

# ANN ARBOR BUILDING BOARD OF APPEALS

## STAFF REPORT

**Meeting Date: June 17, 2021**

**Type of Request: Appeal**

Building Board of Appeals Request **BBA21-004** at 115 W. Liberty Ann Arbor, MI

(Parcel Identification Number: 09-09-29-144-032)

### DESCRIPTION AND DISCUSSION

#### Property Owners Name and Address:

Ann Arbor Art Association  
115 W. Liberty  
Ann Arbor, MI 48104

### BACKGROUND

The AA Art Center has recently acquired 115 W. Liberty Street to expand their programs in existence at 117 W. Liberty. The openings would allow the 2 buildings to be internally connected in one location on both the first and second floor.

#### **Desired relief:**

Relief from section 705, and table 705.8 allowing an opening in the fire rated wall on the first and second floor of 115/117 W. Liberty. This would allow access to the different programs and functions of both building, assist in the management and safety of the individuals attending (minors) without having to go outside to enter the other building. The first floor opening will have an alarm and sensor-activated rolling steel shutter door (3 hour rated) which will automatically close in the event of a fire. The second floor opening will have a 3- hour steel hinged door. Both openings will have a sprinkler head placed on the 117 W. Liberty side to protect the openings.

#### **Standards for Approval:**

- 1. The true intent of the code or the rules governing construction have been incorrectly interpreted;*
- 2. The Provisions of the code do not apply; or*
- 3. An equal or better form of construction is proposed.*

### STAFF RECOMMENDATION

Staff does not support or oppose the appeal. The drawings submitted show the two openings between the two buildings. The deluge sprinkler system, three hour door equipped with an alarm, and the overhead 2 hour rated fire shutter with alarm could provide an equal amount of protection as the code requirements of section 705, Table 705.8 for fire separation distance less than three feet from the property line.

**PROPOSED MOTION**

**APPEAL GRANTED**

That in Case BBA21-004, **the appeal of the Building Official’s decision** that the work to be performed at **115 & 117 W. Liberty** is **GRANTED** relief from section 705, and table 705.8 and the Building Board of Appeals **REVERSES** the Building Official’s decision for the reason(s) that *[state reason in motion]*:

- (1) The true intent of the 2015 Michigan Building Code and section 705, and table 705.8 governing the construction at 115 & 117 W. Liberty have been incorrectly interpreted by the Building Official;
- (2) The provisions of 2015 Michigan Building Code section 705, and table 705.8 do not apply to the construction at 115 & 117 W. Liberty;
- (3) The applicant has proposed an equal or better form of construction.

Stipulations – If Applicable:

***[Chairman to check box(es) following vote]***

**OR**

**APPEAL DENIED**

That in Case BBA21-004 **the appeal of the Building Official’s decision** that the work to be performed at **115 & 117 W. Liberty** is **DENIED** and the Building Board of Appeals **AFFIRMS** the Building Official’s decision for the reason(s) that *[state reason in motion]*:

- (1) The true intent of the 2015 Michigan Building Code and section 705, and table 705.8 governing the construction at 115 & 117 W. Liberty have been correctly interpreted by the Building Official;
- (2) The provisions of 2015 Michigan Building Code section 705, and table 705.8 apply to the construction at 115 & 117 W. Liberty ;
- (3) The applicant has not proposed an equal or better form of construction;

Stipulations – if Applicable:

***[Chairman to check applicable box(es) following vote]***

Yeas:

Nays:

\_\_\_\_\_  
Paul Darling, Chairperson

\_\_\_\_\_ Date

Building Board of Appeals

- (2) The provisions of 2015 Michigan Building Code section 705, and table 705.8 apply to the construction at 1101 S. University;
- (3) The applicant has not proposed an equal or better form of construction;

Stipulations – if Applicable:

***[Chairman to check applicable box(es) following vote]***

Yeas: 6

Nays: 0

Absent for this vote: 1

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Date

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Paul Darling, Chairperson  
Building Board of Appeals



## CITY OF ANN ARBOR, MICHIGAN

301 East Huron, P.O. Box 8647, Ann Arbor, Michigan 48107-8647  
Community Services Area (734) 794-6263  
[www.a2gov.org](http://www.a2gov.org)

### Plan Review

Date: May 21, 2021  
Permit Number: BLDG21-0720  
Site Address: 115/117 W. Liberty  
Project: Interior renovations  
Property Owner: Ann Arbor Art Center  
Applicant: O'Neal Construction  
Architect: Damien Ferrell Design Group  
Use Group: B  
Type of Construction: III-B  
Project Square Foot: 16,809  
Occupant load: 193  
Fire Suppression: Yes/partially See Below      Type: NFPA 13  
Fire alarm: Yes    Deferred submittal  
Plan Reviewer: Craig E. Strong  
Plan reviewer contact Information: 734-662-2200/ [cstrong@cescode.com](mailto:cstrong@cescode.com)

#### Applicable code:

2015 Michigan Rehabilitation Code for Existing Buildings (MRCEB) Level II  
2015 Michigan Building Code (MBC) as referenced  
2015 Michigan Plumbing Code (MPC)  
2015 Michigan Mechanical Code (MMC)  
2017 Michigan Electrical Code (MEC)  
2015 Michigan Energy Code Including ASHRAE 90.1 – 2013  
2009 ICC A117.1 Standard for Accessible Buildings and Facilities

**SCOPE OF WORK**

TENANT IMPROVEMENTS CONSISTING OF INTERIOR OFFICE SPACE, EXHIBIT GALLERY, ART CLASSROOMS, AND RESTROOMS. NEW ACCESS BETWEEN 117 AND 115 AT THE FIRST AND SECOND FLOORS VIA FIRE-RATED CONNECTIONS.

|                                   |  |   |
|-----------------------------------|--|---|
| <b>BUILDING ADDRESS:</b>          | 117 W LIBERTY ST.<br>ANN ARBOR, MI 48104 | 115 W LIBERTY ST. UNIT 1<br>ANN ARBOR, MI 48104                 |
| <b>PROPERTY ID:</b>               | 09-09-29-144-007                         | 09-09-29-144-033  |
| <b>CONSTRUCTION:</b>              | TYPE III-B                               | TYPE III-B  |
| <b>SPRINKLER SYSTEM:</b>          | EXISTING IN BASEMENT AND 3RD FLOOR       | NONE  |
| <b>NO. OF STORIES:</b>            | 3 + BASEMENT                             | 3 + BASEMENT<br>(UNIT 1= BSMT, 1ST LEVEL AND PARTIAL 2ND LEVEL) |
| <b>USABLE FLOOR AREA (GROSS):</b> | 12,211 SF                                | 4,598 SF  |

**General Items:**

1. The approved plans and plan review accompanying the building permit shall be present at the construction site and made available to the inspector if requested.
2. Building shall be provided with approved address identification visible from street.
3. Mechanical, Electrical and Plumbing require separate permits and inspections.
4. All work is subject to field inspections

**Revisions required: Yes, See sheet A1.1 for door corrections. Also I am deferring this plan back to the City of action on the property line separating the 115 and 117.**

**Additional comments added by City of Ann Arbor, Chris MacFarland:**

**Openings are not permitted at property line MBC table 705.8/706.1.1**

**Plumbing fixture calculations shall be separate for each building, MPC section 403.1.1 requires access to public toilet facilities from within the building. Plumbing fixtures have been removed from 117 that have rendered this less compliant than existing in accordance with MPC 403.1.**

**Clarify occupant loads. Conflicts between permit application, occupancy and egress analysis and plumbing fixture calculations.**

Please verify that there is an accessible route into the space to and from the nearest accessible parking space including curb cuts, building entrances, elevators, toilet rooms and drinking fountains (MRCEB 410.6 and 410.7).

Section 410.7 of the MRCEB requires that where an alteration contains an area of primary function, the route to the primary function shall be accessible, including toilet facilities and drinking fountains serving the area of primary function.

In the event the existing route, or portions of it such as toilet rooms, drinking fountains, or reception counters are not in compliance with the current editions of the applicable standards such as ICC A117.1-2009, please (1) modify those areas to comply, (2) install new facilities in compliance (3) indicate an applicable exception based on the codes, standards or public acts, or (4) request and obtain a variance from the State of Michigan.

The costs of providing the accessible route are not required to exceed 20% of the total costs of the alterations affecting the area of primary function (Act 230 of 1972: 125.1513g effective March 27, 2019).

**Please note that each building is subject to this requirement separately**

**Comply with following code sections/comments:**

Please verify that there is an accessible route into the space to and from the nearest accessible parking space including curb cuts, building entrances, elevators, toilet rooms and drinking fountains (MRCEB 410.6 and 410.7).

Section 410.7 of the MRCEB requires that where an alteration contains an area of primary function, the route to the primary function shall be accessible, including toilet facilities and drinking fountains serving the area of primary function.

In the event the existing route, or portions of it such as toilet rooms, drinking fountains, or reception counters are not in compliance with the current editions of the applicable standards such as ICC A117.1-2009, please (1) modify those areas to comply, (2) install new facilities in compliance (3) indicate an applicable exception based on the codes, standards or public acts, or (4) request and obtain a variance from the State of Michigan.

The costs of providing the accessible route are not required to exceed 20% of the total costs of the alterations affecting the area of primary function (Act 230 of 1972: 125.1513g effective March 27, 2019).

**Please note that each building is subject to this requirement separately**

**Deferred Submittal Items, Application and Documents:**

- Automatic sprinkler, standpipe and fire alarm systems documents

**The following inspections are required - Please check with the City of Ann Arbor Building Department if you have questions about whether a listed inspection applies to the specific project or scope of work listed above:**

**Rough framing inspection** (scheduled after mechanical, electrical and plumbing have passed rough inspection).

**Fire and smoke-resistant penetrations** (prior to concealment)

**Drywall screw** (required for any rated assemblies).

**Above ceiling** (scheduled after mechanical electrical and plumbing have passed inspection).

**Final inspection** (scheduled after mechanical, electrical and plumbing have passed final inspection).

*\*Please schedule inspections through etrakit, <http://etrakit.a2gov.org/etrakit3/> if you need assistance setting up an inspection please call 734-794-6263.*





# BUILDING PERMIT APPLICATION

## - COMMERCIAL

### CONSTRUCTION AND BUILDING

City Hall: 301 E. Huron St., Ann Arbor, MI 48104-6120

Mailing: P.O. Box 8647, Ann Arbor, MI 48107-8647

Phone: 734.794.6263 ext. 0 [building@a2gov.org](mailto:building@a2gov.org)

Fax: 734.994.8460

#### APPLICATION MUST BE FILLED OUT COMPLETELY

AUTHORITY: PA. 230 of 1972, AS AMENDED

PENALTY: PERMIT WILL NOT BE ISSUED

| OFFICE USE ONLY |                      |
|-----------------|----------------------|
| Permit Number   | BLDG# <u>21-0720</u> |
|                 | DEMO# _____          |
| DATE STAMP      |                      |
| 4.23.21 jh      |                      |

#### PROPERTY LOCATION

|  |                  |                 |
|--|------------------|-----------------|
| PROJECT ADDRESS<br>117 and 115 W Liberty St. |                  | ZONING DISTRICT |
| CITY<br>ANN ARBOR                            | ZIPCODE<br>48104 | SUITE /UNIT #   |

Is this a Rental Property?  No  Yes, # of Units: \_\_\_\_\_

Is Property in a Historic District?  No  Yes DISTRICT NAME: \_\_\_\_\_

Is Property In A Floodplain?  No  Yes DNR – E Permit #: \_\_\_\_\_

HDC#: \_\_\_\_\_

Approval: \_\_\_\_\_

#### PROPERTY OWNER INFORMATION

|   |                   |  |                  |
|---|-------------------|--|------------------|
| NAME<br>Ann Arbor Art Center                  |                   | PHONE/CELL # (AREA CODE)<br>(734) 994-8004 |                  |
| EMAIL ADDRESS<br>mklopf@annarborartcenter.org |                   | FAX No.                                    |                  |
| ADDRESS<br>117 W Liberty St                   | CITY<br>Ann Arbor | STATE<br>MI                                | ZIPCODE<br>48104 |

#### CONTRACTOR INFORMATION

|                                    |                              |   |             |                  |
|------------------------------------|------------------------------|---|-------------|------------------|
| NAME<br>O'Neal Construction        |                              | PHONE/CELL # (AREA CODE)<br>(734) 769-0770      |             | FAX No.          |
| ADDRESS<br>525 W William St        |                              | CITY<br>Ann Arbor                               | STATE<br>MI | ZIPCODE<br>48103 |
| CONTRACTOR LICENSE #<br>2102101491 | EXPIRATION DATE<br>5/31/2023 | EMAIL ADDRESS<br>mgudenau@onealconstruction.com |             |                  |

Pursuant to Public Act 135 of 1989 – All Building Division Permit Applicants **MUST** complete this section below

|  |
|--|
| FEDERAL EMPLOYER I.D. # (OR REASON FOR EXEMPTION)<br>38-300-8902                       |
| WORKERS COMPENSATION INSURANCE CARRIER (OR REASON FOR EXEMPTION)<br>Citizens Insurance |
| MESC EMPLOYEE #<br>1165978   |

#### ARCHITECT / ENGINEER INFORMATION

|  |                               |  |             |                  |
|--|-------------------------------|--|-------------|------------------|
| NAME<br>Damian Farrell Design Group PLLC |                               | PHONE/CELL # (AREA CODE)<br>(734) 998-1331 |             | FAX No.          |
| ADDRESS<br>359 Metty Drive, Suite 4a     |                               | CITY<br>Ann Arbor                          | STATE<br>MI | ZIPCODE<br>48103 |
| LICENSE #<br>1301045296                  | EXPIRATION DATE<br>10/31/2022 | EMAIL ADDRESS<br>dfarrell@dfdgonline.com   |             |                  |

#### TYPE OF JOB / PROJECT INFORMATION – COMPLETE ALL INFORMATION

|                       |   |  |  |
|-----------------------|---|--|--|
| Type of Construction: | <input checked="" type="checkbox"/> Interior Only | <input type="checkbox"/> Exterior / Facade | <input type="checkbox"/> Addition or New Construction – Site Plan Req'd: SP/SCP# |
|-----------------------|---|--|--|

**DESCRIPTION:** Provide a detailed description of work to be covered by the permit (e.g. renovating an office space or building a 5000 sq.ft. warehouse).

Renovation of interior office space, exhibit gallery, art classrooms, and restrooms. New access between 117 and 115 at the first and second floors via fire-rated connections.

#### PROJECT COST

ESTIMATED COST OF PROJECT: \$ 800,000

The project cost must include material and labor for scope of permit, **including** mechanical, electrical and plumbing work. Mechanical, electrical and plumbing to obtain separate permits. Please provide payment information to process the application using the **payment cover sheet**. Any application received without payment information included cannot be processed.

**YOU MUST SUBMIT TWO (2) HARD-COPIES AND ONE (1) DIGITAL VERSION OF SITE PLANS**

For full requirements, refer to the attached checklist

| CHECK ALL THAT APPLY | Type of Improvement   | Area Affected  | Type of Structure   | Comments to Reviewer |
|----------------------|---|--|---|----------------------|
|                      | <input type="checkbox"/> Build / Finish<br><input type="checkbox"/> Addition (s) to<br><input checked="" type="checkbox"/> Alteration (s) to<br><input type="checkbox"/> Demolition of<br><input type="checkbox"/> Change of Occupancy<br><input type="checkbox"/> Other: _____<br>_____<br>_____ | <input type="checkbox"/> New<br><input checked="" type="checkbox"/> Existing<br><input type="checkbox"/> Shell<br><input type="checkbox"/> Foundation only<br><input type="checkbox"/> Occupancy _____<br><input type="checkbox"/> Sq Ft _____<br>_____<br>_____ | <input checked="" type="checkbox"/> Building<br><input type="checkbox"/> Tenant Space<br><input type="checkbox"/> Deck<br><input type="checkbox"/> Garage<br><input type="checkbox"/> Porch<br><input type="checkbox"/> Roof<br><input type="checkbox"/> Siding<br><input type="checkbox"/> Sign<br><input type="checkbox"/> Windows: # _____ |                      |

**USE – OCCUPANCY CLASSIFICATION AS REGULATED BY THE MICHIGAN BUILDING CODE: CHECK ALL THAT APPLY**

|   |   |   |
|---|---|---|
| <input type="checkbox"/> VACANT   | <input type="checkbox"/> F-2: FACTORY (LOW HAZARD)  | <input type="checkbox"/> I-4: INSTITUTIONAL 4 (DAY CARES, ETC.)                           |
| <input type="checkbox"/> A-1: ASSEMBLY (THEATERS, ETC.)                     | <input type="checkbox"/> H-1: HIGH HAZARD (DETONATION)                                    | <input type="checkbox"/> M: MERCANTILE  |
| <input type="checkbox"/> A-2: ASSEMBLY (RESTAURANTS, BARS, ETC.)            | <input type="checkbox"/> H-2: HIGH HAZARD (DEFLAGRATION)                                  | <input type="checkbox"/> R-1: RESIDENTIAL 1 (HOTELS, BOARDING HOUSES, ETC.)               |
| <input type="checkbox"/> A-3: ASSEMBLY (LIBRARY, RELIGIOUS BUILDINGS, ETC.) | <input type="checkbox"/> H-3: HIGH HAZARD (PHYSICAL)                                      | <input type="checkbox"/> R-2: RESIDENTIAL 2 (MULTIPLE FAMILY, FATHERNITY, SORORITY, ETC.) |
| <input type="checkbox"/> A-4: ASSEMBLY (INDOOR SPORTS FACILITIES, ETC.)     | <input type="checkbox"/> H-4: HIGH HAZARD (HEALTH)  | <input type="checkbox"/> R-3: RESIDENTIAL 3 (1 & 2 FAMILY AND TOWNHOUSE)                  |
| <input type="checkbox"/> A-5: ASSEMBLY (OUTDOOR SPORTS, STADIUMS, ETC.)     | <input type="checkbox"/> H-5: HIGH HAZARD (HPM)   | <input type="checkbox"/> R-4: RESIDENTIAL 4 (ASSISTED LIVING)                             |
| <input checked="" type="checkbox"/> B: BUSINESS                             | <input type="checkbox"/> I-1: INSTITUTIONAL 1 (SUPERVISED – ASSISTED LIVING, GROUP HOMES) | <input type="checkbox"/> S-1: STORAGE (MODERATE HAZARD)                                   |
| <input type="checkbox"/> E: EDUCATIONAL                                     | <input type="checkbox"/> I-2: INSTITUTIONAL 2 (HOSPITAL, NURSING HOME, ETC.)              | <input type="checkbox"/> S-2: STORAGE (LOW HAZARD)  |
| <input type="checkbox"/> F-1: FACTORY (MODERATE HAZARD)                     | <input type="checkbox"/> I-3: INSTITUTIONAL 3 (PRISONS, ETC.)                             | <input type="checkbox"/> U: UTILITY (MISC, GARAGES, SHEDS, FENCES, ETC.)                  |

**SUPPRESSION SYSTEM**

NFPA – 13    NFPA – 13R    NFPA – 13D    Limited Area    Range Hood    None    Partial    Complete

**ALARM SYSTEM**

Manual    Automatic Detection    None    Partial    Complete

**BUILDING USE OPTIONS**

SINGLE USE    MIXED USE   **SEPARATION OPTION:**    Non-separated uses    Separated uses    Separated buildings

**PLANNING AND ZONING:** You MUST contact Planning at 734-794-6265 or [planning@a2gov.org](mailto:planning@a2gov.org) prior to submission of permit applications for site planned projects

Existing Use: (specify type) **Business**      Proposed Use: (specify type) **Business**

**APPLICANT INFORMATION**

NAME: **Matt Gudenau**      PHONE/CELL # (AREA CODE): **(734) 769-0770**

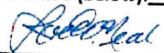
EMAIL ADDRESS: **mgudenau@onealconstruction.com**      FAX No.:

ADDRESS: **525 W William**      CITY: **Ann Arbor**      STATE: **MI**      ZIPCODE: **48103**

**APPLICANT SIGNATURE**

APPLICANT, agrees to comply with all terms and conditions or permit as it may be issued.

Title of SIGNING AUTHORITY (below): *Owner*

**SIGN HERE**       **PRINT NAME** **Joe O'Neal**      **DATE** **4/9/21**

If Owner's signature is by Contractor or its representative, Contractor warrants and represents that it is an authorized agent for Owner for purposes of obtaining this permit. (NOTE: Contractor is NOT allowed to act as agent for Owner if Contractor is in non-compliance status on other permits).

**OFFICE USE ONLY**

|   |       |
|---|-------|
| PLANNING AND ZONING NOTES AND SIGNATURE | DATE: |
| HISTORIC DISTRICT NOTES AND SIGNATURE   | DATE: |
| GRADING NOTES AND SIGNATURE             | DATE: |
| BUILDING NOTES AND SIGNATURE            | DATE: |

**FEES**

|   |                           |
|---|---------------------------|
| BUILDING APPLICATION FEE: <b>\$15.00</b>  | PLAN REVIEW: \$           |
| CONTRACTOR REGISTRATION: <b>\$15.00</b> (RESIDENTIAL/COMMERCIAL: R1, R2, R3, R4)                    | BUILDING PERMIT FEE: \$   |
| ZONING REVIEW: <input type="checkbox"/> \$24 <input type="checkbox"/> \$68                      N/A | HISTORIC DISTRICT FEE: \$ |
| SITE COMPLIANCE: <input type="checkbox"/> \$150 <input type="checkbox"/> N/A                        |                           |
| <b>SUBTOTAL:</b>  | <b>TOTAL: \$</b>          |

[A] **110.4 Inspection agencies.** The *building official* is authorized to accept reports of *approved* inspection agencies, provided such agencies satisfy the requirements as to qualifications and reliability.

[A] **110.5 Inspection requests.** It shall be the duty of the holder of the building *permit* or their duly authorized agent to notify the *building official* when work is ready for inspection. It shall be the duty of the *permit* holder to provide access to and means for inspections of such work that are required by this code.

[A] **110.6 Approval required.** Work shall not be done beyond the point indicated in each successive inspection without first obtaining the approval of the *building official*. The *building official*, upon notification, shall make the requested inspections and shall either indicate the portion of the construction that is satisfactory as completed, or notify the *permit* holder or his or her agent wherein the same fails to comply with this code. Any portions that do not comply shall be corrected and such portion shall not be covered or concealed until authorized by the *building official*.

## SECTION 111 CERTIFICATE OF OCCUPANCY

**111.1 Use and occupancy.** A building or structure shall not be used or occupied, and a change in the existing occupancy classification of a building or structure or portion thereof shall not be made until a certificate of occupancy has been issued in accordance with the act.

**Exception:** Certificates of occupancy are not required for work exempt from permits under Section 105.2.

R 408.30412

**111.2 Certificate issued.** After the building official inspects the building or structure and finds no violations of the provisions of this code or other laws that are enforced by the department and all permit and plan review fees are paid, the building official shall issue a certificate of occupancy that contains all of the following:

- (a) The building permit number.
- (b) The address of the structure.
- (c) A description of that portion of the structure for which the certificate is issued.
- (d) A statement that the described portion of the structure has been inspected for compliance with the requirements of this code for the occupancy and division of occupancy and the use for which the proposed occupancy is classified.
- (e) The name and signature of the building official or designee, registered in accordance with the building officials and inspectors registration act, 1986 PA 54, MCL 338.2301 to 338.2313.
- (f) The edition of the code under which the permit was issued.
- (g) The use and occupancy, in accordance with the provisions of chapter 3.

- (h) The type of construction as defined in chapter 6.
- (i) The design occupant load.
- (j) If an automatic sprinkler system is provided, whether the sprinkler system is required.
- (k) Any special stipulations and conditions of the building permit.

R 408.30412

[A] **111.3 Temporary occupancy.** The *building official* is authorized to issue a temporary certificate of occupancy before the completion of the entire work covered by the *permit*, provided that such portion or portions shall be occupied safely. The *building official* shall set a time period during which the temporary certificate of occupancy is valid.

[A] **111.4 Revocation.** The *building official* is authorized to, in writing, suspend or revoke a certificate of occupancy or completion issued under the provisions of this code wherever the certificate is issued in error, or on the basis of incorrect information supplied, or where it is determined that the building or structure or portion thereof is in violation of any ordinance or regulation or any of the provisions of this code.

## SECTION 112 SERVICE UTILITIES

[A] **112.1 Connection of service utilities.** A person shall not make connections from a utility, source of energy, fuel or power to any building or system that is regulated by this code for which a *permit* is required, until released by the *building official*.

[A] **112.2 Temporary connection.** The *building official* shall have the authority to authorize the temporary connection of the building or system to the utility, source of energy, fuel or power.

[A] **112.3 Authority to disconnect service utilities.** The *building official* shall have the authority to authorize disconnection of utility service to the building, structure or system regulated by this code and the referenced codes and standards set forth in Section 101.4 in case of emergency where necessary to eliminate an immediate hazard to life or property or where such utility connection has been made without the approval required by Section 112.1 or 112.2. The *building official* shall notify the serving utility, and wherever possible the *owner* and occupant of the building, structure or service system of the decision to disconnect prior to taking such action. If not notified prior to disconnecting, the *owner* or occupant of the building, structure or service system shall be notified in writing, as soon as practical thereafter.

## SECTION 113 BOARD OF APPEALS

**113.1 Means of appeal.** An interested person may appeal a decision of the enforcing agency to the board of appeals in accordance with the act. An application for appeal shall be based on a claim that the true intent of the code or the rules governing construction have been incorrectly interpreted, the provisions of the code do not apply, or an equal or better form

of construction is proposed. The decision of a local board of appeals may be appealed to the construction code commission in accordance with the act and time frames.

**Exception:** Requests for barrier free design exception shall be in accordance with 1966 PA 1, MCL 125.1352 to 125.1356.

R 408.30414

**[A] 113.2 Limitations on authority.** An application for appeal shall be based on a claim that the true intent of this code or the rules legally adopted thereunder have been incorrectly interpreted, the provisions of this code do not fully apply or an equally good or better form of construction is proposed. The board shall not have authority to waive requirements of this code.

**113.3 Qualifications.** The board of appeals shall consist of members who are qualified in accordance with the act and are not employees of the governmental subdivision or the agency enforcing the code.

R 408.30414

**SECTION 114  
VIOLATIONS**

**[A] 114.1 Unlawful acts.** It shall be unlawful for any person, firm or corporation to erect, construct, alter, extend, *repair*, move, remove, demolish or occupy any building, structure or equipment regulated by this code, or cause same to be done, in conflict with or in violation of any of the provisions of this code.

**[A] 114.2 Notice of violation.** The *building official* is authorized to serve a notice of violation or order on the person responsible for the erection, construction, *alteration*, extension, *repair*, moving, removal, demolition or occupancy of a building or structure in violation of the provisions of this code, or in violation of a *permit* or certificate issued under the provisions of this code. Such order shall direct the discontinuance of the illegal action or condition and the abatement of the violation.

\*

**114.4 Violation penalties.** It is unlawful for any person, firm, or corporation to violate a provision of the code or fail to conform with any of the requirements thereof, or erect, construct, alter, extend, repair, move, remove, demolish, or occupy any building, structure, or equipment regulated by the code, or cause work to be performed or done, in conflict with or in violation of the approved construction documents or directive of the enforcing agency, or a permit or certificate issued under the code. A violator shall be assessed a fine in accordance with the act.

R 408.30410

**SECTION 115  
STOP WORK ORDER**

**[A] 115.1 Authority.** Where the *building official* finds any work regulated by this code being performed in a manner either contrary to the provisions of this code or dangerous or unsafe, the *building official* is authorized to issue a stop work order.

**115.2 Issuance.** Notice shall be in accordance with the act. A person who is served with a stop work order, except for work that the person is directed to perform to remove a violation or unsafe condition is subject to the penalty provisions prescribed in the act.

R 408.30411

**[A] 115.3 Unlawful continuance.** Any person who shall continue any work after having been served with a stop work order, except such work as that person is directed to perform to remove a violation or unsafe condition, shall be subject to penalties as prescribed by law.

**SECTION 116  
UNSAFE STRUCTURES AND EQUIPMENT**

**[A] 116.1 Conditions.** Structures or existing equipment that are or hereafter become unsafe, insanitary or deficient because of inadequate *means of egress* facilities, inadequate light and ventilation, or that constitute a fire hazard, or are otherwise dangerous to human life or the public welfare, or that involve illegal or improper occupancy or inadequate maintenance, shall be deemed an unsafe condition. Unsafe structures shall be taken down and removed or made safe, as the *building official* deems necessary and as provided for in this section. A vacant structure that is not secured against entry shall be deemed unsafe.

**[A] 116.2 Record.** The *building official* shall cause a report to be filed on an unsafe condition. The report shall state the occupancy of the structure and the nature of the unsafe condition.

**[A] 116.3 Notice.** If an unsafe condition is found, the *building official* shall serve on the *owner*, agent or person in control of the structure, a written notice that describes the condition deemed unsafe and specifies the required repairs or improvements to be made to abate the unsafe condition, or that requires the unsafe structure to be demolished within a stipulated time. Such notice shall require the person thus notified to declare immediately to the *building official* acceptance or rejection of the terms of the order.

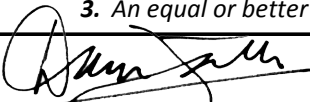
**[A] 116.4 Method of service.** Such notice shall be deemed properly served if a copy thereof is (a) delivered to the *owner* personally; (b) sent by certified or registered mail addressed to the *owner* at the last known address with the return receipt requested; or (c) delivered in any other manner as prescribed by local law. If the certified or registered letter is returned showing that the letter was not delivered, a copy thereof shall be posted in a conspicuous place in or about the structure affected by such notice. Service of such notice in the foregoing manner upon the *owner's* agent or upon the person responsible for the structure shall constitute service of notice upon the *owner*.

**[A] 116.5 Restoration.** Where the structure or equipment determined to be unsafe by the *building official* is restored to a safe condition, to the extent that repairs, *alterations* or *additions* are made or a change of occupancy occurs during the restoration of the structure, such *repairs*, *alterations*, *additions* and change of occupancy shall comply with the requirements of Section 105.2.2 and the *International Existing Building Code*.



**City of Ann Arbor**  
**PLANNING & DEVELOPMENT SERVICES**  
 301 E. Huron St. | P.O. Box 8647 |  
 Ann Arbor, Michigan 48107-8647  
 p. 734.794.6263 | f. 734.994.8460 | building@a2gov.org  
**APPLICATION FOR BUILDING/CONSTRUCTION CODE APPEAL**

| <b>Facility Information</b>                      |                  |  |   |                                 |
|--|------------------|--|---|---------------------------------|
| Facility Name                                    |                  | County   |   |                                 |
| Facility Street Address                          |                  | City   | Zip   |                                 |
| Permit Number                                    |                  |  |   |                                 |
| <b>Building Data</b>                             |                  |  |   |                                 |
| New Building <input type="checkbox"/>            |                  | Addition <input type="checkbox"/>  | Alteration <input type="checkbox"/>                 | Repair <input type="checkbox"/> |
| Classification Per Building Code<br>Building Use | No. Of<br>Floors | Construction Type  | Area/Floor  | No. Of Occupants                |
| <b>Permit Holder</b>                             |                  |  |   |                                 |
| Name (Company or Individual)                     |                  | Contact Name   |   |                                 |
| Street Address                                   | City             | State  | Zip   |                                 |
| Phone  | Fax              |  | Email   |                                 |
| <b>Building Owner</b>                            |                  |  |   |                                 |
| Name (Company or Individual)                     |                  | Contact Name   |   |                                 |
| Street Address                                   | City             | State  | Zip   |                                 |
| Phone  | Fax              |  | Email   |                                 |
| <b>Summary Of Appeal</b>                         |                  |  |   |                                 |
| CODE SECTION(s)                                  |                  | <i>Provide copies of the following as appropriate:</i><br>Statement of Facts and Reasoning<br><br><input type="checkbox"/> |   |                                 |
| DESIRED RELIEF (State Briefly)                   |                  |  |   |                                 |
| BASIS OF APPEAL (State Briefly)                  |                  |  | Supporting Material<br><br><input type="checkbox"/> |                                 |

|   |      |  |     |
|---|------|--|-----|
| <b>Applicant</b> (all correspondence will be sent to this address)  |      |  |     |
| Name (company or individual)  |      | Applicant Name                               |     |
| Street Address  | City | State  | Zip |
| Phone   | Fax  | Email  |     |
| <b>Application Fee</b> (applicant is responsible for paying fee)  |      |  |     |
| Residential \$250.00 <input type="checkbox"/>   |      | Commercial \$500.00 <input type="checkbox"/> |     |
| <p><b>Note:</b> You have the right to appeal the City of Ann Arbor's Building Boards of Appeals decision to the State of Michigan. If you choose to appeal this decision, then application must be made within 10 days of the decision to the address listed below, in accordance with Section 16 of 1972 PA 230. Michigan Department of Labor &amp; Economic Growth, Bureau of Construction Codes, P.O. Box 30255, Lansing, MI 48909 517-241-9303, <a href="http://www.michigan.gov/bcc">www.michigan.gov/bcc</a></p> <p><b>Note :</b> Reasons for Appeal (Per MRC, Section R112.2, MBC, Section 113.2) include:</p> <ol style="list-style-type: none"> <li>1. The true intent of the code or the rules governing construction have been incorrectly interpreted.</li> <li>2. The provisions of the code do not apply.</li> <li>3. An equal or better form of construction is proposed.</li> </ol> |      |  |     |
| Applicant Signature   |      | Date 6.2.2021                                |     |



2 June, 2021

City of Ann Arbor  
Planning & Development Services.  
301 E Huron Street  
Ann Arbor, MI. 48107-8647

## **BUILDING BOARD OF APPEALS**

### **ANN ARBOR ART CENTER. STATEMENTS OF FACTS AND REASONING.**

Dear Members of the Building Board of Appeals,

The Ann Arbor Art Center recently acquired the property at 115 W Liberty: the building immediately east of 117 W Liberty, the longtime home of one of Ann Arbor's most beloved, downtown arts institutions.

The Art Center desires to create 2 new openings between the 2 buildings; 1 each on the 1<sup>st</sup> level and on the 2<sup>nd</sup> level with doors and technology that will provide an equal or better form of construction to the existing wall construction.

The connection between the 2 buildings is of great importance to the Art Center, its safety, management and its programs.

Of paramount importance is security. Many of the classes are made up of minors and the Art Center is entrusted with their safety and wellbeing.

Having to leave one building and access the other only by means of an exterior path places a serious breach in this responsibility. There can be up to 5 or 6 classes at any given time ranging from drawing, pottery, glazing, and painting to jewelry making. In addition, there are frequent visitors to the gallery store at street level and the adjacent ceramics studio.

Currently, observation of the 2 entrances in the original 117 W Liberty building is covered by the well-placed point-of-sale desk in the gallery store that has a clear view of both the north and south entrances to the building. Next to the point of sale, is the primary

stair to the 2<sup>nd</sup> floor, also under easy observation. The remodel leaves this function in the same location with the same benefits.

With the addition of the 115 W. Liberty building, the intention is to create a new exhibition gallery in the 1st floor space. The gallery will only be open from the sidewalk and the rear parking lot for special events.

The new proposed 1<sup>st</sup> floor opening allows access from the existing 117 building gallery store directly into the exhibition gallery so that the gallery can be visited during open hours and this new proposed opening is again, under the clear surveillance of the point-of-sale desk. It forms an essential part of managing security and enabling visitor flow within the building.

The original 2 primary entrances to the Art Center can be retained by the addition of this proposed opening. The proposed new opening is planned to have an alarm and sensor-activated rolling steel shutter door which will automatically close in the event of a fire.

This opening eliminates the need for a second reception area on the first floor; an undesired cost for a not-for-profit organization with many students, staff and visitors moving through the spaces each day.

The second proposed opening on the second floor continues the theme of allowing visitors, students and staff to circulate within the interior space without having to leave one building to access the other. This opening is planned with a 3-hour, steel hinged door.

The majority of the 2<sup>nd</sup> floor space in the new 115 W. Liberty building is planned for offices for the staff and instructors, consolidating the space in the 117 W Liberty space as classrooms.

This proposed new opening would give the staff and instructors the ability to directly access the classrooms and their students, again without having to leave the building and return through another exterior entrance.

With the number of classes that are offered by the Ann Arbor Art Center, the large numbers of students, visitors and the staff, the addition of the new space enables the Art Center to expand and meet the demand of its classes and programs, which have been steadily growing.



The Art Center is about delivering discovery and art education, but the security and well-being of its students is just as important. These two openings are of huge consequence to the successful growth, management and flow of the Center.

With the ability to provide an equal or better form of construction, we sincerely hope you will enable us to provide the Art Center with its best ability to function efficiently and safely.

It's also important to note, that should conditions ever change, both openings can easily be restored to their current construction.

Sincerely,

A handwritten signature in black ink, appearing to read "Damian Farrell". The signature is stylized with a large initial "D" and a horizontal line crossing through the middle of the name.

Damian Farrell, FAIA. LEED AP.  
Principal

## Williams, Debra

---

**From:** Tresna Taylor <ttaylor@damianfarrelldesigngroup.com>  
**Sent:** Thursday, June 10, 2021 12:17 PM  
**To:** Dempsey, Glen  
**Cc:** Marie Klopff; Matt Gudenau; Damian Farrell  
**Subject:** BBA application for Art Center (BLDG21-0720)  
**Attachments:** water-curtain-in-lieu-of-protected-exterior-openings-ib-p-bc2014-106.pdf

This message was sent from outside of the City of Ann Arbor. Please do not click links, open attachments, or follow directions unless you recognize the source of this email and know the content is safe.

Hello Glen,  
We have learned some additional information since our meeting on Monday.

Our consultant, Dan Rees of Ann Arbor Fire Suppression, says that a water curtain is essentially a line of sprinklers spaced 6' o.c. max. The partial suppression system in 117 has capacity to add a sprinkler head at the proposed openings on the first and second level.

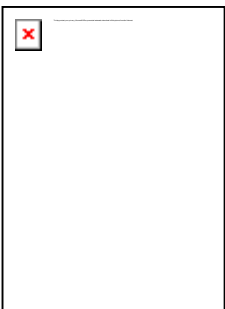
So in addition to the 3-hr-rated overhead shutter door and swing door we have already proposed, we will add (1) sprinkler head at each level on the 117-side of the openings. The first floor opening is 6' wide, so a single sprinkler head will suffice.

This is corroborated by an information bulletin from the Los Angeles Building Dept (2014) regarding water curtains in lieu of protected openings. I have attached that document below for reference.

I hope it is not too late for this information to go into your staff report.  
Please let me know if you have any questions.

Thanks,  
Tresna

Tresna Taylor  
Project Architect



**Damian Farrell Design Group**

**359 Metty Drive, Suite 4A**

**Ann Arbor, MI 48103**

**tel: 734.998.1331**

## WATER CURTAIN IN LIEU OF PROTECTED EXTERIOR OPENINGS

This Information Bulletin establishes minimum requirements to install a water curtain at exterior openings of a sprinklered building per Section 705.8.2 of the 2014 Los Angeles Building Code. A water curtain is defined as a line of closely spaced sprinklers (or a single sprinkler) in combination with draft stops that are intended to retard the passage of fire through an opening.

### Water Curtain Installation

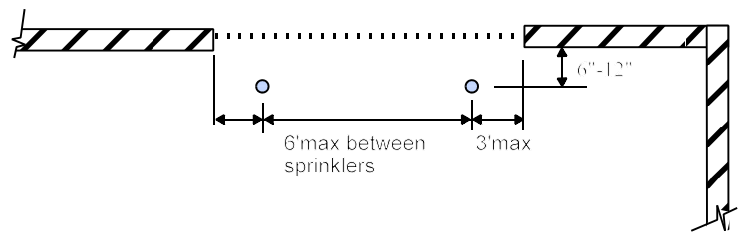
**Draft Stops:** The draft stop shall be located immediately adjacent to the opening, shall be at least eighteen (18) inches deep (measured from the sprinkler's deflector), and of noncombustible material or limited-combustible material that will stay in place before and during sprinkler operation. Glass is not an acceptable material for draft stops. Draft stop location, materials, and attachment to the structure shall be detailed on the approved plan in conjunction with the building permit.

*Exception:* A draft stop shall be permitted to be 16 inches in depth (measured from the sprinkler's deflector) only where structural conditions preclude the installation of 18" draft stops.

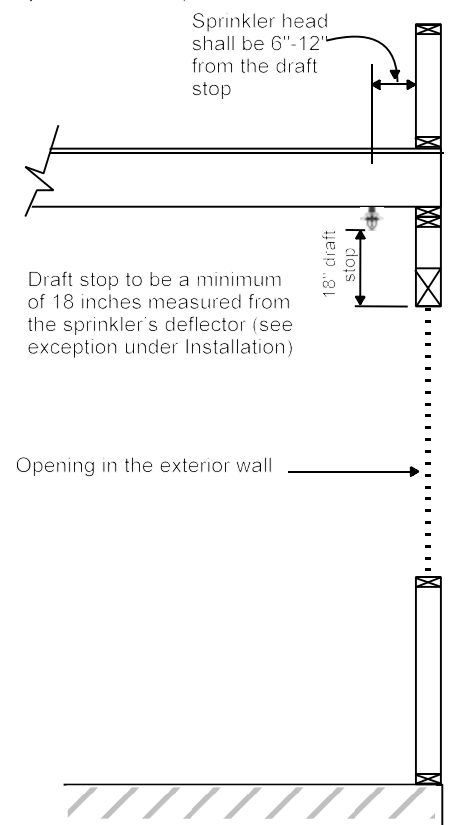
### Fire Sprinkler Installation

**Sprinkler Type:** Sprinklers used for water curtain shall be ordinary-temperature, standard or quick-response commercial-type sprinklers except, in light hazard areas (as defined by NFPA 13), commercial quick-response type sprinklers shall be used. Also, in residential occupancies, commercial quick-response or residential-type sprinklers may be used.

**Sprinkler Spacing:** Sprinklers shall be spaced no more than 6-feet apart along the opening and 6" to 12" inches from the draft stop on the sprinklered side of the building. The distance between the edge of the opening and the nearest sprinkler head shall be a maximum of 3' feet as per Section 8.15.4.3.1 NFPA 13. Where



**Water Curtain Protecting an Opening  
(Plan view)**



**Water Curtain Installation  
(Elevation View)**

sprinklers are placed closer than 6' cross baffles shall be provided in accordance with Section 8.15.4.3.2 NFPA 13.

### **Hydraulic Calculations:**

**Water Curtains:** Sprinklers in water curtains shall be hydraulically designed to provide three gpm per lineal foot of water curtain, with no sprinkler discharging less than 15 gpm. as required in Section 11.3.3.1 NFPA 13. The number of sprinklers calculated in the water curtain shall be the number in the length corresponding to the length parallel to the branch lines in the area determined by Section 23.4.4.1.1 NFPA-13.

If a single fire can be expected to operate sprinklers within the water curtain and within the design area of a hydraulically calculated system, the water supply to the water curtain shall be added to the water demand of the hydraulic calculations and shall be balanced to the calculated area demand. Hydraulic design calculations shall include a design area selected to include ceiling sprinklers adjacent to the water curtain Section 11.3.3.3 NFPA 13.

When the water curtain is located in an otherwise un-sprinklered area, the design shall include all the sprinklers located in each fire separation area being protected i.e. the portion bounded by fire area separation or occupancy separation walls.

**TABLE 705.8**  
**MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON**  
**FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION**

| FIRE SEPARATION DISTANCE (feet)          | DEGREE OF OPENING PROTECTION                  | ALLOWABLE AREA <sup>a</sup> |
|--|---|-----------------------------|
| 0 to less than 3 <sup>b, c, k</sup>      | Unprotected, Nonsprinklered (UP, NS)          | Not Permitted <sup>k</sup>  |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | Not Permitted <sup>k</sup>  |
|  | Protected (P)                                 | Not Permitted <sup>k</sup>  |
| 3 to less than 5 <sup>d, e</sup>         | Unprotected, Nonsprinklered (UP, NS)          | Not Permitted               |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | 15%                         |
|  | Protected (P)                                 | 15%                         |
| 5 to less than 10 <sup>e, f, j</sup>     | Unprotected, Nonsprinklered (UP, NS)          | 10% <sup>h</sup>            |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | 25%                         |
|  | Protected (P)                                 | 25%                         |
| 10 to less than 15 <sup>e, f, g, j</sup> | Unprotected, Nonsprinklered (UP, NS)          | 15% <sup>h</sup>            |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | 45%                         |
|  | Protected (P)                                 | 45%                         |
| 15 to less than 20 <sup>f, g, j</sup>    | Unprotected, Nonsprinklered (UP, NS)          | 25%                         |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | 75%                         |
|  | Protected (P)                                 | 75%                         |
| 20 to less than 25 <sup>f, g, j</sup>    | Unprotected, Nonsprinklered (UP, NS)          | 45%                         |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | No Limit                    |
|  | Protected (P)                                 | No Limit                    |
| 25 to less than 30 <sup>f, g, j</sup>    | Unprotected, Nonsprinklered (UP, NS)          | 70%                         |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | No Limit                    |
|  | Protected (P)                                 | No Limit                    |
| 30 or greater                            | Unprotected, Nonsprinklered (UP, NS)          | No Limit                    |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | No Limit                    |
|  | Protected (P)                                 | No Limit                    |

For SI: 1 foot = 304.8 mm.

UP, NS = Unprotected openings in buildings not equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.

UP, S = Unprotected openings in buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.

P = Openings protected with an opening protective assembly in accordance with Section 705.8.2.

a. Values indicated are the percentage of the area of the exterior wall, per story.

b. For the requirements for fire walls of buildings with differing heights, see Section 706.6.1.

c. For openings in a fire wall for buildings on the same lot, see Section 706.8.

d. The maximum percentage of unprotected and protected openings shall be 25 percent for Group R-3 occupancies.

e. Unprotected openings shall not be permitted for openings with a fire separation distance of less than 15 feet for Group H-2 and H-3 occupancies.

f. The area of unprotected and protected openings shall not be limited for Group R-3 occupancies, with a fire separation distance of 5 feet or greater.

g. The area of openings in an open parking structure with a fire separation distance of 10 feet or greater shall not be limited.

h. Includes buildings accessory to Group R-3.

i. Not applicable to Group H-1, H-2 and H-3 occupancies.

j. The area of openings in a building containing only a Group U occupancy private garage or carport with a fire separation distance of 5 feet (1523 mm) or greater shall not be limited.

k. For openings between S-2 parking garage and Group R-2 building, see Section 705.3, Exception 2.

**705.8.6 Vertical exposure.** For buildings on the same lot, opening protectives having a *fire protection rating* of not less than  $\frac{3}{4}$  hour shall be provided in every opening that is less than 15 feet (4572 mm) vertically above the roof of an adjacent building or structure based on assuming an imaginary line between them. The opening protectives are required where the *fire separation distance* between the imaginary line and the adjacent building or structure is less than 15 feet (4572 mm).

**Exceptions:**

1. Opening protectives are not required where the roof assembly of the adjacent building or struc-

ture has a *fire-resistance rating* of not less than 1 hour for a minimum distance of 10 feet (3048 mm) from the *exterior wall* facing the imaginary line and the entire length and span of the supporting elements for the fire-resistance-rated roof assembly has a *fire-resistance rating* of not less than 1 hour.

2. Buildings on the same lot and considered as portions of one building in accordance with Section 705.3 are not required to comply with Section 705.8.6.

## FIRE AND SMOKE PROTECTION FEATURES

Where a new building is to be erected on the same lot as an existing building, the location of the assumed imaginary line with relation to the existing building shall be such that the *exterior wall* and opening protection of the existing building meet the criteria as set forth in Sections 705.5 and 705.8.

**Exceptions:**

- Two or more buildings on the same lot shall be either regulated as separate buildings or shall be considered as portions of one building if the aggregate area of such buildings is within the limits specified in Chapter 5 for a single building. Where the buildings contain different occupancy groups or are of different types of construction, the area shall be that allowed for the most restrictive occupancy or construction.
- Where an S-2 parking garage of Construction Type 1 or IIA is erected on the same lot as a Group R-2 building, and there is no *fire separation distance* between these buildings, then the adjoining *exterior walls* between the buildings are permitted to have occupant use openings in accordance with Section 706.8. However, opening protectives in such openings shall only be required in the exterior wall of the S-2 parking garage, not in the exterior wall openings in the R-2 building, and these opening protectives in the exterior wall of the S-2 parking garage shall be not less than 1½-hour *fire protection rating*.

**705.4 Materials.** *Exterior walls* shall be of materials permitted by the building type of construction.

**705.5 Fire-resistance ratings.** *Exterior walls* shall be fire-resistance rated in accordance with Tables 601 and 602 and this section. The required *fire-resistance rating* of *exterior walls* with a *fire separation distance* of greater than 10 feet (3048 mm) shall be rated for exposure to fire from the inside. The required *fire-resistance rating* of *exterior walls* with a *fire separation distance* of less than or equal to 10 feet (3048 mm) shall be rated for exposure to fire from both sides.

**705.6 Structural stability.** *Exterior walls* shall extend to the height required by Section 705.11. Interior structural elements that brace the exterior wall but that are not located within the plane of the exterior wall shall have the minimum *fire-resistance rating* required in Table 601 for that structural element. Structural elements that brace the exterior wall but are located outside of the exterior wall or within the plane of the exterior wall shall have the minimum *fire-resistance rating* required in Tables 601 and 602 for the exterior wall.

**705.7 Unexposed surface temperature.** Where protected openings are not limited by Section 705.8, the limitation on the rise of temperature on the unexposed surface of *exterior walls* as required by ASTM E119 or UL 263 shall not apply. Where protected openings are limited by Section 705.8, the limitation on the rise of temperature on the unexposed surface of *exterior walls* as required by ASTM E119 or UL 263 shall not apply provided that a correction is made for radiation

from the unexposed *exterior wall* surface in accordance with the following formula:

$$A_e = A + (A_f \times F_{ew}) \quad \text{(Equation 7-1)}$$

where:

$A_e$  = Equivalent area of protected openings.

$A$  = Actual area of protected openings.

$A_f$  = Area of *exterior wall* surface in the *story* under consideration exclusive of openings, on which the temperature limitations of ASTM E119 or UL 263 for walls are exceeded.

$F_{ew}$  = An "equivalent opening factor" derived from Figure 705.7 based on the average temperature of the unexposed wall surface and the *fire-resistance rating* of the wall.

**705.8 Openings.** Openings in *exterior walls* shall comply with Sections 705.8.1 through 705.8.6.

**705.8.1 Allowable area of openings.** The maximum area of unprotected and protected openings permitted in an *exterior wall* in any *story* of a building shall not exceed the percentages specified in Table 705.8.

