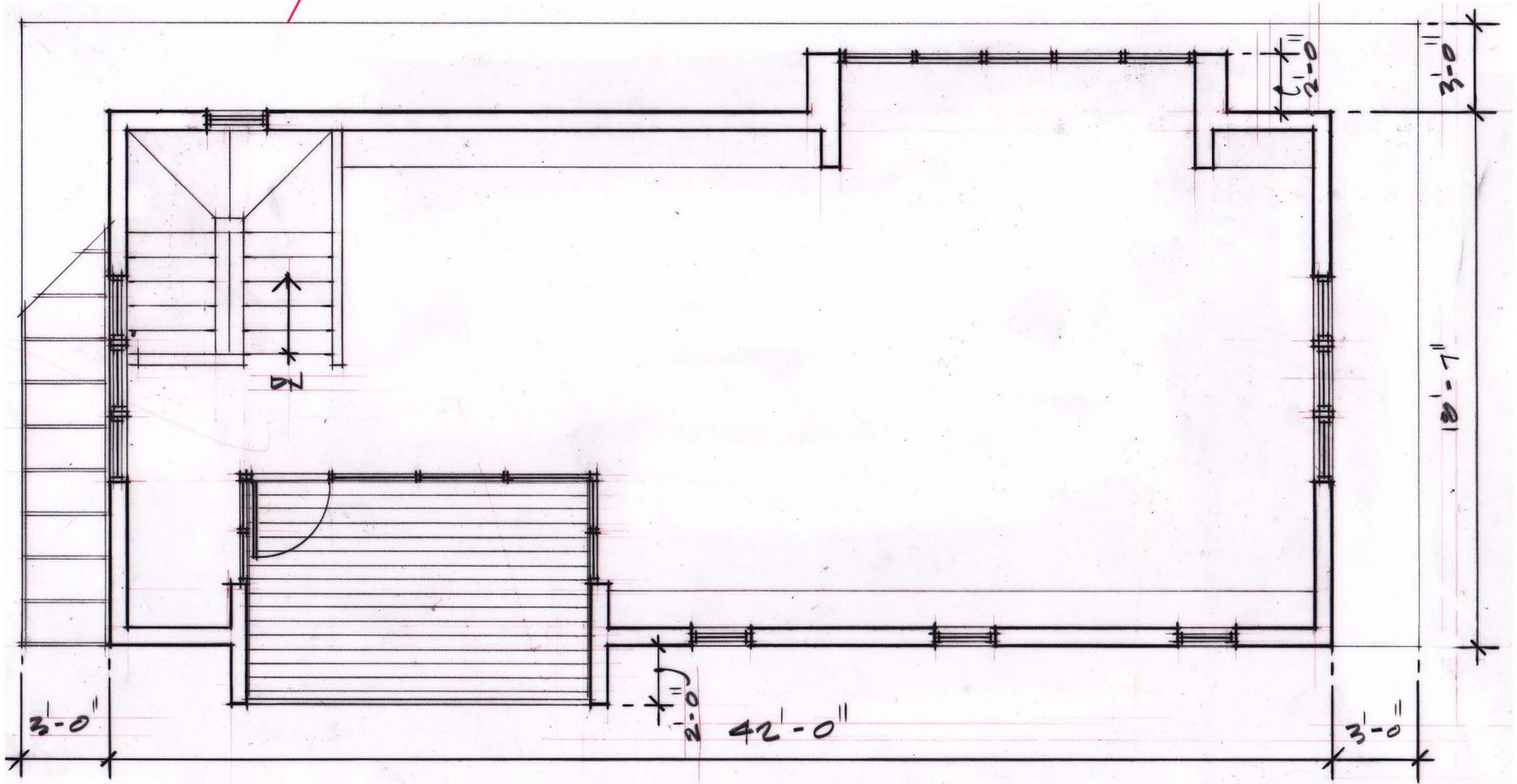
**PROPOSED GARAGE / STUDIO**

418 SOUTH 1ST STREET ANN ARBOR, MICHIGAN 48103  
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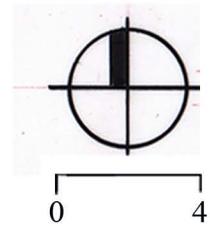
LINE OF TRELLIS