**Exceptions:**

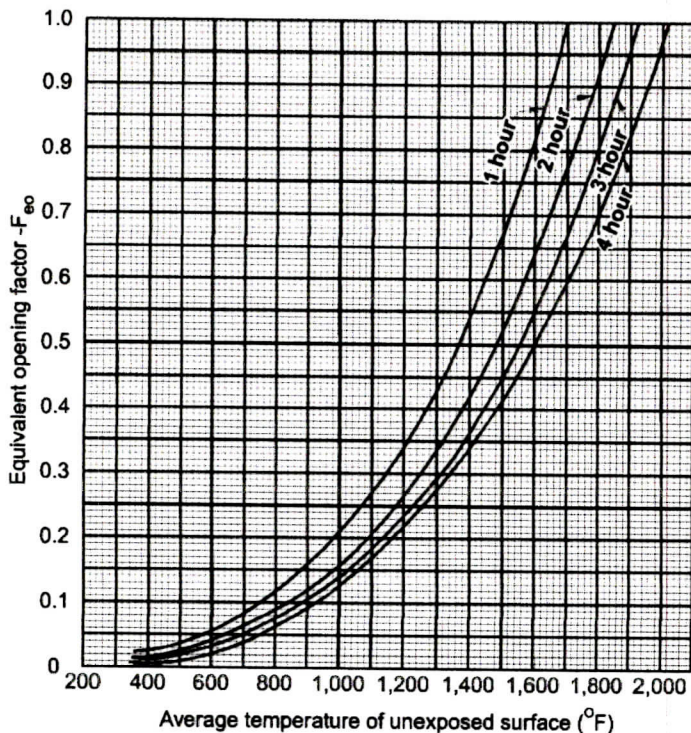
- In other than Group H occupancies, unlimited unprotected openings are permitted in the first *story* above grade plane either:
  - Where the wall faces a street and has a *fire separation distance* of more than 15 feet (4572 mm); or
  - Where the wall faces an unoccupied space. The unoccupied space shall be on the same lot or dedicated for public use, shall be not less than 30 feet (9144 mm) in width and shall have access from a street by a posted fire lane in accordance with the *International Fire Code*.
- Buildings whose exterior bearing walls, exterior nonbearing walls and exterior primary structural frame are not required to be fire-resistance rated shall be permitted to have unlimited unprotected openings.

**705.8.2 Protected openings.** Where openings are required to be protected, *fire doors* and fire shutters shall comply with Section 716.5 and *fire window assemblies* shall comply with Section 716.6.

**Exception:** Opening protectives are not required where the building is equipped throughout with an *automatic sprinkler system* in accordance with Section 903.3.1.1 and the exterior openings are protected by a water curtain using automatic sprinklers *approved* for that use.

**705.8.3 Unprotected openings.** Where unprotected openings are permitted, windows and doors shall be constructed of any *approved* materials. Glazing shall conform to the requirements of Chapters 24 and 26.

FIRE AND SMOKE PROTECTION FEATURES



For SI:  $^{\circ}\text{C} = [(\text{°F}) - 32] / 1.8$ .

FIGURE 705.7  
EQUIVALENT OPENING FACTOR

**705.8.4 Mixed openings.** Where both unprotected and protected openings are located in the exterior wall in any story of a building, the total area of openings shall be determined in accordance with the following:

$$(A_p/a_p) + (A_u/a_u) \leq 1 \quad \text{(Equation 7-2)}$$

where:

$A_p$  = Actual area of protected openings, or the equivalent area of protected openings,  $A_e$  (see Section 705.7).

$a_p$  = Allowable area of protected openings.

$A_u$  = Actual area of unprotected openings.

$a_u$  = Allowable area of unprotected openings.

**705.8.5 Vertical separation of openings.** Openings in exterior walls in adjacent stories shall be separated vertically to protect against fire spread on the exterior of the buildings where the openings are within 5 feet (1524 mm) of each other horizontally and the opening in the lower story is not a protected opening with a fire protection rating of not less than  $3/4$  hour. Such openings shall be sepa-

rated vertically not less than 3 feet (914 mm) by spandrel girders, exterior walls or other similar assemblies that have a fire-resistance rating of not less than 1 hour, rated for exposure to fire from both sides, or by flame barriers that extend horizontally not less than 30 inches (762 mm) beyond the exterior wall. Flame barriers shall have a fire-resistance rating of not less than 1 hour. The unexposed surface temperature limitations specified in ASTM E119 or UL 263 shall not apply to the flame barriers or vertical separation unless otherwise required by the provisions of this code.

**Exceptions:**

1. This section shall not apply to buildings that are three stories or less above grade plane.
2. This section shall not apply to buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2.
3. Open parking garages.

FIRE AND SMOKE PROTECTION FEATURES

**TABLE 705.8  
MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON  
FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION**

| FIRE SEPARATION DISTANCE (feet)          | DEGREE OF OPENING PROTECTION                  | ALLOWABLE AREA*            |
|--|---|----------------------------|
| 0 to less than 3 <sup>h, c, k</sup>      | Unprotected, Nonsprinklered (UP, NS)          | Not Permitted <sup>b</sup> |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | Not Permitted <sup>b</sup> |
|  | Protected (P)                                 | Not Permitted <sup>b</sup> |
| 3 to less than 5 <sup>d, e</sup>         | Unprotected, Nonsprinklered (UP, NS)          | Not Permitted              |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | 15%                        |
|  | Protected (P)                                 | 15%                        |
| 5 to less than 10 <sup>e, f, i</sup>     | Unprotected, Nonsprinklered (UP, NS)          | 10% <sup>h</sup>           |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | 25%                        |
|  | Protected (P)                                 | 25%                        |
| 10 to less than 15 <sup>e, f, g, j</sup> | Unprotected, Nonsprinklered (UP, NS)          | 15% <sup>h</sup>           |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | 45%                        |
|  | Protected (P)                                 | 45%                        |
| 15 to less than 20 <sup>f, g, j</sup>    | Unprotected, Nonsprinklered (UP, NS)          | 25%                        |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | 75%                        |
|  | Protected (P)                                 | 75%                        |
| 20 to less than 25 <sup>f, g, j</sup>    | Unprotected, Nonsprinklered (UP, NS)          | 45%                        |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | No Limit                   |
|  | Protected (P)                                 | No Limit                   |
| 25 to less than 30 <sup>f, g, j</sup>    | Unprotected, Nonsprinklered (UP, NS)          | 70%                        |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | No Limit                   |
|  | Protected (P)                                 | No Limit                   |
| 30 or greater                            | Unprotected, Nonsprinklered (UP, NS)          | No Limit                   |
|  | Unprotected, Sprinklered (UP, S) <sup>i</sup> | No Limit                   |
|  | Protected (P)                                 | No Limit                   |

For SI: 1 foot = 304.8 mm.

UP, NS = Unprotected openings in buildings not equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.

UP, S = Unprotected openings in buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1.

P = Openings protected with an opening protective assembly in accordance with Section 705.8.2.

a. Values indicated are the percentage of the area of the exterior wall, per story.

b. For the requirements for fire walls of buildings with differing heights, see Section 706.6.1.

c. For openings in a fire wall for buildings on the same lot, see Section 706.8.

d. The maximum percentage of unprotected and protected openings shall be 25 percent for Group R-3 occupancies.

e. Unprotected openings shall not be permitted for openings with a fire separation distance of less than 15 feet for Group H-2 and H-3 occupancies.

f. The area of unprotected and protected openings shall not be limited for Group R-3 occupancies, with a fire separation distance of 5 feet or greater.

g. The area of openings in an open parking structure with a fire separation distance of 10 feet or greater shall not be limited.

h. Includes buildings accessory to Group R-3.

i. Not applicable to Group H-1, H-2 and H-3 occupancies.

j. The area of openings in a building containing only a Group U occupancy private garage or carport with a fire separation distance of 5 feet (1523 mm) or greater shall not be limited.

k. For openings between S-2 parking garage and Group R-2 building, see Section 705.3, Exception 2.

**705.8.6 Vertical exposure.** For buildings on the same lot, opening protectives having a *fire protection rating* of not less than 3/4 hour shall be provided in every opening that is less than 15 feet (4572 mm) vertically above the roof of an adjacent building or structure based on assuming an imaginary line between them. The opening protectives are required where the *fire separation distance* between the imaginary line and the adjacent building or structure is less than 15 feet (4572 mm).

**Exceptions:**

1. Opening protectives are not required where the roof assembly of the adjacent building or struc-

ture has a *fire-resistance rating* of not less than 1 hour for a minimum distance of 10 feet (3048 mm) from the *exterior wall* facing the imaginary line and the entire length and span of the supporting elements for the fire-resistance-rated roof assembly has a *fire-resistance rating* of not less than 1 hour.

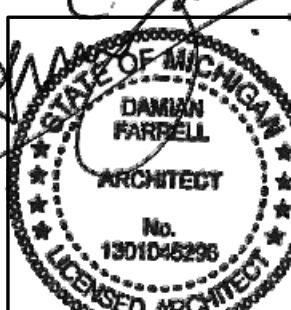
2. Buildings on the same lot and considered as portions of one building in accordance with Section 705.3 are not required to comply with Section 705.8.6.





DAMIAN FARRELL DESIGN GROUP

359 METTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
tel: 734.998.1331



Exp 10.31.22

BID/BLDG PERMIT

ANN ARBOR ART CENTER

117 and 115 W. LIBERTY ST.  
ANN ARBOR, MICHIGAN 48104

| DATE       | DESCRIPTION      |
|------------|------------------|
| 01/25/2021 | SCHEMATIC DESIGN |
| 04/06/2021 | BID/PERMIT       |

|             |              |
|-------------|--------------|
| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

COVER SHEET

To.o

SHEET INDEX

| SHEET NO. | PERMIT SET | SHEET NAME   |
|-----------|------------|--|
| T0.0      | ■          | COVER SHEET  |
| T1.0      | ■          | GENERAL NOTES & ABBREVIATIONS                      |
| T2.0      | ■          | ADA DETAILS  |
| T2.1      | ■          | ADA TOILET STANDARDS                               |
| T3.0      | ■          | CODE REVIEW  |
| T3.1      | ■          | EXIT PLAN  |
| T3.2      | ■          | EXIT PLAN  |
| T4.0      | ■          | SCHEDULES - DOORS AND INT. STOREFRONT              |
| T4.1      | ■          | SCHEDULES - PARTITIONS AND INT. FINISHES           |
| D1.0      | ■          | DEMO PLANS - LEVEL 0 AND 1                         |
| D1.2      | ■          | DEMO PLANS - LEVEL 2 AND 3                         |
| D2.0      | ■          | ELECTRICAL DEMO RCP - LEVELS 1, 2, 3               |
| A1.0      | ■          | FLOOR PLAN LEVEL 0                                 |
| A1.1      | ■          | FLOOR PLAN LEVEL 1                                 |
| A1.2      | ■          | FLOOR PLAN LEVEL 2                                 |
| A1.3      | ■          | FLOOR PLAN LEVEL 3                                 |
| A1.4      | ■          | ROOF PLAN WITH FRAMING NOTES                       |
| A3.0      | ■          | BUILDING LONGITUDINAL SECTION                      |
| A3.1      | ■          | BUILDING CROSS SECTIONS                            |
| A3.3      | ■          | DETAILS AT NEW MASONRY OPGS                        |
| A4.1n     | ■          | 117 LEVEL 1n - ENLARGED PLAN                       |
| A4.1s     | ■          | 117 LEVEL 1s - ENLARGED PLAN                       |
| A4.2n     | ■          | 117 LEVEL 2n - ENLARGED PLAN                       |
| A4.2s     | ■          | 117 LEVEL 2s - ENLARGED PLAN                       |
| A4.3      | ■          | 115 OFFICES - ENLARGED PLAN                        |
| A6.1      | ■          | INT. ELEVATIONS RETAIL 100 AND CERAMIC 101         |
| A6.2      | ■          | INTERIOR ELEVATIONS CERAMIC 110                    |
| A6.3      | ■          | INTERIOR ELEVATIONS GALLERY 150                    |
| A6.4      | ■          | INTERIOR ELEVATIONS LEVEL 2                        |
| A6.5      | ■          | INTERIOR ELEVATIONS LEVEL 2                        |
| A6.6      | ■          | INT. ELEVATIONS 117 TOILETS                        |
| A6.7      | ■          | INT ELEVATIONS 117 TOILETS AND HALLWAYS            |
| A6.8      | ■          | INT. ELEVATIONS 115 TOILETS                        |
| A7.1      | ■          | FINISH FLOOR PLAN - LEVEL 1                        |
| A7.2      | ■          | FINISH FLOOR PLAN - LEVEL 2                        |
| A8.0      | ■          | RCP LEVEL 0  |
| A8.1      | ■          | RCP LEVEL 1  |
| A8.2      | ■          | RCP LEVEL 2  |
| A8.3      | ■          | RCP LEVEL 3  |
| M-1.1     | ■          | HVAC - LEVEL 1                                     |
| M-1.2     | ■          | HVAC - LEVEL 2                                     |
| M-1.3     | ■          | HVAC - LEVEL 3                                     |
| P-1       | ■          | BASEMENT PLUMBING PLAN                             |
| P-2       | ■          | FIRST FLOOR PLUMBING PLAN                          |
| P-3       | ■          | SECOND FLOOR PLUMBING PLAN                         |
| P-4       | ■          | THIRD FLOOR PLUMBING PLAN                          |
| P-5       | ■          | SCHEDULES AND DETAILS                              |
| E1.1      | ■          | EXISTING RISER DIAGRAM & PANEL SCHEDULE            |
| E2.1      | ■          | BASEMENT & FIRST FLOOR PLANS - LIGHTING            |
| E2.2      | ■          | SECOND & THIRD FLOOR PLANS - LIGHTING              |
| E3.1      | ■          | FIRST & SECOND FLOOR PLANS - POWER & COMMUNICATION |
| E3.2      | ■          | SECOND & THIRD FLOOR PLANS - POWER & COMMUNICATION |
| E4.1      | ■          | FIRST & SECOND FLOOR - MECH. ELECTRICAL            |
| E4.2      | ■          | SECOND & THIRD FLOOR - MECH. ELECTRICAL            |

Application for Building Construction Code Appeal.

DETAILS OF THE 2 PROPOSED OPENINGS CAN BE FOUND ON THE FOLLOWING SHEETS:

T 4.0 SCHEDULES

A 1.1 FLOOR PLAN. LEVEL 1

A 1.2 FLOOR PLAN. LEVEL 2

A 3.1 BUILDING CROSS SECTIONS

A 3.3 DETAILS @ MASONRY OPENINGS

A 4.1n 117 LEVEL 2n. ENLARGED PLAN

A 4.2n 117 LEVEL 2n. ENLARGED PLAN

A 6.3 INTERIOR ELEVATIONS. GALLERY

PROJECT NUMBER 200312\_21\_01

DATE 04.06.2021

ANN ARBOR ART CENTER

117 and 115 W. LIBERTY ST.  
ANN ARBOR, MICHIGAN 48104

PROJECT DIRECTORY

**BUILDING OWNER:**  
ANN ARBOR ART CENTER  
117 W LIBERTY ST.  
ANN ARBOR, MI 48104  
P: 734.994.8004  
CONTACT: MARIE KLOPF  
E: mklopf@annarborartcenter.org

**CONTRACTOR:**  
O'NEAL CONSTRUCTION  
525 W WILLIAM ST  
ANN ARBOR, MI 48103  
P: 734.769.0770  
E: wgordon@onealconstruction.com

**ARCHITECT:**  
DAMIAN FARRELL DESIGN GROUP PLLC  
359 METTY DRIVE, SUITE 4a  
ANN ARBOR, MI 48103  
P: 734.998.1331  
CONTACT: DAMIAN FARRELL  
E: dfarrell@dfdgonline.com

**STRUCTURAL ENGINEER:**  
LDA CONSULTANTS LLC  
3450 VINTAGE VALLEY ROAD  
ANN ARBOR, MI 48105  
P: 734.276.3045  
CONTACT: DAVID ARNSDORF  
E: darnsdorf@gmail.com

GENERAL PROJECT INFORMATION

**SCOPE OF WORK**  
TENANT IMPROVEMENTS CONSISTING OF INTERIOR OFFICE SPACE, EXHIBIT GALLERY, ART CLASSROOMS, AND RESTROOMS. NEW ACCESS BETWEEN 117 AND 115 AT THE FIRST AND SECOND FLOORS VIA FIRE-RATED CONNECTIONS.

**BUILDING ADDRESS:** 117 W LIBERTY ST. 115 W LIBERTY ST. UNIT 1  
ANN ARBOR, MI 48104 ANN ARBOR, MI 48104

**PROPERTY ID:** 09-09-29-144-007 09-09-29-144-033

**CONSTRUCTION:** TYPE III-B TYPE III-B

**SPRINKLER SYSTEM:** EXISTING IN BASEMENT AND 3RD FLOOR NONE

**NO. OF STORIES:** 3 + BASEMENT 3 + BASEMENT (UNIT 1= BSMT, 1ST LEVEL AND PARTIAL 2ND LEVEL)

**USABLE FLOOR AREA (GROSS):** 12,211 SF 4,598 SF

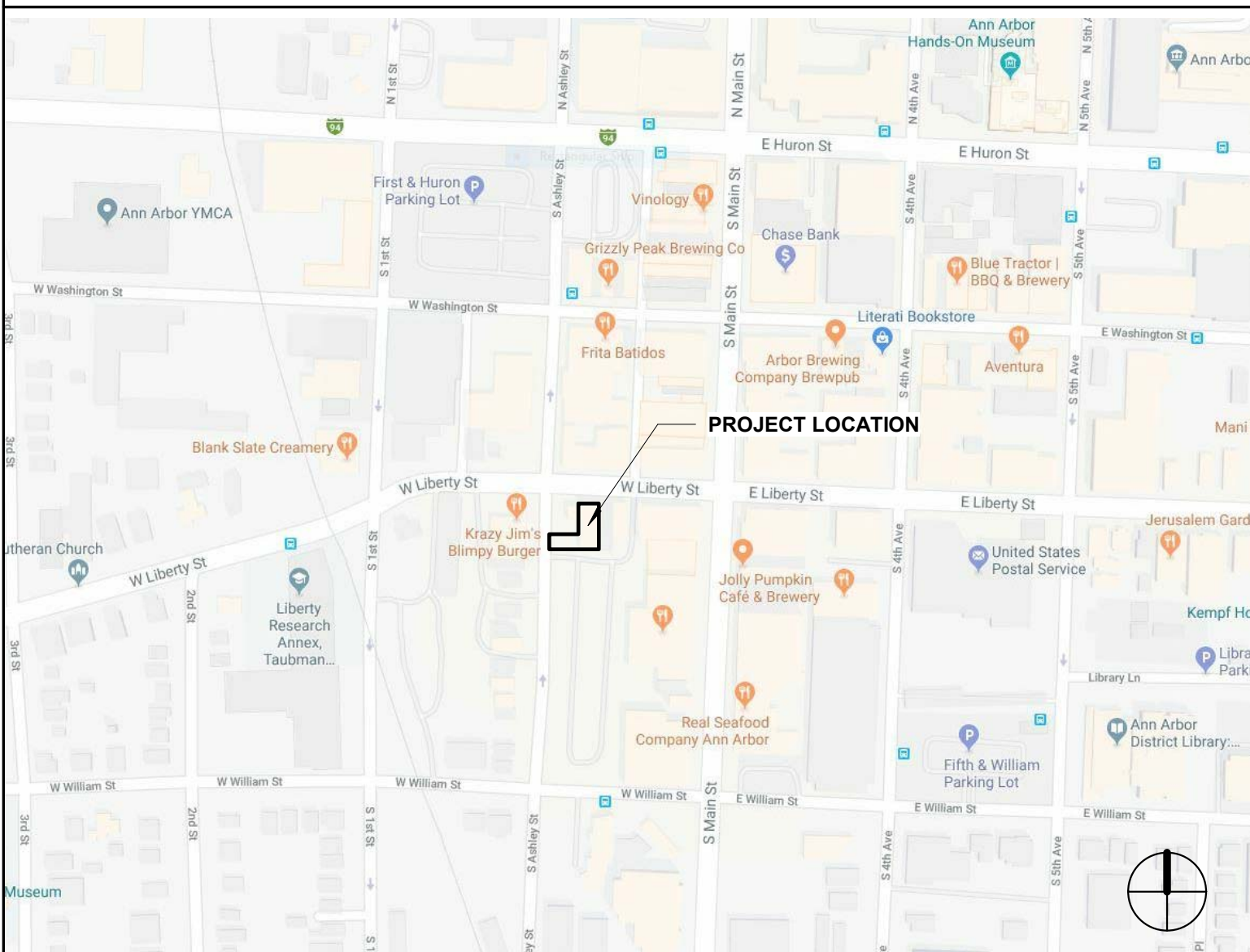
PROJECT DATA

**CODE INFORMATION**  
THE PROPOSED CONSTRUCTION IS IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL ORDINANCES.  
THE CONSTRUCTION SHOWN ON THIS DOCUMENT DOES NOT INFRINGE ON THE EXISTING LIFE SAFETY FOR THIS BUILDING. PERFORM ALL WORK IN ACCORDANCE WITH BUILDING CODES, LAWS AND ORDINANCES HAVING JURISDICTION ON THE PROJECT. ORDINANCES HAVING JURISDICTION ON THE PROJECT INCLUDE BUT ARE NOT LIMITED TO:  
2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS  
2015 MICHIGAN BUILDING CODE  
2015 MICHIGAN MECHANICAL CODE  
2015 MICHIGAN PLUMBING CODE  
MICHIGAN ELECTRICAL CODE BASED ON THE 2017 NATIONAL ELECTRICAL CODE WITH PART 8 STATE AMENDMENTS  
ICC / ANSI A117.1 – 2009 & MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED  
2015 INTERNATIONAL ENERGY CODE  
2015 INTERNATIONAL FIRE CODE

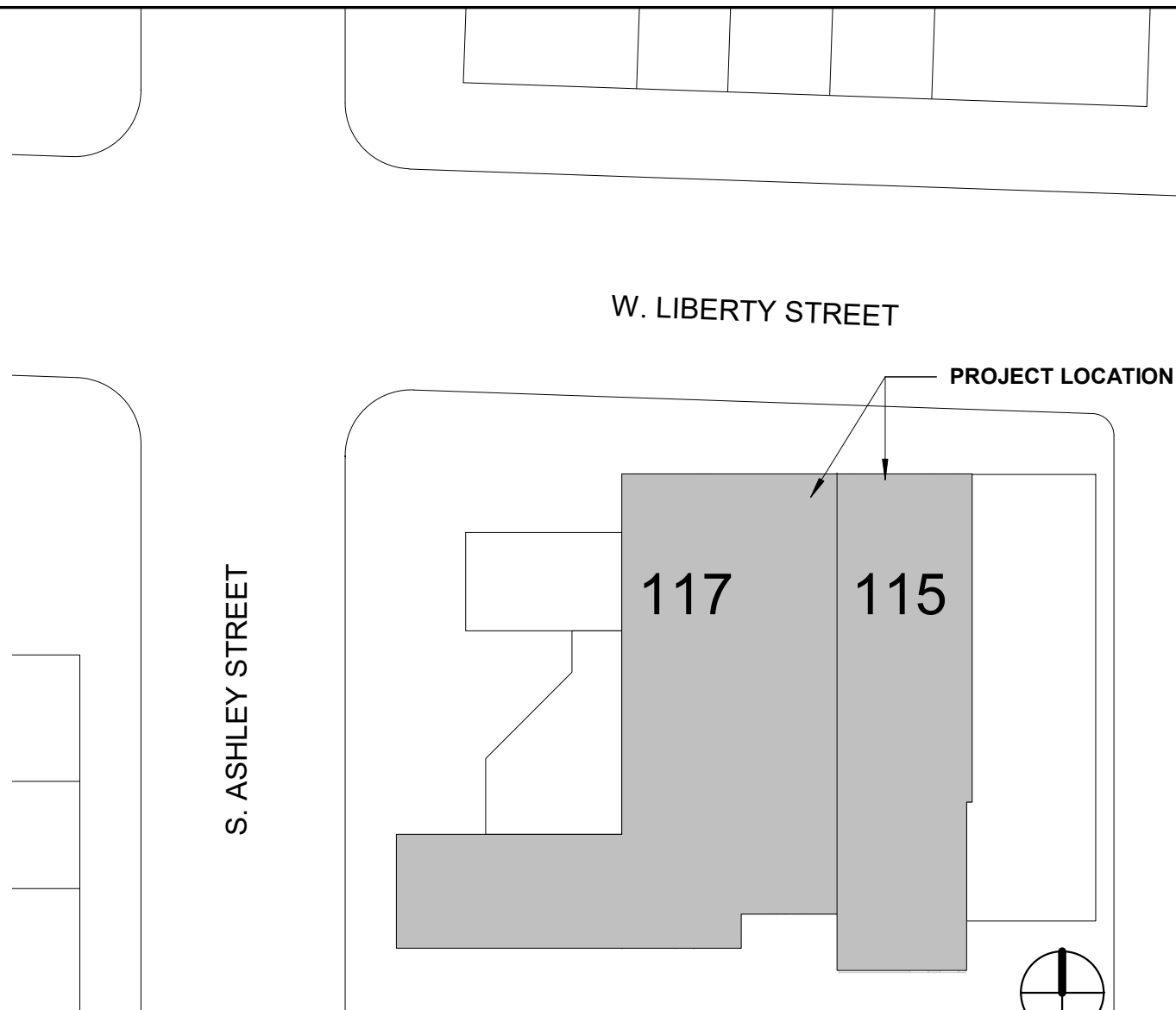
**DEFERRED SUBMITTAL**  
FIRE ALARM

**CODE SUMMARY**  
ALTERATION LEVEL 2 (REHABILITATION CODE)  
THIS PROJECT WILL CONNECT THE TWO BUILDINGS THROUGH OPENINGS AT THE FIRST LEVEL AND SECOND LEVEL.  
115 AND 117 BUILDINGS ARE SEPARATED BY FIRE WALLS. CONNECTIONS THROUGH THE WALLS ARE TO BE 3 HOUR RATED FOR SMOKE AND FIRE.  
CURRENT USE GROUP: GROUP B  
PROPOSED USE GROUP: GROUP B  
CONTINUOUS ACCESS TO ALL BARRIER FREE RESTROOMS WILL BE PROVIDED BETWEEN 117 BUILDING AND 115 BUILDING.

VICINITY MAP



LOCATION MAP

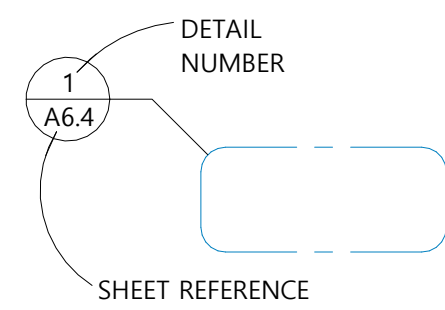


ABBREVIATIONS

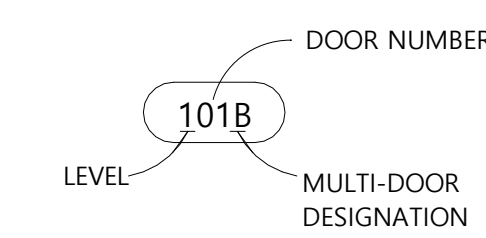
|        |                                  |          |                                       |         |                               |
|--------|----------------------------------|----------|---------------------------------------|---------|-------------------------------|
| #      | POUND/NUMBER                     | F.A.     | FIRE ALARM                            | P/L     | PROPERTY LINE                 |
| &      | AND                              | F.D.     | FLOOR DRAIN                           | PERF.   | PERFORATED                    |
| (D)    | DEMO                             | F.E.     | FIRE EXTINGUISHER                     | PL      | PLATE                         |
| (E)    | EXISTING                         | F.O.     | FACE OF                               | PLAM    | PLASTIC LAMINATE              |
| (F)    | FUTURE                           | F.O.C.   | FACE OF CONCRETE/CURB                 | PLYWD   | PLYWOOD                       |
| (N)    | NEW                              | F.O.F.   | FACE OF FINISH                        | PNT     | PAINT                         |
| <      | ANGLE                            | F.O.M.   | FACE OF MASONRY                       | PR      | PAIR                          |
| @      | AT                               | F.O.S.   | FACE OF STUDS                         | PT.     | POINT                         |
| ø/DIA. | DIAMETER/ROUND                   | F.R.     | FIRE RATED                            | PTL. BD | PARTICLE BOARD                |
| A.B.   | ANCHOR BOLT                      | F.R.P.   | FIBER-REINFORCED PLASTIC              | PTN     | PARTITION                     |
| A.C.   | AIR CONDITIONING                 | F.R.T.   | FIRE RETARDANT TREATED                | PVC     | POLYVINYL CHLORIDE            |
| A.D.   | AREA DRAIN                       | F.S.     | FIRE SPRINKLER                        | PVMT    | PAVEMENT                      |
| ACT    | ACOUSTICAL CEILING TILE          | FDC      | FIRE DEPARTMENT CONNECTION            | Q.T.    | QUARRY TILE                   |
| ADDM   | ADDENDUM                         | FDN      | FOUNDATION                            | R       | RISER/RADIUS                  |
| ADJ    | ADJUSTABLE                       | FEC      | FIRE EXTINGUISHER CABINET             | R.D.    | ROOF DRAIN                    |
| AFF    | ABOVE FINISHED FLOOR             | FF       | FINISH FLOOR                          | R.O.    | ROUGH OPENING                 |
| AGGR   | AGGREGATE                        | FFE      | FINISH FLOOR ELEVATION                | R.O.W.  | RIGHT OF WAY                  |
| AHU    | AIR HANDLING UNIT                | FH       | FIRE HYDRANT                          | RB      | RUBBER OR RESILIENT BASE      |
| ALT    | ALTERNATE                        | FHVC     | FIRE HOSE VALVE CABINET               | RE:     | REFERENCE                     |
| ALUM   | ALUMINUM                         | FIN.     | FINISH                                | REF.    | REFRIGERATOR                  |
| ANOD   | ANODIZED                         | FLR      | FLOORING                              | REINF   | REINFORCED                    |
| APPROX | APPROXIMATE                      | FLUOR    | FLUORESCENT                           | REQD    | REQUIRED                      |
| ARCH   | ARCHITECTURAL                    | FRMG     | FRAMING                               | RESIL   | RESILIENT                     |
| AUTO   | AUTOMATIC                        | FT       | FOOT/FEET                             | REV     | REVISED                       |
| B.O.   | BOTTOM OF                        | FTG      | FOOTING                               | RH      | ROOF HATCH                    |
| BD     | BOARD                            | FURR     | FURRING                               | RM      | ROOM                          |
| BDF    | BUILDING DISTRIBUTION FACILITY   | G.F.R.G. | GLASS FIBER REINFORCED GYPSUM         | RTU     | ROOF TOP UNIT                 |
| BFP    | BACK FLOW PREVENTER              | G.I.     | GALVANIZED IRON                       | S.      | SOUTH                         |
| BIT    | BITUMINOUS                       | GA       | GAUGE                                 | S.C.    | SOLID CORE                    |
| BLDG   | BUILDING                         | GALV     | GALVANIZED                            | S.F.    | STOREFRONT                    |
| BLK    | BLOCK                            | GB       | GRAB BAR                              | S.V.    | SHEET VINYL                   |
| BLKG   | BLOCKING                         | GC       | GENERAL CONTRACTOR                    | SCHED   | SCHEDULE                      |
| BM     | BEAM                             | GFI      | GROUND FAULT INTERRUPTED              | SD      | STORM DRAIN OR SMOKE DETECTOR |
| BOT    | BOTTOM                           | GYP. BD. | GYPSUM BOARD                          | SECT.   | SECTION                       |
| BRG    | BEARING                          | H.M.     | HOLLOW METAL                          | SGT     | STRUCTURAL GLAZED TILE        |
| BTWN   | BETWEEN                          | HB       | HOSE BIBB                             | SH      | SHELF                         |
| BW     | BACK OF WALK                     | HC       | HANDICAP ACCESSIBLE                   | SHT     | SHEET                         |
| C.B.   | CATCH BASIN                      | HDR      | HEADER                                | SHTHG   | SHEATHING                     |
| C.G.   | CORNER GUARD                     | HDWRE    | HARDWARE                              | SHWR    | SHOWER                        |
| C.I.   | CAST IRON                        | HGT      | HEIGHT                                | SIM.    | SIMILAR                       |
| C.J.   | CONTROL JOINT                    | HORIZ    | HORIZONTAL                            | SKY     | SKYLIGHT                      |
| C.L.   | CENTERLINE                       | HR       | HOUR                                  | SMH     | SEWER MANHOLE                 |
| C.O.   | CLEAN OUT                        | HRV      | HEAT RECOVERY UNIT                    | SPEC    | SPECIFICATION                 |
| CAB    | CABINET                          | HSS.     | HOLLOW STEEL SECTION                  | SQ.     | SQUARE                        |
| CEM    | CEMENT                           | HVAC     | HEATING/VENTILATING/ AIR CONDITIONING | SS      | SOLID SURFACE                 |
| CFL    | COUNTERFLASHING                  | I.D.     | INSIDE DIAMETER/DIMENSION             | SST     | STAINLESS STEEL               |
| CID    | CLEAR INSIDE DIMENSION           | INCD     | INCLUDED                              | STD     | STANDARD                      |
| CLG    | CEILING                          | INSUL    | INSULATION                            | STL     | STEEL                         |
| CLKG   | CAULKING                         | INT      | INTERIOR                              | STOR.   | STORAGE                       |
| CLO    | CLOSET                           | JAN      | JANITOR                               | STRUC   | STRUCTURAL                    |
| CLR    | CLEAR                            | JT       | JOINT                                 | SUSP.   | SUSPENDED                     |
| CMU    | CONCRETE MASONRY UNIT            | KIT      | KITCHEN                               | SYM.    | SYMMETRICAL                   |
| CNTR   | COUNTER                          | LAB      | LABORATORY                            | T&B     | TOP AND BOTTOM                |
| COL    | COLUMN                           | LAV      | LAVATORY                              | T&G     | TONGUE AND GROOVE             |
| CONC   | CONCRETE                         | LKR      | LOCKER                                | T.      | TREAD                         |
| CONN   | CONNECTION                       | LT       | LIGHT                                 | T.O.    | TOP OF                        |
| CONSTR | CONSTRUCTION                     | LTR      | LOCKER                                | T.O.C.  | TOP OF CONCRETE               |
| CONT   | CONTINUOUS                       | LTV      | LOUVER                                | T.O.M.  | TOP OF MASONRY                |
| COORD  | COORDINATE                       | MDF      | MEDIUM DENSITY FIBERBOARD             | T.O.S.  | TOP OF STEEL                  |
| CORR   | CORRIDOR                         | M.E.C.H. | MECHANICAL                            | T.S.    | TUBE STEEL                    |
| CPT    | CARPET                           | MEMB     | MEMBRANE                              | T.V.    | TELEVISION                    |
| CSK    | COUNTERSINK/COUNTERSUNK          | MFR      | MANUFACTURER                          | TEL     | TELEPHONE                     |
| CSMT   | CASEMENT                         | MH       | MANHOLE                               | TER     | TERAZZO                       |
| CT     | CERAMIC OR PORCELIN TILE         | MIN.     | MINIMUM                               | TRANS   | TRANSITION                    |
| CU FT  | CUBIC FOOT/FEET                  | MIRR     | MIRROR                                | TYP.    | TYPICAL                       |
| D.F.   | DRINKING FOUNTAIN                | MISC.    | MISCELLANEOUS                         | U.N.O.  | UNLESS NOTED OTHERWISE        |
| D.I.   | DRAIN INLET                      | MTD      | MOUNTED                               | UNFIN.  | UNFINISHED                    |
| D.O.   | DOOR OPENING                     | MTL      | METAL                                 | UR      | URINAL                        |
| DBL    | DOUBLE                           | MULL     | MULLION                               | VCT.    | VINYL COMPOSITION TILE        |
| DEG    | DEGREE                           | N.       | NORTH                                 | VERT    | VERTICAL                      |
| DEPT   | DEPARTMENT                       | N.I.C.   | NOT IN CONTRACT                       | VEST    | VESTIBULE                     |
| DIA    | DIAMETER                         | N.R.     | NOT RATED                             | VIF     | VERIFY IN FIELD               |
| DIAG   | DIAGONAL                         | N.T.S.   | NOT TO SCALE                          | WVC     | VINYL WALL COVERING           |
| DIM    | DIMENSION                        | NO.      | NUMBER                                | W.      | WEST                          |
| DISP   | DISPENSER                        | NOM      | NOMINAL                               | W.C.    | WATER CLOSET                  |
| DIV    | DIVISION                         | O.C.     | ON CENTER                             | W/      | WITH                          |
| DN     | DOWN                             | O.D.     | OVERFLOW DRAIN                        | W/O     | WITHOUT                       |
| DR     | DOOR                             | O.H.     | OVERHEAD                              | WD      | WOOD                          |
| DS     | DOWNSPOUT                        | OF/CI    | OWNER FURNISH/ CONTRACTOR INSTALL     | WDW     | WINDOW                        |
| DTL    | DETAIL                           | OF/OI    | OWNER FURNISH/ OWNER INSTALL          | WF      | WIDE FLANGE                   |
| DWG    | DRAWING                          | OFF.     | OFFICE                                | WH      | WATER HEATER                  |
| DWR    | DRAWER                           | OPNG     | OPENING                               | WP      | WATERPROOF                    |
| E      | EXISTING NOTED IN EQUIPMENT TAG  | OPP      | OPPOSITE                              | WRB     | WEATHER-RESISTIVE BARRIER     |
| E.     | EAST                             | P.       | PRECAST                               | WT.     | WEIGHT                        |
| E.J.   | EXPANSION JOINT                  | P.C.C.   | POINT OF CONNECTION                   | WTR     | WATER                         |
| E.W.   | EACH WAY                         | P.T.     | PRESSURE TREATED                      | WWF     | WELDED WIRE FABRIC            |
| EA.    | EACH                             |          |                                       | XFMR    | TRANSFORMER                   |
| ELEC   | ELECTRICAL                       |          |                                       |         |                               |
| ELEV.  | ELEVATION                        |          |                                       |         |                               |
| EMER   | EMERGENCY                        |          |                                       |         |                               |
| ENCL   | ENCLOSURE                        |          |                                       |         |                               |
| EPDM   | ETHYLENE PROPYLENE DIENE MONOMER |          |                                       |         |                               |
| EQ     | EQUAL                            |          |                                       |         |                               |
| EQUIP  | EQUIPMENT                        |          |                                       |         |                               |
| EXP    | EXPANSION                        |          |                                       |         |                               |
| EXT    | EXTERIOR                         |          |                                       |         |                               |

SYMBOLS LEGEND

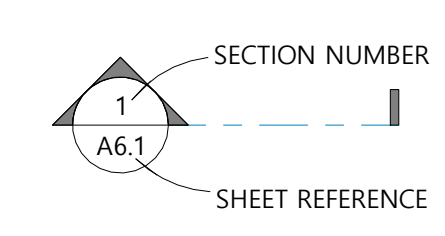
ENLARGED PLAN/DETAIL



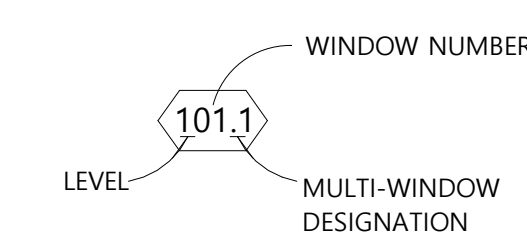
DOOR TAG



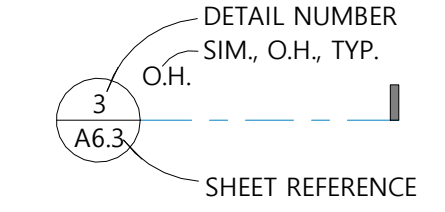
BUILDING SECTION CUT



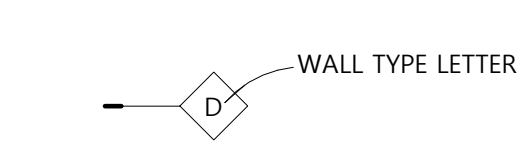
WINDOW TAG



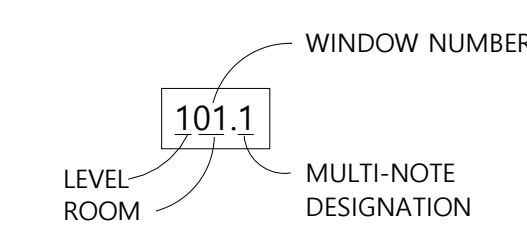
DETAIL/WALL SECTION CUT SYMBOL



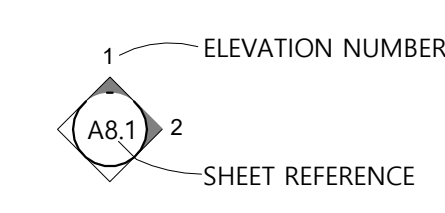
WALL TAG



KEYNOTE



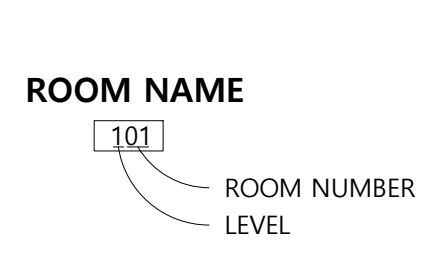
INTERIOR ELEV. SYMBOL



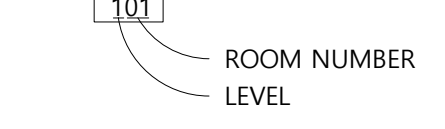
REVISIONS TAG



ROOM NAME/NUMBER



ROOM NAME



GENERAL NOTES

- DRAWINGS OF EXISTING CONDITIONS HAVE BEEN COMPILED FROM EXISTING DATA SUPPLIED BY THE OWNER TO THE ARCHITECT. THE ARCHITECT MAKES NO WARRANTY EITHER EXPRESSED OR IMPLIED, FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING INFORMATION RECEIVED.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL NEW AND EXISTING CONDITIONS AND DIMENSIONS AT JOB SITE FOR COMPARISON WITH DRAWINGS AND SPECIFICATIONS PRIOR TO BIDDING AND START OF CONSTRUCTION. IF ANY DISCREPANCIES, INCONSISTENCIES, OR OMISSIONS ARE FOUND THE ARCHITECT SHALL BE NOTIFIED, IN WRITING, FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.
- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL RELY ON ON WRITTEN DIMENSIONS AS GIVEN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR AND COORDINATED WITH ALL THE WORK OF ALL TRADES.
- ABBREVIATIONS THROUGHOUT THE DRAWINGS ARE THOSE IN COMMON USE. NOTIFY THE ARCHITECT OF ANY ABBREVIATIONS IN QUESTION.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE VARIOUS TRADE ITEMS WITHIN THE SPACE ABOVE ALL CEILINGS (INCLUDING, BUT NOT LIMITED TO: STRUCTURAL MEMBERS, MECHANICAL DUCTS, INSULATION, CONDUITS, RACEWAYS, SPRINKLER SYSTEM, LIGHT FIXTURES, CEILING SYSTEM, AND ANY SPECIAL STRUCTURAL SUPPORTS REQUIRED) AND SHALL BE RESPONSIBLE FOR MAINTAINING THE FINISH CEILING HEIGHT ABOVE THE FINISHED FLOOR INDICATED IN THE DRAWINGS AND THE FINISH SCHEDULE. (CEILING HEIGHT DIMENSIONS ARE TO THE FINISH SURFACE OF THE CEILING).
- ACCESS PANELS SHALL BE PROVIDED AND INSTALLED WHEREVER REQUIRED BY BUILDING CODE OR FOR THE PROPER OPERATION OR MAINTENANCE OF MECHANICAL OR ELECTRICAL EQUIPMENT, WHETHER OR NOT INDICATED ON THE DRAWINGS. CONTRACTOR SHALL COORDINATE SIZE, LOCATION, AND TYPE OF ACCESS PANEL WITH OTHER CONTRACTORS WORK AND RECEIVE APPROVAL OF THE ARCHITECT. ACCESS PANEL SHALL BE LOCATED, FRAMED, OR INSTALLED WITHOUT EXPRESSED APPROVAL OF THE ARCHITECT.
- DIMENSIONS SHOWN ON THE FLOOR PLANS, SECTIONS, ELEVATIONS, AND DETAILS ARE TO FACE OF STUD, MASONRY, CONCRETE OR GRINDLINES, UNLESS OTHERWISE NOTED.
- IN THE CASE OF A CONFLICT BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, SPECIFICATIONS SHALL TAKE PRECEDENCE. CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER OF ANY CONFLICT BEFORE PROCESSING WITH THE WORK.
- ALL DUCT PENETRATION THROUGH PARTITIONS AND CEILINGS SHALL BE PROVIDED WITH NECESSARY FRAMES AND BRACING AROUND THE OPENING AND SHALL BE PROVIDED WITH AUTOMATIC FIRE DAMPERS AND REQUIRED BY THE BUILDING DEPARTMENT FOR FIRE-RATED PENETRATIONS.
- THE SPECIFICATIONS AND ALL CONSULTANT DRAWINGS ARE SUPPLEMENTAL TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF ANY OF THE CONSULTANT'S WORK AND TO BRING ANY DISCREPANCIES OR CONFLICT TO THE ARCHITECT'S ATTENTION IN WRITING, FOR CLARIFICATION. IMPROPERLY INSTALLED WORK SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT HIS EXPENSE AND AT NOT EXPENSE TO THE ARCHITECT, HIS CONSULTANTS, OR THE OWNER.
- CONTRACTOR SHALL PROVIDE AND INSTALL ACCESS PANELS WHERE SHOWN ON THE REFLECTED CEILING PLANS AND AS REQUIRED BY THE BUILDING DEPARTMENT OR NORMAL GOOD PRACTICE TO PROVIDE ACCESS TO ALL TERMINAL BOXES, VOLUME DAMPERS, AND VALVES, ETC. (ALSO SEE NOTE 5)
- THE ARCHITECT SHALL BE CONSULTED IN ALL CASES WHERE CUTTING INTO AN EXISTING STRUCTURAL PORTION OF ANY BUILDING IS EITHER EXPEDIENT OR NECESSARY, PRIOR TO PROCEEDING WITH WORK, REINFORCEMENT AND/OR SUPPORT SATISFACTORY TO ARCHITECT AND STRUCTURAL ENGINEER SHALL BE PROVIDED BY CONTRACTOR PRIOR TO CUTTING INTO STRUCTURAL PORTIONS OF ANY BUILDING.
- ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT AND SHALL BE ACCESSIBLE BY THE HANDICAPPED.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED THE FOLLOWING: INTERIOR DOORS: 5 LBS - EXTERIOR DOORS: 8.5 LBS - FIRE DOORS: 15 LBS
- LEGAL EXITS SHALL NOT BE BLOCKED AT ANY TIME.
- ALL EXIT LIGHTING AND SIGNS TO HAVE MINIMUM 6-INCH-HIGH LETTERS IN ACCORDANCE WITH SECTION 19, CHAPTER 33 OF THE CODE.
- EMERGENCY LIGHTING SHALL BE PROVIDED GIVING A VALUE ONE FOOTCANDLE AT FLOOR LEVEL. EXIT SIGNS SHALL BE ILLUMINATED BY TWO SEPARATE SOURCES OF POWER PER LOCAL FIRE DEPARTMENT. (ONE SOURCE ON EMERGENCY POWER, SEE ELEC. DWGS.)
- TEMPORARY PEDESTRIAN PROTECTION SHALL BE PROVIDED AS REQUIRED BY CITY CODE.
- FINAL CLEAN UP AND DISPOSAL: REMOVE DEBRIS, RUBBISH AND WASTE MATERIAL FROM THE OWNER'S PROPERTY TO A LAWFUL DISPOSAL AREA AND PAY ALL HAULING AND DUMPING COSTS. CONFORM TO PERTAINING FEDERAL STATE AND LOCAL LAWS, REGULATIONS AND ORDERS UPON COMPLETION OF WORK. ALL CONSTRUCTION AREAS SHALL BE LEFT VACUUM-CLEAN AND FREE FROM DEBRIS, CLEAN ALL DUST, DIRT, STAINS, HAND MARKS, PAINT SPOTS, DROPPINGS, AND OTHER BLEMISHES.
- PRIOR TO INSPECTION OF THE EXISTING FACILITY, THE CONTRACTOR MUST RECEIVE PERMISSION FOR SITE ACCESS FROM THE OWNER OR THE DESIGNATED REPRESENTATIVE.
- WHEN IT IS NECESSARY TO INTERRUPT ANY EXISTING UTILITY SERVICE TO MAKE CORRECTIONS AND/OR CONNECTION, A MINIMUM OF 48 HOURS ADVANCE NOTICE SHALL BE GIVEN THE OWNER. INTERRUPTIONS IN UTILITY SERVICES SHALL BE OF THE SHORTEST POSSIBLE DURATION FOR THE WORK AT AND HAND AND SHALL BE APPROVED IN ADVANCE BY THE OWNER.
- IN THE EVENT THE UTILITY SERVICE IS INTERRUPTED WITHOUT THE REQUIRED 48 HOURS NOTICE, THEN THE CONTRACTOR SHALL BE FINANCIALLY LIABLE FOR ALL DAMAGES SUFFERED BY THE OWNER DUE TO THE UNAUTHORIZED INTERRUPTION. RECONNECTION SHALL BE MADE IMMEDIATELY.
- IF THE CONTRACTOR ASCERTAINS AT ANY TIME THAT REQUIREMENTS OF THIS CONTRACT CONFLICT WITH, OR ARE IN VIOLATION OF, APPLICABLE LAWS, CODES, REGULATIONS AND ORDINANCES, HE SHALL NOT PROCEED WITH WORK IN QUESTION, EXCEPT AT HIS OWN RISK, UNTIL ARCHITECT HAS BEEN NOTIFIED IN WRITING AND WRITTEN DETERMINATION IS MADE BY THE ARCHITECT, WHERE COMPLETED OR PARTIALLY COMPLETED WORK IS DISCOVERED TO BE IN VIOLATION WITH APPLICABLE LAWS, CODES, AND REGULATIONS AND ORDINANCES, CONTRACTOR SHALL BE REQUIRED TO REMOVE THAT WORK FROM THE PROJECT AND REPLACE SUCH WORK WITH ALL NEW COMPLYING WORK AT NOT ADDITIONAL COST TO THE OWNER OR ARCHITECT.
- ANY WORK INSTALLED IN CONFLICT WITH THE CONTRACT DOCUMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NOT ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT, OR CONSULTANTS.
- FINISH FLOOR ELEVATIONS ARE AS ESTABLISHED BY DATUM LINE, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING FLOOR-TO-FLOOR ELEVATIONS, THE NEW BUILDING EXPANSIONS GROUND FLOOR SHALL ALIGN IN ELEVATION WITH RESPECTIVE FLOORS IN EXISTING BUILDING.
- THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, EQUIPMENT, TRANSPORTATION AND SERVICES NECESSARY FOR THE SATISFACTORY COMPLETION OF WORK UNLESS DESIGNATED (N.I.C) OR (O.F./C.I.). ALL EQUIPMENT, WORK AND MATERIALS SHALL COMPLY WITH CURRENT AND LOCAL APPLICABLE CODES AND GOVERNING REGULATIONS, AND THE CONTRA
- THE CONTRACTOR SHALL PROTECT ALL FINISH WORK AND SURFACES FROM DAMAGE DURING THE COURSE OF CONSTRUCTION AND SHALL REPLACE AND/OR REPAIR ALL DAMAGED SURFACES CAUSED BY CONTRACTOR OR SUBCONTRACTOR PERSONNEL TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PERMITS AND INSPECTIONS.
- SIZE OF MECHANICAL AND ELECTRICAL EQUIPMENT PADS AND BASES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY DIMENSIONS WITH RESPECTIVE EQUIPMENT MANUFACTURER.
- SPECIAL NOTICE TO CONTRACTORS: ALL CONTRACTORS PERFORMING WORK ON THE PREMISES SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING A REASONABLE AND PRUDENT SAFETY PROGRAM INCLUDING BUT NOT LIMITED TO THE ISOLATION OF OWNER AREAS AND THE PROMPT REMOVAL OF ANY DEBRIS OR TOOLS WHICH MIGHT ENDANGER VISITORS AND STAFF OF THE OWNER OR ARCHITECT.
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL CASEWORK, TOILET ACCESSORIES AND OF ALL FLOOR-MOUNTED OR SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES BELOW GARDE AND RELATED SERVICE CONNECTIONS WITH THE RESPECTIVE UTILITY COMPANIES.
- THE CONTRACTOR SHALL COORDINATE THE REMOVAL, ABANDONMENT, AND/OR RELOCATION OF THE EXISTING UTILITIES ABOVE OR BELOW GRADE WITH THE RESPECTIVE UTILITY COMPANIES.
- THE CONTRACTOR SHALL PERFORM ALL WORK WITHIN PUBLIC RIGHT-OF-WAY ACCORDING TO THE LOCAL JURISDICTION STANDARD PLANS AND SPECIFICATIONS. CONTRACTOR SHALL OBTAIN PERMIT FROM APPROPRIATE AGENCIES.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY BRACES, SHORES AND GUYS REQUIRED TO SUPPORT ALL LOADS TO WHICH THE BUILDING STRUCTURES, UTILITIES AND RIGHT-OF-WAY MAY BE SUBJECTED DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE SANITARY FACILITIES FOR WORKERS' USE. EXISTING FACILITIES SHALL NOT BE USED.
- THE CONTRACTOR SHALL OBTAIN OSHA PERMITS FOR ANY VERTICAL EXCAVATIONS OVER 5'-0" DEEP INTO WHICH PERSONS MUST DESCEND. THE CONTRACTOR SHALL COORDINATE WITH REPRESENTATIVES OF WATER, ELECTRICAL, GAS, TELEPHONE AND TELEVISIONS COMPANIES TO VERIFY AVAILABLE FACILITIES AND, IF APPLICABLE, TO ESTABLISH TEMPORARY FACILITIES.
- CONTRACTOR SHALL VERIFY ALL COLUMN COORDINATES AND CHECK THEM AGAINST DIMENSIONS SHOWN ON PLANS AND DETAILS. CONSTRUCTION MANAGER SHOULD BE NOTIFIED OF ANY DISCREPANCIES DURING STAKING.
- CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS AND FEES REQUIRED, NOT NORMALLY COVERED BY THE BUILDING PERMITS.
- SUBSTITUTIONS: - REFERENCE TO MAKERS, BRAND, MODELS, ETC., IS TO ESTABLISH THE TYPE QUALITY DESIRED; SUBSTITUTION OF ACCEPTABLE EQUIVALENTS WILL BE PERMITTED IF APPROVED BY THE ARCHITECT AND OWNER PRIOR TO BID (UNLESS NOTED OTHERWISE). - THE ARCHITECT, ACTING AS THE OWNER'S DESIGNATED AGENT FOR THE DESIGN FOR THE PROJECT, WILL EXERCISE SOLE AUTHORITY FOR DETERMINING CONFORMANCE OF MATERIALS, EQUIPMENT AND SYSTEMS WITH THE INTENT OF THE DESIGN.
- ONLY NEW MATERIALS AND EQUIPMENT OF RECENT MANUFACTURE OF QUALITY SPECIFIED, FREE FROM DEFECTS, WILL BE PERMITTED ON THE WORK.
- SHOP DRAWINGS: - SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL EQUIPMENT AND MATERIALS WHICH MUST INTERFACE AND COORDINATE WITH OTHERS, WHETHER DETAILED OR NOT.
- TEMPORARY FACILITIES: - THE CONTRACTOR SHALL PROVIDE A STAGING AND MATERIAL STORAGE AREA ADJACENT TO THE AREA OF CONSTRUCTION. LOCATION SHALL BE COORDINATED WITH THE OWNER. - THE CONTRACTOR SHALL MAKE NECESSARY CONNECTIONS TO THE EXISTING UTILITIES FOR TEMPORARY POWER AND WATER SUPPLIES, AND SHALL COORDINATE SUCH USE WITH THE OWNER PRIOR TO CONNECTION. - THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADES TO SEPARATE CONSTRUCTION AREAS FOR PUBLIC SAFETY AROUND ENTIRE PERIMETER OF CONSTRUCTION AREA.
- THE CONTRACTOR SHALL PROVIDE A BLANKET ONE (1) YEAR GUARANTEE FOR THE CONTRACT PROJECT WITH SEPARATE GUARANTEES AS SPECIFIED FOR TRADES/EQUIPMENT ITEMS WITH NAMES OF LOCAL REPRESENTATIVES TO BE CONTACTED FOR SERVICE. PROVIDE OPERATING MAINTENANCE BROCHURES, AND GUARANTEES AS REQUIRED.
- THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF AS-BUILT DRAWINGS INDICATING ALL DISCREPANCIES, CHANGES, ETC., AND ACTUAL LOCATIONS OF CONCEALED WORK TO THE ARCHITECT AT THE COMPLETION OF WORK PRIOR TO FINAL PAYMENTS. CHANGED MUST BE DRAFTED. NO FREEHAND REVISIONS WILL BE ACCEPTED.
- THE EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1" BELOW THE THRESHOLD 3304(h).
- A PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS IS REQUIRED FOR A PROTECTION FENCE OR CANOPY ON OR OVER ANY STREET OR PUBLIC SPACE
- APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET.



DAMIAN  
FARRELL  
DESIGN  
GROUP

359 METTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
tel: 734.998.1331

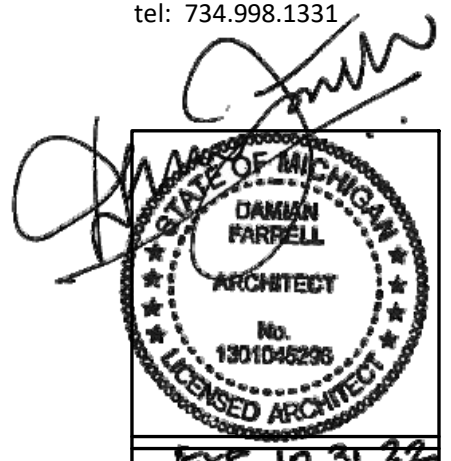
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| 04/06/2021  | BID/PERMIT   |
| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

GENERAL NOTES &  
ABBREVIATIONS

T1.0



Ex 10-31-22

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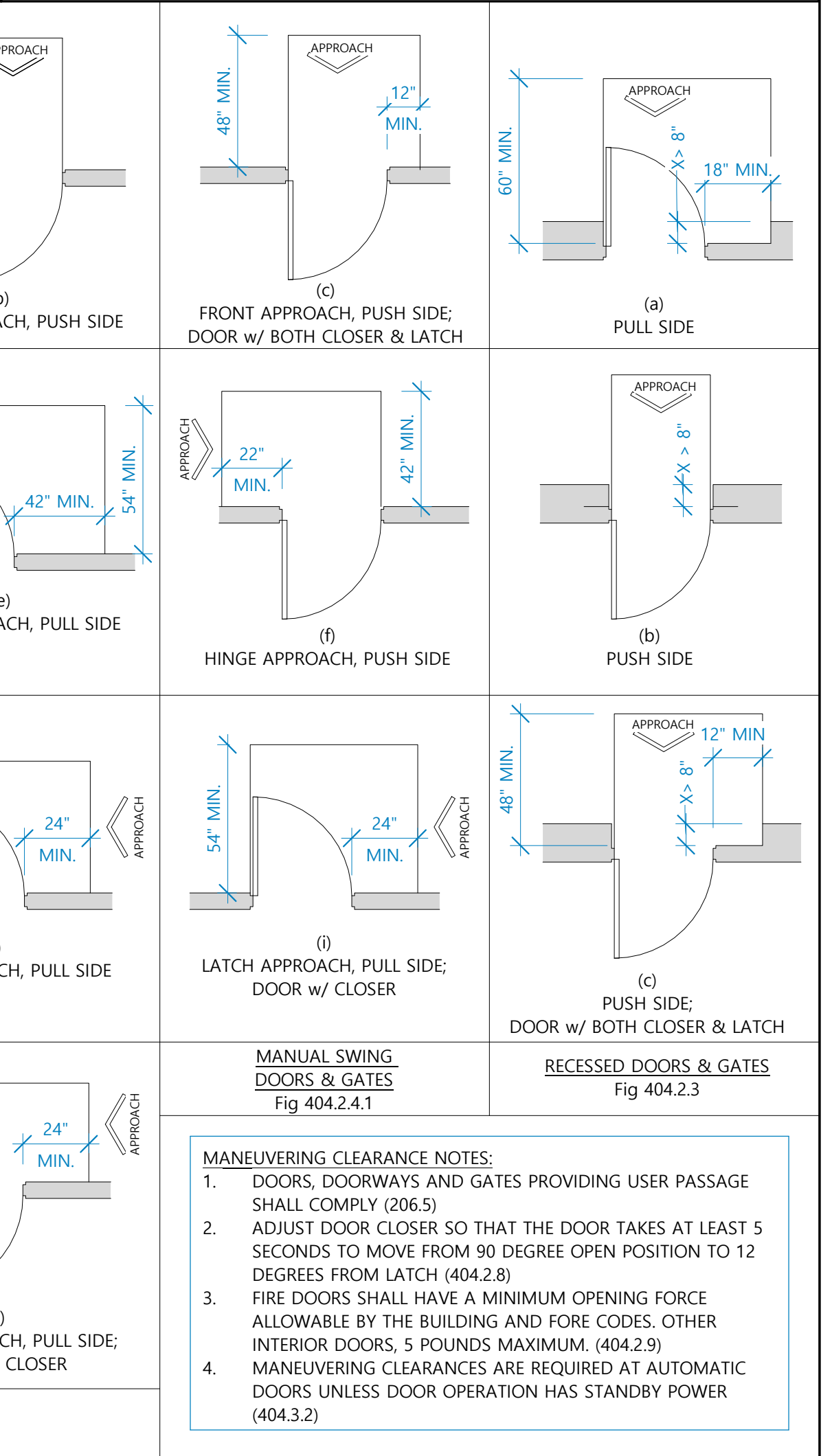
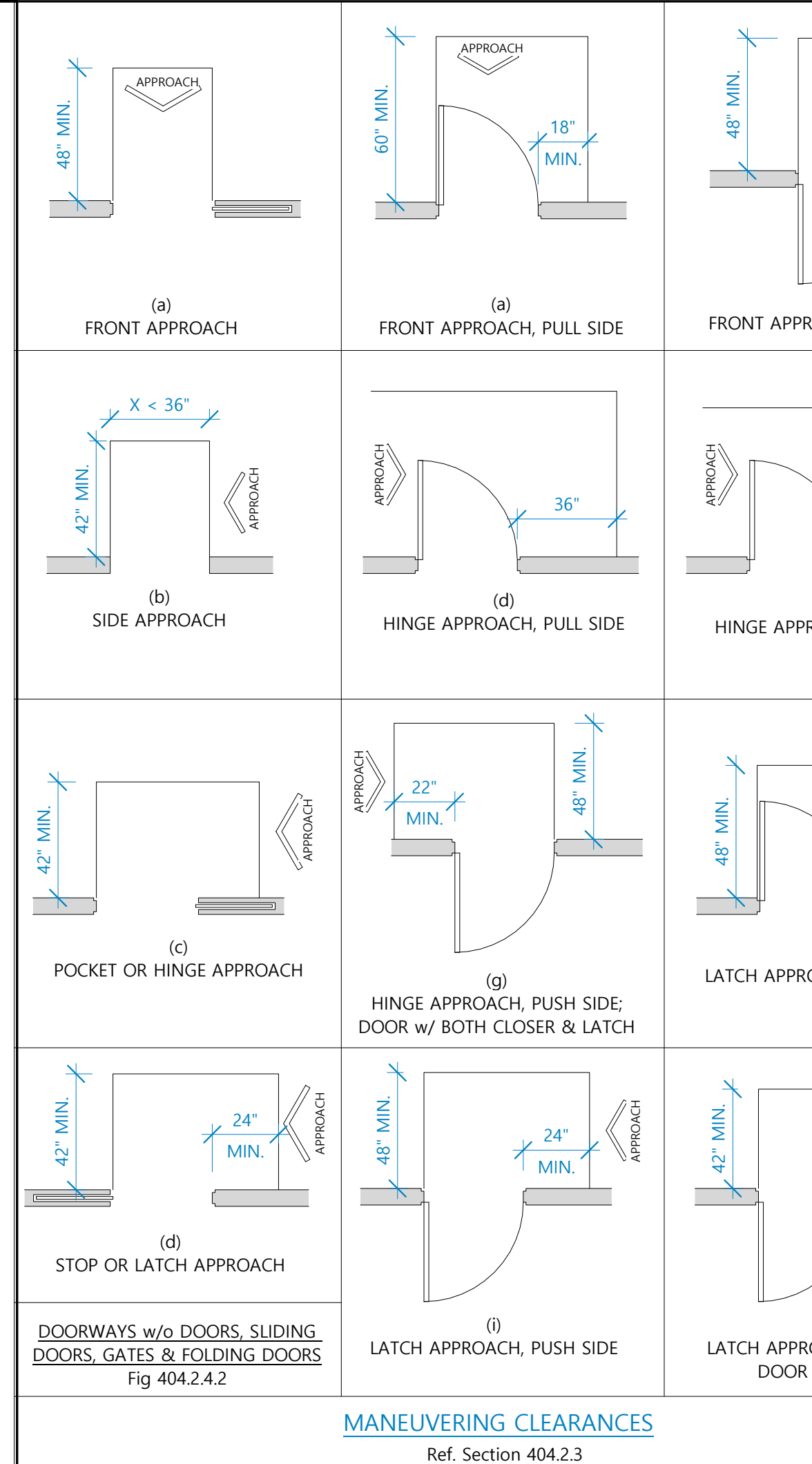
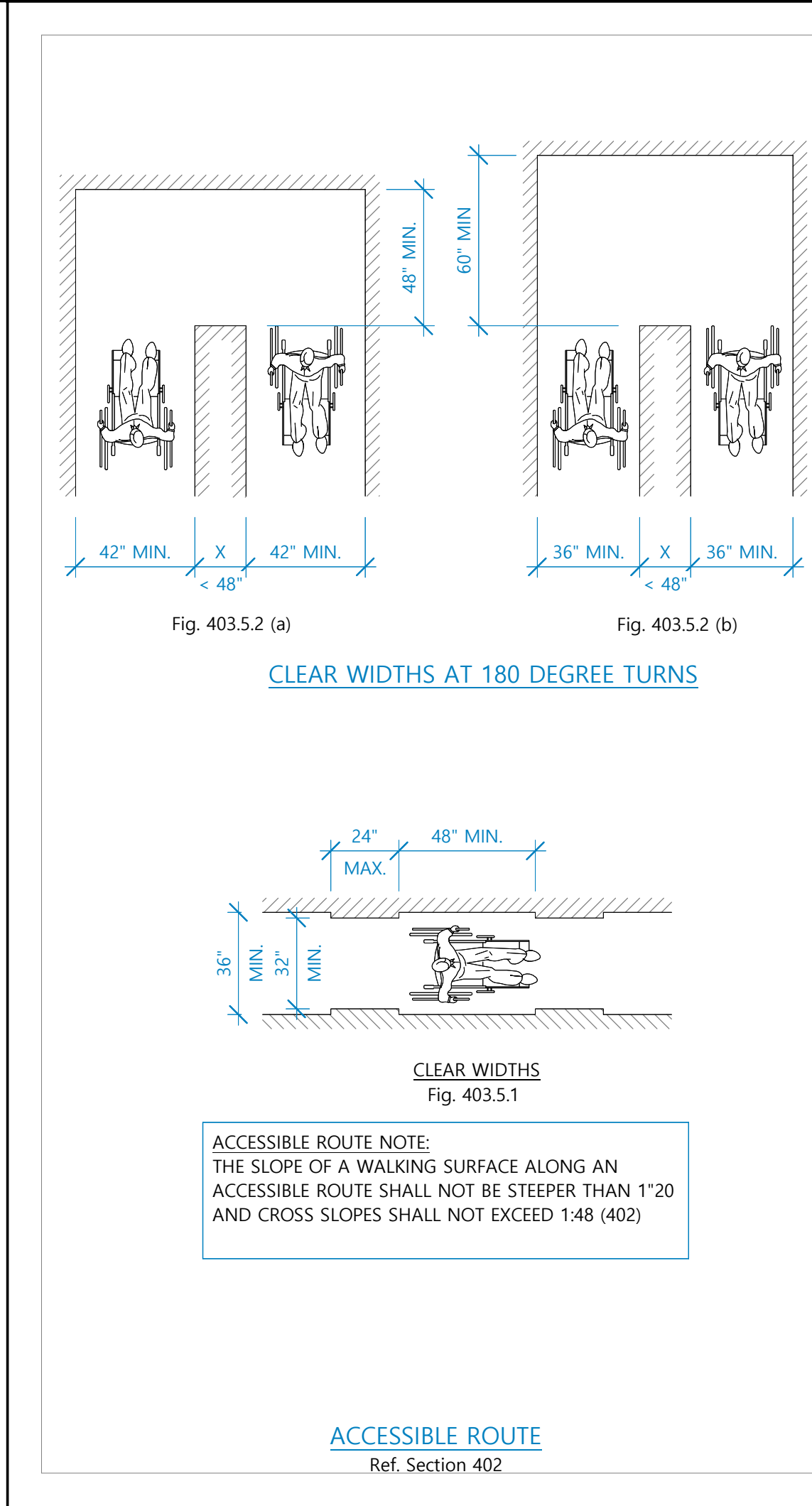
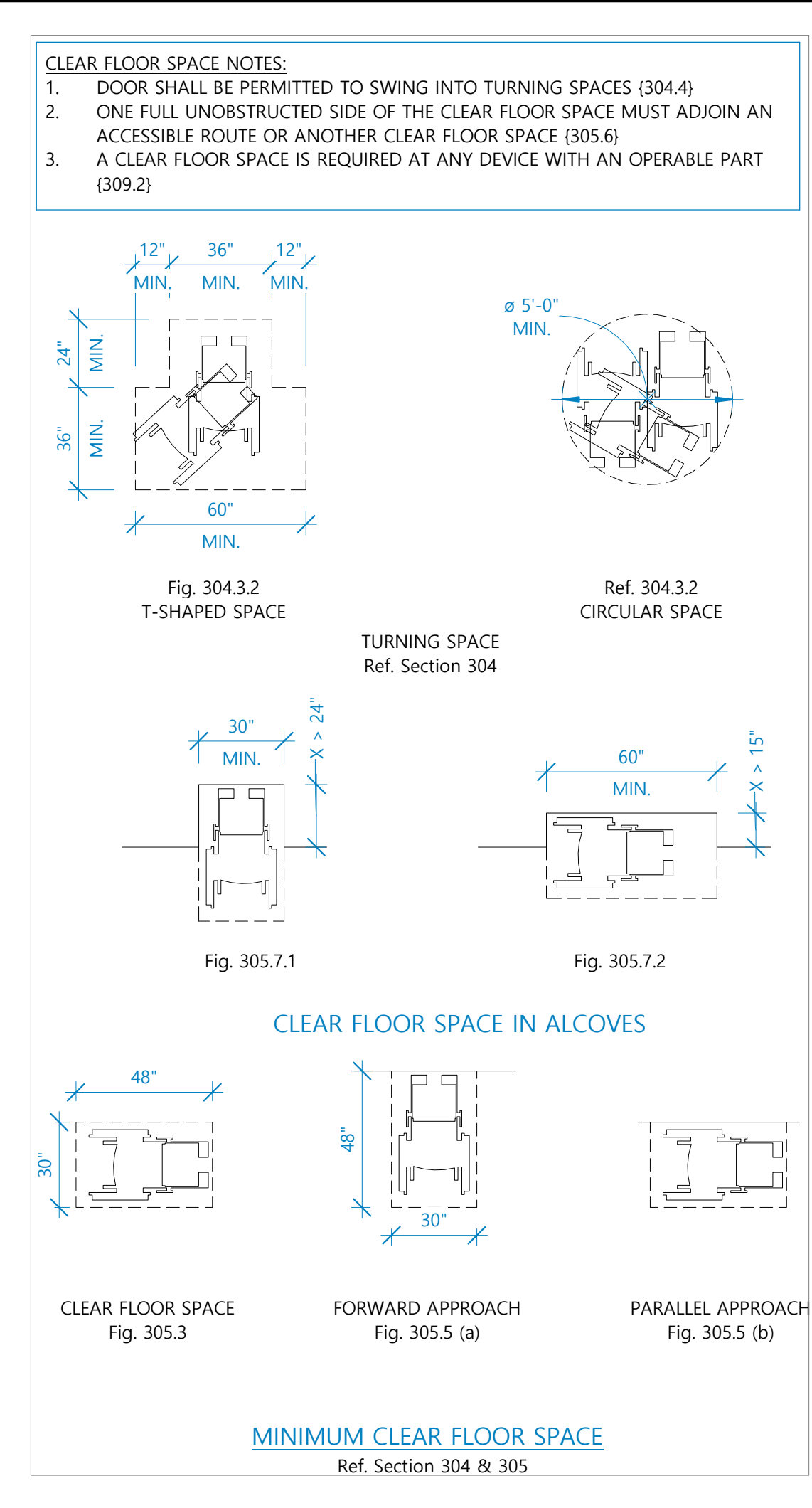
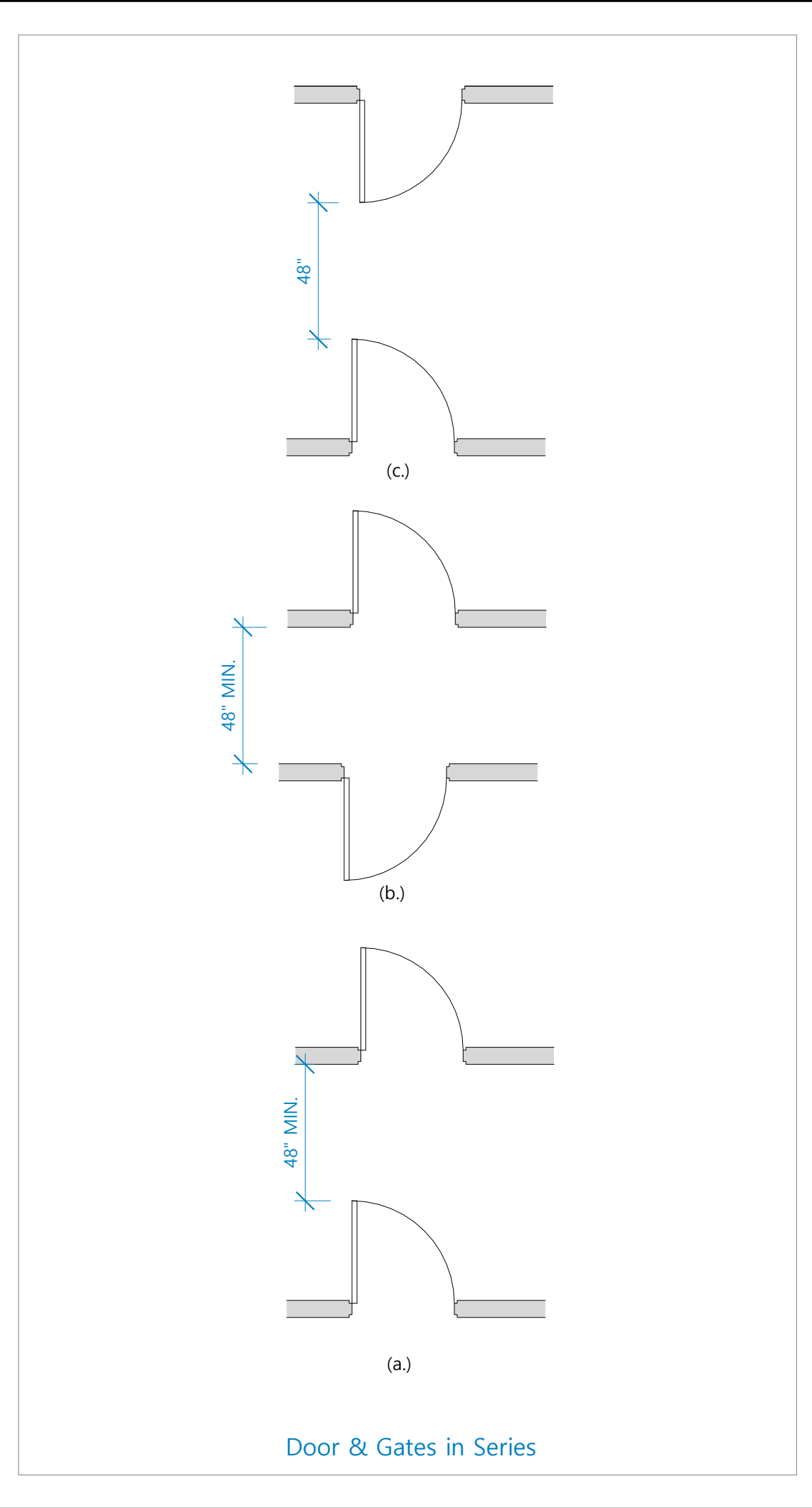
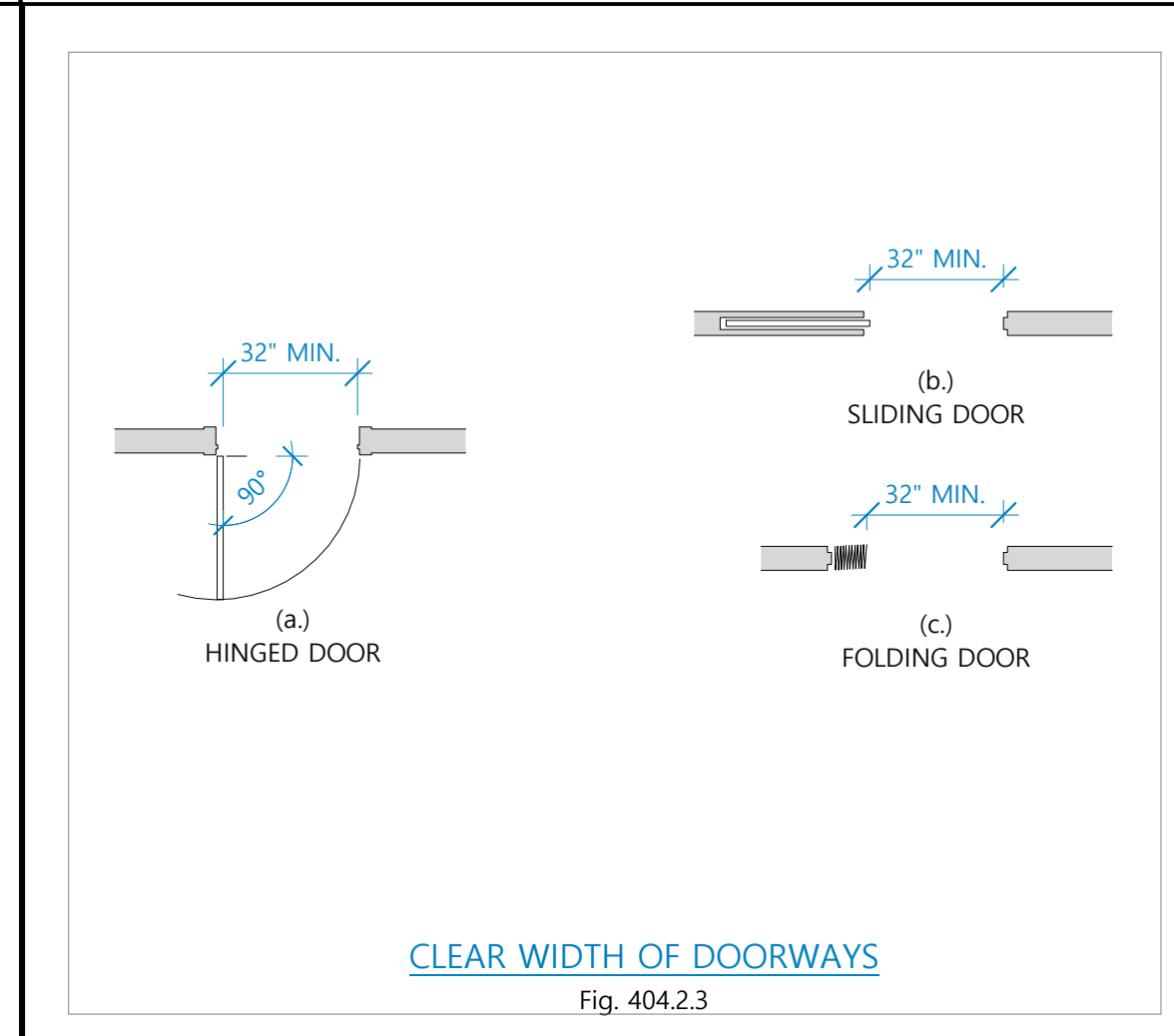
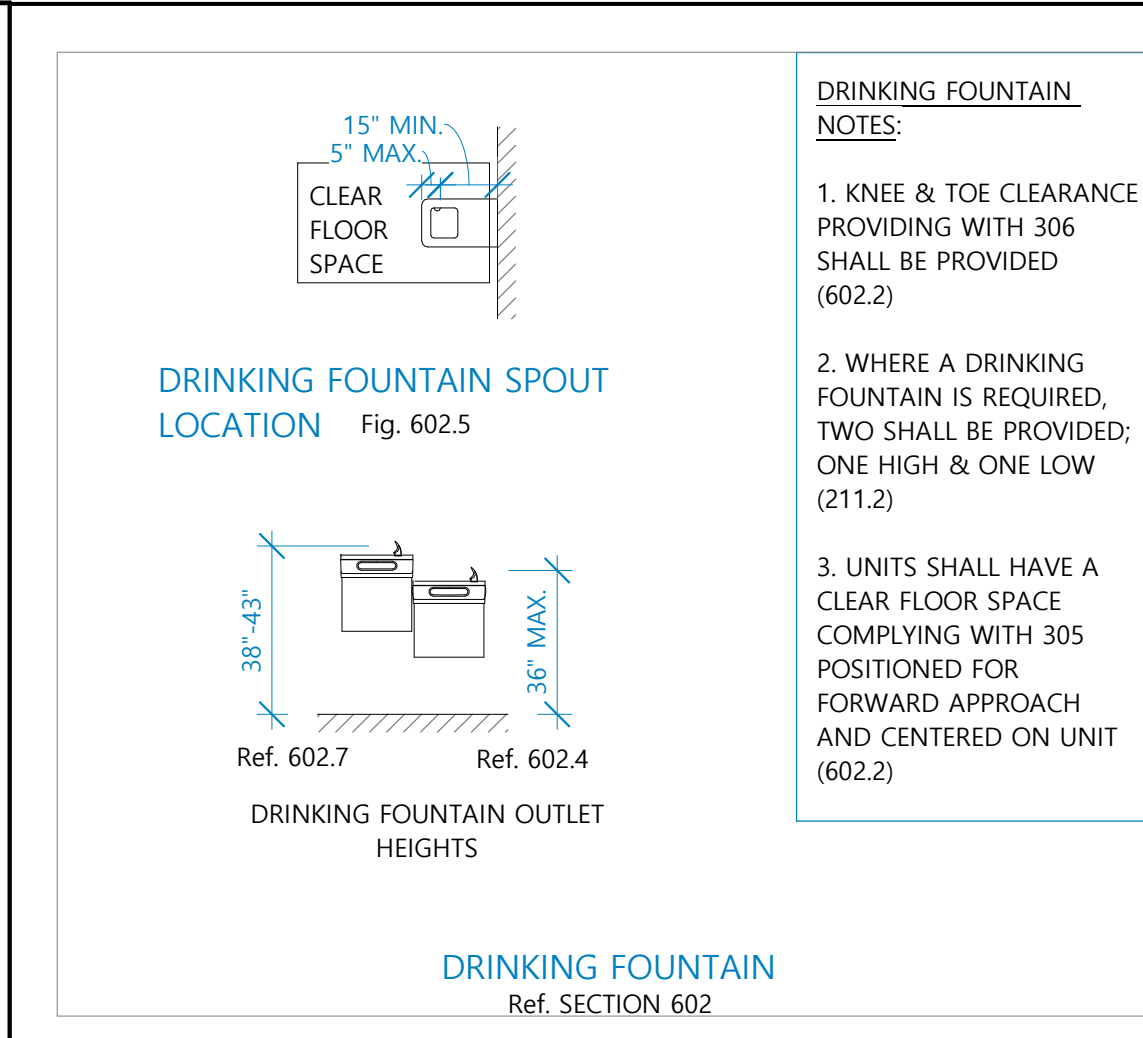
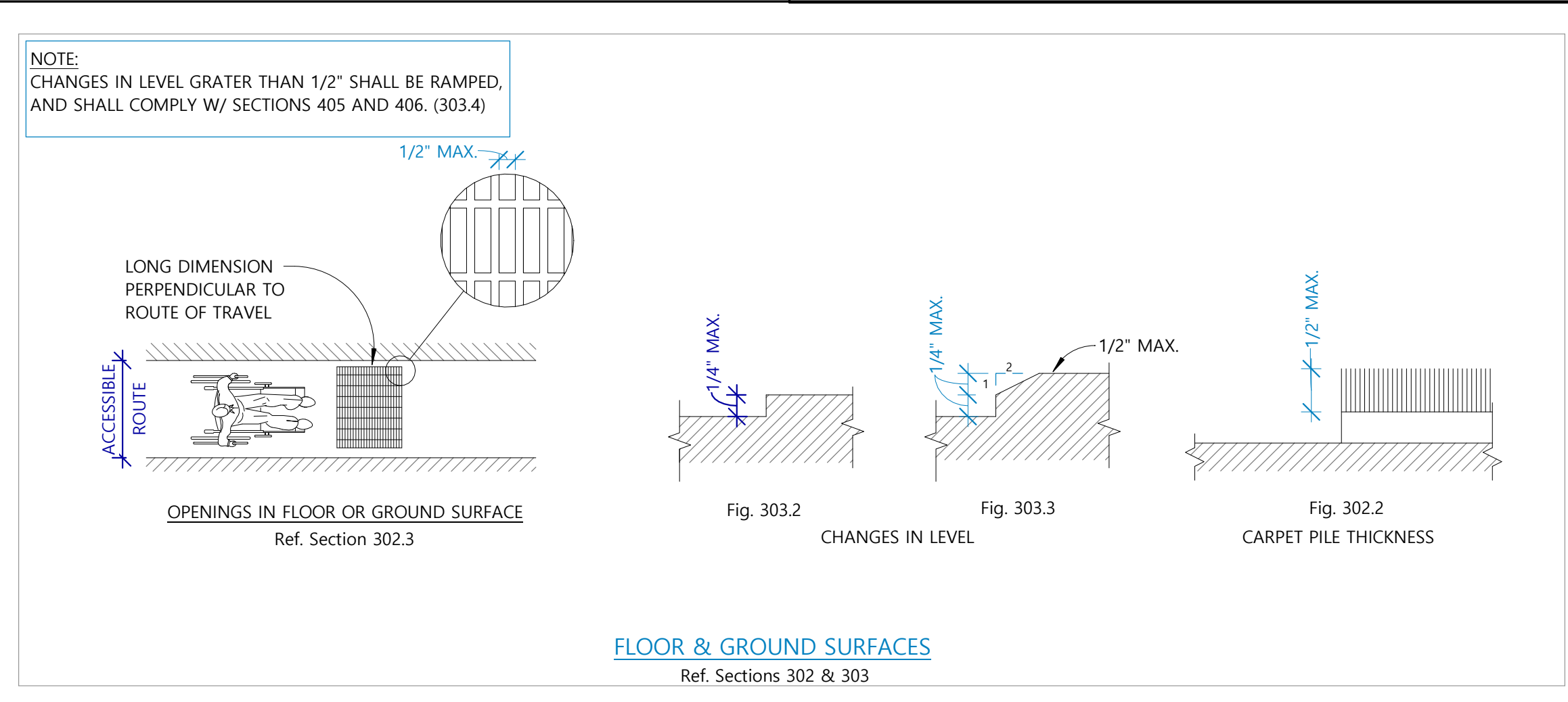
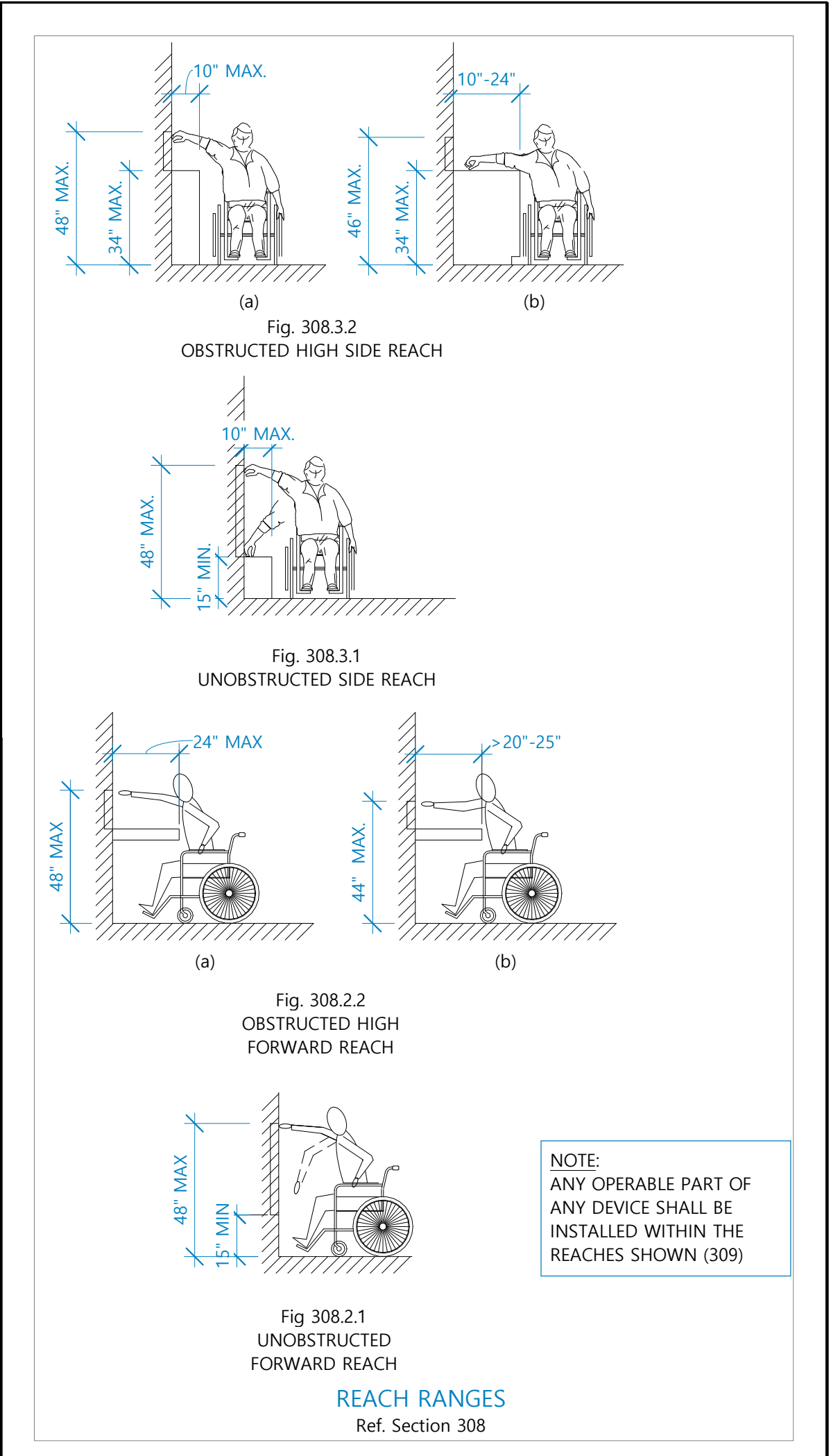
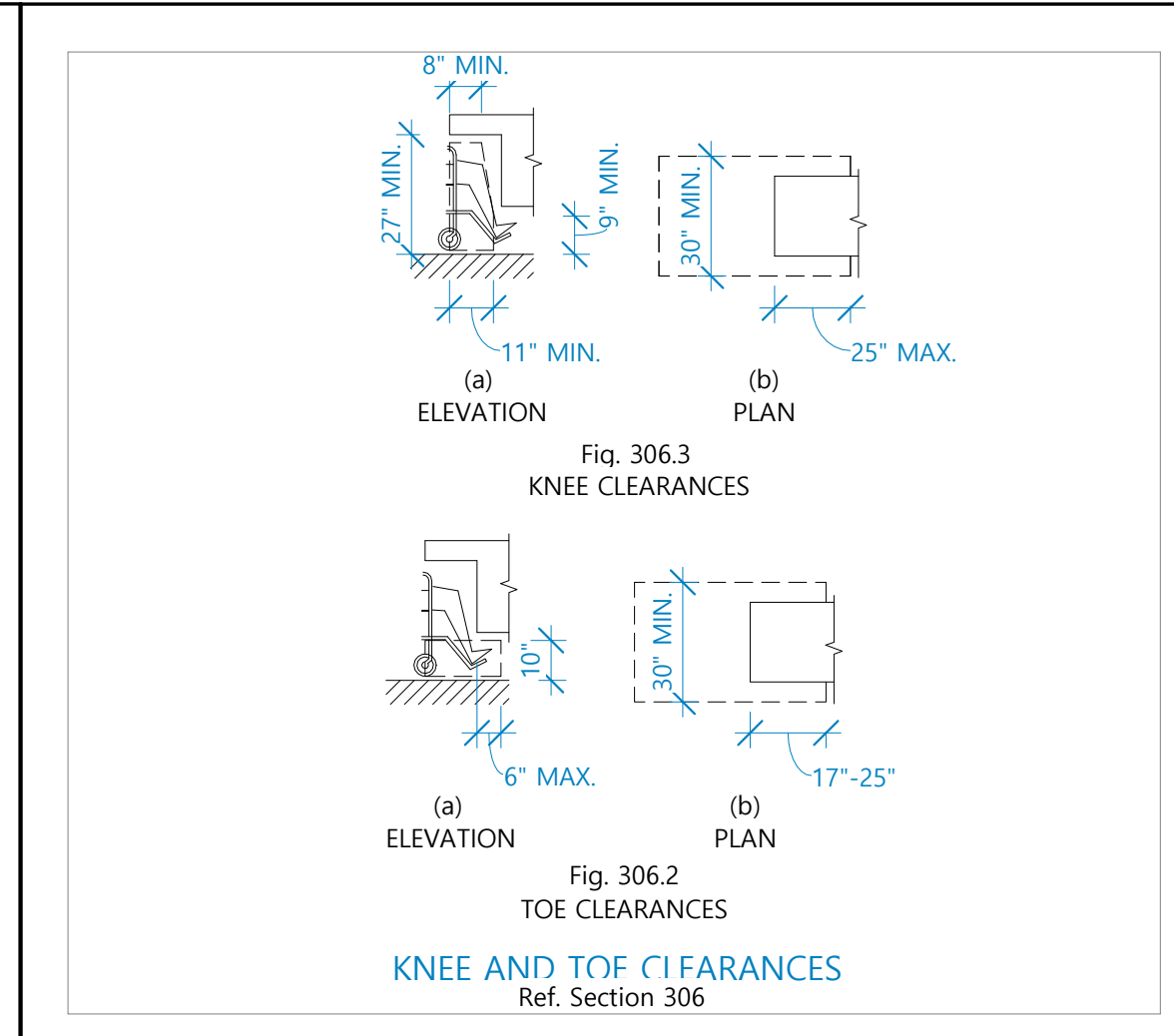
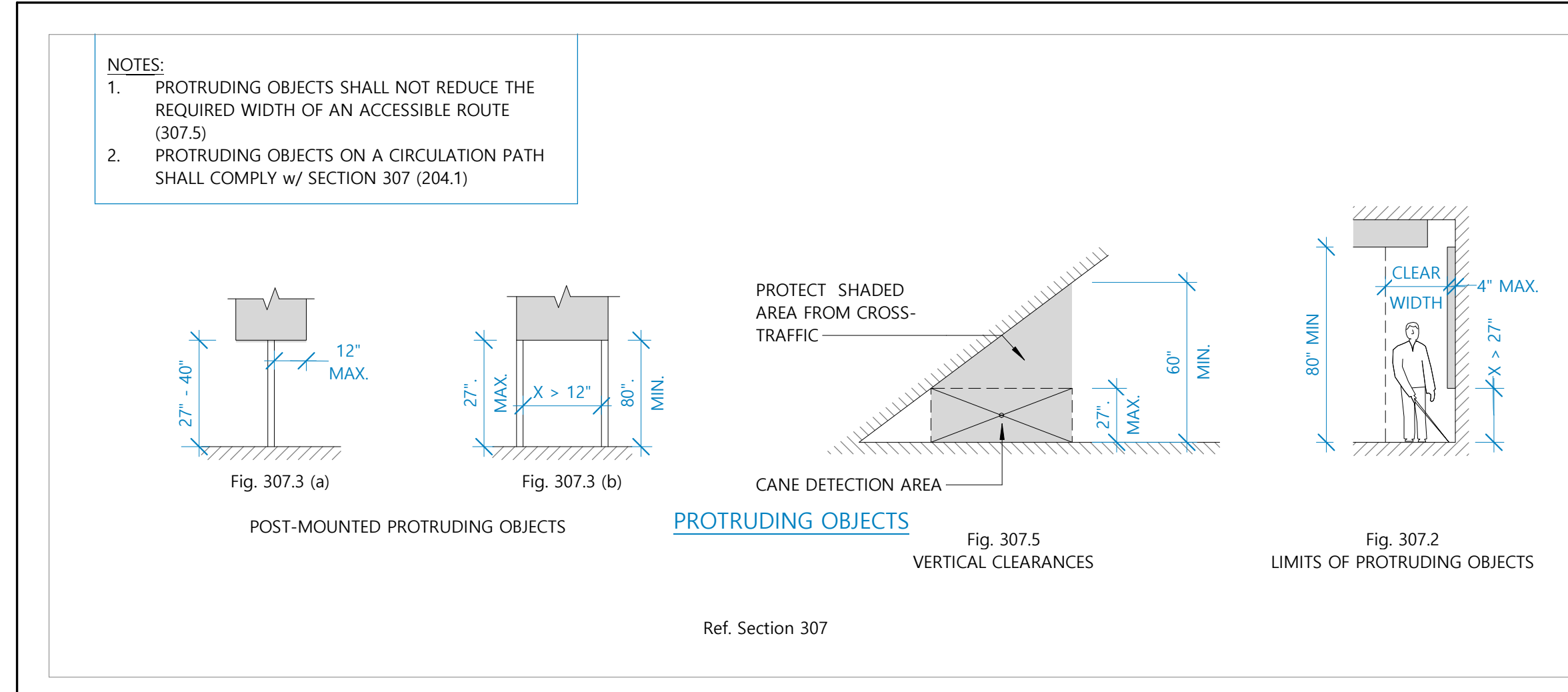
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PROJECT NO.  
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Author  
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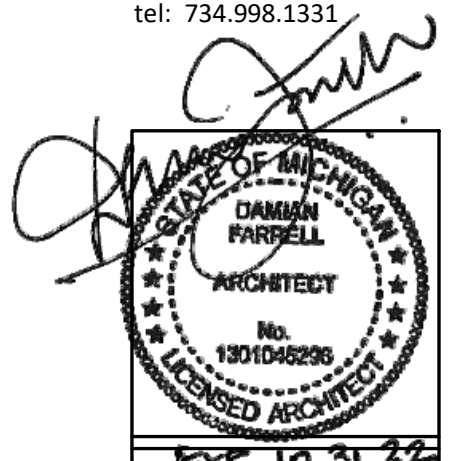
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DAMIAN FARRELL DESIGN GROUP

359 METTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
tel: 734-998.1331



Ex: 10.31.22

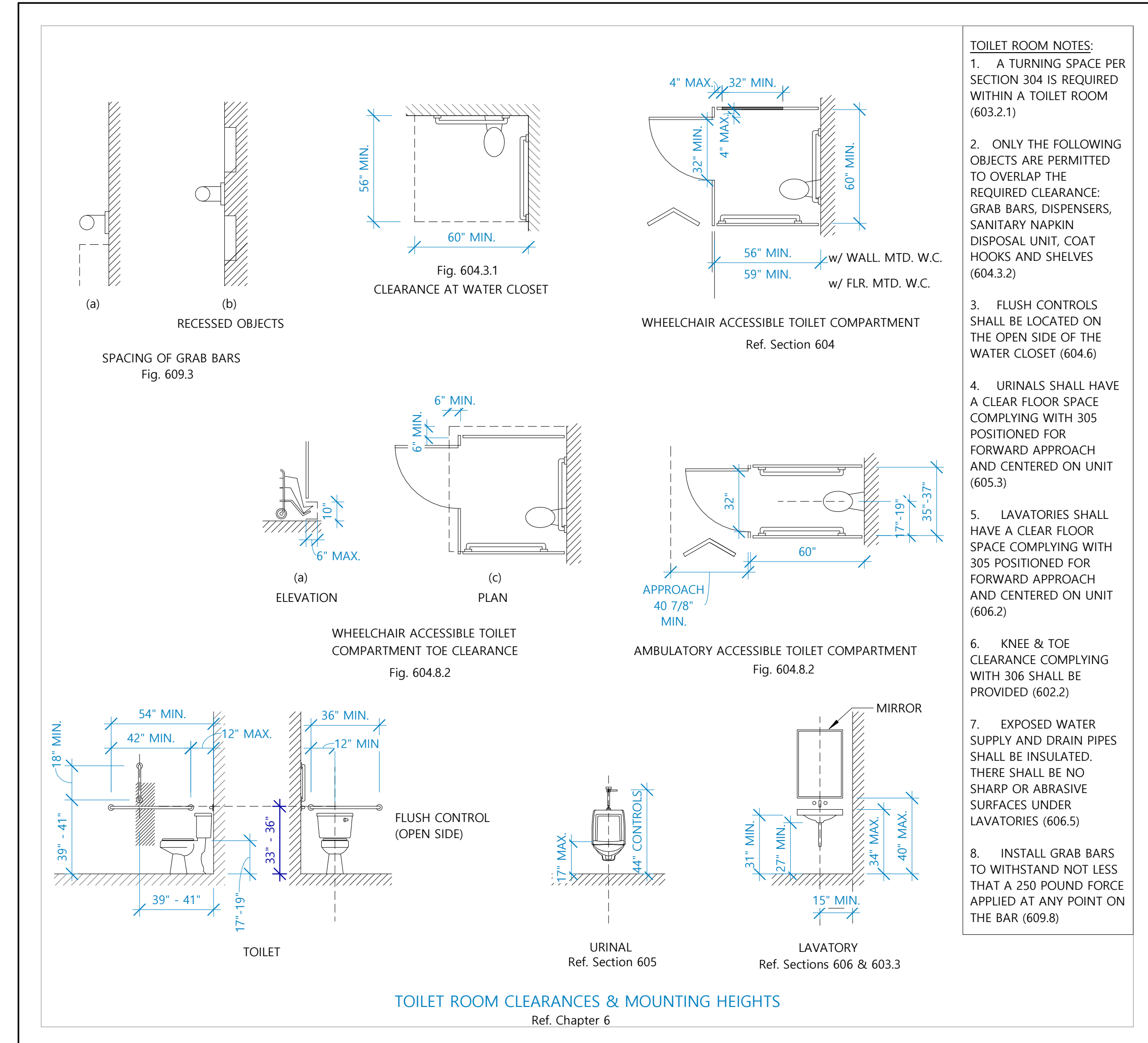
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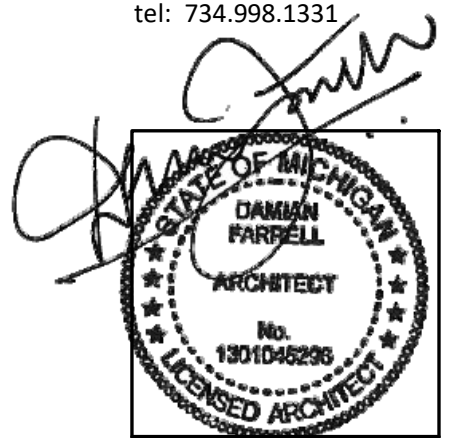
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ADA TOILET STANDARDS