STUDIO LEVEL PLAN

**PROPOSED GARAGE / STUDIO**

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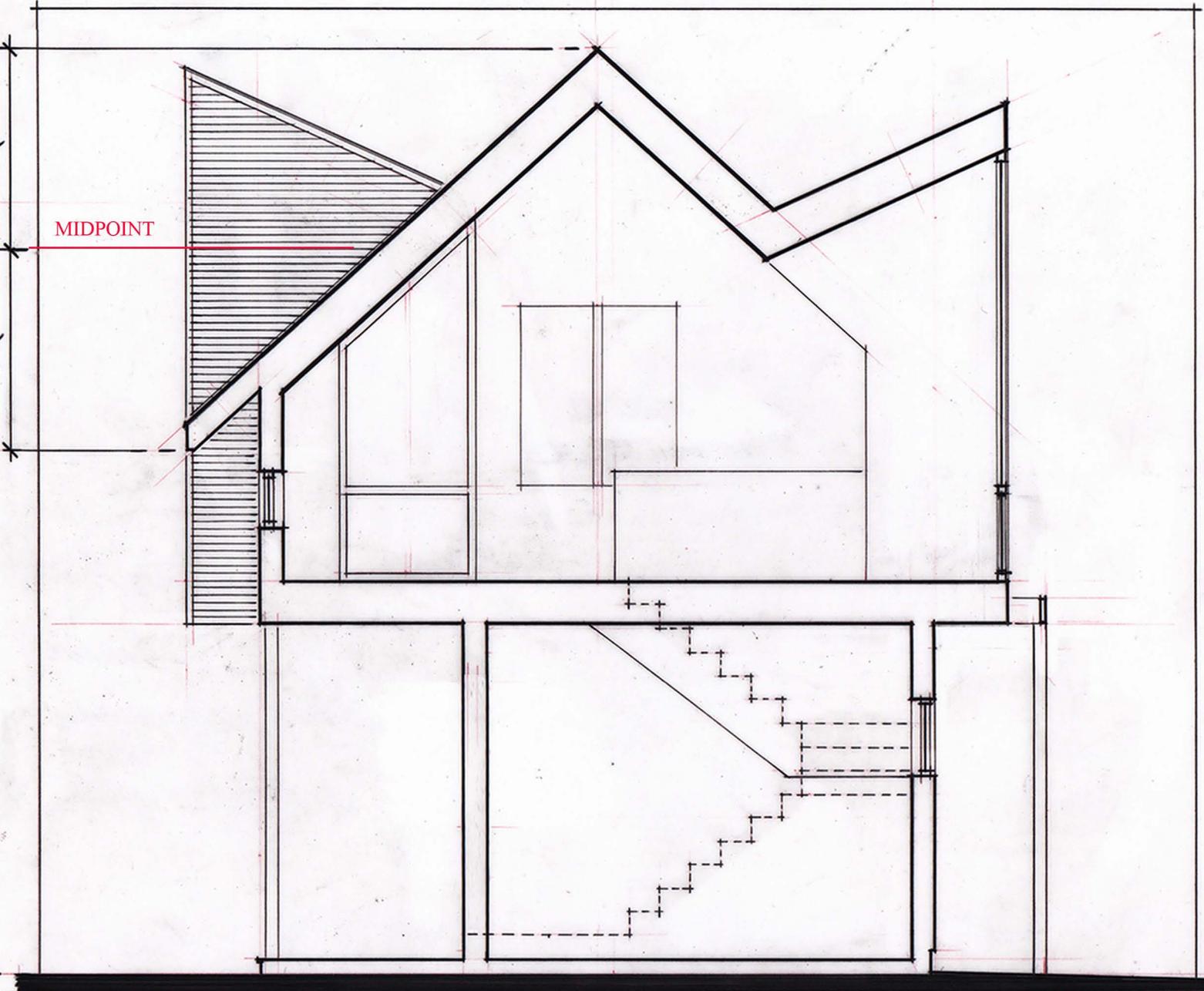
MAXIMUM ALLOWABLE HEIGHT FROM GROUND TO MIDPOINT BETWEEN EAVE AND RIDGE