T2.1





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| DRAWN       | Author       |
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CODE REVIEW

T3.0

| OCCUPANCY LOAD 117 BUILDING |                     |         |                        |          |             |               |
|-----------------------------|---------------------|---------|------------------------|----------|-------------|---------------|
| Number                      | Name                | Level   | Occupancy              | Area     | Load Factor | Occupant Load |
| 001                         | MECH.               | Level 0 | ACCESSORY MECH         | 150 SF   | 300 SF      | 0.5           |
| 003                         | STORAGE             | Level 0 | ACCESSORY STORAGE      | 551 SF   | 300 SF      | 1.8           |
| 004                         | CERAMICS PROCESSING | Level 0 | ACCESSORY STORAGE      | 535 SF   | 300 SF      | 1.8           |
| 005                         | STAIR A             | Level 0 |                        | 284 SF   |             |               |
| 006                         | ELEV. EQUIP         | Level 0 | ACCESSORY MECH         | 55 SF    | 300 SF      | 0.2           |
| 007                         | STORAGE             | Level 0 | ACCESSORY STORAGE      | 836 SF   | 300 SF      | 2.8           |
| 008                         | STORAGE             | Level 0 | ACCESSORY STORAGE      | 520 SF   | 300 SF      | 1.7           |
| 100                         | RETAIL              | Level 1 | MERCANTILE             | 816 SF   | 60 SF       | 13.6          |
| 101                         | CERAMICS #1         | Level 1 | EDUCATION - VOCATIONAL | 769 SF   | 50 SF       | 15.4          |
| 102                         | KILN ROOM           | Level 1 | BUSINESS               | 186 SF   | 100 SF      | 1.9           |
| 103                         | PROCESSING ROOM     | Level 1 | BUSINESS               | 264 SF   | 100 SF      | 2.6           |
| 104                         | GLAZE STUDIO        | Level 1 | EDUCATION - VOCATIONAL | 252 SF   | 50 SF       | 5.0           |
| 105                         | STAIR A             | Level 1 |                        | 313 SF   |             |               |
| 106                         | MEN                 | Level 1 |                        | 83 SF    |             |               |
| 107                         | WOMEN               | Level 1 |                        | 87 SF    | 0 SF        |               |
| 108                         | STORAGE             | Level 1 | ACCESSORY STORAGE      | 95 SF    | 300 SF      | 0.3           |
| 109                         | HALLWAY             | Level 1 |                        | 145 SF   | 0 SF        |               |
| 110                         | CERAMICS #2         | Level 1 | EDUCATION - VOCATIONAL | 556 SF   | 50 SF       | 11.1          |
| 111                         | STAIR B             | Level 1 |                        | 38 SF    |             |               |
| 200                         | CLASSROOM           | Level 2 | EDUCATION - VOCATIONAL | 318 SF   | 50 SF       | 6.4           |
| 201                         | CLASSROOM           | Level 2 | EDUCATION - VOCATIONAL | 746 SF   | 50 SF       | 14.9          |
| 202                         | STORAGE             | Level 2 | ACCESSORY STORAGE      | 66 SF    | 300 SF      | 0.2           |
| 203                         | MECH/STOR.          | Level 2 | ACCESSORY STORAGE      | 61 SF    | 300 SF      | 0.2           |
| 204                         | PH. BOOTH           | Level 2 | BUSINESS               | 38 SF    | 100 SF      | 0.4           |
| 206                         | FAM. TOILET         | Level 2 |                        | 44 SF    |             |               |
| 207                         | CLASSROOM           | Level 2 | EDUCATION - VOCATIONAL | 406 SF   | 50 SF       | 8.1           |
| 208                         | ED OFFICE           | Level 2 | BUSINESS               | 82 SF    | 100 SF      | 0.8           |
| 209                         | ED OFFICE           | Level 2 | BUSINESS               | 98 SF    | 100 SF      | 1.0           |
| 210                         | HALL                | Level 2 |                        | 145 SF   |             |               |
| 211                         | STUDENT GALLERY     | Level 2 | BUSINESS               | 464 SF   | 100 SF      | 4.6           |
| 300                         | CLASSROOM           | Level 3 | EDUCATION - VOCATIONAL | 495 SF   | 50 SF       | 9.9           |
| 301                         | CLASSROOM           | Level 3 | EDUCATION - VOCATIONAL | 789 SF   | 50 SF       | 15.8          |
| 302                         | STORAGE             | Level 3 | ACCESSORY STORAGE      | 65 SF    | 300 SF      | 0.2           |
| 303                         | STUDIO SUPPLIES     | Level 3 | ACCESSORY STORAGE      | 107 SF   | 300 SF      | 0.4           |
| 304                         | HALL                | Level 3 |                        | 355 SF   |             |               |
| 305                         | STAIR A             | Level 3 |                        | 232 SF   |             |               |
| 306                         | CLOSET              | Level 3 | ACCESSORY STORAGE      | 53 SF    | 300 SF      | 0.2           |
| 307                         | MEN                 | Level 3 |                        | 45 SF    |             |               |
| 308                         | WOMEN               | Level 3 |                        | 45 SF    |             |               |
| 309                         | JEWELRY STUDIO      | Level 3 | EDUCATION - VOCATIONAL | 616 SF   | 50 SF       | 12.3          |
| 310                         | STORAGE             | Level 3 | ACCESSORY STORAGE      | 141 SF   | 300 SF      | 0.5           |
|                             |                     |         |                        | 11944 SF |             | 134.6         |

| OCCUPANCY LOAD 115 BUILDING |                     |          |                           |         |             |               |
|-----------------------------|---------------------|----------|---------------------------|---------|-------------|---------------|
| Number                      | Name                | Level    | Occupancy                 | Area    | Load Factor | Occupant Load |
| 050                         | STORAGE             | Level 0  | ACCESSORY STORAGE         | 1568 SF | 300 SF      | 5.2           |
| 051                         | ELECTRICAL          | Level 0  | ACCESSORY MECH            | 48 SF   | 300 SF      | 0.2           |
| 052                         | ELECTRICAL          | Level 0  | ACCESSORY MECH            | 146 SF  | 300 SF      | 0.5           |
| 055                         | STAIR D             | Level 0  |                           | 72 SF   |             |               |
| 150                         | EXHIBIT GALLERY     | Level 1B | ASSEMBLY- EXHIBIT GALLERY | 1237 SF | 30 SF       | 41.2          |
| 151                         | SOUTH GALLERY ENTRY | Level 1B |                           | 164 SF  | 0 SF        |               |
| 152                         | MEN                 | Level 1B |                           | 55 SF   |             |               |
| 153                         | WOMEN               | Level 1B |                           | 47 SF   |             |               |
| 154                         | KITCH. #1           | Level 1B | BUSINESS                  | 141 SF  | 100 SF      | 1.4           |
| 205                         | STAIR A             | Level 2B |                           | 289 SF  |             |               |
| 250                         | OPEN OFFICE         | Level 2B | BUSINESS                  | 500 SF  | 100 SF      | 5.0           |
| 251                         | OFFICE              | Level 2B | BUSINESS                  | 101 SF  | 100 SF      | 1.0           |
| 252                         | OFFICE              | Level 2B | BUSINESS                  | 62 SF   | 100 SF      | 0.6           |
| 253                         | OFFICE              | Level 2B | BUSINESS                  | 87 SF   | 100 SF      | 0.9           |
| 254                         | MECH                | Level 2B | ACCESSORY MECH            | 8 SF    | 300 SF      | 0.0           |
| 255                         | UNISEX              | Level 2B |                           | 58 SF   | 0 SF        |               |
| 256                         | KITCHENETTE #2      | Level 2B | BUSINESS                  | 97 SF   | 100 SF      | 1.0           |
| 257                         | HALL                | Level 2B |                           | 114 SF  |             |               |
| 258                         | SERVER              | Level 2B | BUSINESS                  | 18 SF   | 100 SF      | 0.2           |
| 259                         | STAIR C             | Level 2B |                           | 102 SF  | 0 SF        |               |
|                             |                     |          |                           | 4914 SF |             | 57.2          |

OCCUPANCY AND EGRESS ANALYSIS:

117 W LIBERTY

| LEVEL 0 (BASEMENT)          |         |
|-----------------------------|---------|
| OCCUPANTS:                  | 9       |
| EXITS REQUIRED:             | 1       |
| EXITS PROVIDED:             | 2       |
| LEVEL 1                     |         |
| OCCUPANTS:                  | 48      |
| EXITS REQUIRED:             | 1       |
| EXITS PROVIDED:             | 3       |
| LONGEST DIAGONAL:           | 114'-8" |
| 1/2 LONGEST DIAGONAL:       | 57'-4"  |
| EXIT SEPARATION PROVIDED:   | 80'-1"  |
| LEVEL 2                     |         |
| OCCUPANTS:                  | 40      |
| EXITS REQUIRED:             | 1       |
| EXITS PROVIDED:             | 2       |
| LONGEST DIAGONAL:           | 86'-8"  |
| 1/2 LONGEST DIAGONAL:       | 43'-4"  |
| EXIT SEPARATION PROVIDED:   | 54'-11" |
| LEVEL 3                     |         |
| OCCUPANTS:                  | 40      |
| EXITS REQUIRED:             | 2       |
| EXITS PROVIDED:             | 2       |
| LONGEST DIAGONAL:           | 86'-8"  |
| 1/2 LONGEST DIAGONAL:       | 43'-4"  |
| EXIT SEPARATION EXISTING:   | 42'-1"  |
| TOTAL                       |         |
| OCCUPANTS:                  | 137     |
| EGRESS DOOR CAPACITY REQ'D: | 41.1"   |
| EGRESS DOOR CAP. PROVIDED:  | 108"    |

115 W LIBERTY

| LEVEL 0 (BASEMENT)          |         |
|-----------------------------|---------|
| OCCUPANTS:                  | 6       |
| EXITS REQUIRED:             | 1       |
| EXITS PROVIDED:             | 1       |
| LEVEL 1                     |         |
| OCCUPANTS:                  | 44      |
| EXITS REQUIRED:             | 1       |
| EXITS PROVIDED:             | 2       |
| LONGEST DIAGONAL:           | 90'-10" |
| 1/2 LONGEST DIAGONAL:       | 45'-5"  |
| EXIT SEPARATION PROVIDED:   | 82'-10" |
| LEVEL 2                     |         |
| OCCUPANTS:                  | 9       |
| EXITS REQUIRED:             | 1       |
| EXITS PROVIDED:             | 1       |
| LONGEST DIAGONAL:           | 62'-11" |
| 1/2 LONGEST DIAGONAL:       | 31'-5"  |
| TOTAL                       |         |
| OCCUPANTS:                  | 59      |
| EGRESS DOOR CAPACITY REQ'D: | 36"     |
| EGRESS DOOR CAP. PROVIDED:  | 96"     |

APPLICABLE CODES:

2015 MICHIGAN BUILDING CODE  
2015 MICHIGAN REHABILITATION CODE FOR EXISTING BUILDINGS  
2015 MICHIGAN MECHANICAL CODE  
2015 MICHIGAN PLUMBING CODE  
2015 MICHIGAN ENERGY CODE  
MICHIGAN ELECTRICAL CODE BASED ON THE 2017 NATIONAL ELECTRICAL CODE WITH PART 8 STATE AMENDMENTS  
ICC / ANSI A117.1 - 2009 & MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED.

|                        |  |   |
|------------------------|--|---|
| BUILDING ADDRESS:      | 117 W LIBERTY ST.<br>ANN ARBOR, MI 48104 | 115 W LIBERTY ST. UNIT 1<br>ANN ARBOR, MI 48104               |
| EXISTING CONSTRUCTION: | TYPE III-B                               | TYPE III-B  |
| SPRINKLER SYSTEM:      | EXISTING IN BASEMENT AND 3RD LEVEL       | NONE  |
| NO. OF STORIES:        | 3 + BASEMENT                             | 3 + BASEMENT (UNIT 1- BSMT, 1ST LEVEL, AND PARTIAL 2ND LEVEL) |
| EXIST. BLDG. HT.       | 42'                                      | 39'   |
| GROSS FLOOR AREA:      | 12,376 SF                                | 4,598 SF  |
| EXIST. OCCUPANCY:      | B-BUSINESS                               | B-BUSINESS  |
| PROPOSED OCCUPANCY:    | B-BUSINESS                               | B-BUSINESS  |

THIS PROJECT WILL CONNECT THE TWO BUILDINGS THROUGH OPENINGS AT THE FIRST LEVEL AND SECOND LEVEL.

ALTERATION LEVEL 2 (MICHIGAN REHABILITATION CODE).

PER MBC TABLE 504.3, TABLE 504.4 AND TABLE 506.2, NO FIRE SUPPRESSION SYSTEM IS REQUIRED.

115 AND 117 BUILDINGS ARE SEPARATED BY 12"-THICK BRICK MASONRY FIRE WALLS. PER MBC TABLE 706.4, THESE WALLS HAVE A MINIMUM RATING OF 3-HR. NEW CONNECTIONS THROUGH THE WALLS ARE TO BE 3-HOUR RATED FOR SMOKE AND FIRE. (MBC TABLE 716.5).

NEW MECHANICAL SHAFT IN 117 WILL CONNECT (3) STORIES. SHAFT WALLS ARE TO BE 1-HOUR RATED FOR FIRE PER MBC 713.4.

CONTINUOUS ACCESS TO ALL BARRIER-FREE RESTROOMS WILL BE PROVIDED BETWEEN 117 BUILDING AND 115 BUILDING.

MEANS OF EGRESS

SEE OCCUPANCY AND EGRESS ANALYSIS, THIS PAGE.

NO. OF EXITS REQUIRED FOR BUSINESS OCCUPANCY:

(2) EXITS FOR EACH STORY w/ OCC. LOAD = 1 TO 500 (MBC TABLE 1006.3.1)

EXCEPTIONS:

(1) EXIT FOR 1ST STORY BELOW GRADE w/OCC. LOAD ≤ 49 (MBC 1006.3.2)

(1) EXIT FOR 1ST STORY AT GRADE w/OCC. LOAD ≤ 49 (MBC 1006.3.2)

(1) EXIT FOR 2ND STORY ABOVE GRADE w/OCC. LOAD ≤ 29 (MBC 1006.3.2)

ALLOWABLE TRAVEL DISTANCE FOR BUSINESS OCCUPANCY:

200 FT MAX. TO EXIT ACCESS w/o SPRINKLER SYSTEM (MBC TABLE 1017.2)

PLUMBING FIXTURES

REQUIREMENTS FOR BUSINESS OCCUPANCY (MICHIGAN PLUMBING CODE)

TOILETS REQUIRED: 1 PER 25 FOR THE FIRST 50, 1 PER 50 FOR EACH 50 THEREAFTER

LAVATORIES REQUIRED: 1 PER 40 FOR THE FIRST 80, 1 PER 80 FOR EACH 80 THEREAFTER

DRINKING FOUNTAINS REQUIRED: 1 HILO PER 100 OCCUPANTS

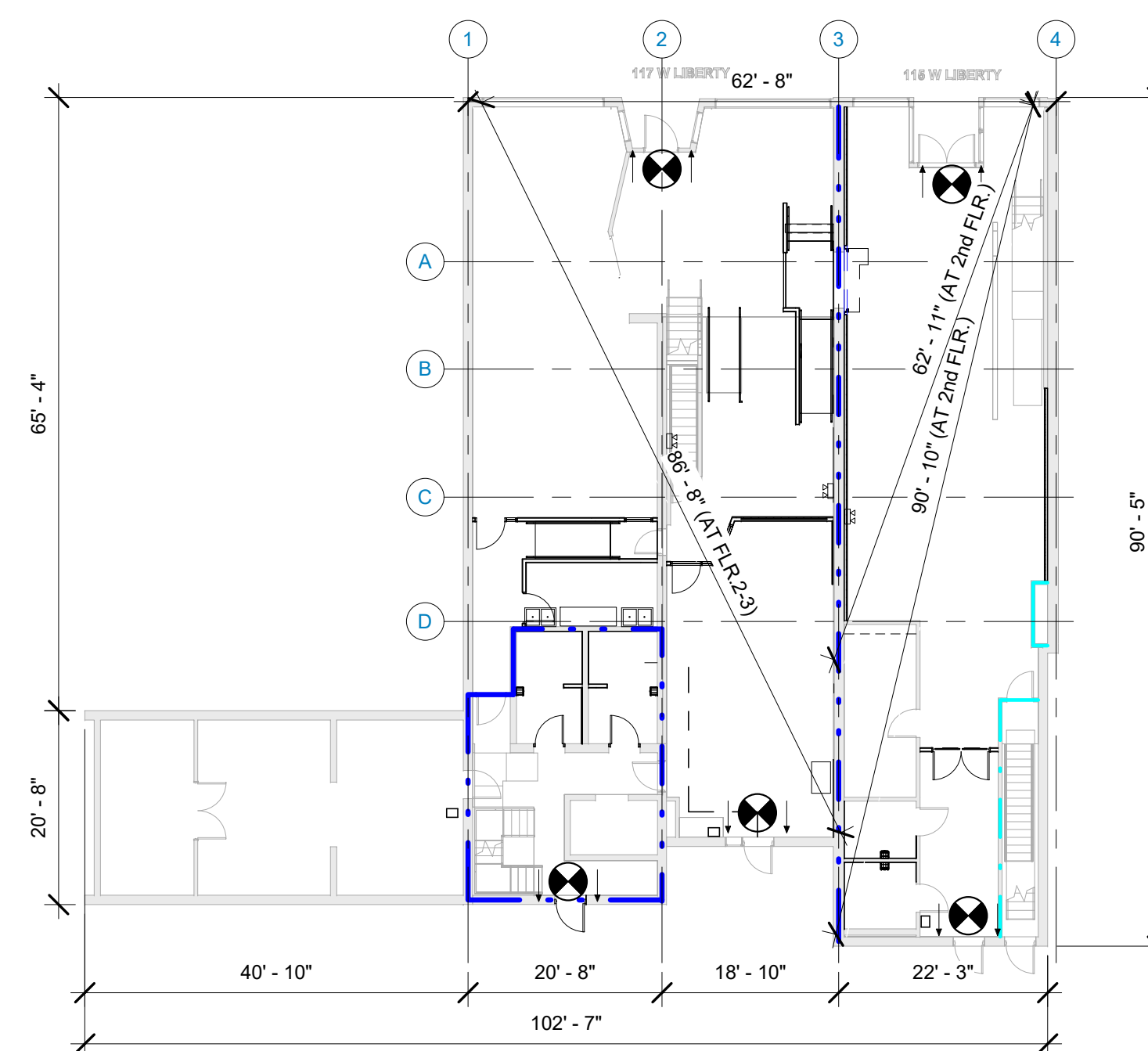
SERVICE SINKS: 1

COMBINED OCCUPANT LOAD FOR 117 AND 115 W. LIBERTY: 193 OCCUPANTS

50% MEN = 97 OCCUPANTS

50% WOMEN = 97 OCCUPANTS

| PLUMBING FIXTURES      | NO. REQUIRED | NO. PROPOSED |
|------------------------|--------------|--------------|
| TOILETS (MEN)          | 3            | 3            |
| TOILETS (WOMEN)        | 3            | 3            |
| TOILET (FAMILY/UNISEX) | 0            | 2            |
| LAVATORIES             | 6            | 8            |
| DRINKING FOUNTAINS     | 2            | 2            |
| MOP SINKS              | 1            | 1            |

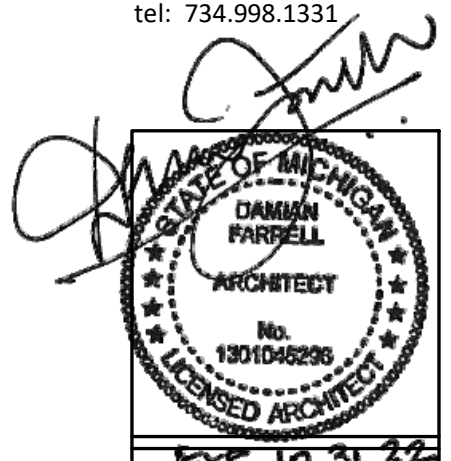


1 EXIT CONFIGURATION ANALYSIS  
1/16" = 1'-0"



DAMIAN FARRELL DESIGN GROUP

359 METTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
tel: 734.998.1331



BID/BLDG PERMIT

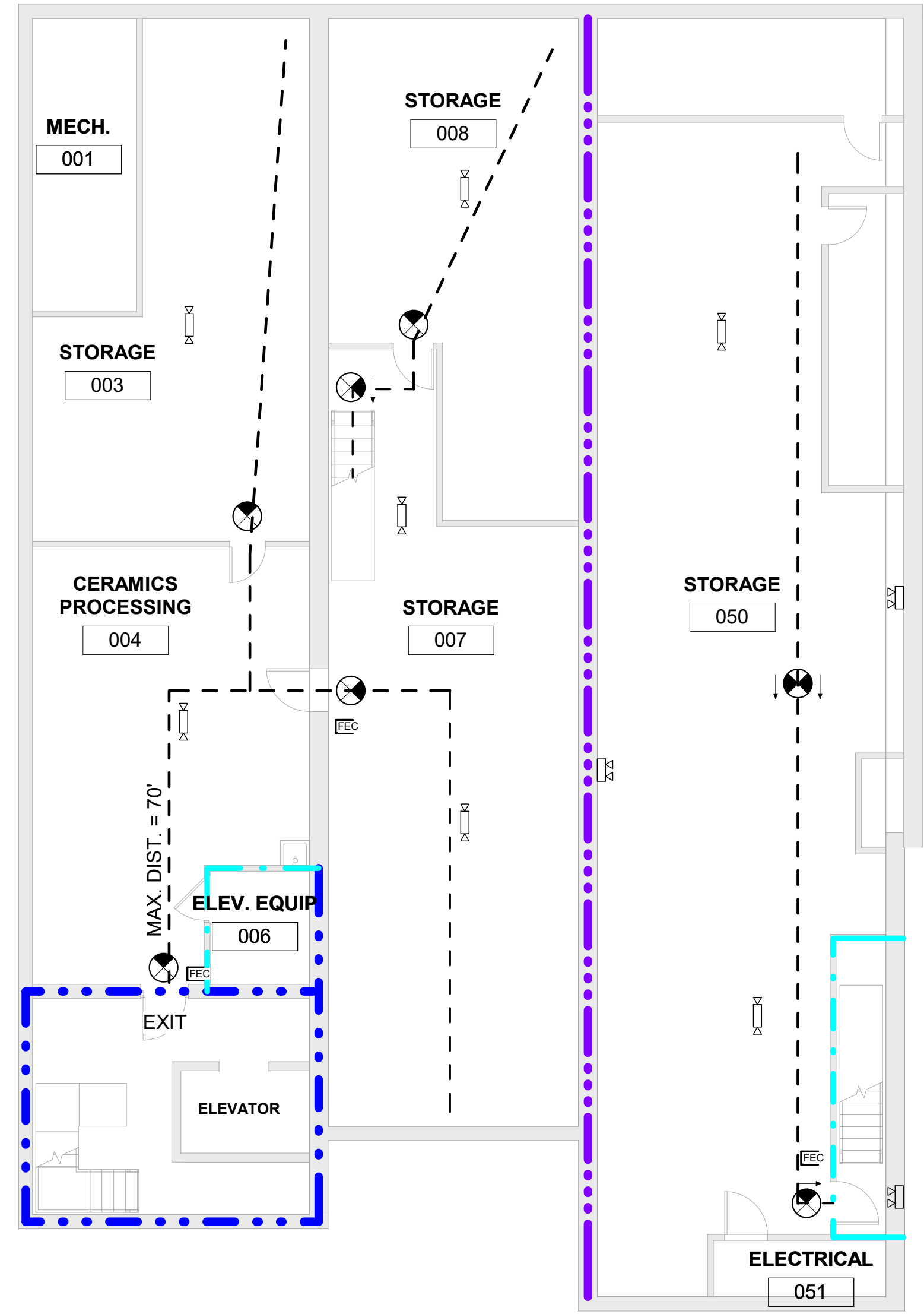
ANN ARBOR ART CENTER  
117 and 115 W. LIBERTY ST.  
ANN ARBOR, MICHIGAN 48104

| DATE       | DESCRIPTION |
|------------|-------------|
| 04/06/2021 | BID/PERMIT  |

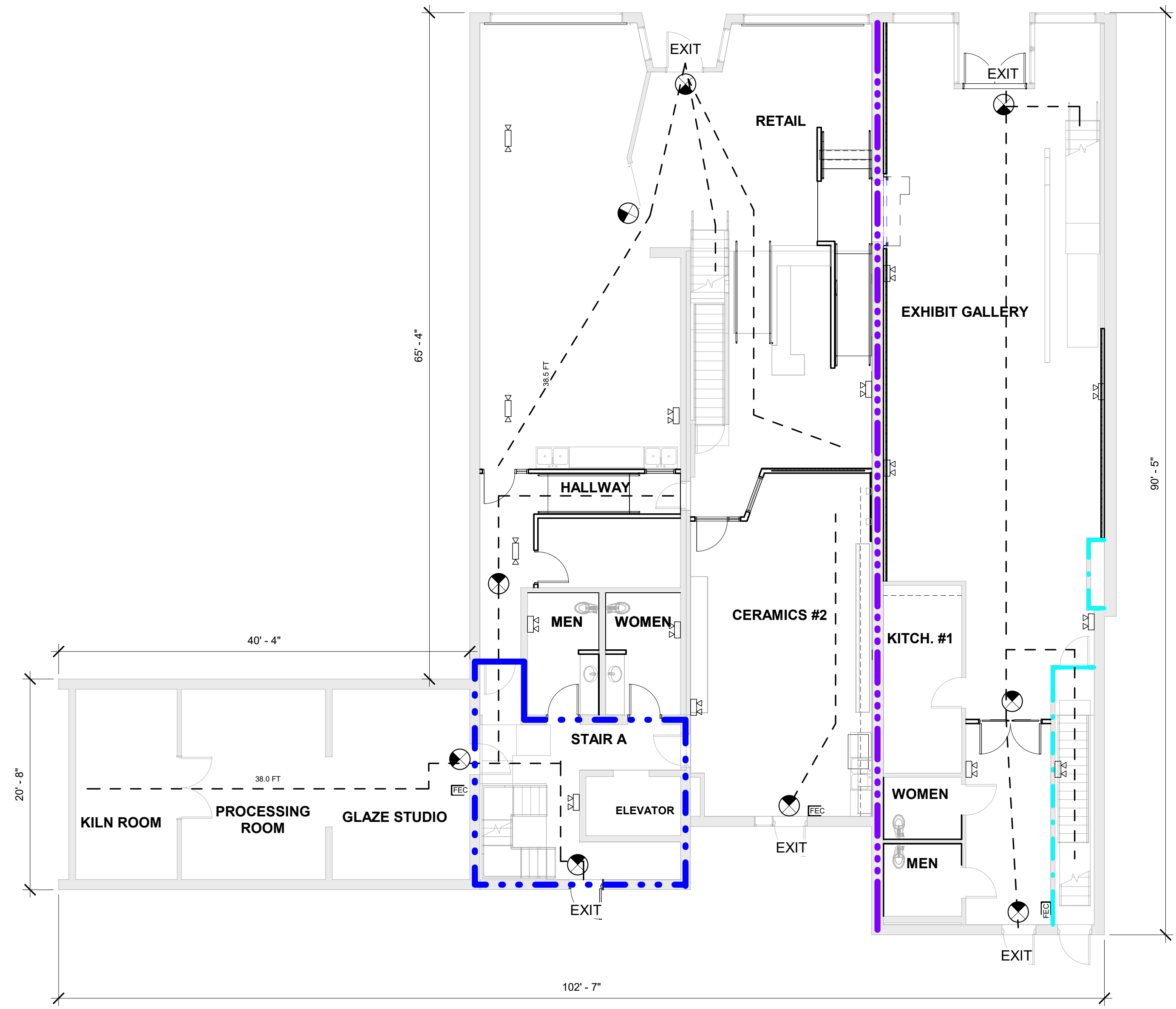
|             |              |
|-------------|--------------|
| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

EXIT PLAN

T3.1



1 EXIT PLAN - LEVEL 0  
1/8" = 1'-0"



2 EXIT PLAN - LEVEL 1  
1/8" = 1'-0"

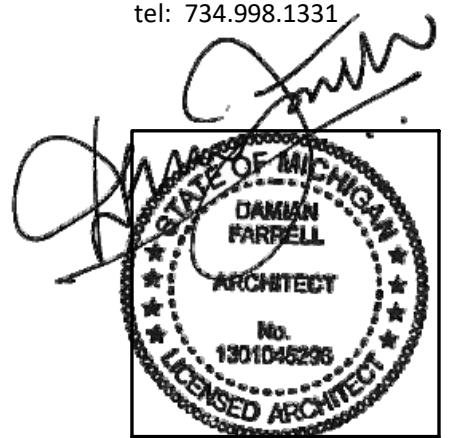
**EXIT PLAN LEGEND**

|  |                     |
|--|---------------------|
|  | EMERGENCY LIGHT     |
|  | EXIT SIGN           |
|  | ILLUMINATED SURFACE |
|  | DIRECTION OF ARROW  |
|  | 1 HOUR FIRE WALL    |
|  | 2 HOUR FIRE WALL    |
|  | 3 HOUR FIRE WALL    |



DAMIAN FARRELL DESIGN GROUP

359 METTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
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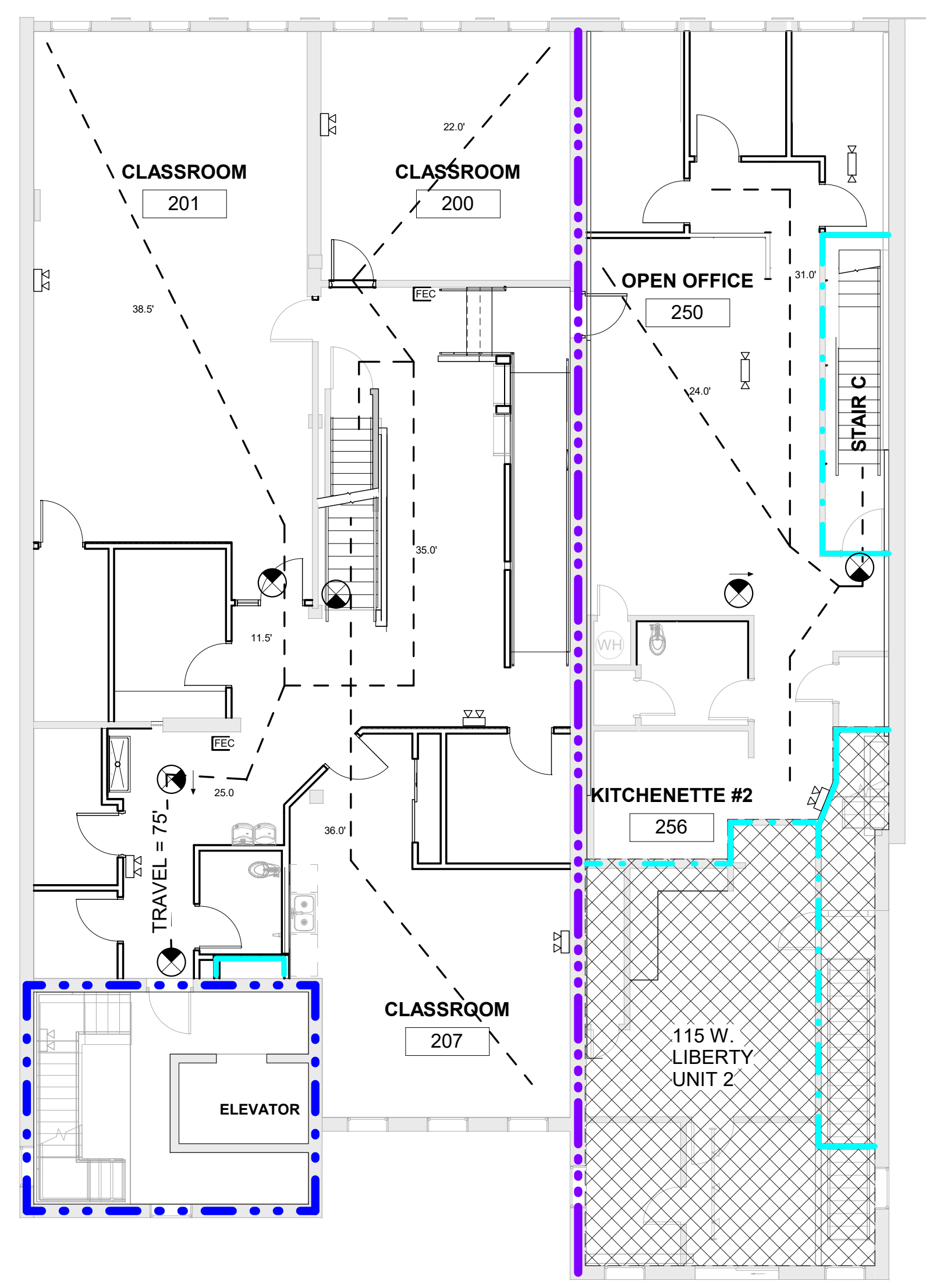
ANN ARBOR ART CENTER  
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ANN ARBOR, MICHIGAN 48104

| DATE       | DESCRIPTION |
|------------|-------------|
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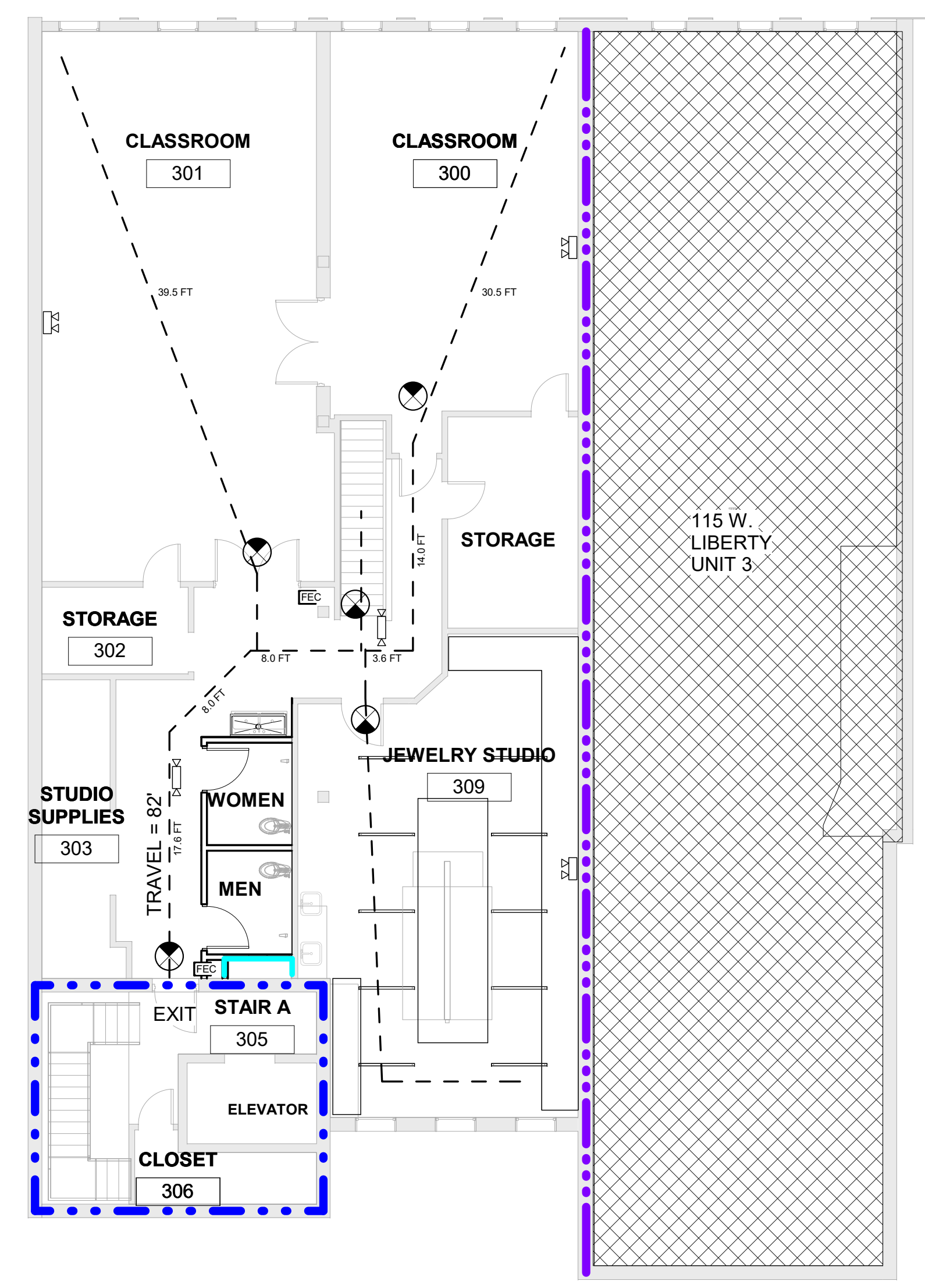
|             |              |
|-------------|--------------|
| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

EXIT PLAN

T3.2



2 EXIT PLAN - LEVEL 2  
1/8" = 1'-0"

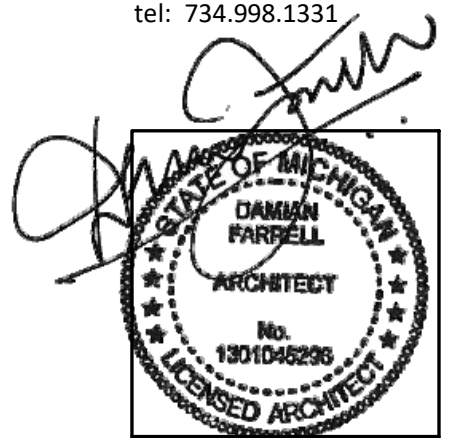


3 EXIT PLAN - LEVEL 3  
1/8" = 1'-0"

| EXIT PLAN LEGEND |                     |
|------------------|---------------------|
|                  | EMERGENCY LIGHT     |
|                  | EXIT SIGN           |
|                  | ILLUMINATED SURFACE |
|                  | DIRECTION OF ARROW  |
|                  | 1 HOUR FIRE WALL    |
|                  | 2 HOUR FIRE WALL    |
|                  | 3 HOUR FIRE WALL    |







Ex 10-31-22

ANN ARBOR ART CENTER  
117 and 115 W. LIBERTY ST.  
ANN ARBOR, MICHIGAN 48104

BID/BLDG PERMIT

DATE  
01/25/2021  
04/06/2021

DESCRIPTION  
SCHEMATIC DESIGN  
BID/PERMIT

DESIGN Designer  
DRAWN Author  
PROJECT NO. 200312\_21\_01

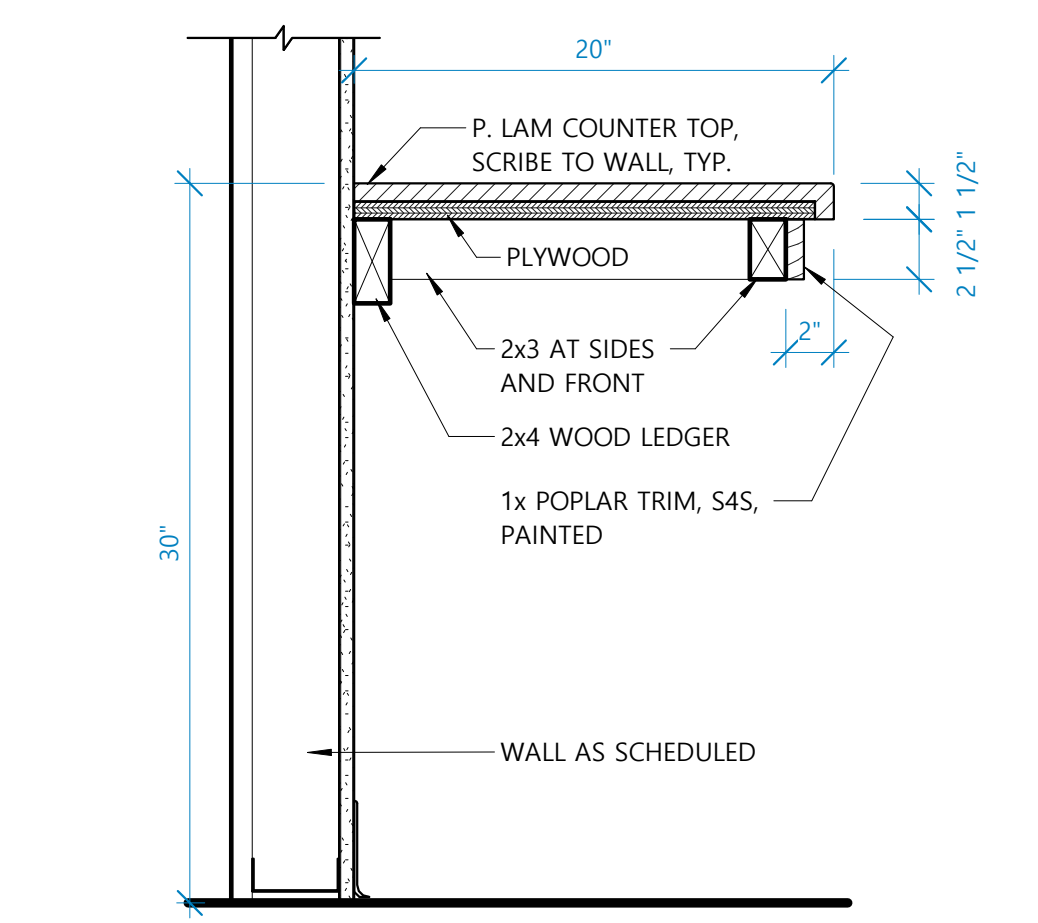
SCHEDULES -  
PARTITIONS AND  
INT. FINISHES  
**T4.1**

| FINISH LEGEND |                                 |                  |                                      |                                    |                 |  |
|---------------|---------------------------------|------------------|--------------------------------------|------------------------------------|-----------------|--|
| FINISH CODE   | MATERIAL                        | MANUFACTURER     | STYLE                                | COLOR                              | SIZE            | COMMENTS                               |
| LVT-1         | LUXURY VINYL TILE               | SHAW CONTRACT    | COMPOUND 2.5                         | TBD                                | 24" x 24"       | STANDARD                               |
| LVT-2         | LUXURY VINYL TILE               | TBD              | TBD                                  | TBD                                | TBD             | -                                      |
| WD-1          | EXISTING WOOD FLOORS            | -                | -                                    | STAIN TBD, PLUS CLEAR POLYURETHANE | -               | REFINISH, STAIN, RESEAL                |
| WD-2          | NEW WOOD FLOOR (MATCH EXISTING) | -                | -                                    | STAIN TBD, PLUS CLEAR POLYURETHANE | 2 1/4"          | STAIN, SEAL                            |
| FRP-1         | FIBERGLASS REINFORCED PLASTIC   | MARLITE          | SYMMETRIX, SMART SEAM SYM SS918-G3H6 | WHITE HEXAGON w/BLACK GROOVE       | 44.15" x 46.46" | w/ANODIZED TRIM                        |
| VB-1          | VINYL BASE                      | JOHNSONITE       | MILLWORK - MANDALAY MW-XX-H6         | TBD                                | 6"              | -                                      |
| VB-2          | VINYL BASE                      | JOHNSONITE       | ROLLED VINYL BASE                    | GREY                               | 4"              | -                                      |
| PNT-1         | PAINT                           | SHERWIN WILLIAMS | -                                    | TBD                                | -               | -                                      |
| PNT-2         | PAINT                           | SHERWIN WILLIAMS | -                                    | TBD                                | -               | SATIN WALLS/ SEMI-GLOSS TRIM AND DOORS |
| PNT-3         | PAINT                           | SHERWIN WILLIAMS | -                                    | TBD                                | -               | FLAT                                   |
| P.LAM.-1      | PLASTIC LAMINATE                | ARMSTRONG        | TBD                                  | TBD                                | -               | -                                      |

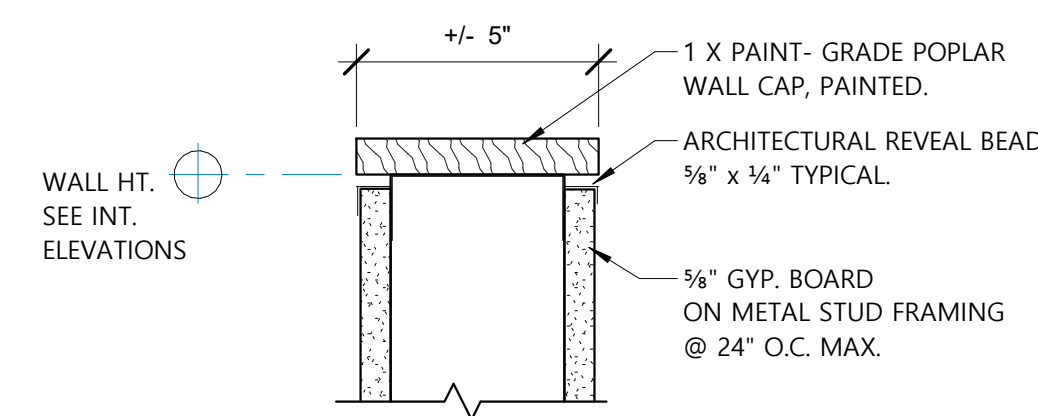
| ROOM FINISH SCHEDULE |                     |         |            |        |      |              |         |                |  |
|----------------------|---------------------|---------|------------|--------|------|--------------|---------|----------------|--|
| ROOM NO.             | ROOM NAME           | AREA    | PERIMETER  | FINISH |      |              |         | CEILING HEIGHT | COMMENTS                                     |
|                      |                     |         |            | FLOOR  | BASE | WALL         | CEILING |                |  |
| 100                  | RETAIL              | 816 SF  | 158' - 11" | WD-1   | VB-1 | PNT-1        | PNT-1   | EXIST.         |  |
| 101                  | CERAMICS #1         | 769 SF  | 126' - 0"  | WD-1   | VB-1 | PNT-1        | PNT-1   | EXIST.         |  |
| 102                  | KILN ROOM           | 186 SF  | 57' - 3"   | -      | -    | -            | -       | EXIST.         |  |
| 103                  | PROCESSING ROOM     | 264 SF  | 65' - 7"   | -      | -    | -            | -       | EXIST.         |  |
| 104                  | GLAZE STUDIO        | 252 SF  | 64' - 4"   | -      | -    | -            | -       | EXIST.         |  |
| 106                  | MEN                 | 83 SF   | 41' - 11"  | LVT-1  | VB-1 | PNT-1, FRP-1 | PNT-1   | 9'-0"          |  |
| 107                  | WOMEN               | 87 SF   | 42' - 7"   | LVT-1  | VB-1 | PNT-1, FRP-1 | PNT-1   | 9'-0"          |  |
| 108                  | STORAGE             | 95 SF   | 41' - 7"   | WD-1   | VB-1 | PNT-1        | -       | -              |  |
| 109                  | HALLWAY             | 145 SF  | 75' - 10"  | WD-1   | VB-1 | PNT-1        | PNT-1   | EXIST.         |  |
| 110                  | CERAMICS #2         | 556 SF  | 100' - 6"  | WD-1   | VB-1 | PNT-1        | PNT-1   | EXIST.         |  |
| 150                  | EXHIBIT GALLERY     | 1237 SF | 193' - 10" | LVT-2  | VB-1 | PNT-1        | PNT-1   | EXIST.         | ACOUSTIC SOUND SILENCER ON CEILING. SEE RCP. |
| 151                  | SOUTH GALLERY ENTRY | 164 SF  | 56' - 1"   | LVT-1  | VB-1 | PNT-1        | PNT-1   | EXIST.         |  |
| 152                  | MEN                 | 55 SF   | 29' - 7"   | LVT-1  | VB-1 | PNT-1, FRP-1 | PNT-1   | EXIST.         |  |
| 153                  | WOMEN               | 47 SF   | 27' - 6"   | LVT-1  | VB-1 | PNT-1, FRP-1 | PNT-1   | EXIST.         |  |
| 154                  | KITCH. #1           | 141 SF  | 52' - 2"   | -      | -    | -            | -       | EXIST.         |  |
| 200                  | CLASSROOM           | 318 SF  | 71' - 4"   | WD-1   | VB-1 | -            | -       | EXIST.         |  |
| 201                  | CLASSROOM           | 746 SF  | 122' - 3"  | WD-1   | VB-1 | -            | -       | EXIST.         |  |
| 202                  | STORAGE             | 66 SF   | 35' - 5"   | WD-1   | VB-2 | PNT-1        | PNT-1   | EXIST.         |  |
| 203                  | MECH/STOR.          | 61 SF   | 34' - 5"   | WD-1   | VB-2 | PNT-1        | PNT-1   | EXIST.         |  |
| 204                  | PH. BOOTH           | 38 SF   | 24' - 7"   | WD-1   | VB-1 | PNT-1        | PNT-1   | EXIST.         |  |
| 206                  | FAM. TOILET         | 44 SF   | 26' - 8"   | LVT-1  | VB-1 | PNT-1, FRP-1 | PNT-1   | 8'-0"          |  |
| 207                  | CLASSROOM           | 406 SF  | 92' - 1"   | WD-1   | VB-1 | PNT-1        | PNT-1   | EXIST.         |  |
| 208                  | ED OFFICE           | 82 SF   | 36' - 4"   | WD-1   | VB-1 | PNT-1        | PNT-1   | EXIST.         |  |
| 209                  | ED OFFICE           | 98 SF   | 41' - 3"   | WD-1   | VB-1 | PNT-1        | PNT-1   | EXIST.         |  |
| 210                  | HALL                | 145 SF  | 60' - 8"   | WD-1   | VB-1 | PNT-1, FRP-1 | PNT-1   | EXIST.         |  |
| 211                  | STUDENT GALLERY     | 464 SF  | 106' - 6"  | WD-1   | VB-1 | PNT-1        | PNT-1   | EXIST.         |  |
| 250                  | OPEN OFFICE         | 500 SF  | 109' - 7"  | -      | -    | PNT-1        | PNT-1   | EXIST.         |  |
| 251                  | OFFICE              | 101 SF  | 42' - 9"   | -      | VB-2 | PNT-1        | PNT-1   | EXIST.         |  |
| 252                  | OFFICE              | 62 SF   | 31' - 8"   | -      | VB-2 | PNT-1        | PNT-1   | EXIST.         |  |
| 253                  | OFFICE              | 87 SF   | 42' - 8"   | -      | VB-2 | PNT-1        | PNT-1   | EXIST.         |  |
| 254                  | MECH                | 8 SF    | 11' - 6"   | -      | -    | -            | -       | EXIST.         |  |
| 255                  | UNISEX              | 58 SF   | 30' - 11"  | LVT-1  | VB-1 | PNT-1, FRP-1 | PNT-1   | EXIST.         |  |
| 256                  | KITCHENETTE #2      | 97 SF   | 40' - 5"   | -      | -    | -            | -       | EXIST.         |  |
| 257                  | HALL                | 114 SF  | 56' - 11"  | -      | -    | -            | -       | EXIST.         |  |
| 258                  | SERVER              | 18 SF   | 17' - 2"   | -      | -    | -            | -       | EXIST.         |  |
| 300                  | CLASSROOM           | 495 SF  | 95' - 11"  | -      | -    | -            | -       | EXIST.         |  |
| 301                  | CLASSROOM           | 789 SF  | 120' - 8"  | -      | -    | -            | -       | EXIST.         |  |
| 302                  | STORAGE             | 65 SF   | 33' - 4"   | -      | -    | -            | -       | EXIST.         |  |
| 303                  | STUDIO SUPPLIES     | 107 SF  | 54' - 10"  | -      | -    | -            | -       | EXIST.         |  |
| 304                  | HALL                | 355 SF  | 153' - 5"  | WD-1   | VB-2 | PNT-1, FRP-1 | PNT-1   | EXIST.         |  |
| 306                  | CLOSET              | 53 SF   | 36' - 8"   | -      | -    | -            | -       | EXIST.         |  |
| 307                  | MEN                 | 45 SF   | 27' - 0"   | LVT-1  | VB-1 | PNT-1, FRP-1 | PNT-1   | 7'-2" MIN.     |  |
| 308                  | WOMEN               | 45 SF   | 26' - 10"  | LVT-1  | VB-1 | PNT-1, FRP-1 | PNT-1   | 7'-2" MIN.     |  |
| 309                  | JEWELRY STUDIO      | 616 SF  | 108' - 2"  | -      | -    | -            | PNT-1   | MATCH EXIST.   |  |
| 310                  | STORAGE             | 141 SF  | 48' - 11"  | -      | -    | -            | -       | EXIST.         |  |

| PARTITION TYPES |  |
|-----------------|--|
|                 | <b>STANDARD WALL CONSTRUCTION:</b><br>5/8" GYPSUM BOARD ON EACH SIDE OF 3-5/8" METAL STUDS @ 24" O.C. MAX.<br><b>TYPE A:</b> FULL HEIGHT, FLOOR TO UNDERSIDE OF CEILING FRAMING<br><b>TYPE A-#:</b> PARTIAL HEIGHT WALL w/ 'FAST CAP' BEAD, # INDICATES THE HEIGHT OF THE WALL IN FEET A.F.F. SEE DETAIL 1/T4.1.<br><b>TYPE A-x:</b> PONY WALL w/ WOOD CAP AND ARCHITECTURAL REVEAL. SEE INT. ELEVATIONS FOR HEIGHT INFORMATION. |
|                 | <b>PLUMBING WALL CONSTRUCTION:</b><br>5/8" GYPSUM BOARD ON EACH SIDE OF 5-1/2" METAL STUDS @ 24" O.C. MAX.<br><b>TYPE B:</b> FULL HEIGHT- FLOOR TO UNDERSIDE OF CEILING FRAMING  |
|                 | <b>GALLERY WALL CONSTRUCTION:</b><br>5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON GALLERY SIDE OF 3-5/8" METAL STUDS @ 24" O.C. 5/8" GYP. BD. ON METAL STUDS ON NON-GALLERY SIDE.<br><b>TYPE C:</b> FULL HEIGHT, FLOOR TO UNDERSIDE OF CEILING FRAMING<br><b>TYPE C-#:</b> PARTIAL HEIGHT, WHERE THE # INDICATES THE HEIGHT OF THE WALL IN FEET A.F.F.   |
|                 | <b>REGULAR FURRED WALL CONSTRUCTION:</b><br>5/8" GYPSUM BOARD ON 7/8" HAT CHANNEL @ 24" O.C. MAX. ON NEW OR EXISTING MASONRY WALL<br><b>TYPE D:</b> FULL HEIGHT- TO UNDERSIDE OF CEILING FRAMING   |
|                 | <b>GALLERY WALL FURRED - 1 CONSTRUCTION:</b><br>5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 7/8" HAT CHANNEL @ 24" O.C. MAX. ON NEW OR EXISTING MASONRY WALL<br><b>TYPE E:</b> FULL HEIGHT- TO UNDERSIDE OF CEILING   |
|                 | <b>GALLERY WALL FURRED - 2 CONSTRUCTION:</b><br>5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 2 1/2" METAL STUDS @ 24" O.C. MAX. ON NEW OR EXISTING MASONRY WALL<br><b>TYPE F:</b> FULL HEIGHT- TO UNDERSIDE OF CEILING   |
|                 | <b>1-HR FIRE-RATED SHAFT WALL SYSTEM CONSTRUCTION:</b><br>(2) LAYERS 5/8" TYPE-X GYPSUM BOARD (STAGGER SEAMS) ON 2-1/2" C-H SHAFT WALL STEEL STUD @ 24" O.C. w/ 1" GYPSUM LINER PANELS (USG TYPE SLX OR EQUIVALENT) AT INSIDE FACE OF SHAFT<br><b>TYPE S:</b> FLOOR TO UNDERSIDE OF DECK ABOVE.  |

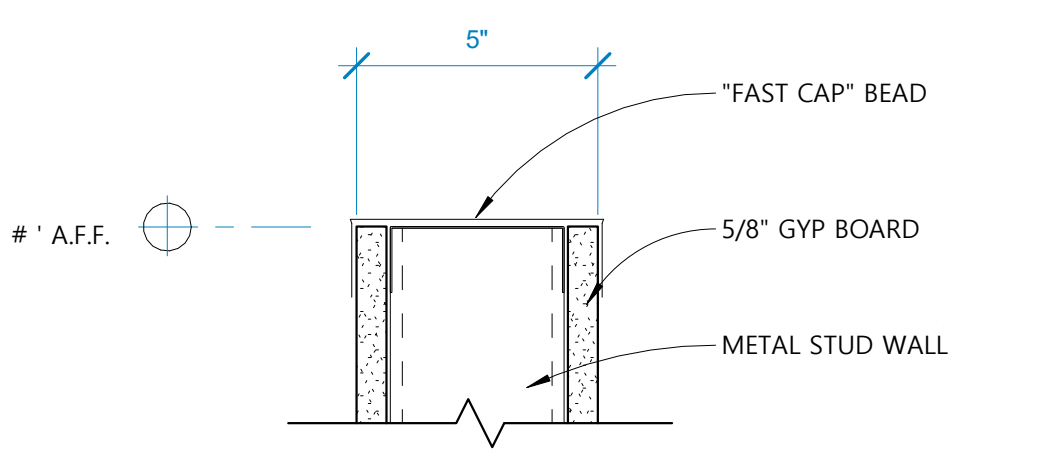
| PLUMBING FIXTURE SCHEDULE |                     |           |                                 |   |
|---------------------------|---------------------|-----------|---------------------------------|---|
| Room No.                  | Room Name           | Type Mark | Item                            | Type Comments   |
| 004                       | CERAMICS PROCESSING | P19       | ADA WALL-MOUNTED FAUCET         |   |
| 004                       | CERAMICS PROCESSING | P20       | FLOOR MOP SINK                  | 21"x 25"  |
| 101                       | CERAMICS #1         | EXIST.    | FREESTANDING SINK               | REINSTALL EXISTING SINK AND FAUCETS                   |
| 101                       | CERAMICS #1         | EXIST.    | FREESTANDING SINK               | REINSTALL EXISTING SINK AND FAUCETS                   |
| 106                       | MEN                 | P1        | TOILET KIT w/TOUCHLESS CONTROLS | WITH NO-TOUCH DUAL FLUSH VALVE UNIT                   |
| 106                       | MEN                 | P2        | TOUCHLESS FAUCET                |   |
| 106                       | MEN                 | P3        | DROP-IN SINK                    |   |
| 107                       | WOMEN               | P1        | TOILET KIT w/TOUCHLESS CONTROLS | WITH NO-TOUCH DUAL FLUSH VALVE UNIT                   |
| 107                       | WOMEN               | P2        | TOUCHLESS FAUCET                |   |
| 107                       | WOMEN               | P3        | DROP-IN SINK                    |   |
| 110                       | CERAMICS #2         | P5        | FREESTANDING SINK               |   |
| 110                       | CERAMICS #2         | P10       | ADA WALL-MOUNTED FAUCET         |   |
| 152                       | MEN                 | P1        | TOILET KIT w/TOUCHLESS CONTROLS | WITH NO-TOUCH DUAL FLUSH VALVE UNIT                   |
| 152                       | MEN                 | P2        | TOUCHLESS FAUCET                |   |
| 152                       | MEN                 | P4        | WALL-MOUNTED SINK               | PROVIDE BACKING. PROVIDE PADDING ON ALL EXPOSED PIPES |
| 153                       | WOMEN               | P1        | TOILET KIT w/TOUCHLESS CONTROLS | WITH NO-TOUCH DUAL FLUSH VALVE UNIT                   |
| 153                       | WOMEN               | P2        | TOUCHLESS FAUCET                |   |
| 153                       | WOMEN               | P4        | WALL-MOUNTED SINK               | PROVIDE BACKING. PROVIDE PADDING ON ALL EXPOSED PIPES |
| 206                       | FAM. TOILET         | P1        | TOILET KIT w/TOUCHLESS CONTROLS | WITH NO-TOUCH DUAL FLUSH VALVE UNIT                   |
| 206                       | FAM. TOILET         | P2        | TOUCHLESS FAUCET                |   |
| 206                       | FAM. TOILET         | P4        | WALL-MOUNTED SINK               | PROVIDE BACKING. PROVIDE PADDING ON ALL EXPOSED PIPES |
| 207                       | CLASSROOM           | P11       | TOP- MOUNT SINK                 |   |
| 207                       | CLASSROOM           | P12       | SINGLE-CONTROL HANDLE FAUCET    |   |
| 210                       | HALL                | P6        | ADA WALL-MOUNTED FAUCET         |   |
| 210                       | HALL                | P6        | ADA WALL-MOUNTED FAUCET         |   |
| 210                       | HALL                | P8        | ADA DOUBLE DRINKING FOUNTAIN    | DOUBLE HEIGHT   |
| 254                       | MECH                |           |                                 |   |
| 255                       | UNISEX              | P1        | TOILET KIT w/TOUCHLESS CONTROLS | WITH NO-TOUCH DUAL FLUSH VALVE UNIT                   |
| 255                       | UNISEX              | P2        | TOUCHLESS FAUCET                |   |
| 255                       | UNISEX              | P4        | WALL-MOUNTED SINK               | PROVIDE BACKING. PROVIDE PADDING ON ALL EXPOSED PIPES |
| 304                       | HALL                | P6        | ADA WALL-MOUNTED FAUCET         |   |
| 304                       | HALL                | P6        | ADA WALL-MOUNTED FAUCET         |   |
| 304                       | HALL                | P7        | WALL-MOUNTED SINK               |   |
| 307                       | MEN                 | P1        | TOILET KIT w/TOUCHLESS CONTROLS | WITH NO-TOUCH DUAL FLUSH VALVE UNIT                   |
| 307                       | MEN                 | P2        | TOUCHLESS FAUCET                |   |
| 307                       | MEN                 | P4        | WALL-MOUNTED SINK               | PROVIDE BACKING. PROVIDE PADDING ON ALL EXPOSED PIPES |
| 308                       | WOMEN               | P1        | TOILET KIT w/TOUCHLESS CONTROLS | WITH NO-TOUCH DUAL FLUSH VALVE UNIT                   |
| 308                       | WOMEN               | P2        | TOUCHLESS FAUCET                |   |
| 308                       | WOMEN               | P4        | WALL-MOUNTED SINK               | PROVIDE BACKING. PROVIDE PADDING ON ALL EXPOSED PIPES |
| 309                       | JEWELRY STUDIO      | P9        |                                 | PROVIDE PADDING ON ALL EXPOSED PIPES                  |
| 309                       | JEWELRY STUDIO      | P9        |                                 | PROVIDE PADDING ON ALL EXPOSED PIPES                  |



3 WORK SURFACE DETAIL  
1 1/2" = 1'-0"



2 PONY WALL CAP DETAIL  
3\"/>

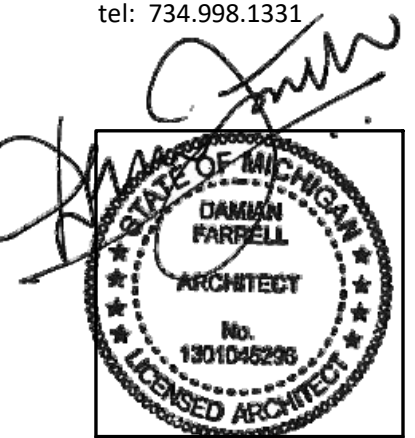


1 PARTIAL HEIGHT WALL CAP DETAIL  
3\"/>



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|-------------|--------------|
| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

DEMO PLANS - LEVEL 0 AND 1

D1.0

GENERAL DEMOLITION NOTES

ALL ITEMS TO BE RELOCATED ARE TO BE REMOVED, STORED, PROTECTED, AND REINSTALLED BY THE CONTRACTOR. THE CONTRACTOR IS TO ENSURE THE ITEM IS IN WORKING ORDER PRIOR TO AND AFTER RELOCATION. OWNER IS TO BE NOTIFIED IF DEFECTS ARE FOUND.

DEMOLITION IN THE EXISTING BUILDING IS TO BE LIMITED TO WITHIN THE AREAS INDICATED. WITHIN THE DEMOLITION AREA, THE DEMOLITION IS TO INCLUDE THE FOLLOWING, UNLESS NOTED OTHERWISE: REMOVAL OF ALL INDICATED FLOOR FINISHES TO THE EXISTING SUBFLOOR; ALL INDICATED CEILING FINISHES AND SYSTEMS ARE TO BE DEMOLISHED TO THE UNDERSIDE OF EXISTING FLOOR JOISTS; ALL INDICATED WALL FINISHES ARE TO BE DEMOLISHED TO WOOD STUD FRAMING AS REQUIRED FOR THE PROPER INSTALLATION OF THE NEW FINISHES; ALL EXISTING STRUCTURAL ELEMENTS ARE TO REMAIN UNDISTURBED.

COORDINATE WITH ALL DRAWINGS AND DESIGN-BUILD REQUIREMENTS FOR ADDITIONAL AREAS OF DEMOLITION BEYOND THE EXTENT SHOWN ON THIS DRAWING. PROVIDE ALL CUT-OUT DEMOLITION REQUIRED FOR THE REMOVAL OF DUCTS, FLOOR DRAINS, ETC. THE SUBCONTRACTOR SHALL FULLY PROTECT ALL ADJACENT FINISHES AND MATERIALS AT THESE LOCATIONS.

DIMENSIONS SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. DEMOLITION SHOULD BE SUFFICIENT TO ACCOMMODATE THE NEW WORK DESCRIBED IN THESE DRAWINGS.

PROTECT EXISTING TREES DURING CONSTRUCTION. PRESERVE ALL LANDSCAPING WHERE POSSIBLE.

ALL CABINETS AND FIXTURES THAT ARE TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.

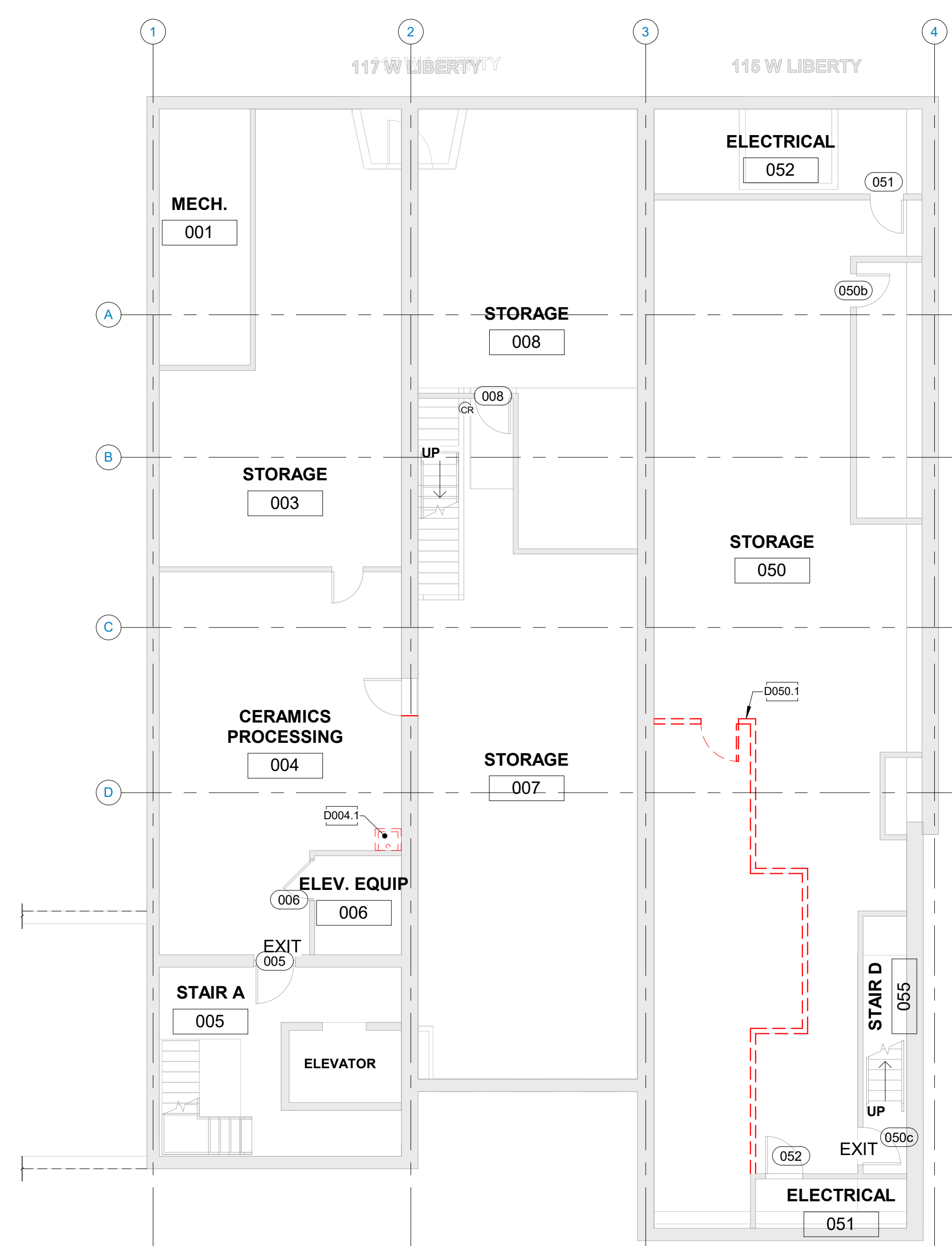
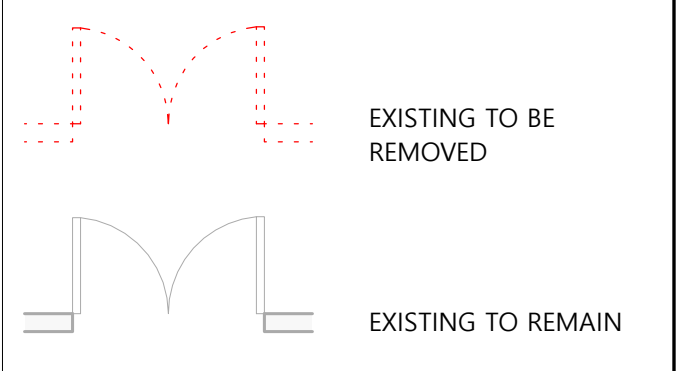
LEVEL 0 - DEMO KEY NOTES

- D004.1 DEMO UTILITY SINK FOR NEW FLOOR SINK IN THIS LOCATION
- D050.1 DEMO WALL FROM FLOOR TO CEILING. PATCH AND REPAIR CEILING AND FLOOR TO MATCH EXISTING CONDITION.

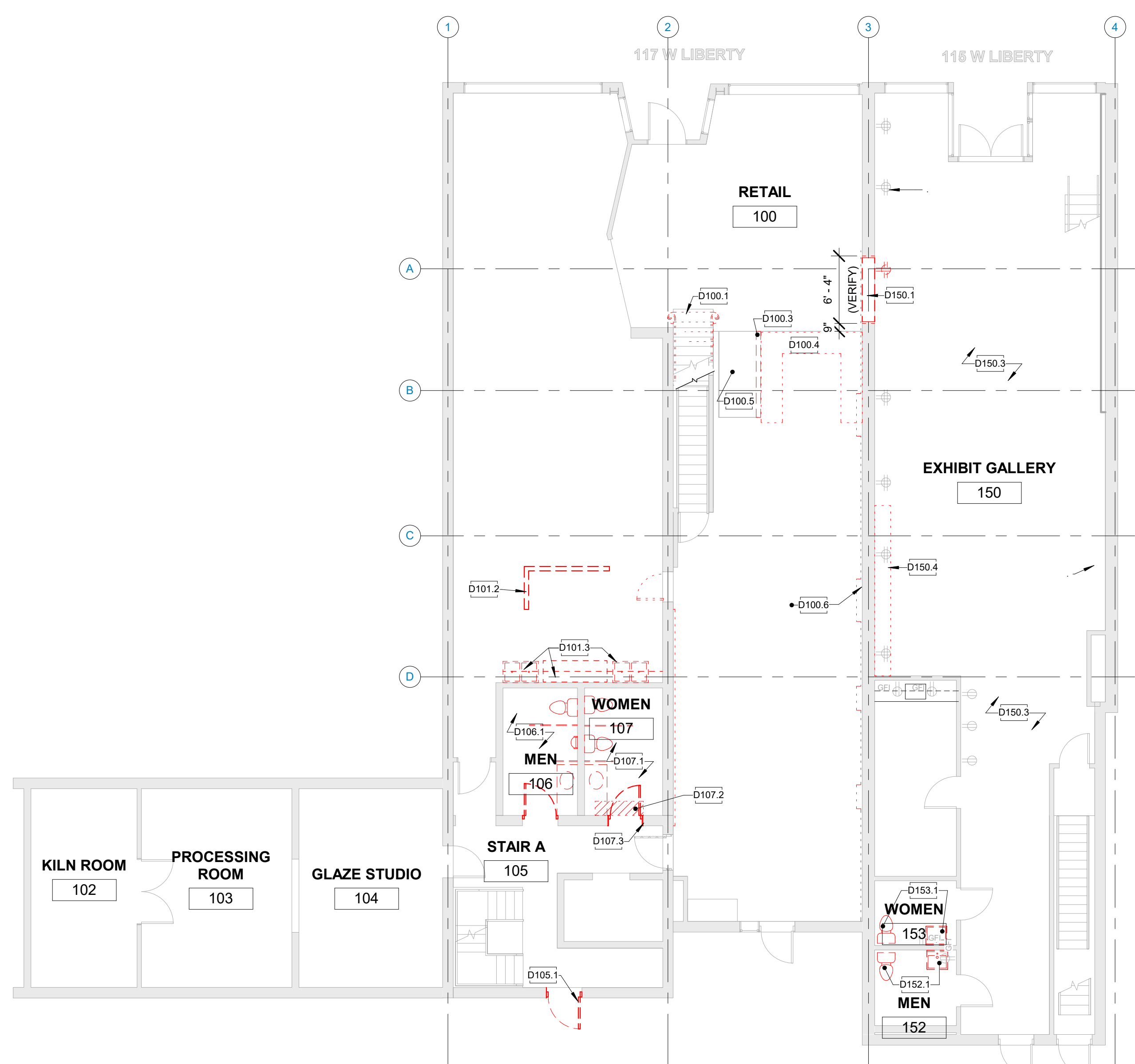
LEVEL 1 - DEMO KEY NOTES

- D100.1 REMOVE HANDRAILS AND BALUSTERS. STAIR STRUCTURE TO REMAIN.
- D100.3 REMOVE PARTIAL-HT. WALL. RAMP TO REMAIN.
- D100.4 REMOVE SALES COUNTER AND PARTITIONS. STORE COMPONENTS FOR REUSE.
- D100.5 REMOVE FINISH FLOOR ON RAMP DOWN TO SUBFLOOR.
- D100.6 REMOVE GYP.BD. AND FURRING TO EXPOSE EXISTING MASONRY WALLS. AS SHOWN IN INTERIOR ELEVATIONS.
- D101.2 REMOVE PARTIAL-HEIGHT WALL
- D101.3 REMOVE SINKS, WORKSURFACES, AND SHELVES. STORE ON-SITE FOR REUSE IN NEW STUDIO
- D105.1 REMOVE ENTRY DOOR, TO BE REPLACED WITH NEW DOOR AND HARDWARE.
- D106.1 REMOVE PARTITIONS, COUNTERS, PLUMBING FIXTURES, GRAB BARS, LIGHT FIXTURES, AND MIRRORS. REMOVE FINISH CEILING, AND FINISH WALLS AND FURRING TO CMU/STUDS.
- D107.1 REMOVE FLOORING DOWN TO SUBFLOOR. REMOVE DOORS, TRIM, AND HARDWARE.
- D107.2 REMOVE CEILING AND FRAMING AS REQUIRED FOR NEW CHASE FROM LEVEL 2.
- D107.3 WIDEN M.O. FOR ADA-COMPLIANT 3'-0" WIDE DOOR.
- D150.1 REMOVE WALL AS REQ'D FOR NEW M.O. BETWEEN BUILDINGS. SEE SHEET A4.1n FOR MORE INFORMATION.
- D150.2 NOT USED
- D150.3 REMOVE FINISH FLOORING DOWN TO SUBFLOOR.
- D150.4 REMOVE CABINETS. STORE ON-SITE PER OWNER'S INSTRUCTIONS.
- D152.1 REMOVE PLUMBING FIXTURES, GRAB BARS, AND NON-EMERGENCY LIGHT FIXTURES. REMOVE FLOORING DOWN TO SUBFLOOR.
- D153.1 REMOVE FLOORING DOWN TO SUBFLOOR.

LEGEND



0 Level 0 DEMO  
1/8" = 1'-0"

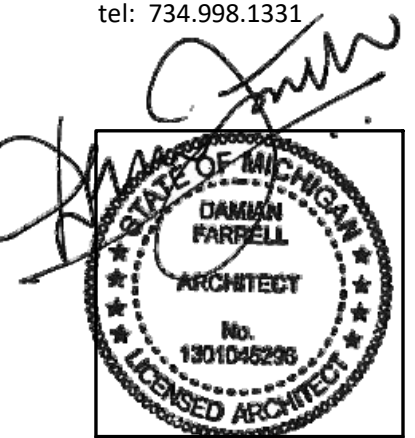


1 Level 1 DEMO  
1/8" = 1'-0"



DAMIAN FARRELL DESIGN GROUP

359 METTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
tel: 734.998.1331



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DESIGN  
DRAWN  
PROJECT NO.  
Designer  
Author  
200312\_21\_01

DEMO PLANS -  
LEVEL 2 AND 3

D1.2

GENERAL DEMOLITION NOTES

ALL ITEMS TO BE RELOCATED ARE TO BE REMOVED, STORED, PROTECTED, AND REINSTALLED BY THE CONTRACTOR. THE CONTRACTOR IS TO ENSURE THE ITEM IS IN WORKING ORDER PRIOR TO AND AFTER RELOCATION. OWNER IS TO BE NOTIFIED IF DEFECTS ARE FOUND.

DEMOLITION IN THE EXISTING BUILDING IS TO BE LIMITED TO WITHIN THE AREAS INDICATED. WITHIN THE DEMOLITION AREA, THE DEMOLITION IS TO INCLUDE THE FOLLOWING, UNLESS NOTED OTHERWISE: REMOVAL OF ALL INDICATED FLOOR FINISHES TO THE EXISTING SUBFLOOR; ALL INDICATED CEILING FINISHES AND SYSTEMS ARE TO BE DEMOLISHED TO THE UNDERSIDE OF EXISTING FLOOR JOISTS; ALL INDICATED WALL FINISHES ARE TO BE DEMOLISHED TO WOOD STUD FRAMING AS REQUIRED FOR THE PROPER INSTALLATION OF THE NEW FINISHES; ALL EXISTING STRUCTURAL ELEMENTS ARE TO REMAIN UNDISTURBED.

COORDINATE WITH ALL DRAWINGS AND DESIGN-BUILD REQUIREMENTS FOR ADDITIONAL AREAS OF DEMOLITION BEYOND THE EXTENT SHOWN ON THIS DRAWING. PROVIDE ALL CUT-OUT DEMOLITION REQUIRED FOR THE REMOVAL OF DUCTS, FLOOR DRAINS, ETC. THE SUBCONTRACTOR SHALL FULLY PROTECT ALL ADJACENT FINISHES AND MATERIALS AT THESE LOCATIONS.

DIMENSIONS SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. DEMOLITION SHOULD BE SUFFICIENT TO ACCOMMODATE THE NEW WORK DESCRIBED IN THESE DRAWINGS.

PROTECT EXISTING TREES DURING CONSTRUCTION. PRESERVE ALL LANDSCAPING WHERE POSSIBLE.

ALL CABINETS AND FIXTURES THAT ARE TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION.

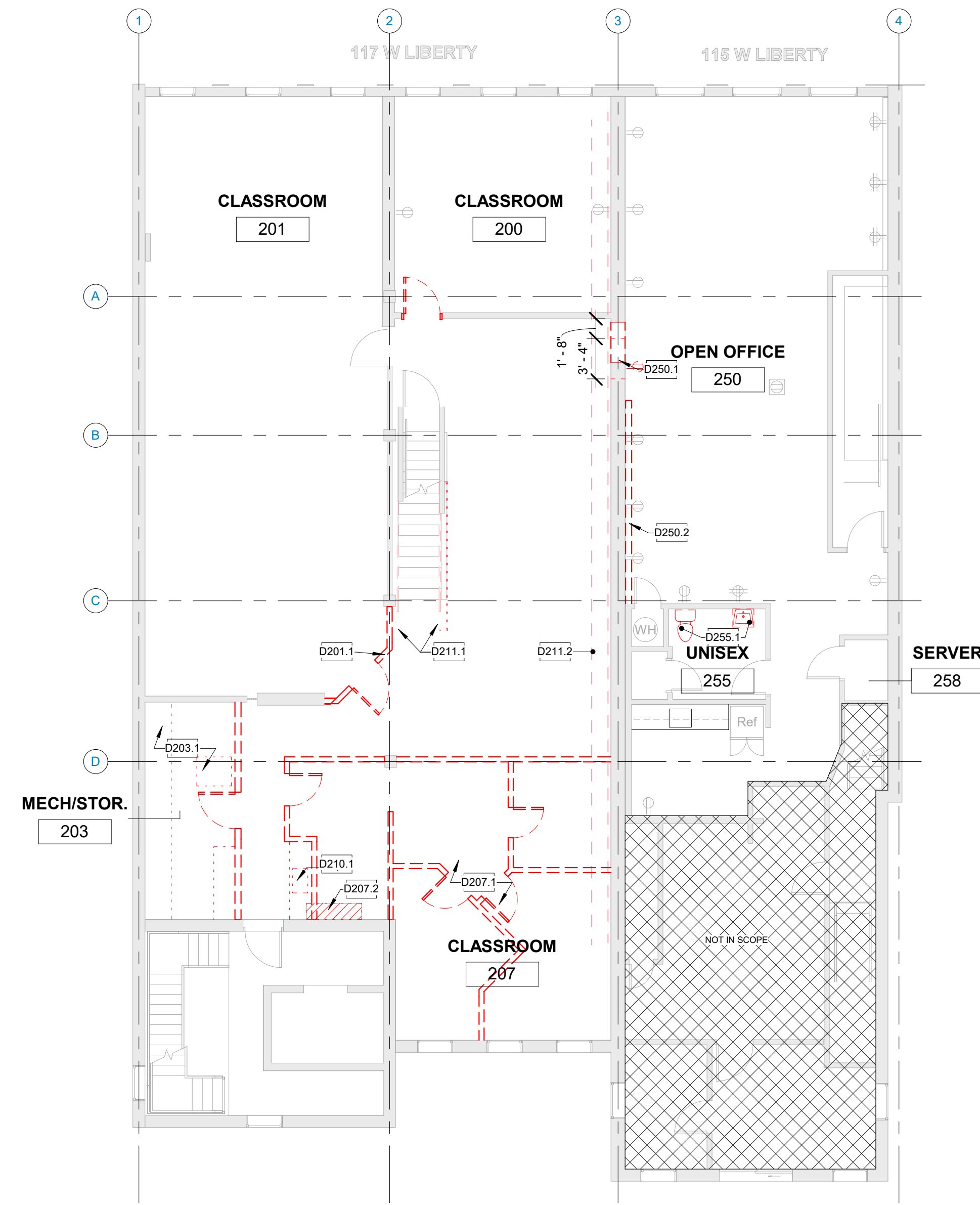
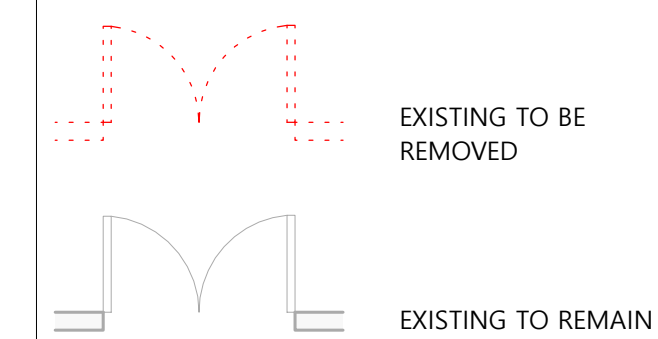
LEVEL 2 - DEMO KEY NOTES

- D201.1 REMOVE WALLS AND DOOR AS SHOWN.
- D203.1 REMOVE WALLS, DOORS, AND SHELVES AS SHOWN. CO-ORD. w/M-SHEETS FOR MECH DEMO.
- D207.1 REMOVE WALLS AND DOOR AS SHOWN. REMOVE LAY-IN CEILING SYSTEM IN THIS AREA.
- D207.2 REMOVE FLOOR AND FLOOR FRAMING AS REQUIRED FOR NEW MECH CHASE.
- D210.1 REMOVE COUNTERTOP AND SINK AS SHOWN.
- D211.1 REMOVE HAND RAILS AND GUARD RAILS.
- D211.2 REMOVE DUCTS ABOVE AND BELOW
- D250.1 REMOVE WALL AS REQ'D FOR NEW M.O. BETWEEN BUILDINGS. SEE SHEET A4.2n FOR MORE INFORMATION.
- D250.2 REMOVE GYP.BD. WALL TO EXPOSE EXISTING MASONRY WALL.
- D255.1 REMOVE PLUMBING FIXTURES, LIGHT FIXTURES, AND FINISH FLOOR DOWN TO SUBFLOOR.

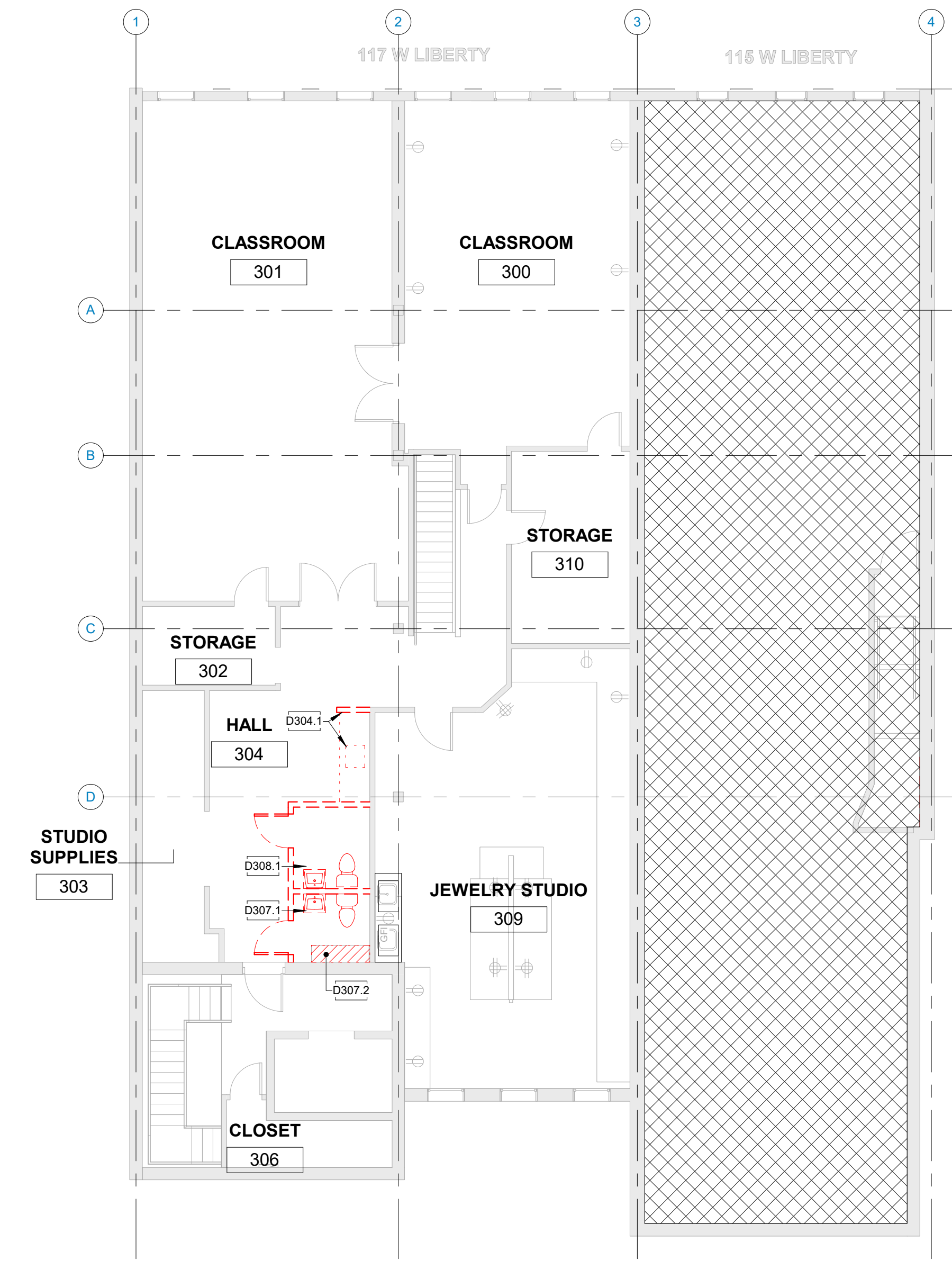
LEVEL 3 - DEMO KEY NOTES

- D304.1 REMOVE WALL, COUNTERTOP, AND SINK AS SHOWN.
- D307.1 DEMO ENTIRE BATHROOM, INCLUDING WALLS, DOORS, AND CEILING. REMOVE FINISH FLOOR DOWN TO SUBFLOOR.
- D307.2 REMOVE FLOOR AND ROOF FRAMING FOR NEW MECH CHASE FROM ROOF.

LEGEND



2 Level 2 DEMO  
1/8" = 1'-0"

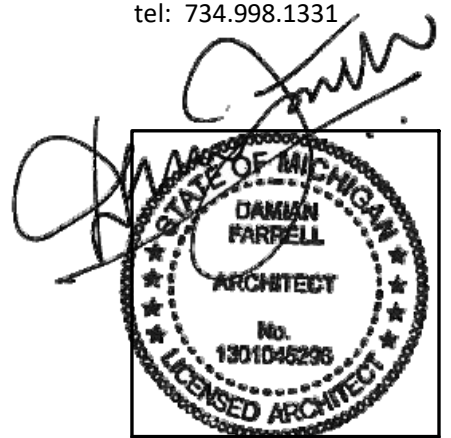


3 Level 3 DEMO  
1/8" = 1'-0"



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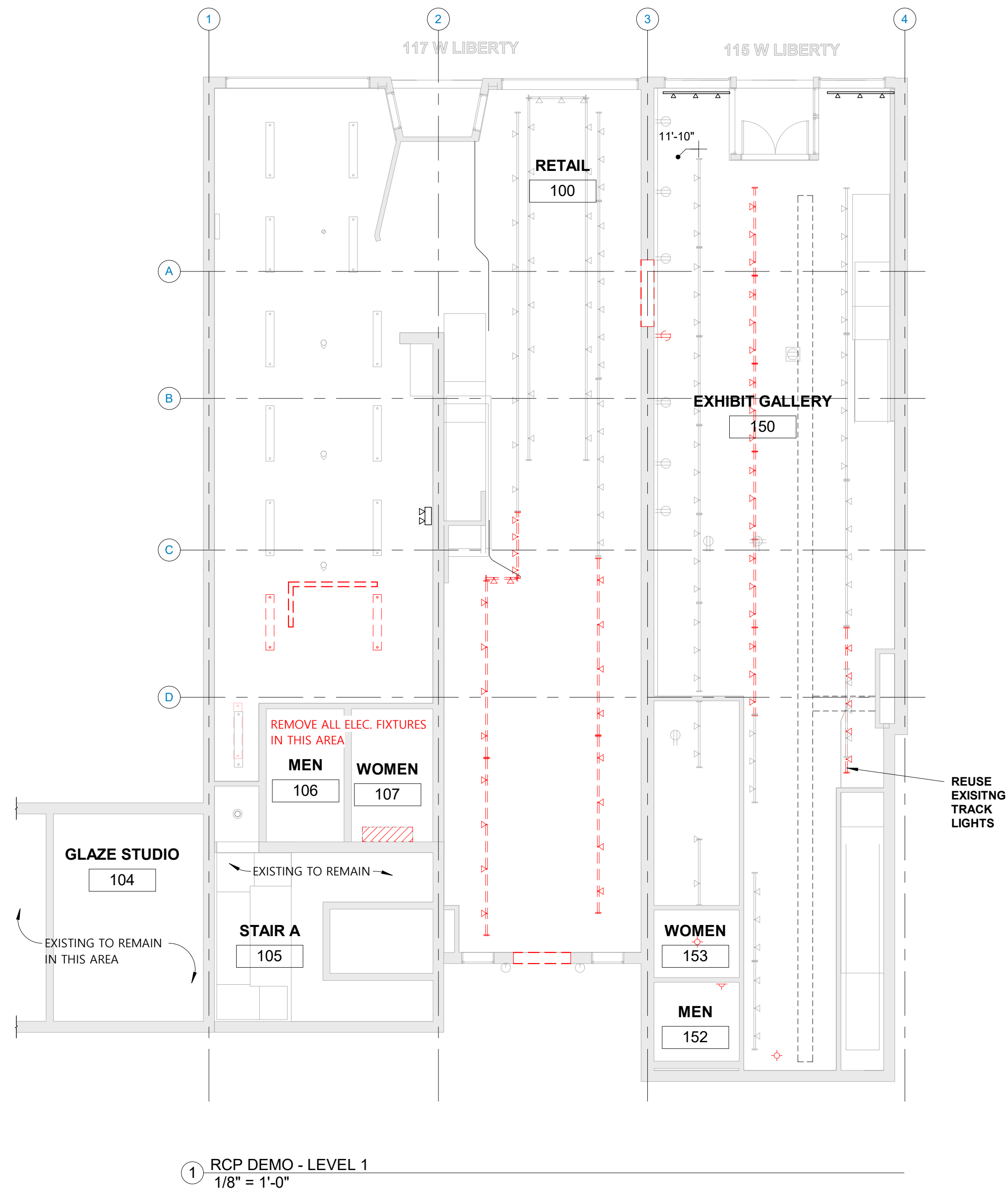
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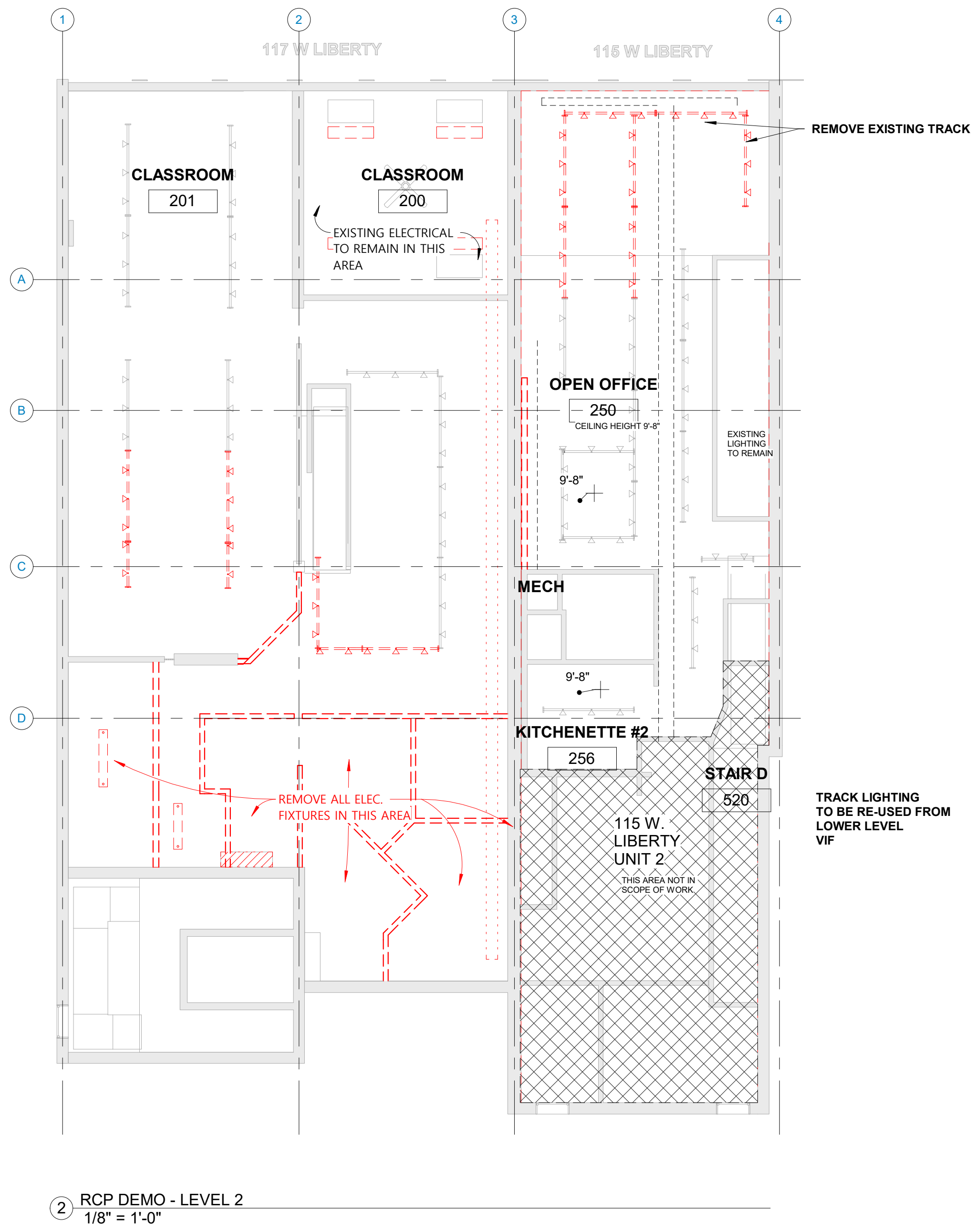
DESCRIPTION  
BID/PERMIT

DESIGN Designer  
DRAWN Author  
PROJECT NO. 200312\_21\_01

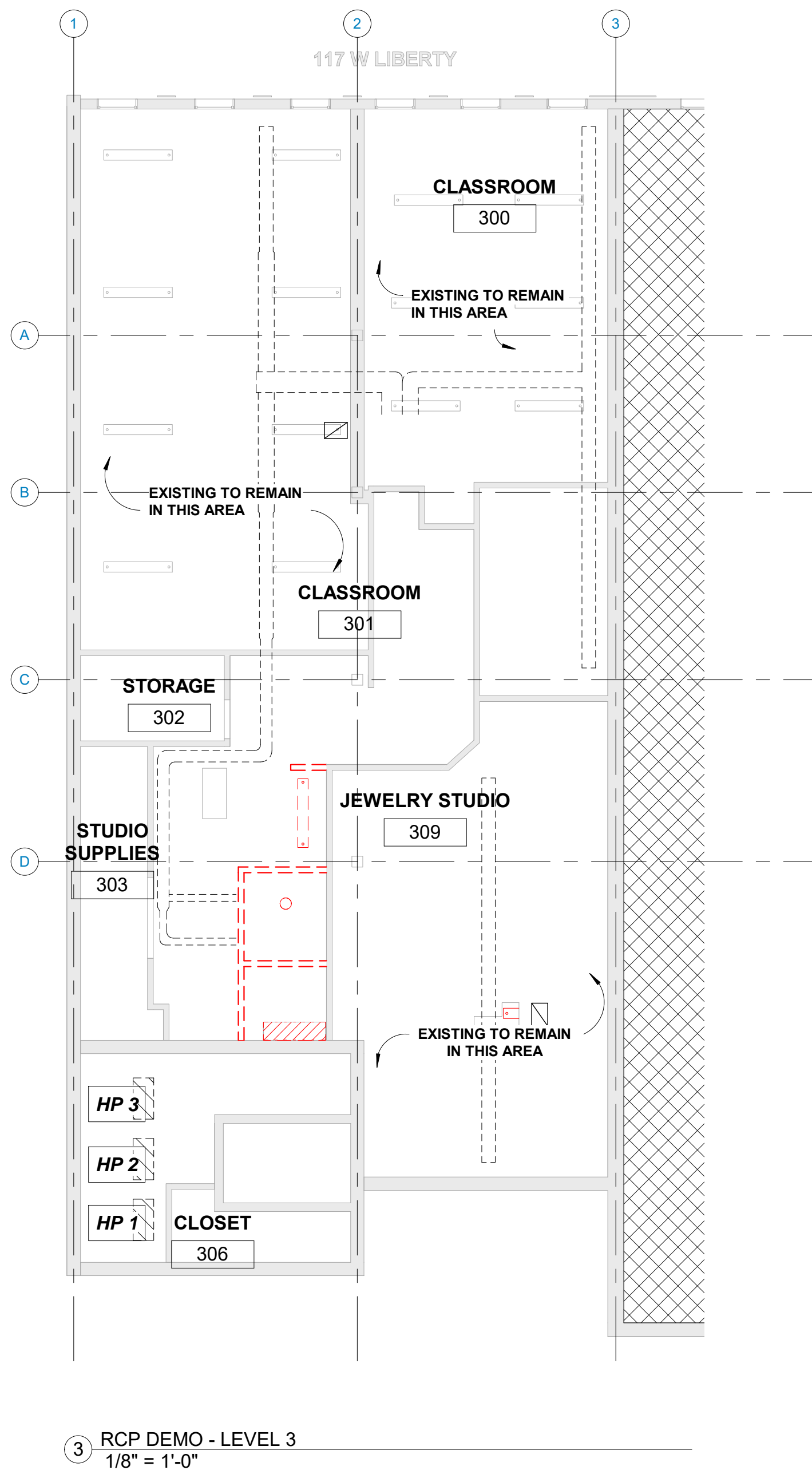
ELECTRICAL DEMO  
RCP - LEVELS 1, 2,  
3  
**D2.0**



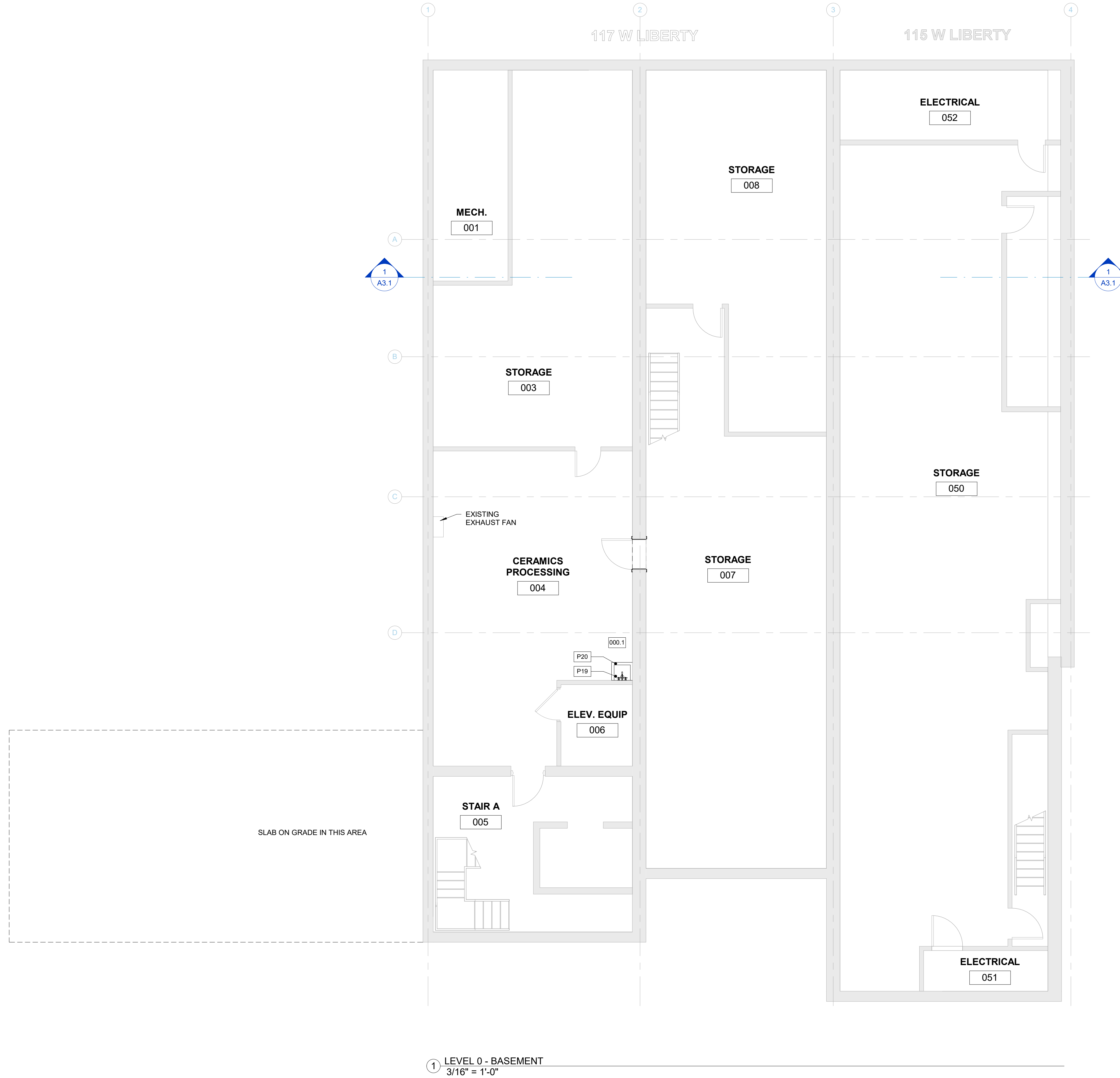
1 RCP DEMO - LEVEL 1  
1/8" = 1'-0"



2 RCP DEMO - LEVEL 2  
1/8" = 1'-0"



3 RCP DEMO - LEVEL 3  
1/8" = 1'-0"



1 LEVEL 0 - BASEMENT  
3/16" = 1'-0"

**GENERAL NOTES**

1. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION.
2. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
3. DASHED LINES AT DOORS, STAIRS, RAMP, AND FIXTURES INDICATE REQUIRED ADA CLEARANCES.
4. VERIFY ALL DIMENSIONS WITH EXIST. CONDITIONS.