21'-0"

EA

EA

MIDPOINT



BUILDING SECTION

0 4

**PROPOSED GARAGE / STUDIO**

418 SOUTH 1ST STREET ANN ARBOR, MICHIGAN 48103  
ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION

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Cement Board Exterior Siding

Wood Trim and Doors

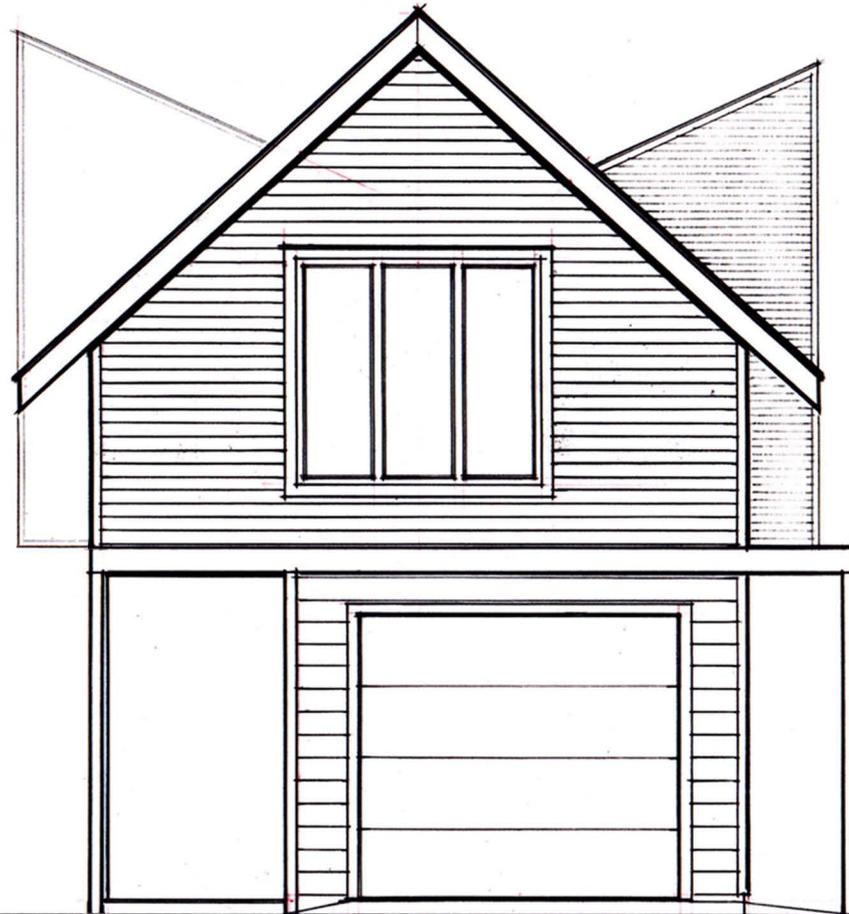
Aluminum Clad Wood Windows

Asphalt Shingle Roofing

Aluminum Clad Eave and Soffit

Composite Exterior Decking

Trellis w/4x4 posts of wood or steel  
2x8 wood rails with 2x2 slats



EAST ELEVATION

**PROPOSED GARAGE / STUDIO**

418 SOUTH 1ST STREET ANN ARBOR, MICHIGAN 48103  
ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION



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SOUTH ELEVATION

**PROPOSED GARAGE / STUDIO**

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JUNE 24, 2011



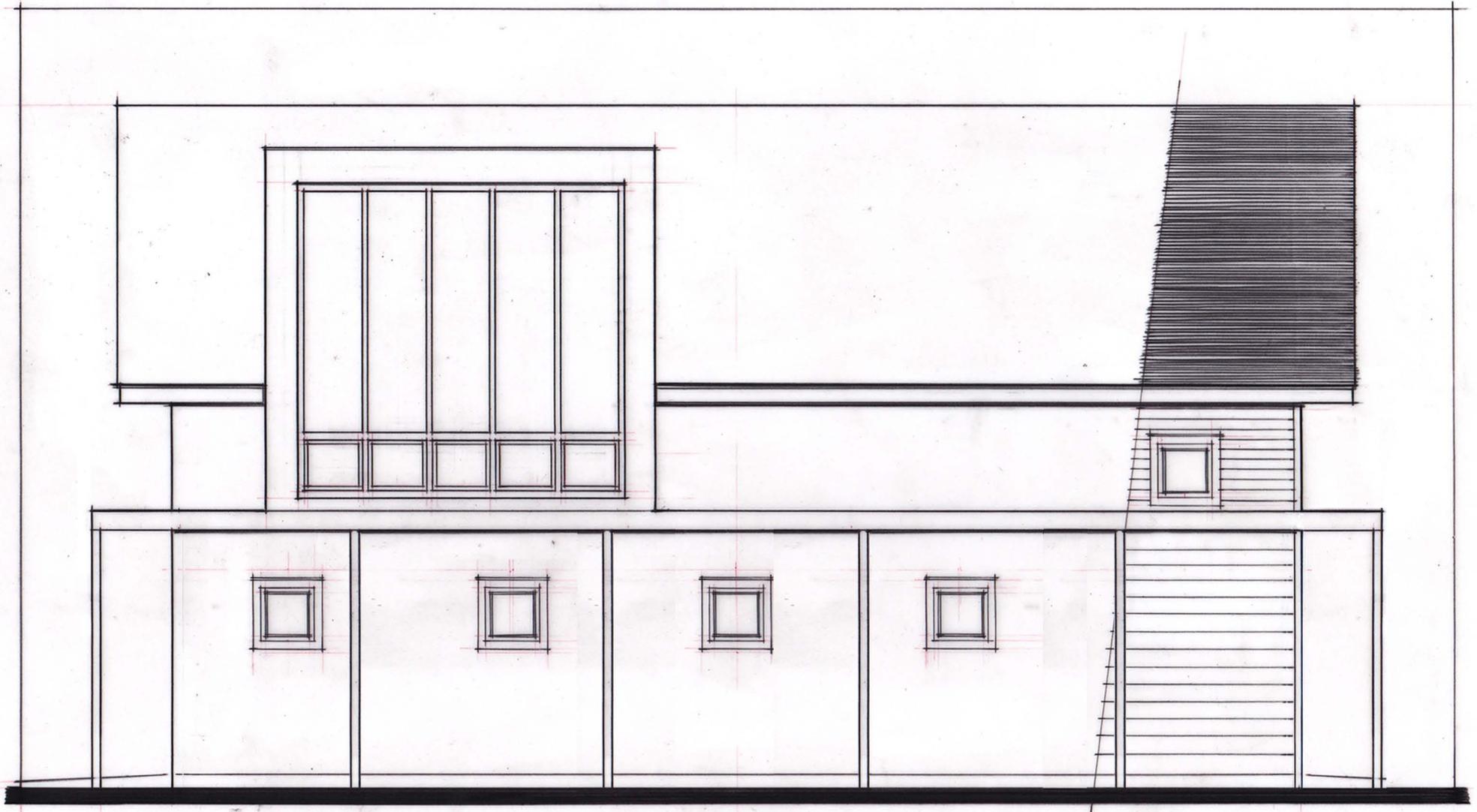
WEST ELEVATION

**PROPOSED GARAGE / STUDIO**

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ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION



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NORTH ELEVATION

**PROPOSED GARAGE / STUDIO**

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