**TAG TYPES LEGEND**

- INTERIOR WINDOW/GLAZING TAG (SEE SCHEDULE SHEET T4.0)
- PLUMBING FIXTURE TAG (SEE SCHEDULE SHEET T4.2)

**FLOOR 0 - SCOPE OF WORK KEY NOTES**

| TAG   | DESCRIPTION                                   |
|-------|---|
| 000.1 | NEW SERVICE SINK TO REPLACE EXISTING TUB SINK |

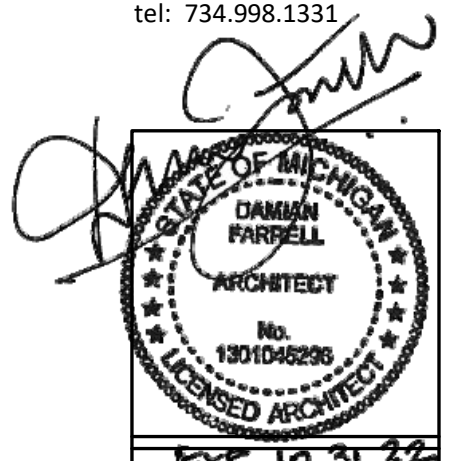
**PLAN LEGEND**

- NEW CONSTRUCTION
- EXISTING TO REMAIN



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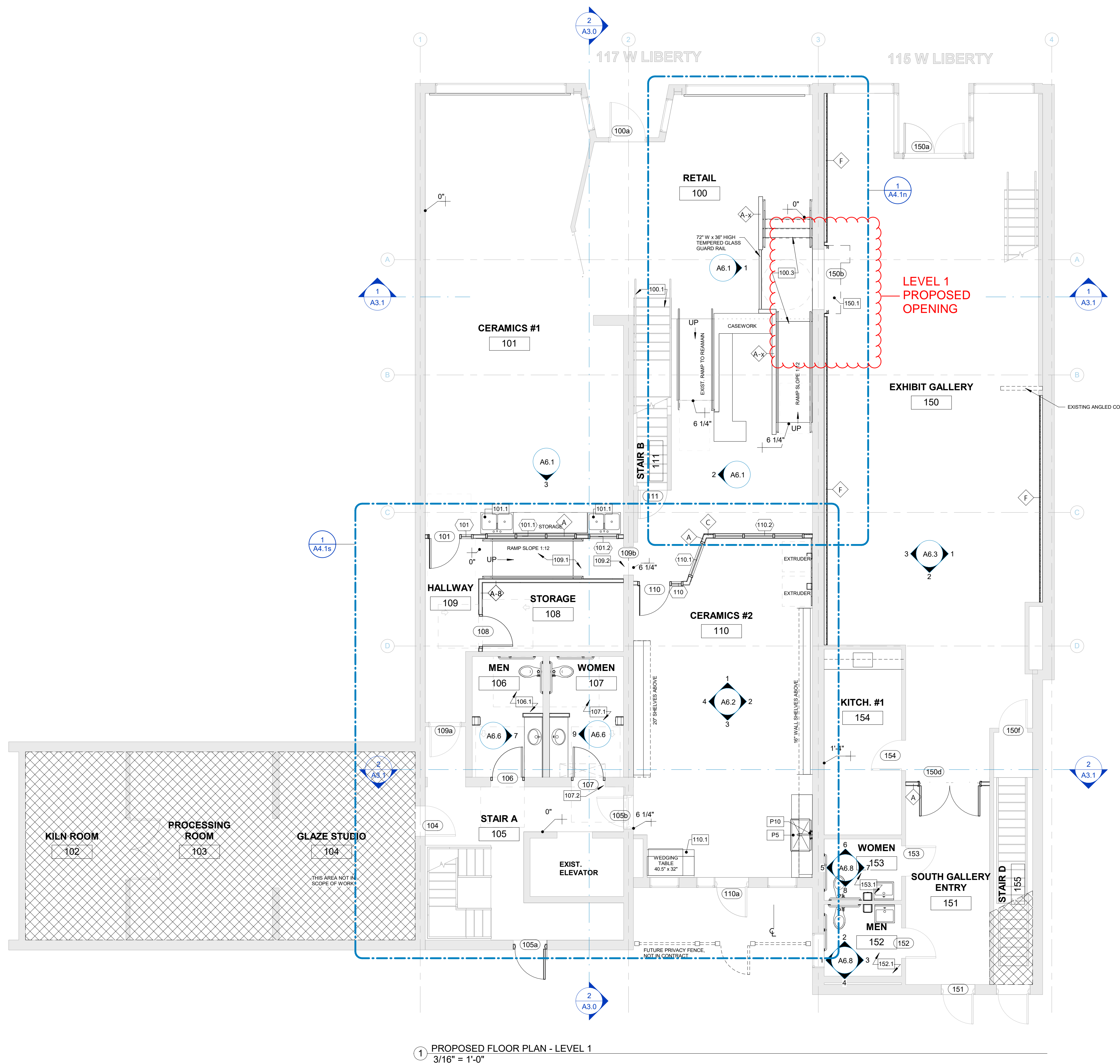
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| DRAWN       | Author       |
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**FLOOR PLAN LEVEL 0**

**A1.0**



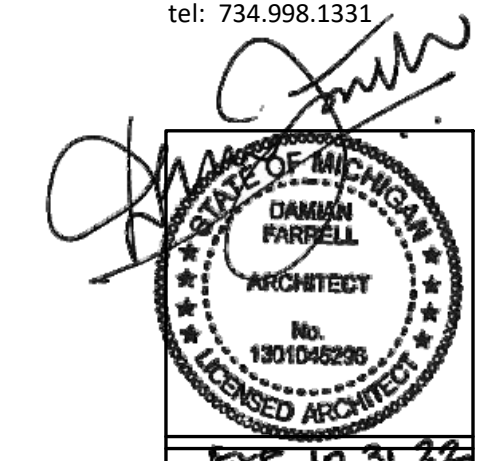
1 PROPOSED FLOOR PLAN - LEVEL 1  
3/16" = 1'-0"

| GENERAL NOTES  |  |
|--|--|
| 1. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION.  |  |
| 2. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.   |  |
| 3. DASHED LINES AT DOORS, STAIRS, RAMP, AND FIXTURES INDICATE REQUIRED ADA CLEARANCES.   |  |
| 4. VERIFY ALL DIMENSIONS WITH EXIST. CONDITIONS.   |  |
| TAG TYPES LEGEND   |  |
| 101.1  | INTERIOR WINDOW/GLAZING TAG<br>(SEE SCHEDULE SHEET T4.0)   |
| P.   | PLUMBING FIXTURE TAG<br>(SEE SCHEDULE SHEET T4.2)  |
| PARTITION TYPES LEGEND   |  |
| DETERMINE METAL STUD GAUGE PER THE "SSMD TECHNICAL INFORMATION MANUAL" MAX LATERAL LOAD = 5 PSF, MAX. DEFLECTION = L/240.  |  |
| WALLS ARE FULL-HEIGHT FROM FLOOR TO CEILING UNLESS MODIFIED WITH A NUMBER INDICATING HEIGHT A.F.F., OR -x INDICATING THAT THE INSTALLER SHOULD REFERENCE THE INT. ELEVATION. |  |
| SEE SHEET T4.1 FOR WALL CAP DETAILS OF PARTIAL HEIGHT WALLS.   |  |
| INDICATES SOUND-ATTENUATION INSULATION IN WALL CAVITY.   |  |
| WALL TAG DESCRIPTION   |  |
| A  | STANDARD PARTITION WALL:<br>5/8" GYPSUM BOARD ON EACH SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.   |
| B  | PLUMBING WALL: 5/8" GYPSUM BOARD ON EACH SIDE OF 5-1/2" METAL STUDS @ 16" o.c. TYP.  |
| C  | GALLERY PARTITION WALL: 5/8" GYPSUM BOARD ON 3/4" PLYWOOD ONE SIDE AND 5/8" GYP.BD. ON OTHER SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.  |
| D  | REGULAR WALL - FURRED: 5/8" GYPSUM BOARD ON 7/8" HAT CHANNEL FURRING ON EXISTING MASONRY WALL.   |
| E  | GALLERY WALL - FURRED 1:<br>5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 7/8" HAT CHANNEL FURRING ON EXISTING WALL.  |
| F  | GALLERY WALL - FURRED 2:<br>5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 2-1/2" METAL STUDS ON EXIST. WALL.  |
| G  | 1-HR FIRE-RATED SHAFT WALL:<br>(2) LAYERS 5/8" TYPE-X GYPSUM BOARD (STAGGER SEAMS) ON 2-1/2" C-H SHAFT WALL STEEL STUD @ 24" o.c. WITH 1" GYPSUM LINER PANELS (USG TYPE SLX, OR EQUIVALENT) AT INSIDE FACE OF SHAFT. |
| LEVEL 1 - SCOPE OF WORK KEY NOTES  |  |
| TAG  | DESCRIPTION  |
| 100.1  | NEW ADA-COMPLIANT HAND RAILS AT EXISTING STAIR.  |
| 100.2  | NOT USED.  |
| 100.3  | NEW ADA-COMPLIANT STAIRS AND RAMP WITH HAND RAILS.   |
| 101.1  | RE-INSTALL SALVAGED SINKS AND WORK SURFACE.  |
| 106.1<br>107.1   | RENOVATE BATHROOMS, INCLUDING NEW ADA-COMPLIANT PLUMBING FIXTURES WITH TOUCHLESS CONTROLS, GRAB BARS, COUNTERTOP, SPECIALTIES, MIRRORS, LIGHTING, DOORS, DOOR HARDWARE, FRP, VINYL BASE, AND FLOOR TBD.              |
| 107.2  | WIDEN EXISTING M.O. FOR NEW 3'6" DOOR.   |
| 109.1  | NEW LANDING AND ADA-COMPLIANT RAMP WITH HAND RAILS.  |
| 109.2  | ADA-COMPLIANT THRESHOLD  |
| 110.1  | EXTEND EXISTING PLATFORM FOR WEDGING TABLE.  |
| 150.1  | NEW OPENING w/ 3-HR FIRE RATED OVERHEAD ROLLING DOOR AND ADA-COMPLIANT THRESHOLD   |
| 152.1<br>153.1   | RENOVATE BATHROOM, INCLUDING NEW ADA-COMPLIANT PLUMBING FIXTURES WITH TOUCHLESS CONTROLS, GRAB BARS, COUNTERTOP, SPECIALTIES, MIRRORS, LIGHTING, DOORS, DOOR HARDWARE, TILE FLOOR WITH TILE WALL BASE.               |
| PLAN LEGEND  |  |
|  | NEW CONSTRUCTION   |
|  | EXISTING TO REMAIN   |



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| DESIGN DRAWN PROJECT NO. | Designer<br>Author<br>200312_21_01 |
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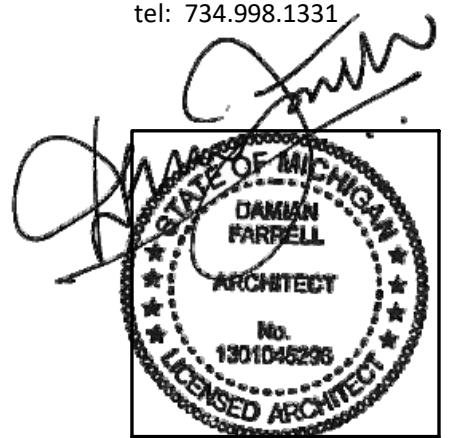
FLOOR PLAN  
LEVEL 1

A1.1



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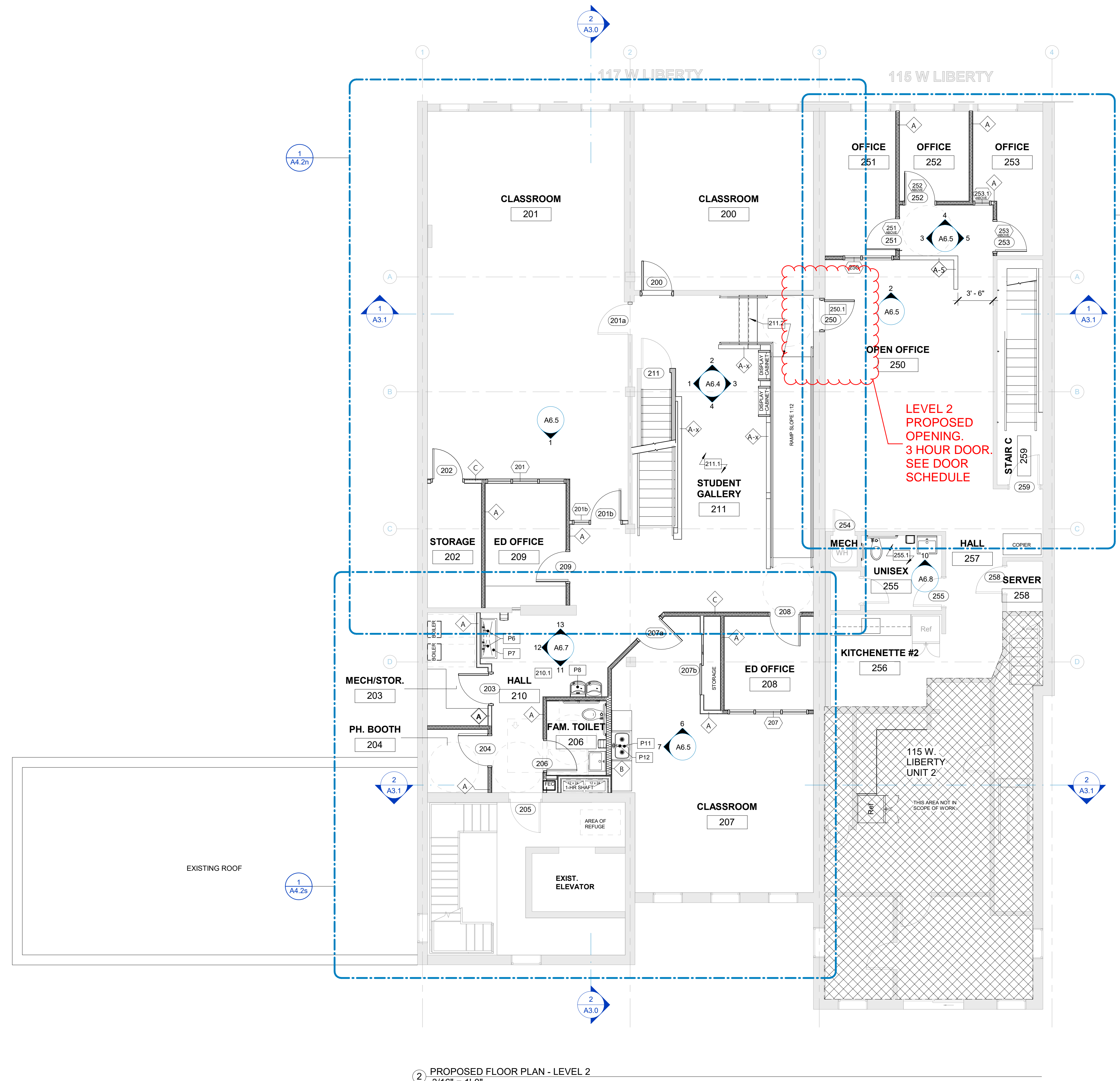
DESIGN  
DRAWN  
PROJECT NO.

Designer  
Author  
200312\_21\_01

FLOOR PLAN  
LEVEL 2

A1.2

| GENERAL NOTES   |  |
|---|--|
| 1. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION.<br>2. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.<br>3. DASHED LINES AT DOORS, STAIRS, RAMP, AND FIXTURES INDICATE REQUIRED ADA CLEARANCES.<br>4. VERIFY ALL DIMENSIONS WITH EXIST. CONDITIONS. |  |
| TAG TYPES LEGEND  |  |
|   | INTERIOR WINDOW/GLAZING TAG<br>(SEE SCHEDULE SHEET T4.0)   |
|   | PLUMBING FIXTURE TAG<br>(SEE SCHEDULE SHEET T4.2)  |
| PARTITION TYPES LEGEND  |  |
| DETERMINE METAL STUD GAUGE PER THE "SSMD TECHNICAL INFORMATION MANUAL" MAX LATERAL LOAD = 5 PSF, MAX. DEFLECTION = L/240.   |  |
| WALLS ARE FULL-HEIGHT FROM FLOOR TO CEILING UNLESS MODIFIED WITH A NUMBER INDICATING HEIGHT A.F.F., OR -X INDICATING THAT THE INSTALLER SHOULD REFERENCE THE INT. ELEVATION.  |  |
| SEE SHEET T4.1 FOR WALL CAP DETAILS OF PARTIAL HEIGHT WALLS.  |  |
|   | INDICATES SOUND-ATTENUATION INSULATION IN WALL CAVITY.   |
| WALL TAG DESCRIPTION  |  |
|   | STANDARD PARTITION WALL:<br>5/8" GYPSUM BOARD ON EACH SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.   |
|   | PLUMBING WALL: 5/8" GYPSUM BOARD ON EACH SIDE OF 5-1/2" METAL STUDS @ 16" o.c. TYP.  |
|   | GALLERY PARTITION WALL: 5/8" GYPSUM BOARD ON 3/4" PLYWOOD ONE SIDE AND 5/8" GYP.BD. ON OTHER SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.  |
|   | REGULAR WALL - FURRED: 5/8" GYPSUM BOARD ON 7/8" HAT CHANNEL FURRING ON EXISTING MASONRY WALL.   |
|   | GALLERY WALL - FURRED 1:<br>5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 7/8" HAT CHANNEL FURRING ON EXISTING WALL.  |
|   | GALLERY WALL - FURRED 2:<br>5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 2-1/2" METAL STUDS ON EXIST. WALL.  |
|   | 1-HR FIRE-RATED SHAFT WALL:<br>(2) LAYERS 5/8" TYPE-X GYPSUM BOARD (STAGGER SEAMS) ON 2-1/2" C-H SHAFT WALL STEEL STUD @ 24" o.c. WITH 1" GYPSUM LINER PANELS (USG TYPE SLX, OR EQUIVALENT) AT INSIDE FACE OF SHAFT. |
| LEVEL 2 - SCOPE OF WORK KEY NOTES   |  |
| TAG   | DESCRIPTION  |
| 210.1   | REFINISH EXISTING WOOD FLOOR   |
| 210.2   | ST. STL. TROUGH SINK WITH (2) FAUCETS  |
| 210.3   | ADA-COMPLIANT HI-LO DRINKING FOUNTAIN.   |
| 211.1   | REFINISH EXISTING WOOD FLOOR   |
| 211.2   | ADA-COMPLIANT STAIRS AND RAMP WITH HAND RAILS.   |
| 211.3   | CUSTOM DISPLAY CASES.  |
| 250.1   | NEW OPENING WITH 3'-0" x 6'-8" H FIRE DOOR.<br>3-HR. RATED FOR SMOKE AND FIRE. WITH ADA-COMPLIANT THRESHOLD.   |
| 255.1   | RENOVATE BATHROOM, INCLUDING NEW ADA-COMPLIANT PLUMBING FIXTURES WITH TOUCHLESS CONTROLS, GRAB BARS, COUNTERTOP, SPECIALTIES, MIRRORS, LIGHTING, DOORS, DOOR HARDWARE, TILE FLOOR WITH TILE WALL BASE.               |
| PLAN LEGEND   |  |
|   | NEW CONSTRUCTION   |
|   | EXISTING TO REMAIN   |

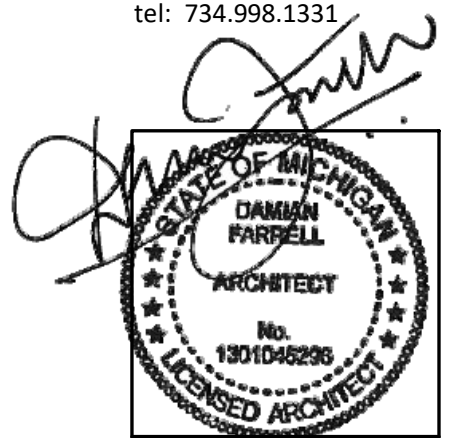


2 PROPOSED FLOOR PLAN - LEVEL 2  
3/16" = 1'-0"



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tel: 734-998.1331



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01/25/2021  
04/06/2021

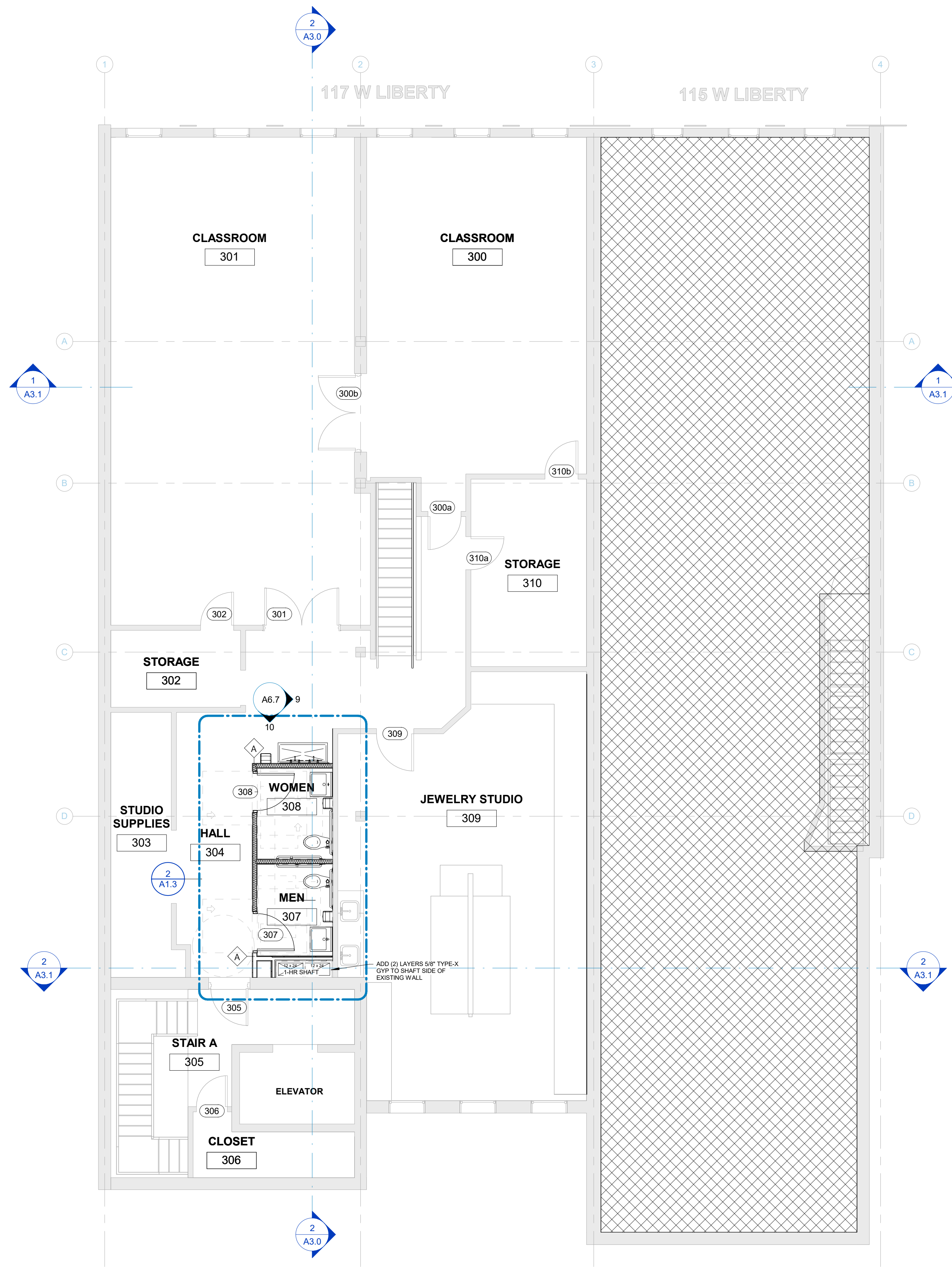
DESCRIPTION  
SCHEMATIC DESIGN  
BID/PERMIT

DESIGN  
DRAWN  
PROJECT NO. Designer  
Author  
200312\_21\_01

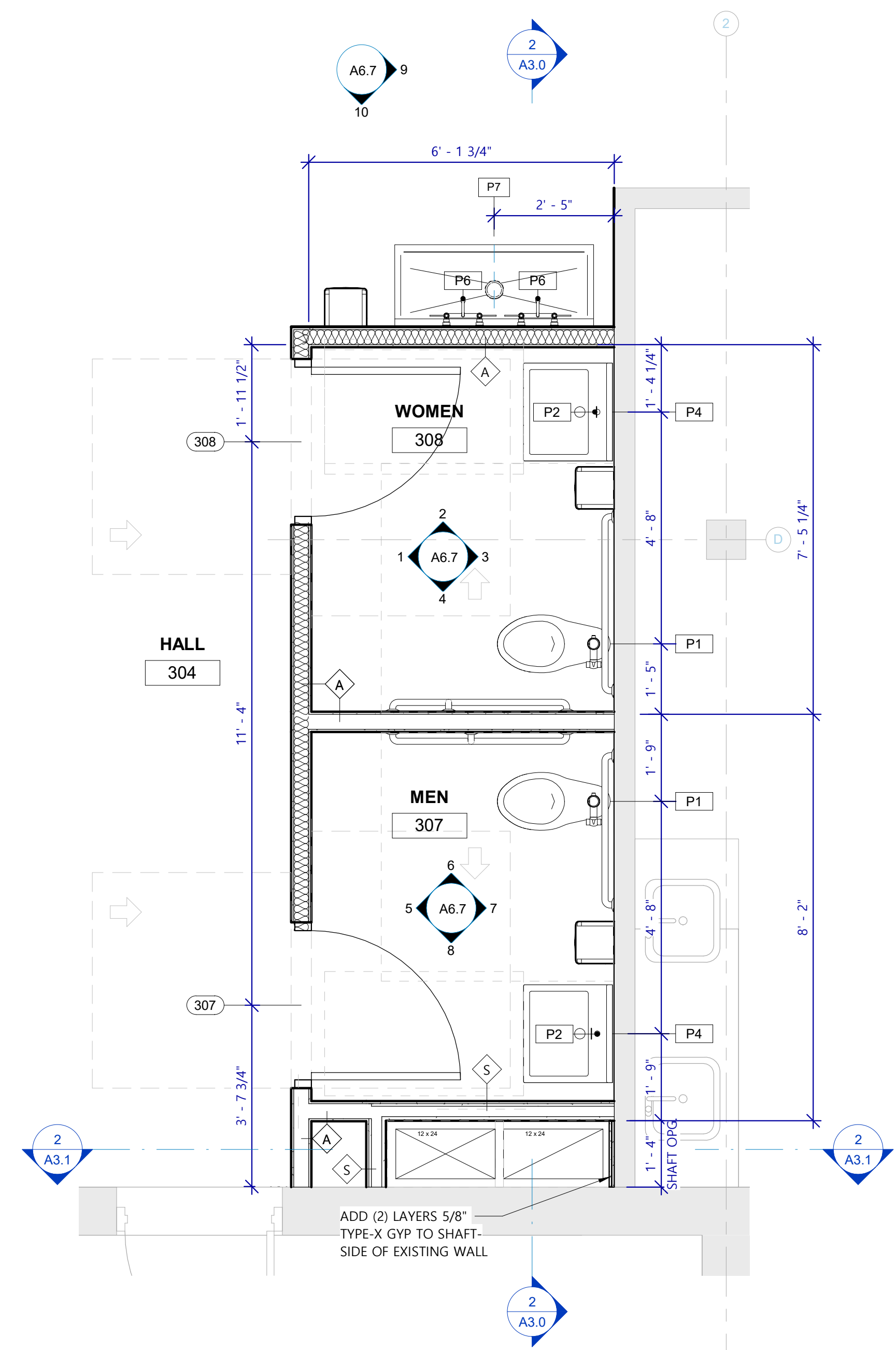
FLOOR PLAN  
LEVEL 3

A1.3

| GENERAL NOTES  |  |
|--|--|
| 1. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION.  |  |
| 2. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.   |  |
| 3. DASHED LINES AT DOORS, STAIRS, RAMP, AND FIXTURES INDICATE REQUIRED ADA CLEARANCES.   |  |
| 4. VERIFY ALL DIMENSIONS WITH EXIST. CONDITIONS.   |  |
| TAG TYPES LEGEND   |  |
|  | INTERIOR WINDOW/GLAZING TAG<br>(SEE SCHEDULE SHEET T4.0)   |
|  | PLUMBING FIXTURE TAG<br>(SEE SCHEDULE SHEET T4.2)  |
| PARTITION TYPES LEGEND   |  |
| DETERMINE METAL STUD GAUGE PER THE "SSMD TECHNICAL INFORMATION MANUAL" MAX LATERAL LOAD = 5 PSF, MAX. DEFLECTION = L/240.  |  |
| WALLS ARE FULL-HEIGHT FROM FLOOR TO CEILING UNLESS MODIFIED WITH A NUMBER INDICATING HEIGHT A.F.F., OR -x INDICATING THAT THE INSTALLER SHOULD REFERENCE THE INT. ELEVATION. |  |
| SEE SHEET T4.1 FOR WALL CAP DETAILS OF PARTIAL HEIGHT WALLS.   |  |
|  | INDICATES SOUND-ATTENUATION INSULATION IN WALL CAVITY.   |
| WALL TAG DESCRIPTION   |  |
|  | STANDARD PARTITION WALL:<br>5/8" GYPSUM BOARD ON EACH SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.   |
|  | PLUMBING WALL: 5/8" GYPSUM BOARD ON EACH SIDE OF 5-1/2" METAL STUDS @ 16" o.c. TYP.  |
|  | GALLERY PARTITION WALL: 5/8" GYPSUM BOARD ON 3/4" PLYWOOD ONE SIDE AND 5/8" GYP.BD. ON OTHER SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.  |
|  | REGULAR WALL - FURRED: 5/8" GYPSUM BOARD ON 7/8" HAT CHANNEL FURRING ON EXISTING MASONRY WALL.   |
|  | GALLERY WALL - FURRED 1:<br>5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 7/8" HAT CHANNEL FURRING ON EXISTING WALL.  |
|  | GALLERY WALL - FURRED 2:<br>5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 2-1/2" METAL STUDS ON EXIST. WALL.  |
|  | 1-HR FIRE-RATED SHAFT WALL:<br>(2) LAYERS 5/8" TYPE-X GYPSUM BOARD (STAGGER SEAMS) ON 2-1/2" C-H SHAFT WALL STEEL STUD @ 24" o.c. WITH 1" GYPSUM LINER PANELS (USG TYPE SLX, OR EQUIVALENT) AT INSIDE FACE OF SHAFT. |
| LEVEL 3 - SCOPE OF WORK KEY NOTES  |  |
| TAG  | DESCRIPTION  |
|  | ST. STL. TROUGH SINK WITH (2) FAUCETS  |
| PLAN LEGEND  |  |
|  | NEW CONSTRUCTION   |
|  | EXISTING TO REMAIN   |

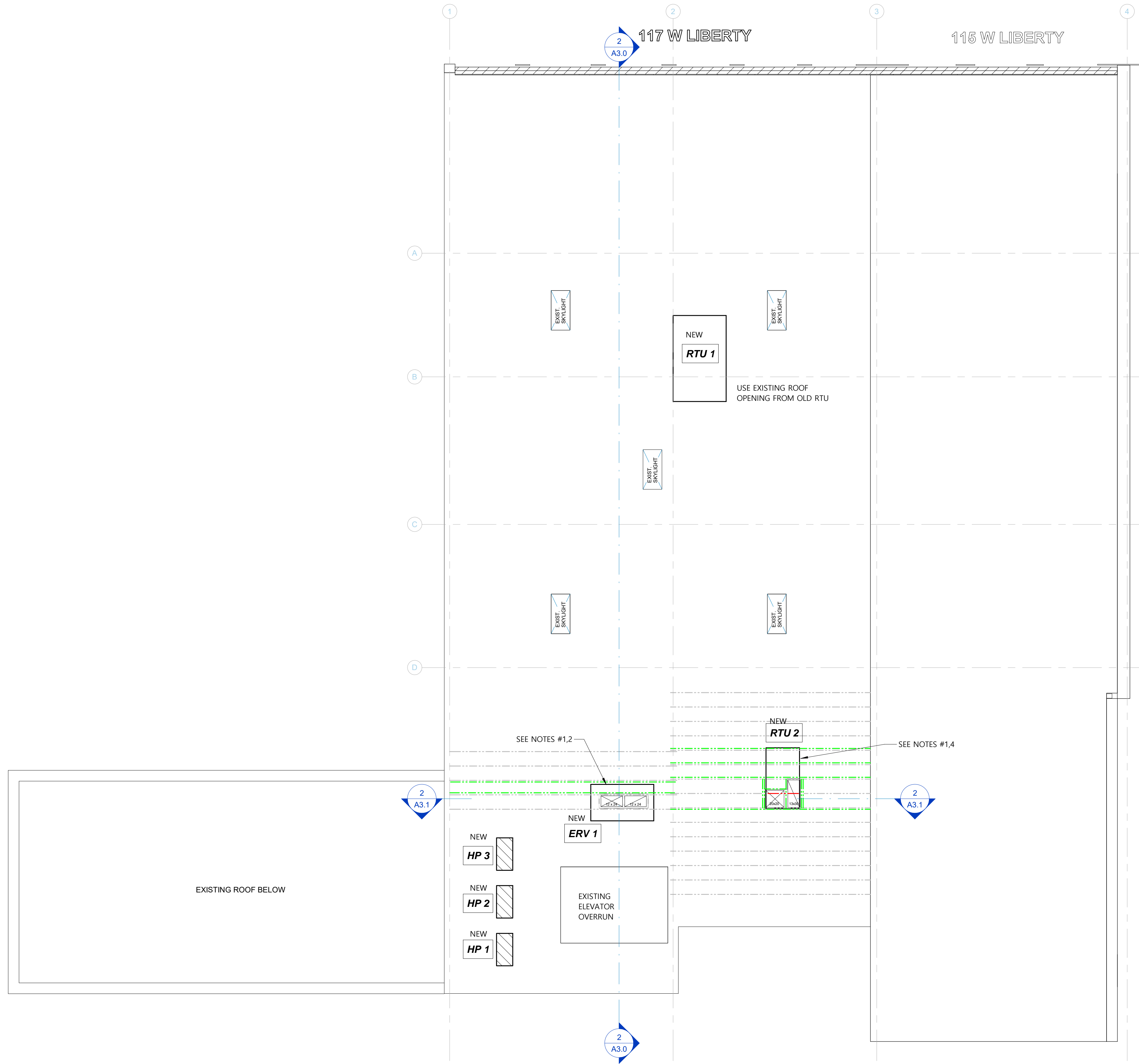


1 PROPOSED FLOOR PLAN - LEVEL 3  
3/16" = 1'-0"



2 ENLARGED PLAN - LEVEL 3  
RESTROOMS  
1/2" = 1'-0"





**STRUCTURAL NOTES**

1. CONTRACTOR TO VERIFY THAT FLOOR AND ROOF JOISTS SPAN EAST-WEST IN AREAS WHERE NEW OPENINGS WILL BE MADE AND CONFIRM JOIST SIZE AND SPACING NOTED IN DRAWING. NOTIFY ARCHITECT IF EXISTING CONDITIONS ARE FOUND TO BE DIFFERENT.
2. ROOF FRAMING AT ERV-1 SHAFT: REMOVE JOIST AS NEEDED FOR NEW ROOF OPENING. SISTER NEW FULL LENGTH JOIST TO THE **FIRST TWO** ADJACENT JOISTS THAT ARE TO REMAIN.
3. FLOOR FRAMING AT ERV-1 SHAFT: REMOVE JOIST AS NEEDED FOR NEW SHAFT. SISTER NEW FULL LENGTH JOIST TO **FIRST** ADJACENT JOIST TO REMAIN.
4. ROOF FRAMING AT RTU-2: SISTER ONE FULL LENGTH JOIST TO EACH EXISTING JOIST UNDER THE FOOTPRINT OF THE NEW RTU. AT THE NEW ROOF OPENING, HEADER OFF THE JOIST TO BE CUT WITH (2) 2X10'S ON EACH SIDE.
5. ADD (2) LAYERS 5/8" TYPE-X GYP TO SHAFT SIDE OF EXISTING WALL

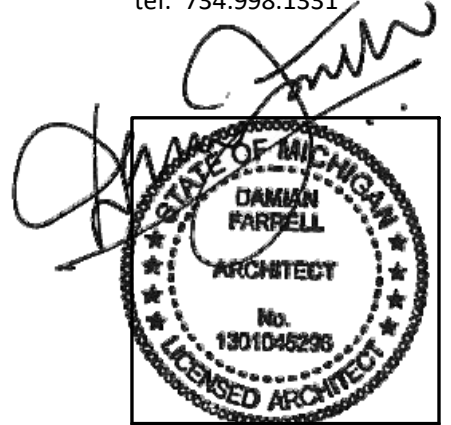
**LEGEND**

- EXISTING 2x10 WOOD ROOF FRAMING
- ..... NEW 2x10 WOOD ROOF FRAMING



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|-------------|--------------|
| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

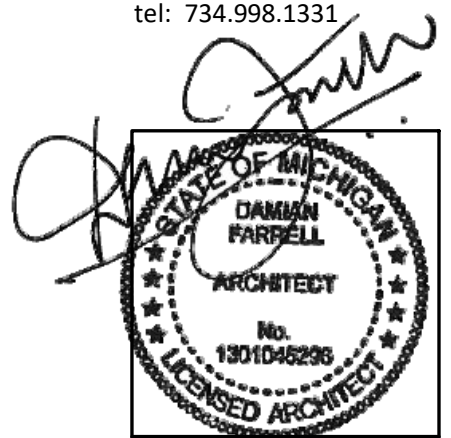
**ROOF PLAN WITH FRAMING NOTES**

**A1.4**



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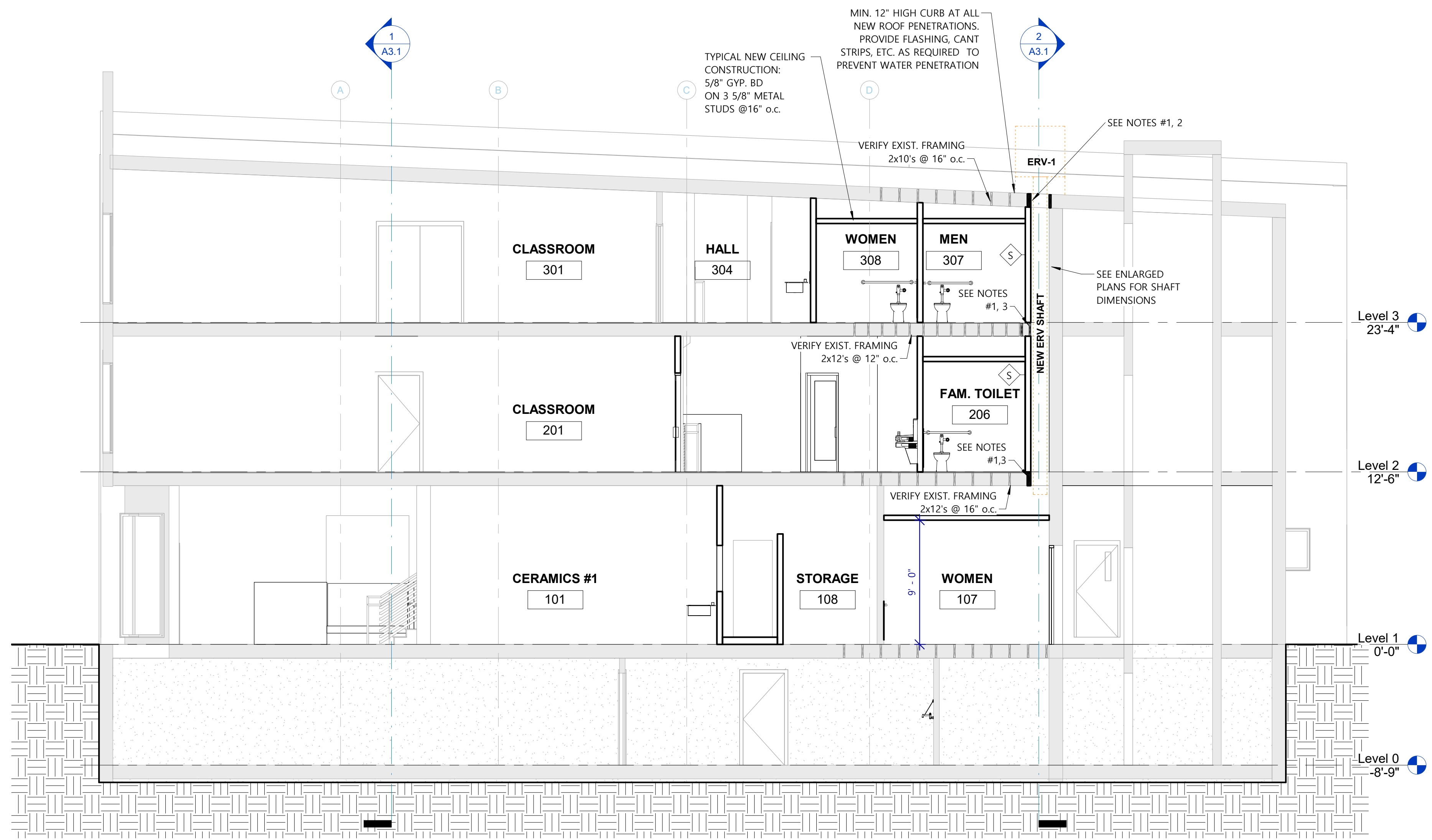
| DATE       | DESCRIPTION      |
|------------|------------------|
| 01/25/2021 | SCHEMATIC DESIGN |
| 04/06/2021 | BID/PERMIT       |

|             |              |
|-------------|--------------|
| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

BUILDING LONGITUDINAL SECTION  
**A3.0**

STRUCTURAL NOTES

1. CONTRACTOR TO VERIFY THAT FLOOR AND ROOF JOISTS SPAN EAST-WEST IN AREAS WHERE NEW OPENINGS WILL BE MADE AND CONFIRM JOIST SIZE AND SPACING NOTED IN DRAWING. NOTIFY ARCHITECT IF EXISTING CONDITIONS ARE FOUND TO BE DIFFERENT.
2. ROOF FRAMING AT ERV-1 SHAFT: REMOVE JOIST AS NEEDED FOR NEW ROOF OPENING. SISTER NEW FULL LENGTH JOIST TO THE FIRST TWO ADJACENT JOISTS THAT ARE TO REMAIN.
3. FLOOR FRAMING AT ERV-1 SHAFT: REMOVE JOIST AS NEEDED FOR NEW SHAFT. SISTER NEW FULL LENGTH JOIST TO FIRST ADJACENT JOIST TO REMAIN.
4. ROOF FRAMING AT RTU-2: SISTER ONE FULL LENGTH JOIST TO EACH EXISTING JOIST UNDER THE FOOTPRINT OF THE NEW RTU. AT THE NEW ROOF OPENING, HEADER OFF THE JOIST TO BE CUT WITH (2) 2X10'S ON EACH SIDE.
5. ADD (2) LAYERS 5/8" TYPE-X GYP TO SHAFT SIDE OF EXISTING WALL

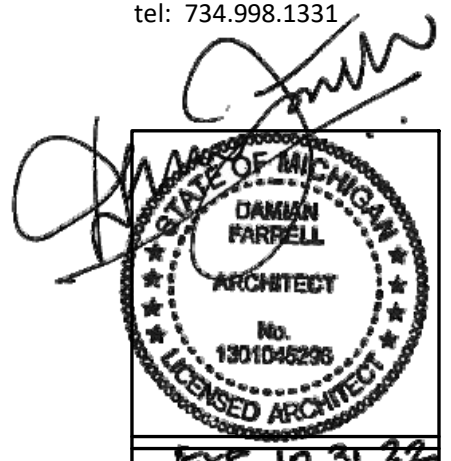


2 BUILDING LONG. SECTION  
3/16" = 1'-0"



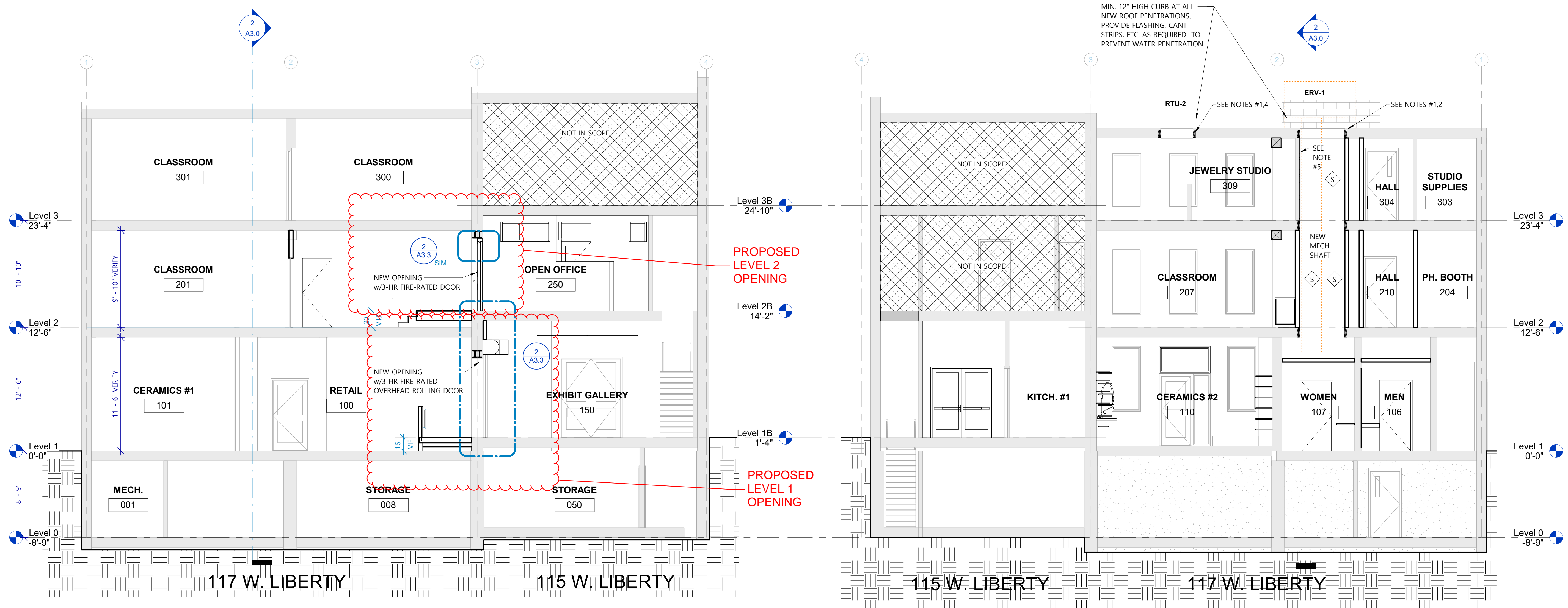
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ANN ARBOR, MI 48103  
tel: 734.998.1331



**STRUCTURAL NOTES**

1. CONTRACTOR TO VERIFY THAT FLOOR AND ROOF JOISTS SPAN EAST-WEST IN AREAS WHERE NEW OPENINGS WILL BE MADE AND CONFIRM JOIST SIZE AND SPACING NOTED IN DRAWING. NOTIFY ARCHITECT IF EXISTING CONDITIONS ARE FOUND TO BE DIFFERENT.
2. ROOF FRAMING AT ERV-1 SHAFT: REMOVE JOIST AS NEEDED FOR NEW ROOF OPENING. SISTER NEW FULL LENGTH JOIST TO THE FIRST TWO ADJACENT JOISTS THAT ARE TO REMAIN.
3. FLOOR FRAMING AT ERV-1 SHAFT: REMOVE JOIST AS NEEDED FOR NEW SHAFT. SISTER NEW FULL LENGTH JOIST TO FIRST ADJACENT JOIST TO REMAIN.
4. ROOF FRAMING AT RTU-2: SISTER ONE FULL LENGTH JOIST TO EACH EXISTING JOIST UNDER THE FOOTPRINT OF THE NEW RTU. AT THE NEW ROOF OPENING, HEADER OFF THE JOIST TO BE CUT WITH (2) 2X10'S ON EACH SIDE.
5. ADD (2) LAYERS 5/8" TYPE-X GYP TO SHAFT SIDE OF EXISTING WALL



1 BLDG CROSS SECTION 1  
3/16" = 1'-0"

2 BUILDING CROSS SECTION 2  
3/16" = 1'-0"

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DATE 04/06/2021

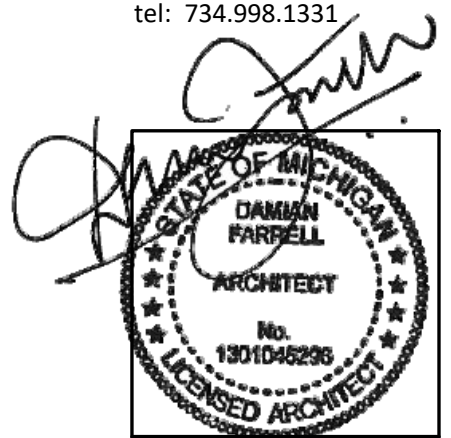
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DRAWN Author  
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**BUILDING CROSS SECTIONS**

**A3.1**



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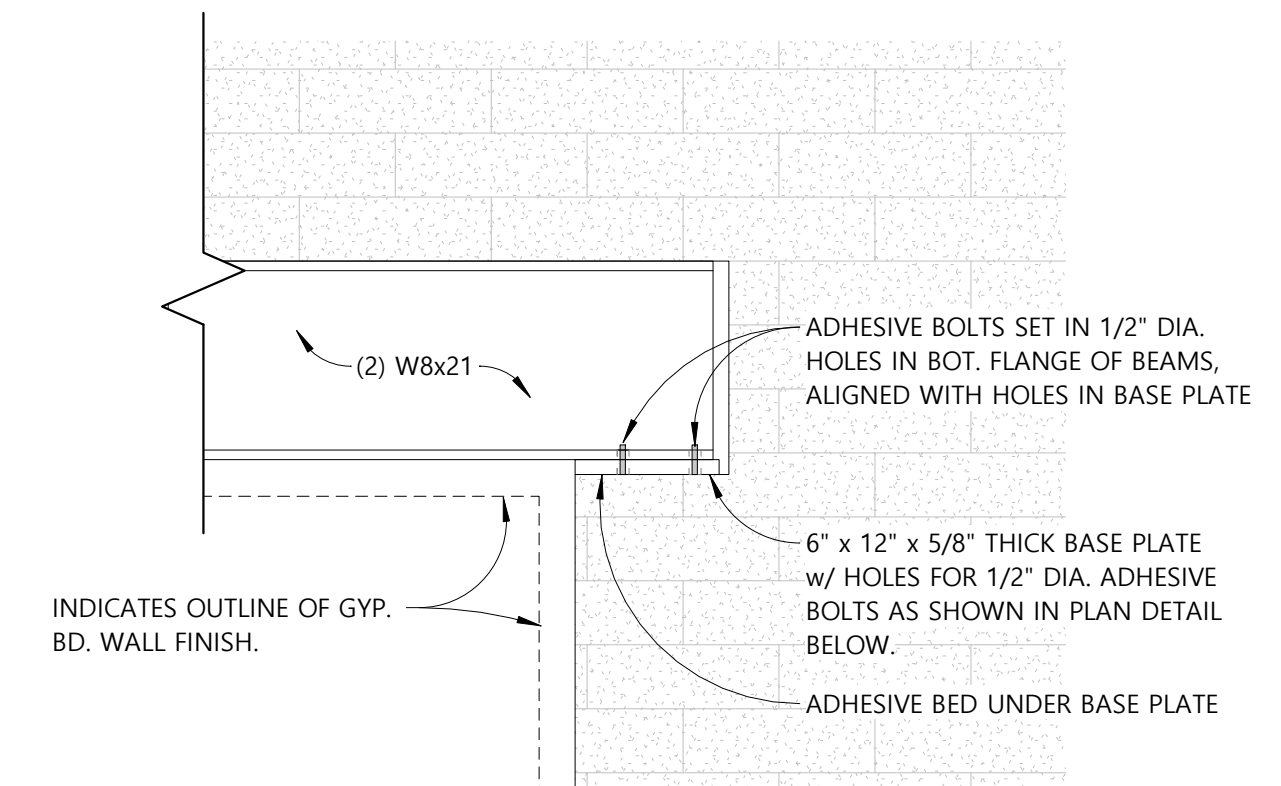
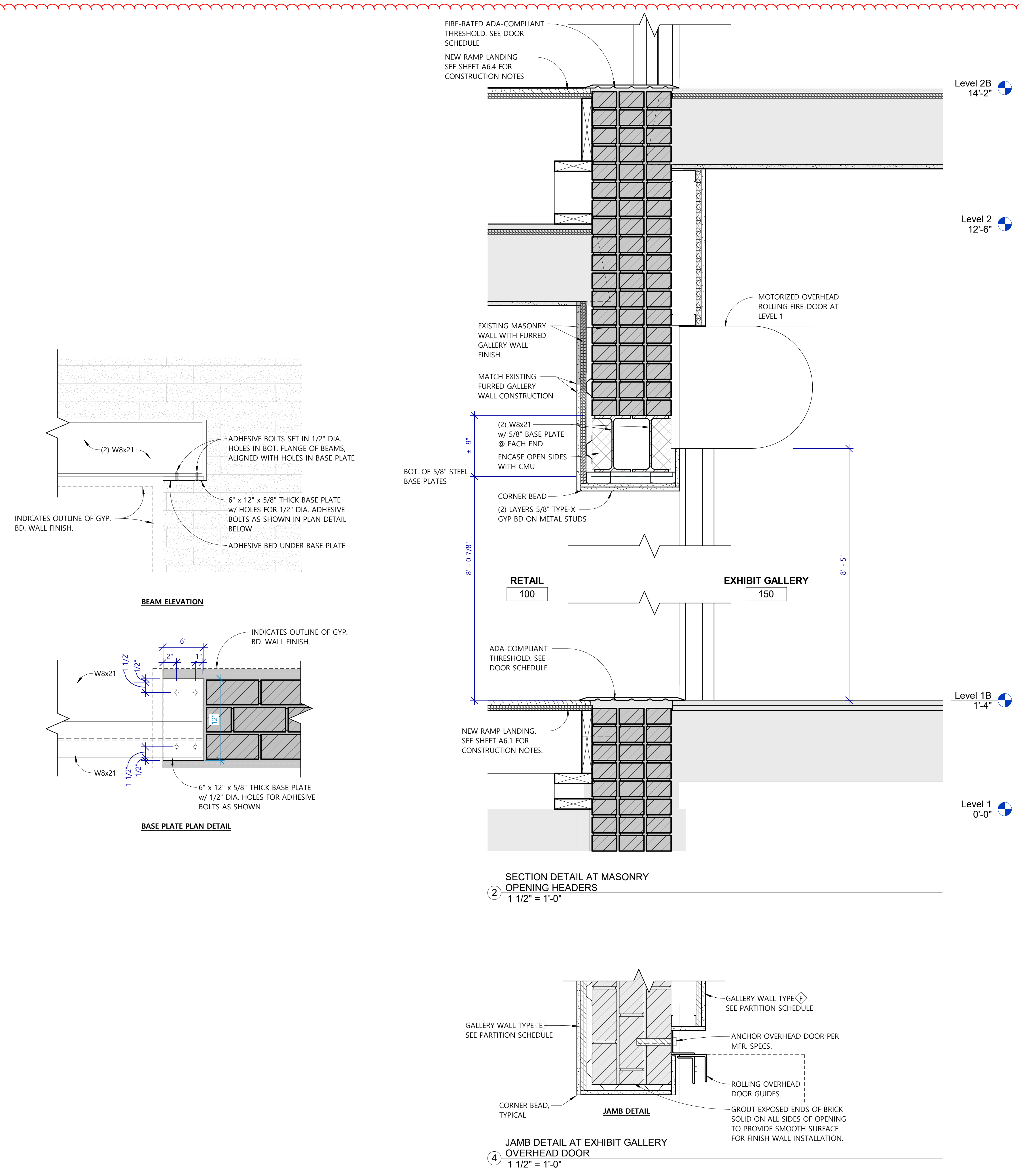
  

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| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

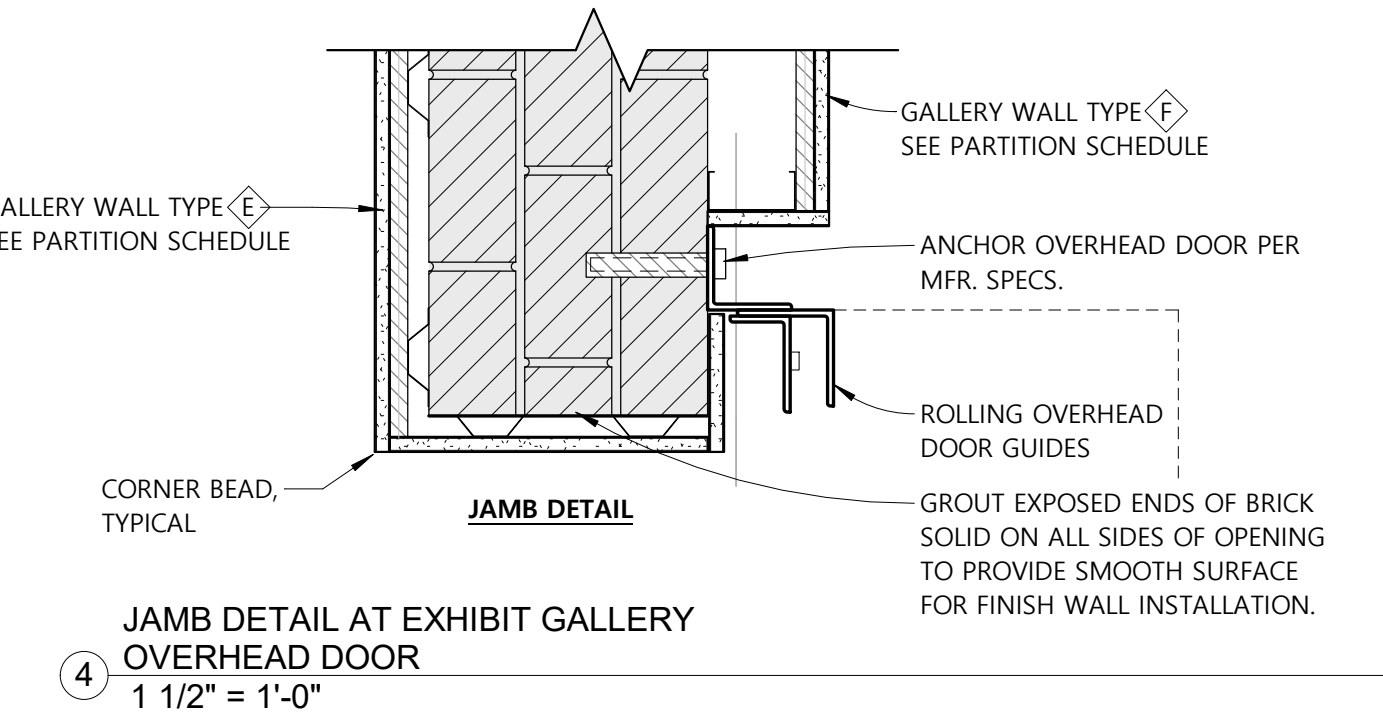
DETAILS AT NEW MASONRY OPGS

A3.3

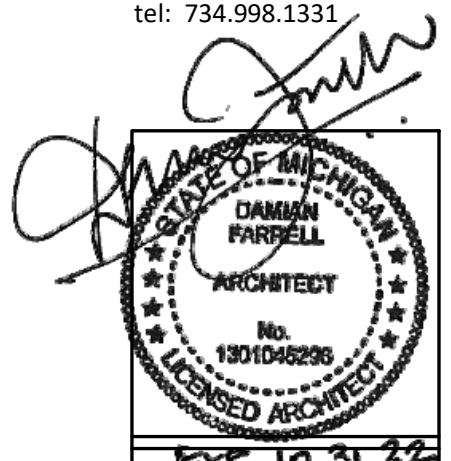
PROPOSED LEVEL 1 OPENING SECTION DETAIL



SECTION DETAIL AT MASONRY OPENING HEADERS  
② 1 1/2" = 1'-0"



JAMB DETAIL AT EXHIBIT GALLERY OVERHEAD DOOR  
④ 1 1/2" = 1'-0"



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117 LEVEL 1n - ENLARGED PLAN

A4.1n

**GENERAL NOTES**

- REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION.
- ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
- DASHED LINES AT DOORS, STAIRS, RAMP, AND FIXTURES INDICATE REQUIRED ADA CLEARANCES.
- VERIFY ALL DIMENSIONS WITH EXIST. CONDITIONS.

**TAG TYPES LEGEND**

101.1 → INTERIOR WINDOW/GLAZING TAG (SEE SCHEDULE SHEET T4.0)

P → PLUMBING FIXTURE TAG (SEE SCHEDULE SHEET T4.2)

**PARTITION TYPES LEGEND**

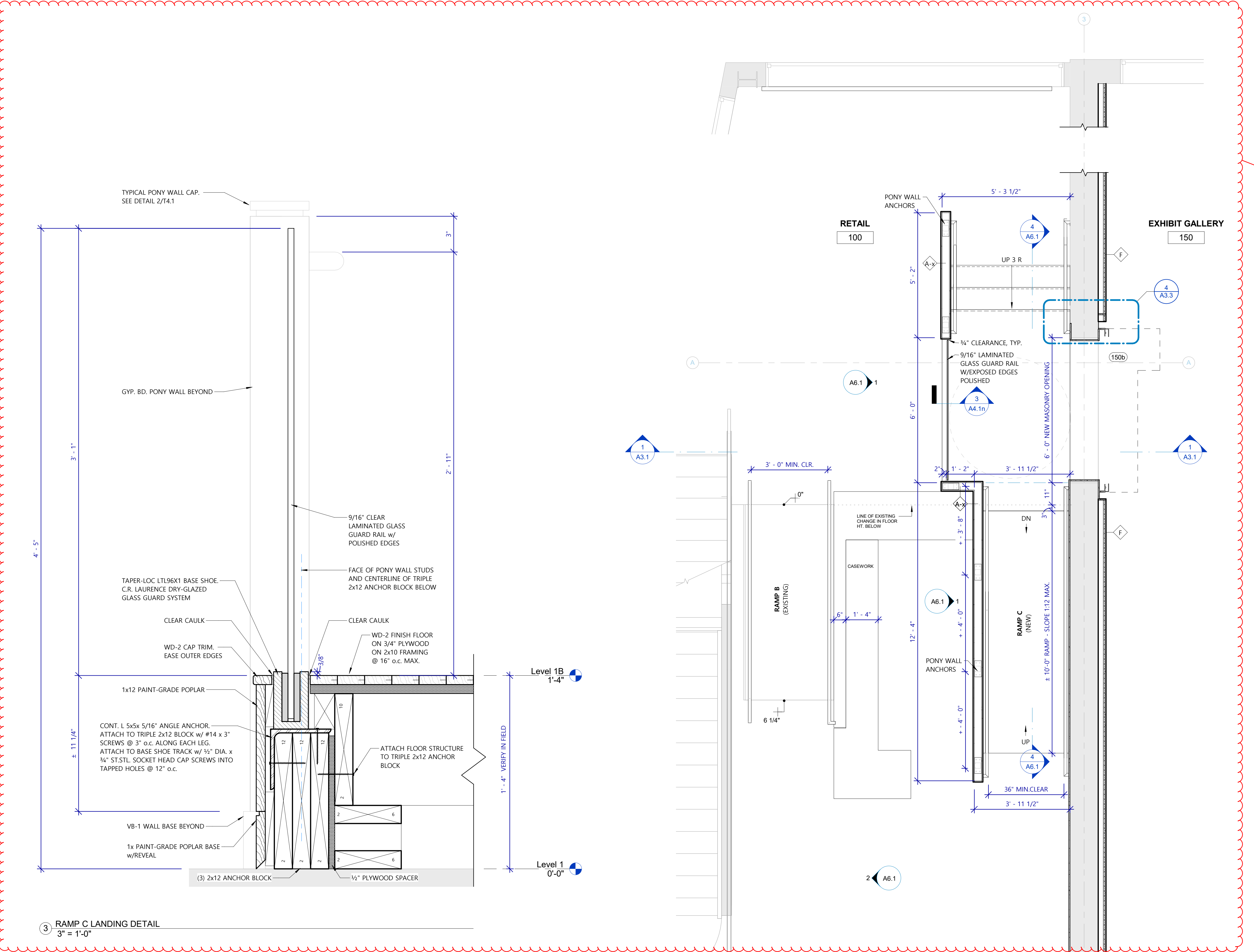
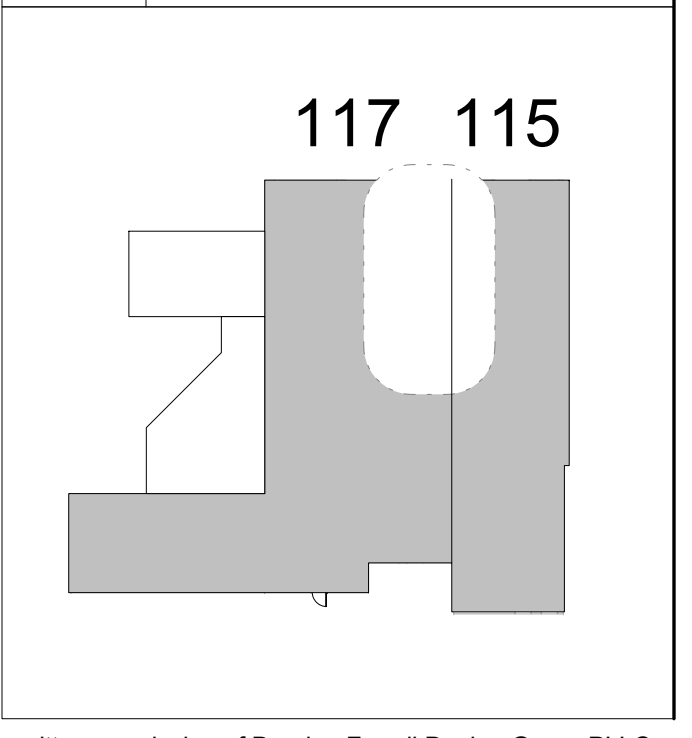
DETERMINE METAL STUD GAUGE PER THE "SSMD TECHNICAL INFORMATION MANUAL" MAX LATERAL LOAD = 5 PSF, MAX. DEFLECTION = L/240.

WALLS ARE FULL-HEIGHT FROM FLOOR TO CEILING UNLESS MODIFIED WITH A NUMBER INDICATING HEIGHT A.F.F., OR -x INDICATING THAT THE INSTALLER SHOULD REFERENCE THE INT. ELEVATION.

SEE SHEET T4.1 FOR WALL CAP DETAILS OF PARTIAL HEIGHT WALLS.

INDICATES SOUND-ATTENUATION INSULATION IN WALL CAVITY.

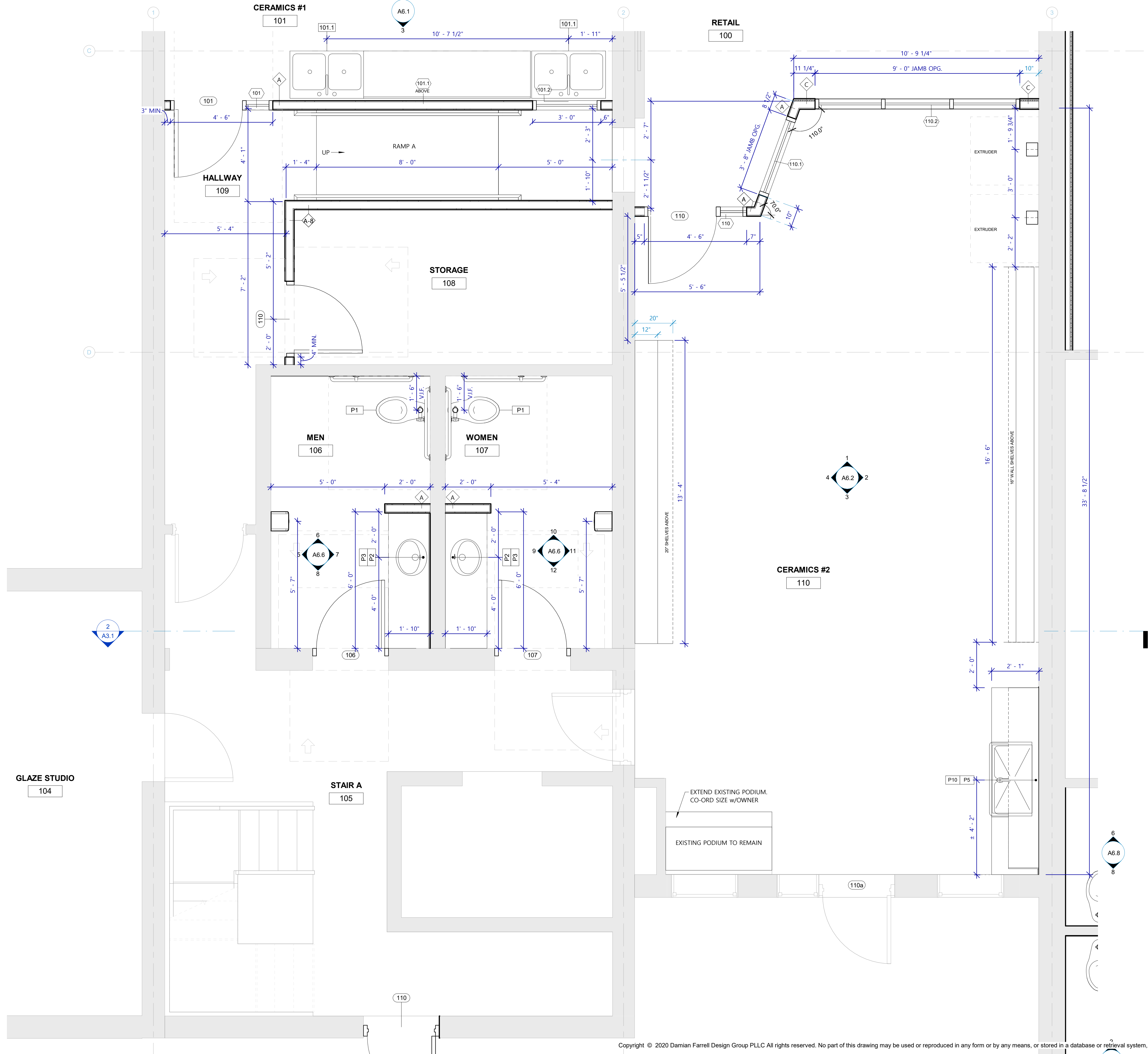
| WALL TAG | DESCRIPTION   |
|----------|---|
| A        | STANDARD PARTITION WALL: 5/8" GYPSUM BOARD ON EACH SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.   |
| B        | PLUMBING WALL: 5/8" GYPSUM BOARD ON EACH SIDE OF 5-1/2" METAL STUDS @ 16" o.c. TYP.   |
| C        | GALLERY PARTITION WALL: 5/8" GYPSUM BOARD ON 3/4" PLYWOOD ONE SIDE AND 5/8" GYP.BD. ON OTHER SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.   |
| D        | REGULAR WALL - FURRED: 5/8" GYPSUM BOARD ON 7/8" HAT CHANNEL FURRING ON EXISTING MASONRY WALL.  |
| E        | GALLERY WALL - FURRED 1: 5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 7/8" HAT CHANNEL FURRING ON EXISTING WALL.  |
| F        | GALLERY WALL - FURRED 2: 5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 2-1/2" METAL STUDS ON EXIST. WALL.  |
| G        | 1-HR FIRE-RATED SHAFT WALL: (2) LAYERS 5/8" TYPE-X GYPSUM BOARD (STAGGER SEAMS) ON 2-1/2" C-H SHAFT WALL STEEL STUD @ 24" o.c. WITH 1" GYPSUM LINER PANELS (USG TYPE SLX, OR EQUIVALENT) AT INSIDE FACE OF SHAFT. |



PROPOSED LEVEL 2 OPENING DETAIL

1 ENLARGED PLAN - RETAIL 101

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**GENERAL NOTES**

1. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION.
2. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
3. DASHED LINES AT DOORS, STAIRS, RAMP, AND FIXTURES INDICATE REQUIRED ADA CLEARANCES.
4. VERIFY ALL DIMENSIONS WITH EXIST. CONDITIONS.

**TAG TYPES LEGEND**

- 101.1 → INTERIOR WINDOW/GLAZING TAG (SEE SCHEDULE SHEET T4.0)
- P → PLUMBING FIXTURE TAG (SEE SCHEDULE SHEET T4.2)

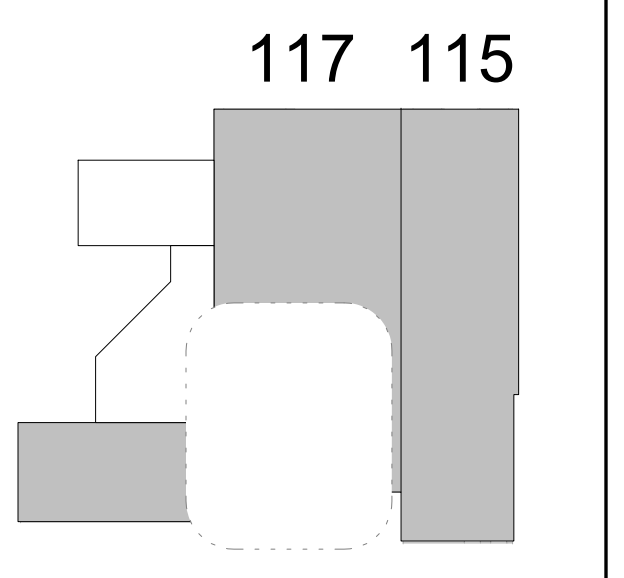
**PARTITION TYPES LEGEND**

DETERMINE METAL STUD GAUGE PER THE "SSMD TECHNICAL INFORMATION MANUAL" MAX LATERAL LOAD = 5 PSF, MAX. DEFLECTION = L/240.

WALLS ARE FULL-HEIGHT FROM FLOOR TO CEILING UNLESS MODIFIED WITH A NUMBER INDICATING HEIGHT A.F.F., OR -x INDICATING THAT THE INSTALLER SHOULD REFERENCE THE INT. ELEVATION. SEE SHEET T4.1 FOR WALL CAP DETAILS OF PARTIAL HEIGHT WALLS.

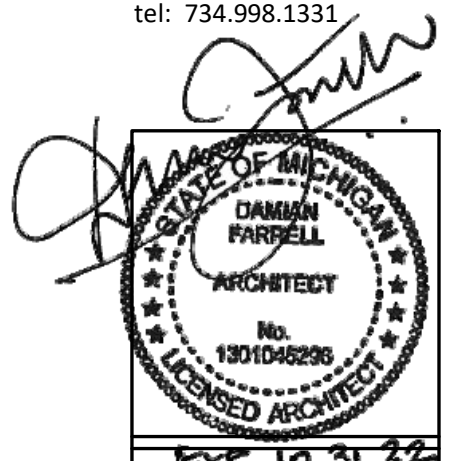
INDICATES SOUND-ATTENUATION INSULATION IN WALL CAVITY.

| WALL TAG | DESCRIPTION   |
|----------|---|
| A        | <b>STANDARD PARTITION WALL:</b><br>5/8" GYPSUM BOARD ON EACH SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.   |
| B        | <b>PLUMBING WALL:</b> 5/8" GYPSUM BOARD ON EACH SIDE OF 5-1/2" METAL STUDS @ 16" o.c. TYP.  |
| C        | <b>GALLERY PARTITION WALL:</b> 5/8" GYPSUM BOARD ON 3/4" PLYWOOD ONE SIDE AND 5/8" GYP.BD. ON OTHER SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.  |
| D        | <b>REGULAR WALL - FURRED:</b> 5/8" GYPSUM BOARD ON 7/8" HAT CHANNEL FURRING ON EXISTING MASONRY WALL.   |
| E        | <b>GALLERY WALL - FURRED 1:</b><br>5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 7/8" HAT CHANNEL FURRING ON EXISTING WALL.  |
| F        | <b>GALLERY WALL - FURRED 2:</b><br>5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 2-1/2" METAL STUDS ON EXIST. WALL.  |
| S        | <b>1-HR FIRE-RATED SHAFT WALL:</b><br>(2) LAYERS 5/8" TYPE-X GYPSUM BOARD (STAGGER SEAMS) ON 2-1/2" C-H SHAFT WALL STEEL STUD @ 24" o.c. WITH 1" GYPSUM LINER PANELS (USG TYPE SLX, OR EQUIVALENT) AT INSIDE FACE OF SHAFT. |



**DAMIAN FARRELL DESIGN GROUP**

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ANN ARBOR, MI 48103  
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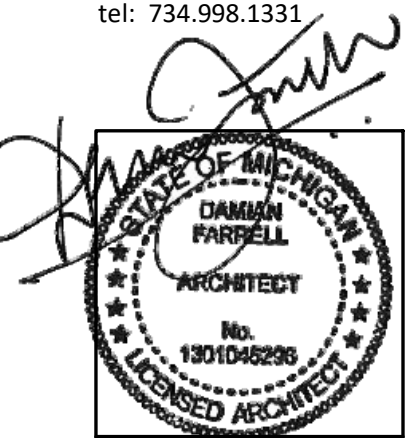
DATE  
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DESCRIPTION  
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DESIGN: Designer  
DRAWN: Author  
PROJECT NO.: 200312\_21\_01

**117 LEVEL 1s - ENLARGED PLAN**

**A4.1S**



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DESIGN  
DRAWN  
PROJECT NO.  
Author  
200312\_21\_01

117 LEVEL 2n - ENLARGED PLAN

A4.2n

GENERAL NOTES

1. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION.
2. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
3. DASHED LINES AT DOORS, STAIRS, RAMP, AND FIXTURES INDICATE REQUIRED ADA CLEARANCES.
4. VERIFY ALL DIMENSIONS WITH EXIST. CONDITIONS.

TAG TYPES LEGEND

- 101.1 - INTERIOR WINDOW/GLAZING TAG (SEE SCHEDULE SHEET T4.0)
- P. - PLUMBING FIXTURE TAG (SEE SCHEDULE SHEET T4.2)

PARTITION TYPES LEGEND

DETERMINE METAL STUD GAUGE PER THE "SSMD TECHNICAL INFORMATION MANUAL" MAX LATERAL LOAD = 5 PSF, MAX. DEFLECTION = L/240.

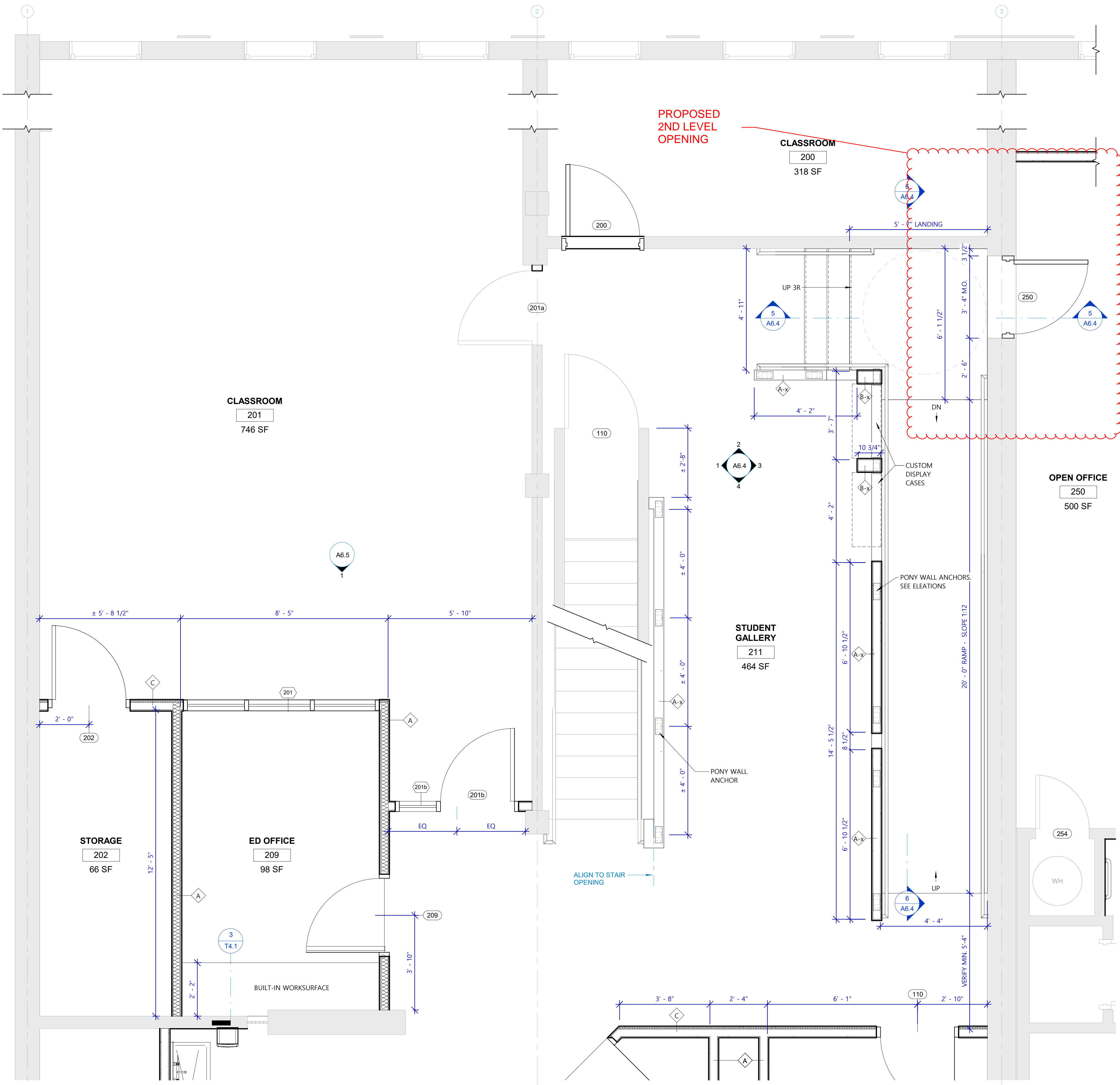
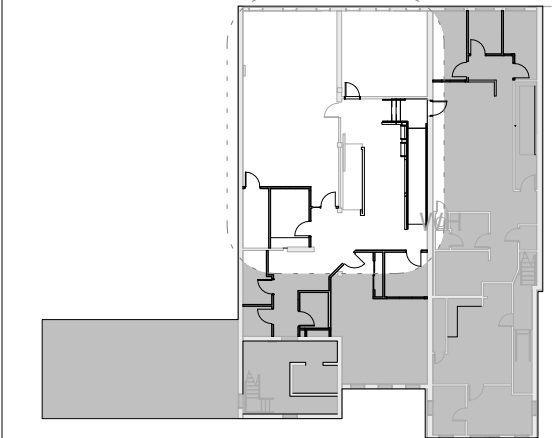
WALLS ARE FULL-HEIGHT FROM FLOOR TO CEILING UNLESS MODIFIED WITH A NUMBER INDICATING HEIGHT A.F.F., OR -X INDICATING THAT THE INSTALLER SHOULD REFERENCE THE INT. ELEVATION.

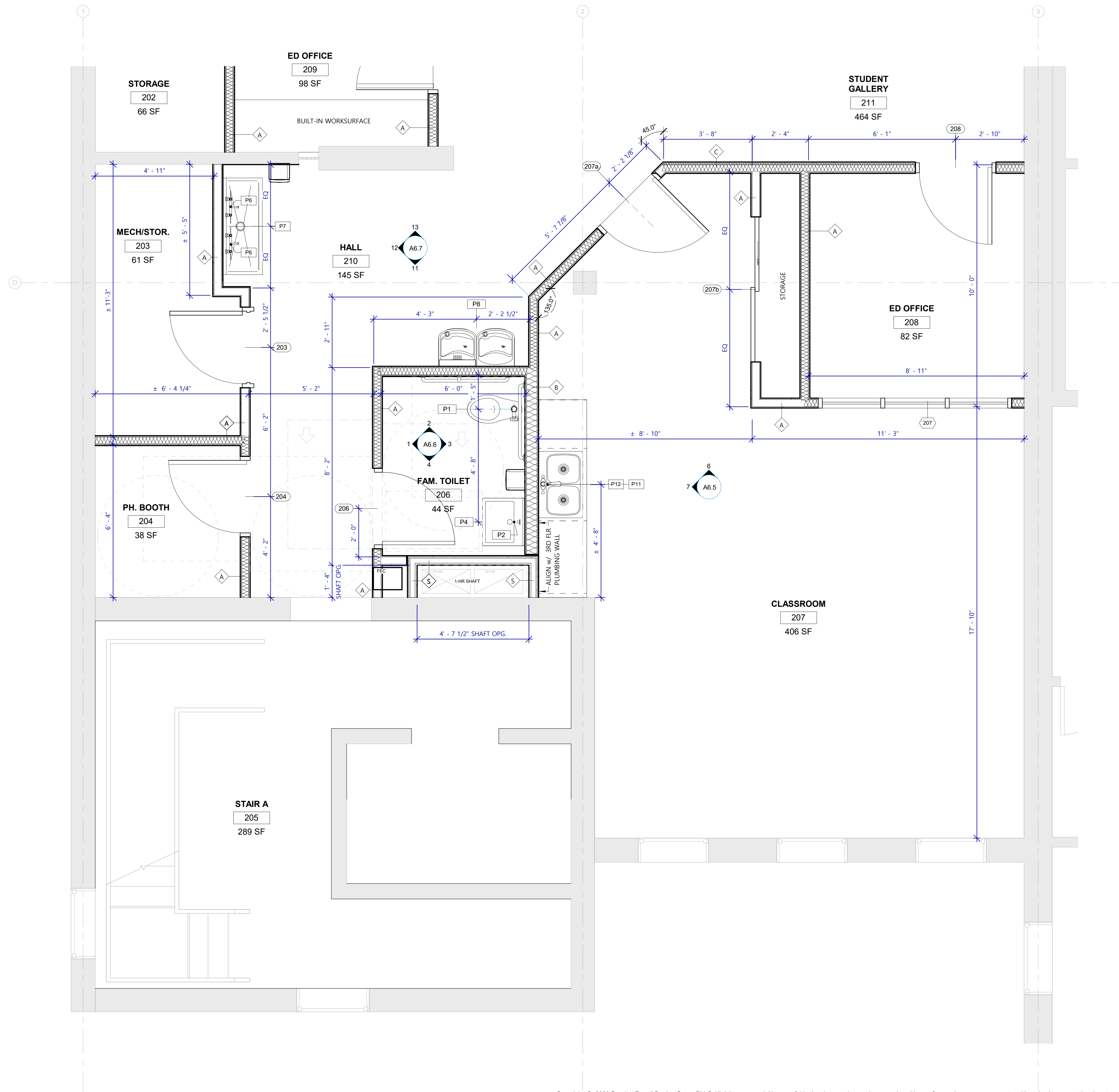
SEE SHEET T4.1 FOR WALL CAP DETAILS OF PARTIAL HEIGHT WALLS.

INDICATES SOUND-ATTENUATION INSULATION IN WALL CAVITY.

| WALL TAG | DESCRIPTION   |
|----------|---|
| A        | STANDARD PARTITION WALL: 5/8" GYPSUM BOARD ON EACH SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.   |
| B        | PLUMBING WALL: 5/8" GYPSUM BOARD ON EACH SIDE OF 5-1/2" METAL STUDS @ 16" o.c. TYP.   |
| C        | GALLERY PARTITION WALL: 5/8" GYPSUM BOARD ON 3/4" PLYWOOD ONE SIDE AND 5/8" GYP.BD. ON OTHER SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.   |
| D        | REGULAR WALL - FURRED: 5/8" GYPSUM BOARD ON 7/8" HAT CHANNEL FURRING ON EXISTING MASONRY WALL.  |
| E        | GALLERY WALL - FURRED 1: 5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 7/8" HAT CHANNEL FURRING ON EXISTING WALL.  |
| F        | GALLERY WALL - FURRED 2: 5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 2-1/2" METAL STUDS ON EXIST. WALL.  |
| G        | 1-HR FIRE-RATED SHAFT WALL: (2) LAYERS 5/8" TYPE-X GYPSUM BOARD (STAGGER SEAMS) ON 2-1/2" C-H SHAFT WALL STEEL STUD @ 24" o.c. WITH 1" GYPSUM LINER PANELS (USG TYPE SLX, OR EQUIVALENT) AT INSIDE FACE OF SHAFT. |

117 115





**GENERAL NOTES**

1. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION.
2. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
3. DASHED LINES AT DOORS, STAIRS, RAMP, AND FIXTURES INDICATE REQUIRED ADA CLEARANCES.
4. VERIFY ALL DIMENSIONS WITH EXIST. CONDITIONS.

**TAG TYPES LEGEND**

- 101.1 - INTERIOR WINDOW/GLAZING TAG (SEE SCHEDULE SHEET T4.0)
- P. - PLUMBING FIXTURE TAG (SEE SCHEDULE SHEET T4.2)

**PARTITION TYPES LEGEND**

DETERMINE METAL STUD GAUGE PER THE "SSMD TECHNICAL INFORMATION MANUAL" MAX LATERAL LOAD = 5 PSF, MAX. DEFLECTION = L/240.

WALLS ARE FULL-HEIGHT FROM FLOOR TO CEILING UNLESS MODIFIED WITH A NUMBER INDICATING HEIGHT A.F.F., OR -X INDICATING THAT THE INSTALLER SHOULD REFERENCE THE INT. ELEVATION.

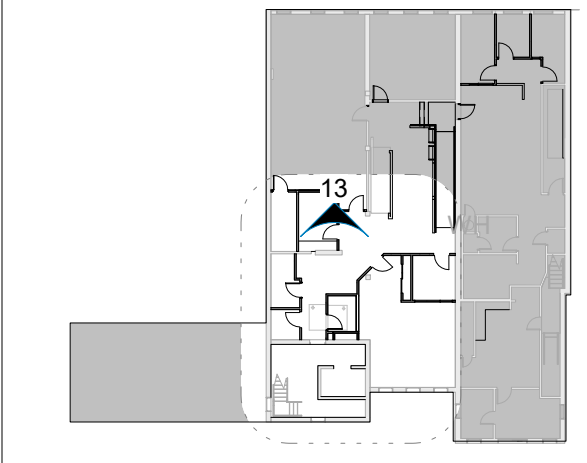
SEE SHEET T4.1 FOR WALL CAP DETAILS OF PARTIAL HEIGHT WALLS.

INDICATES SOUND-ATTENUATION INSULATION IN WALL CAVITY.

**WALL TAG DESCRIPTION**

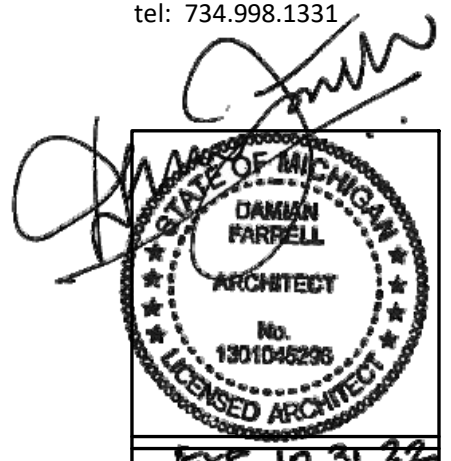
| WALL TAG | DESCRIPTION   |
|----------|---|
| A        | <b>STANDARD PARTITION WALL:</b><br>5/8" GYPSUM BOARD ON EACH SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.   |
| B        | <b>PLUMBING WALL:</b> 5/8" GYPSUM BOARD ON EACH SIDE OF 5-1/2" METAL STUDS @ 16" o.c. TYP.  |
| C        | <b>GALLERY PARTITION WALL:</b> 5/8" GYPSUM BOARD ON 3/4" PLYWOOD ONE SIDE AND 5/8" GYP.BD. ON OTHER SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.  |
| D        | <b>REGULAR WALL - FURRED:</b> 5/8" GYPSUM BOARD ON 7/8" HAT CHANNEL FURRING ON EXISTING MASONRY WALL.   |
| E        | <b>GALLERY WALL - FURRED 1:</b><br>5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 7/8" HAT CHANNEL FURRING ON EXISTING WALL.  |
| F        | <b>GALLERY WALL - FURRED 2:</b><br>5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 2-1/2" METAL STUDS ON EXIST. WALL.  |
| S        | <b>1-HR FIRE-RATED SHAFT WALL:</b><br>(2) LAYERS 5/8" TYPE-X GYPSUM BOARD (STAGGER SEAMS) ON 2-1/2" C-H SHAFT WALL STEEL STUD @ 24" o.c. WITH 1" GYPSUM LINER PANELS (USG TYPE SLX, OR EQUIVALENT) AT INSIDE FACE OF SHAFT. |

117 115



**DAMIAN FARRELL DESIGN GROUP**

359 METTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
tel: 734.998.1331



**BID/BLDG PERMIT**

**ANN ARBOR ART CENTER**  
117 and 115 W. LIBERTY ST.  
ANN ARBOR, MICHIGAN 48104

DATE  
04/06/2021

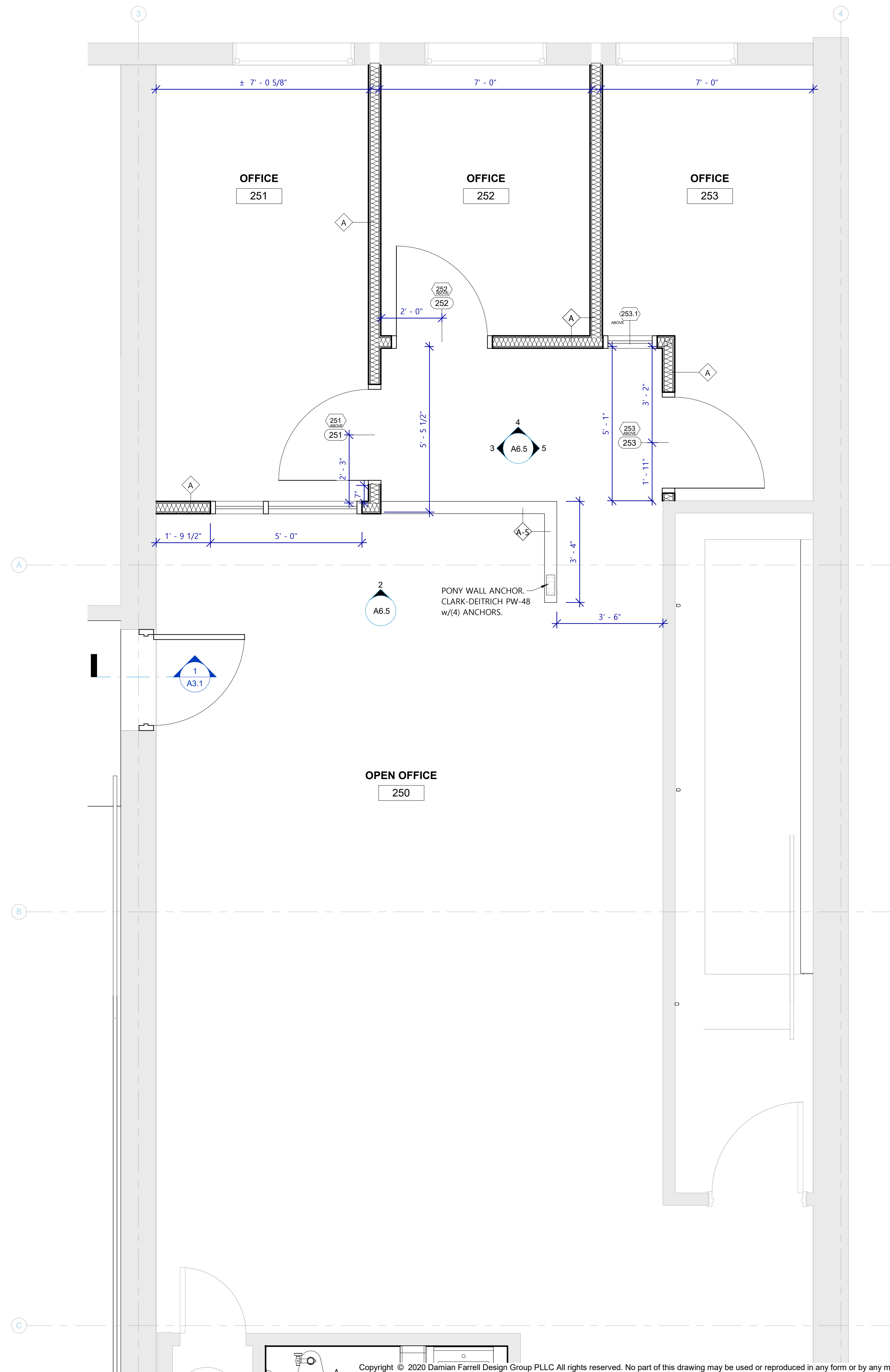
DESCRIPTION  
BID/PERMIT

DESIGN Designer  
DRAWN Author  
PROJECT NO. 200312\_21\_01

**117 LEVEL 2s - ENLARGED PLAN**

**A4.2S**





**GENERAL NOTES**

1. REFER TO MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR SPECIFIC INFORMATION.
2. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
3. DASHED LINES AT DOORS, STAIRS, RAMP, AND FIXTURES INDICATE REQUIRED ADA CLEARANCES.
4. VERIFY ALL DIMENSIONS WITH EXIST. CONDITIONS.

**TAG TYPES LEGEND**

- INTERIOR WINDOW/GLAZING TAG (SEE SCHEDULE SHEET T4.0)
- PLUMBING FIXTURE TAG (SEE SCHEDULE SHEET T4.2)

**PARTITION TYPES LEGEND**

DETERMINE METAL STUD GAUGE PER THE "SSMID TECHNICAL INFORMATION MANUAL" MAX LATERAL LOAD = 5 PSF, MAX. DEFLECTION = L/240.

WALLS ARE FULL-HEIGHT FROM FLOOR TO CEILING UNLESS MODIFIED WITH A NUMBER INDICATING HEIGHT A.F.F., OR -x INDICATING THAT THE INSTALLER SHOULD REFERENCE THE INT. ELEVATION.

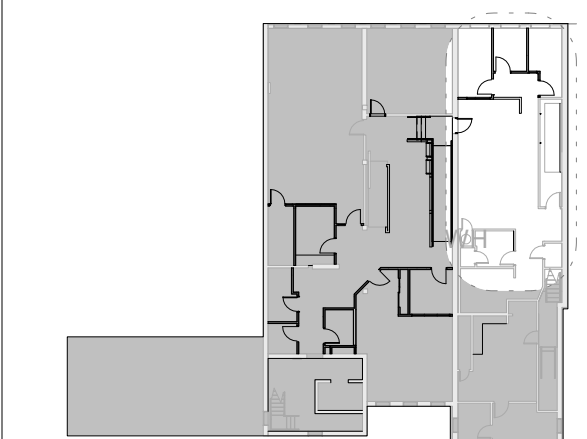
SEE SHEET T4.1 FOR WALL CAP DETAILS OF PARTIAL HEIGHT WALLS.

INDICATES SOUND-ATTENUATION INSULATION IN WALL CAVITY.

**WALL TAG** DESCRIPTION

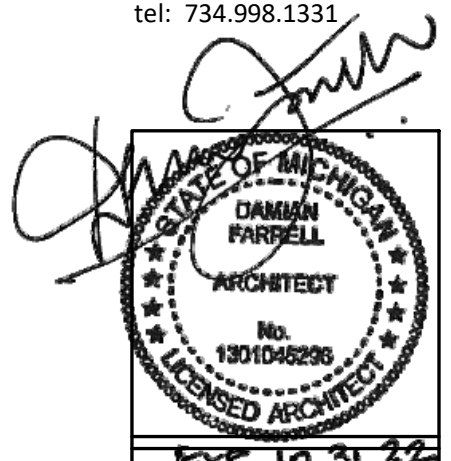
|  |   |
|--|---|
|  | <b>STANDARD PARTITION WALL:</b><br>5/8" GYPSUM BOARD ON EACH SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.   |
|  | <b>PLUMBING WALL:</b> 5/8" GYPSUM BOARD ON EACH SIDE OF 5-1/2" METAL STUDS @ 16" o.c. TYP.  |
|  | <b>GALLERY PARTITION WALL:</b> 5/8" GYPSUM BOARD ON 3/4" PLYWOOD ONE SIDE AND 5/8" GYP.BD. ON OTHER SIDE OF 3-5/8" METAL STUDS @ 16" o.c. TYP.  |
|  | <b>REGULAR WALL - FURRED:</b> 5/8" GYPSUM BOARD ON 7/8" HAT CHANNEL FURRING ON EXISTING MASONRY WALL.   |
|  | <b>GALLERY WALL - FURRED 1:</b><br>5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 7/8" HAT CHANNEL FURRING ON EXISTING WALL.  |
|  | <b>GALLERY WALL - FURRED 2:</b><br>5/8" GYPSUM BOARD ON 3/4" PLYWOOD ON 2-1/2" METAL STUDS ON EXIST. WALL.  |
|  | <b>1-HR FIRE-RATED SHAFT WALL:</b><br>(2) LAYERS 5/8" TYPE-X GYPSUM BOARD (STAGGER SEAMS) ON 2-1/2" C-H SHAFT WALL STEEL STUD @ 24" o.c. WITH 1" GYPSUM LINER PANELS (USG TYPE SLX, OR EQUIVALENT) AT INSIDE FACE OF SHAFT. |

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**DAMIAN FARRELL DESIGN GROUP**

359 METTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
tel: 734.998.1331



**BID/BLDG PERMIT**

ANN ARBOR ART CENTER  
117 and 115 W. LIBERTY ST.  
ANN ARBOR, MICHIGAN 48104

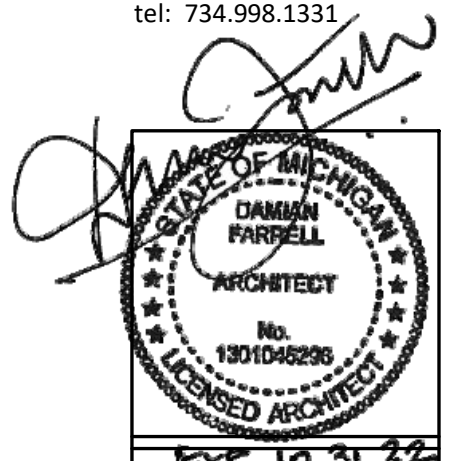
DATE  
04/06/2021

DESCRIPTION  
BID/PERMIT

DESIGN Designer  
DRAWN Author  
PROJECT NO. 200312\_21\_01

**115 OFFICES - ENLARGED PLAN**

**A4.3**



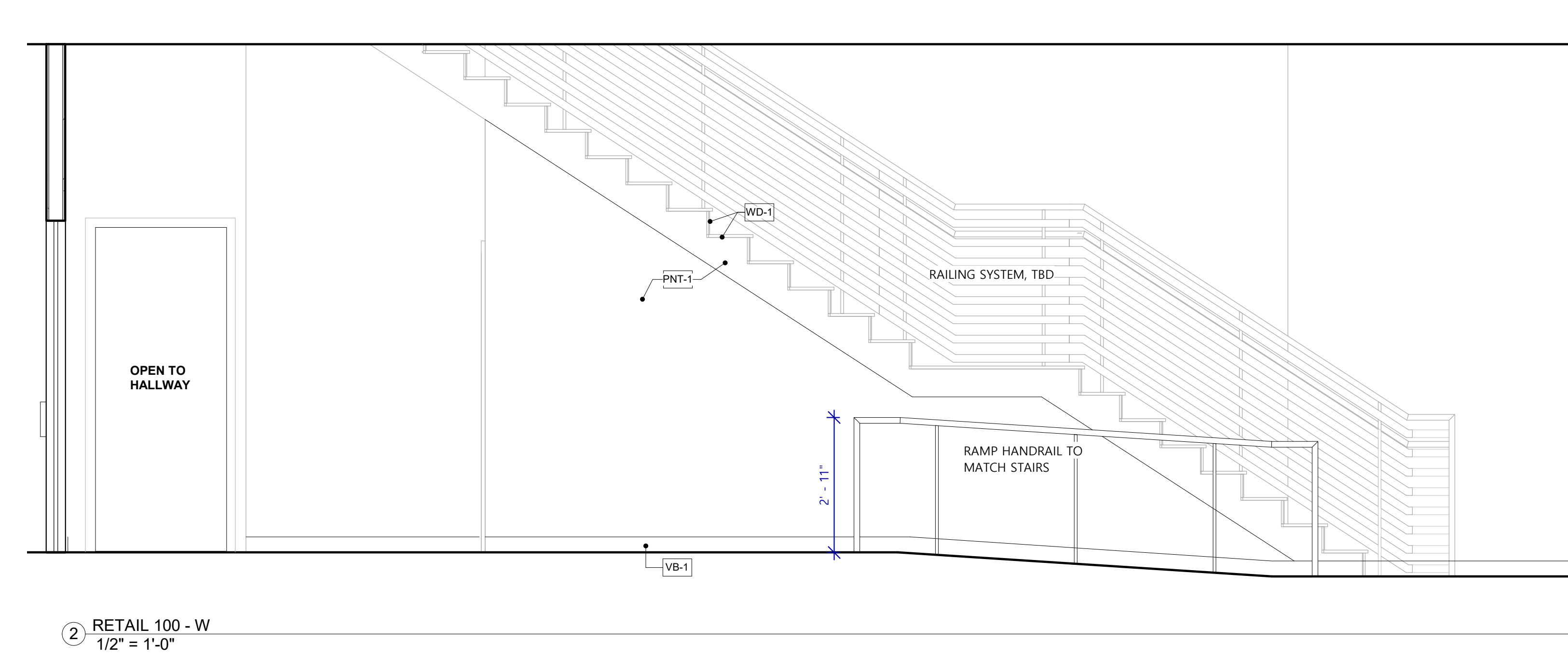
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ANN ARBOR, MICHIGAN 48104

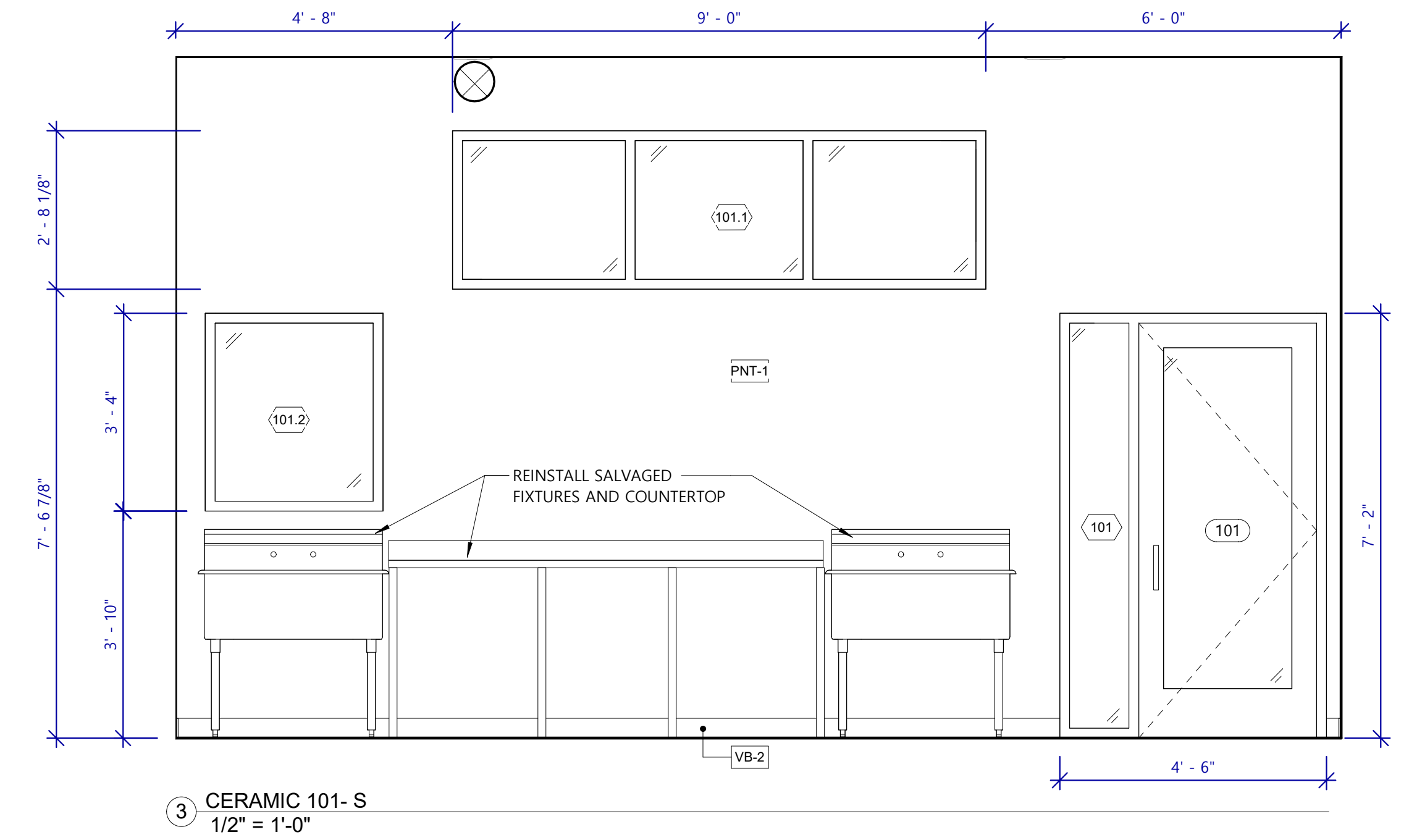
DATE: 04/06/2021  
DESCRIPTION: BID/PERMIT

DESIGN: Designer  
DRAWN: Author  
PROJECT NO.: 200312\_21\_01

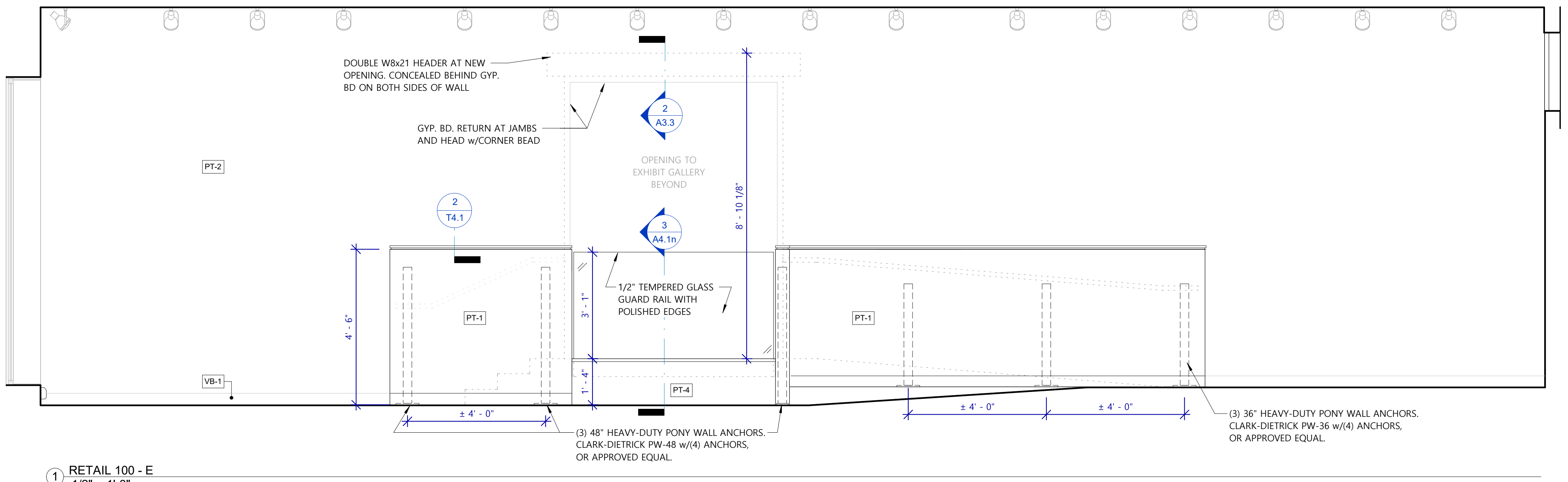
INT. ELEVATIONS  
RETAIL 100 AND  
CERAMIC 101  
**A6.1**



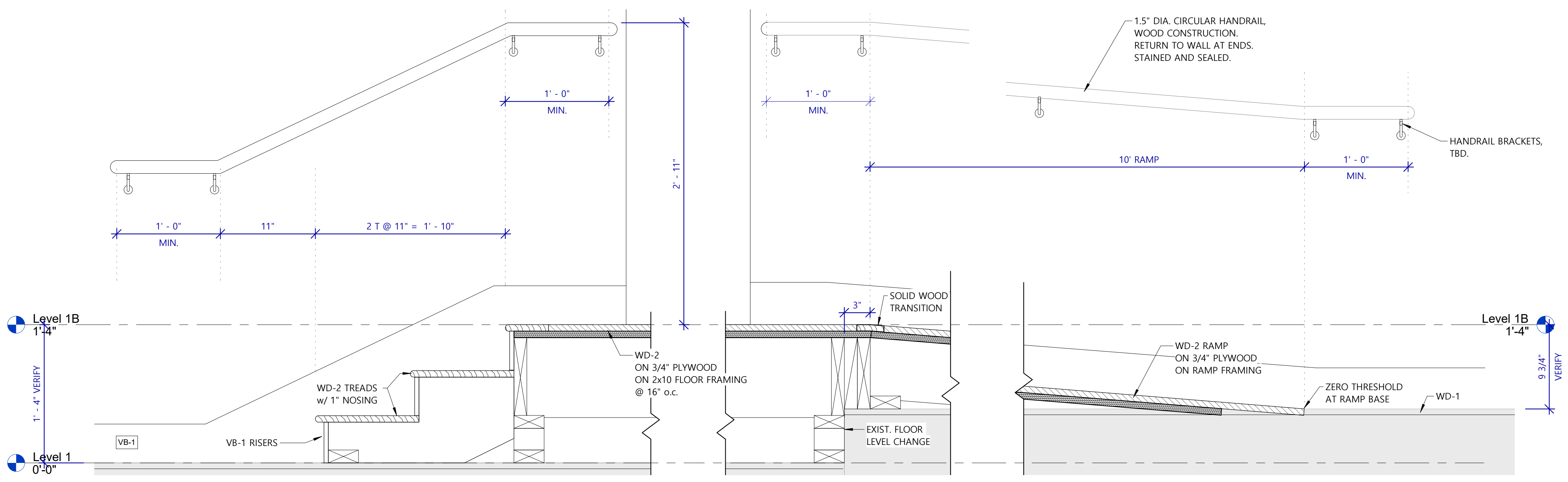
2 RETAIL 100 - W  
1/2" = 1'-0"



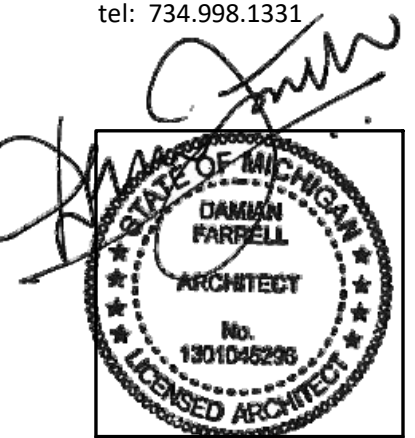
3 CERAMIC 101 - S  
1/2" = 1'-0"



1 RETAIL 100 - E  
1/2" = 1'-0"



4 RAMP C AND STAIR SECTION  
1 1/2" = 1'-0"



Ex 10-31-22

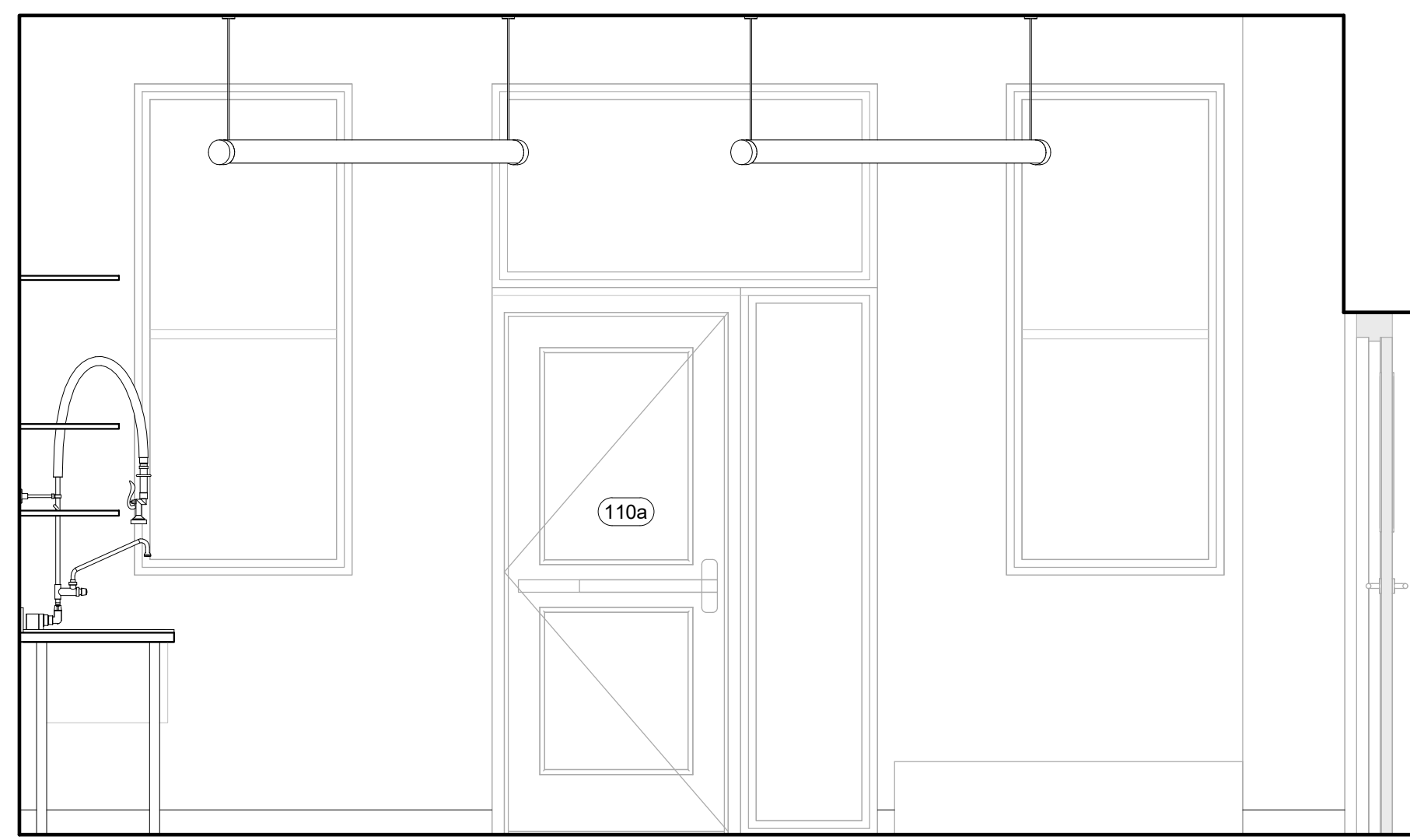
BID/BLDG PERMIT

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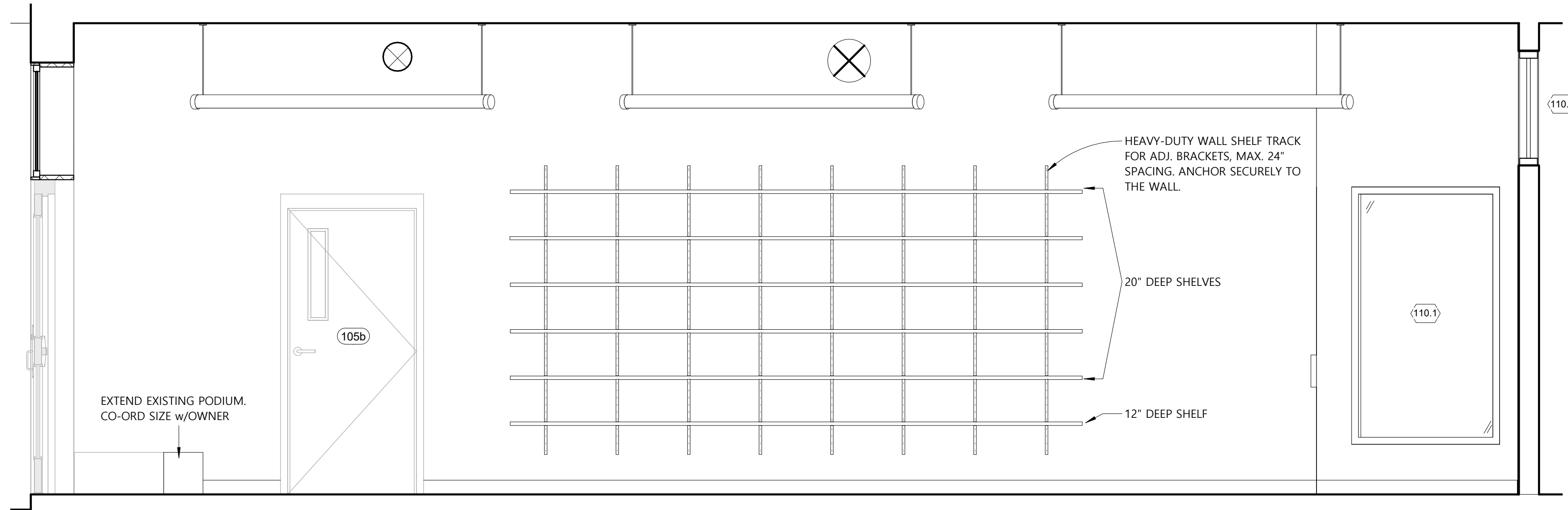
| DATE       | DESCRIPTION |
|------------|-------------|
| 04/06/2021 | BID/PERMIT  |

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|-------------|--------------|
| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

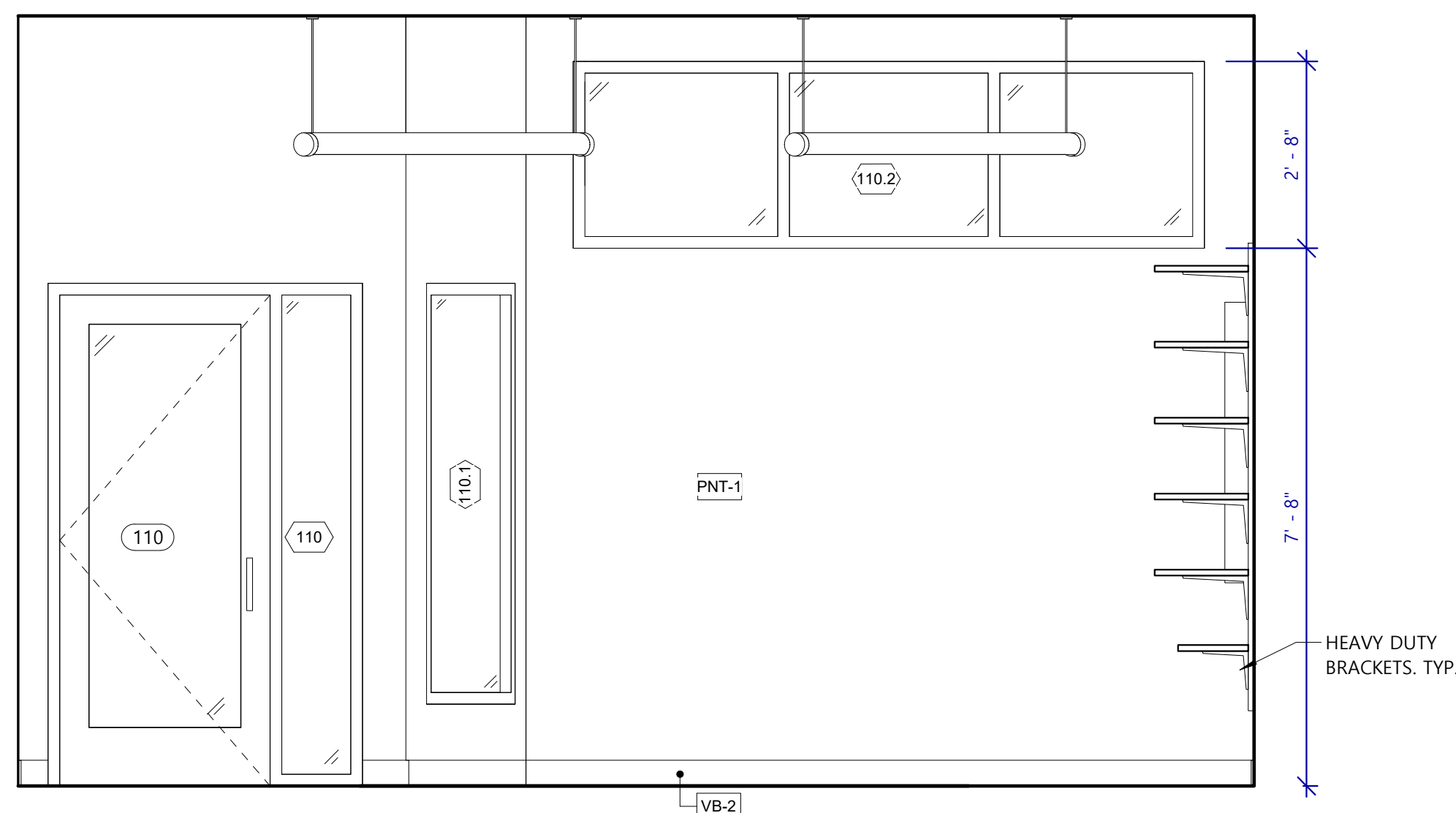
INTERIOR ELEVATIONS  
CERAMIC 110  
**A6.2**



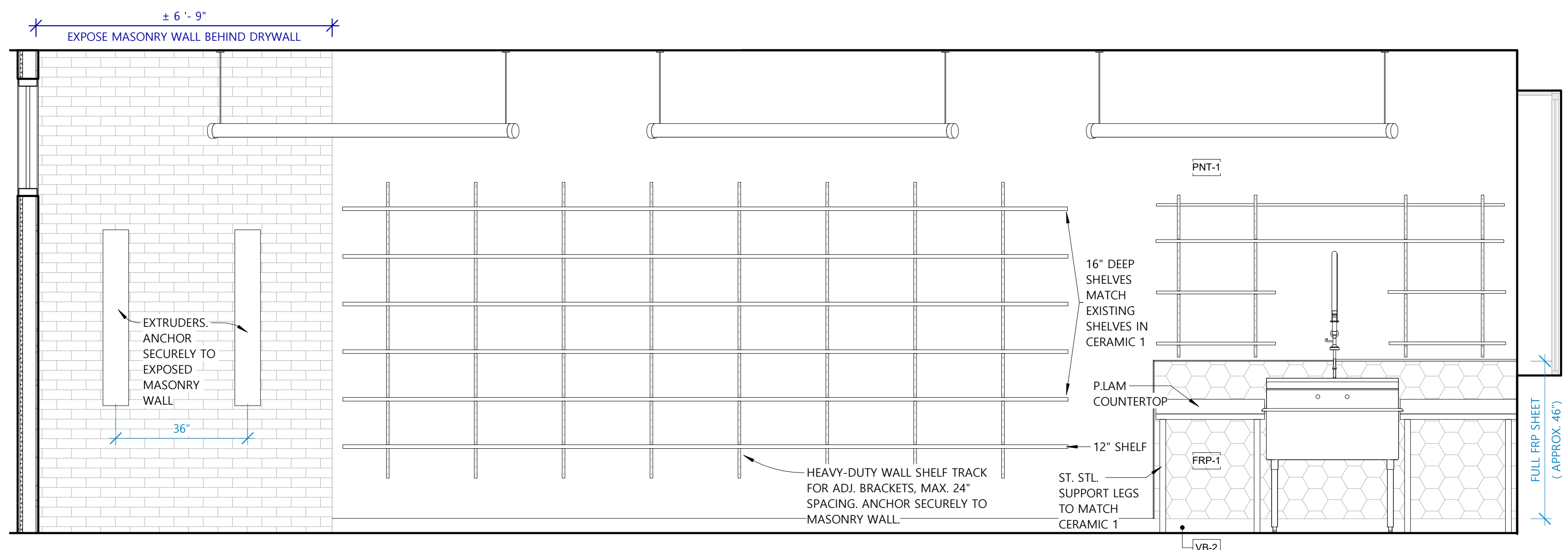
3 CERAMIC #2 110 - S  
1/2" = 1'-0"



4 CERAMIC #2 110 - W  
1/2" = 1'-0"



1 CERAMIC #2 110 - N  
1/2" = 1'-0"

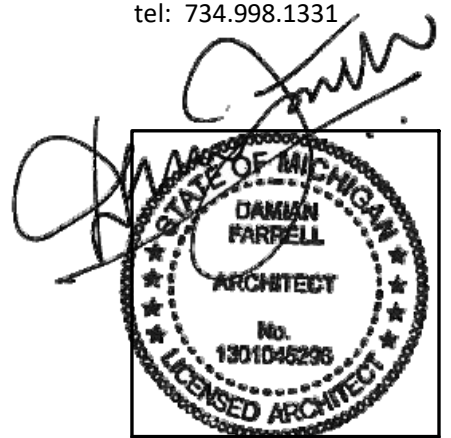


2 CERAMIC #2 110 - E  
1/2" = 1'-0"



DAMIAN FARRELL DESIGN GROUP

359 METTY DRIVE, SUITE 4A  
ANN ARBOR, MI 48103  
tel: 734-998.1331



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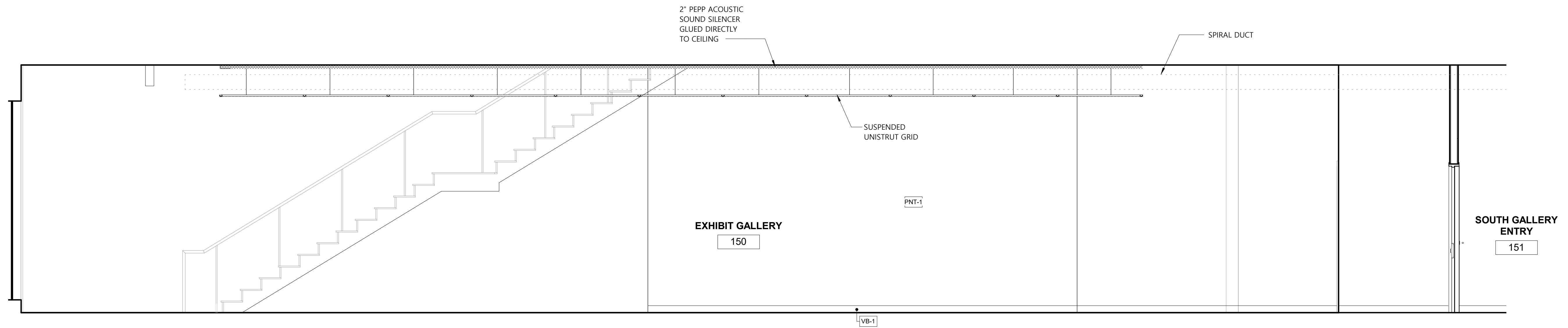
BID/BLDG PERMIT

ANN ARBOR ART CENTER  
117 and 115 W. LIBERTY ST.  
ANN ARBOR, MICHIGAN 48104

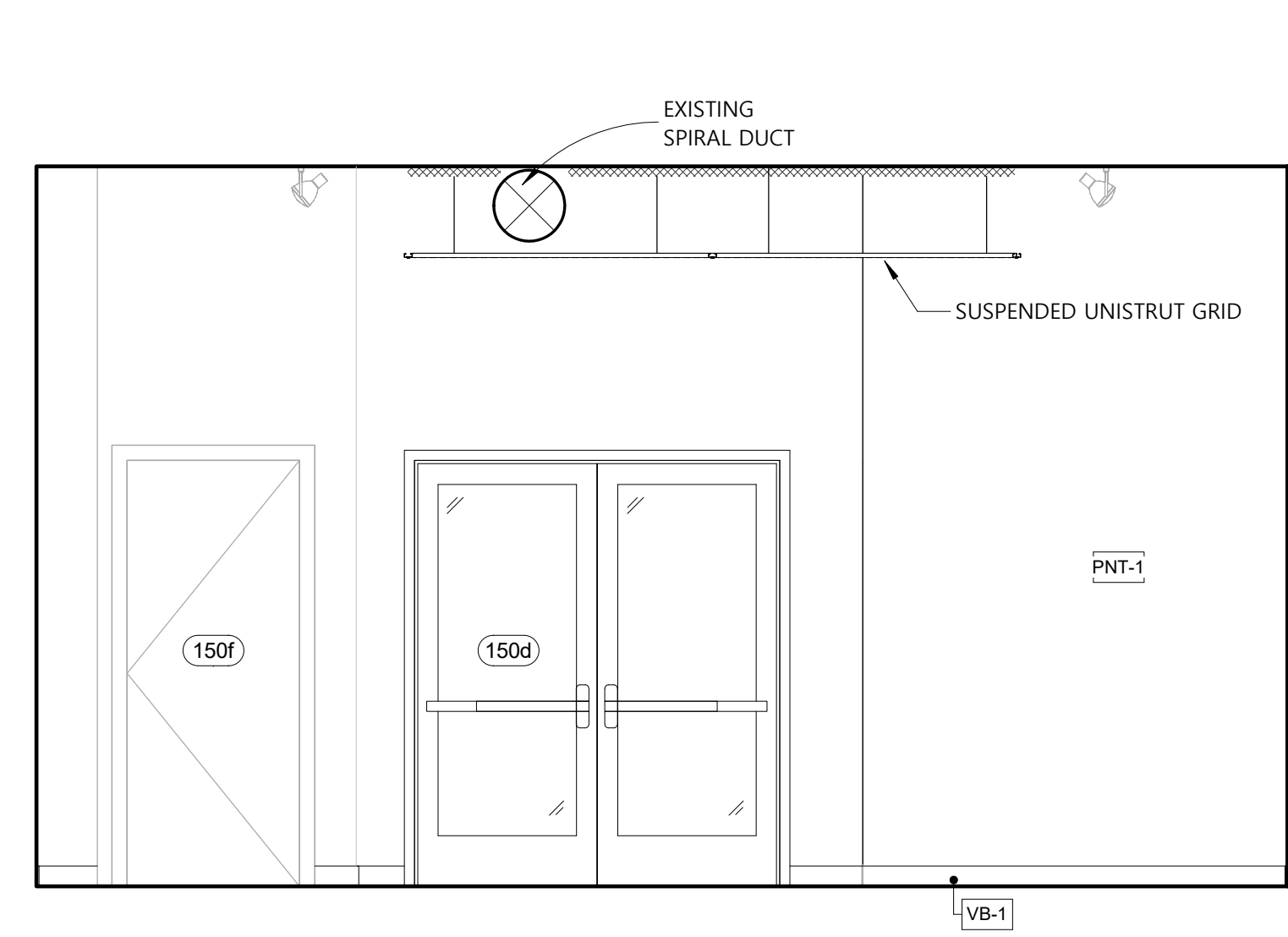
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| 04/06/2021 | BID/PERMIT  |

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| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

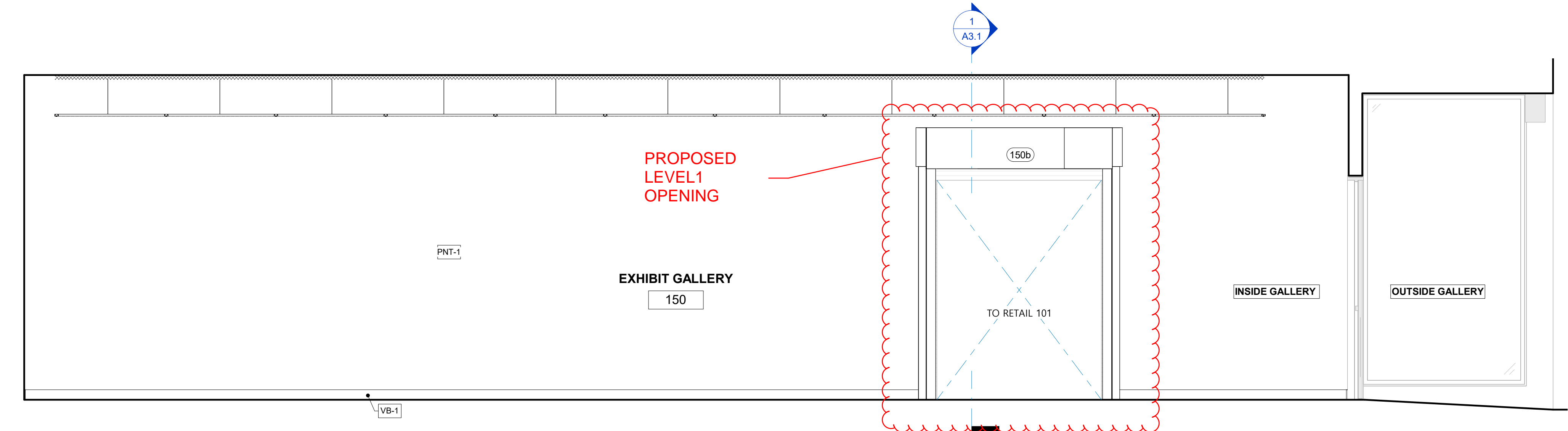
INTERIOR ELEVATIONS  
GALLERY 150  
**A6.3**



1 EXHIBIT GALLERY 150-E  
3/8" = 1'-0"



2 EXHIBIT GALLERY 150-S  
3/8" = 1'-0"



3 EXHIBIT GALLERY 150-W  
3/8" = 1'-0"



Exp 10.31.22

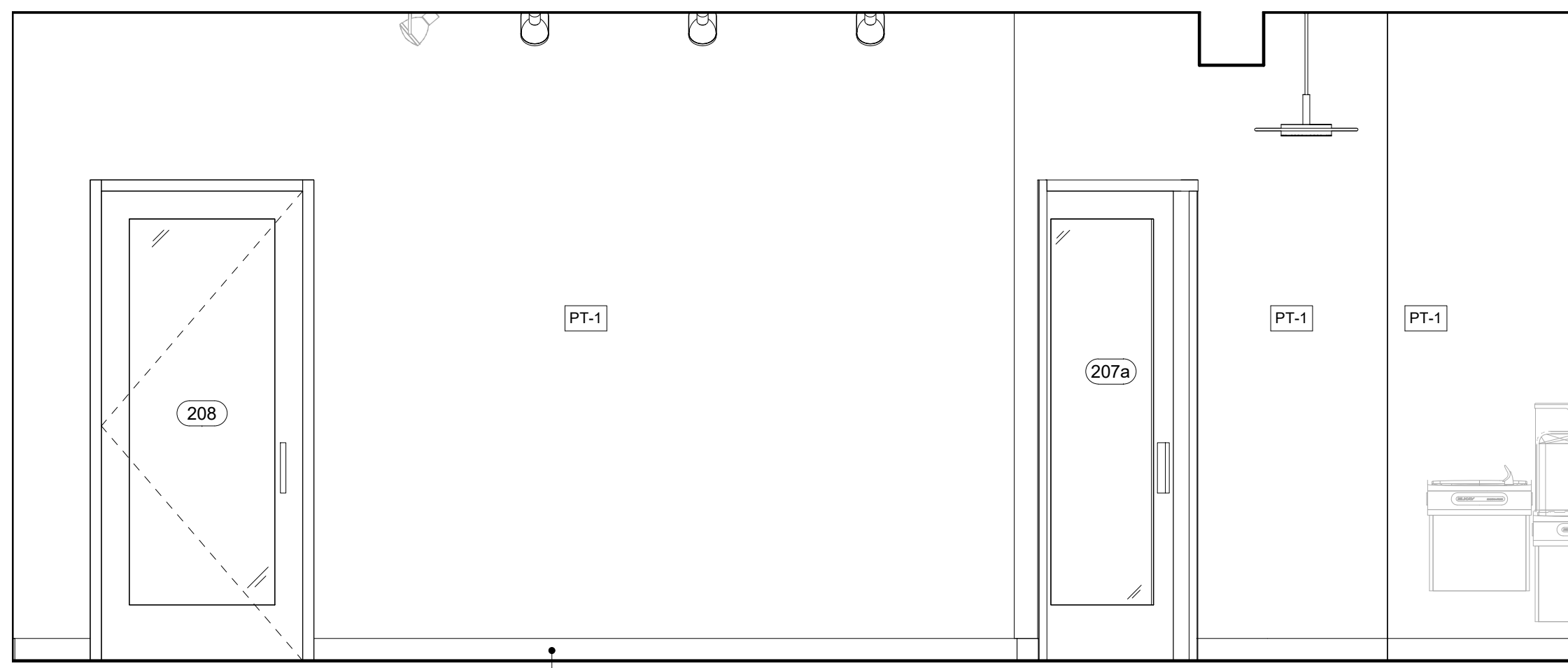
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117 and 115 W. LIBERTY ST.  
ANN ARBOR, MICHIGAN 48104

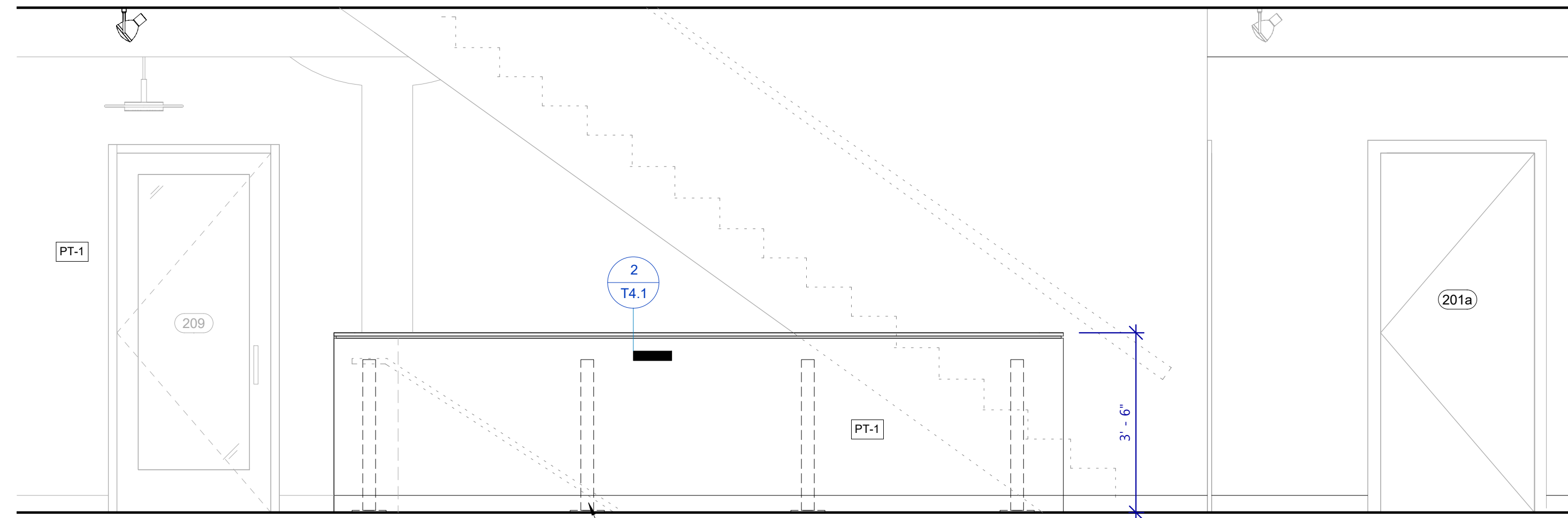
DATE: 04/06/2021  
DESCRIPTION: BID/PERMIT

DESIGN: Designer  
DRAWN: Author  
PROJECT NO.: 200312\_21\_01

INTERIOR ELEVATIONS  
LEVEL 2  
**A6.4**

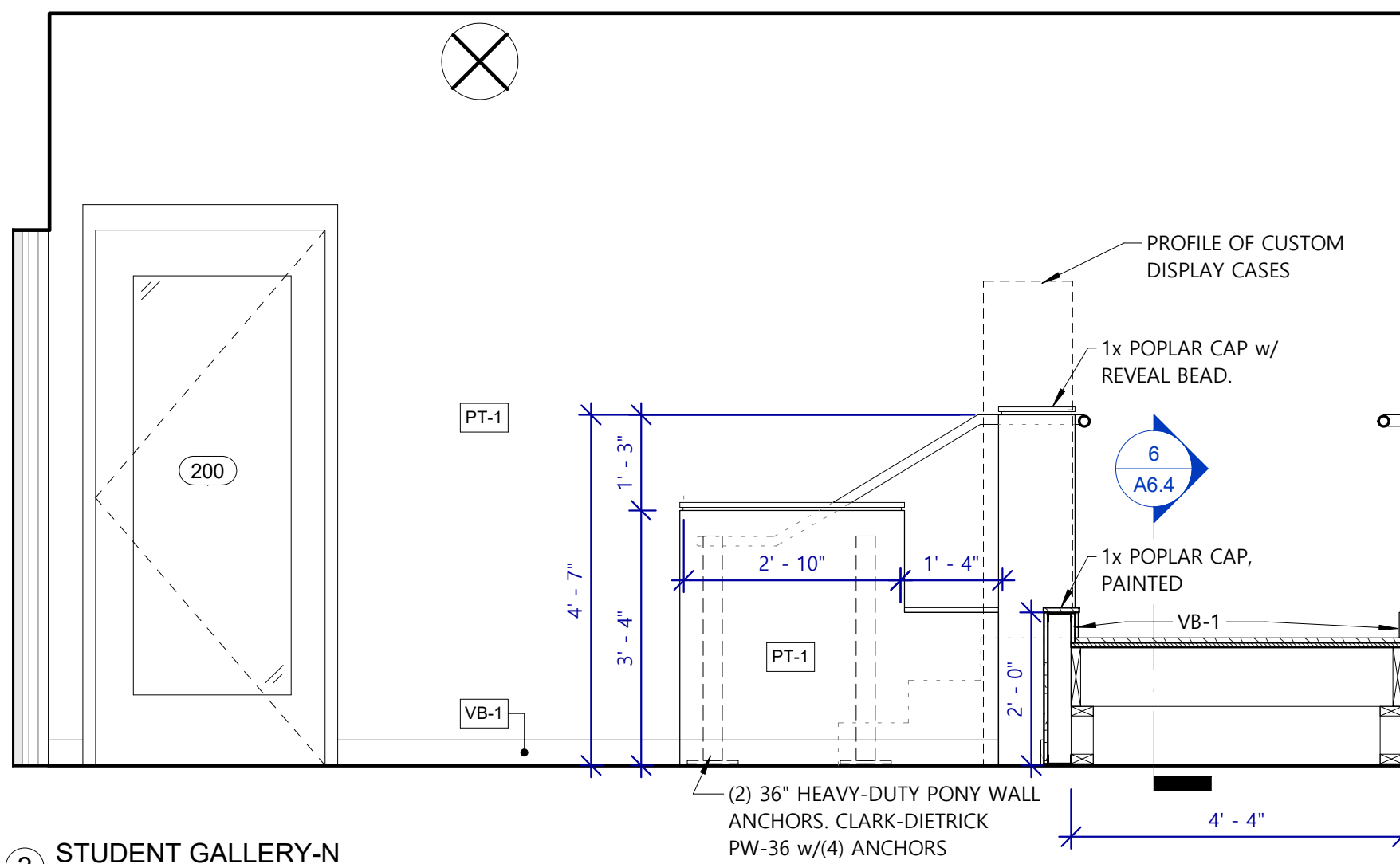


4 STUDENT GALLERY-S  
1/2" = 1'-0"



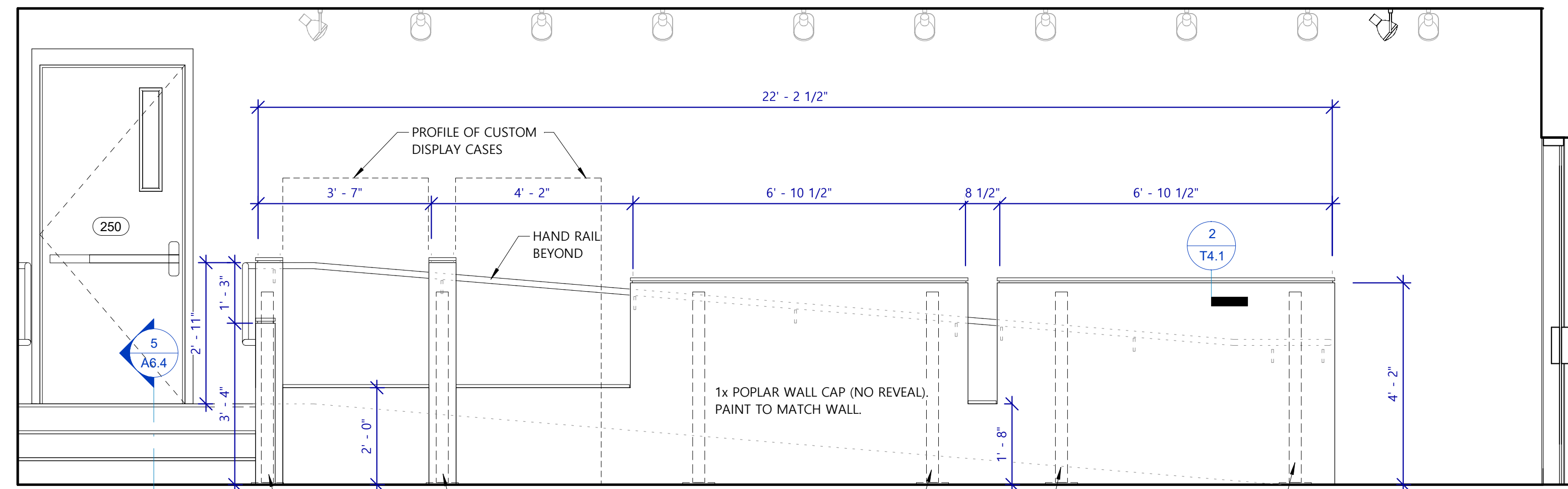
1 STUDENT GALLERY-W  
1/2" = 1'-0"

(4) 36" HEAVY-DUTY PONY WALL ANCHOR, CLARK-DIETRICK PW-36 w/(4) ANCHORS



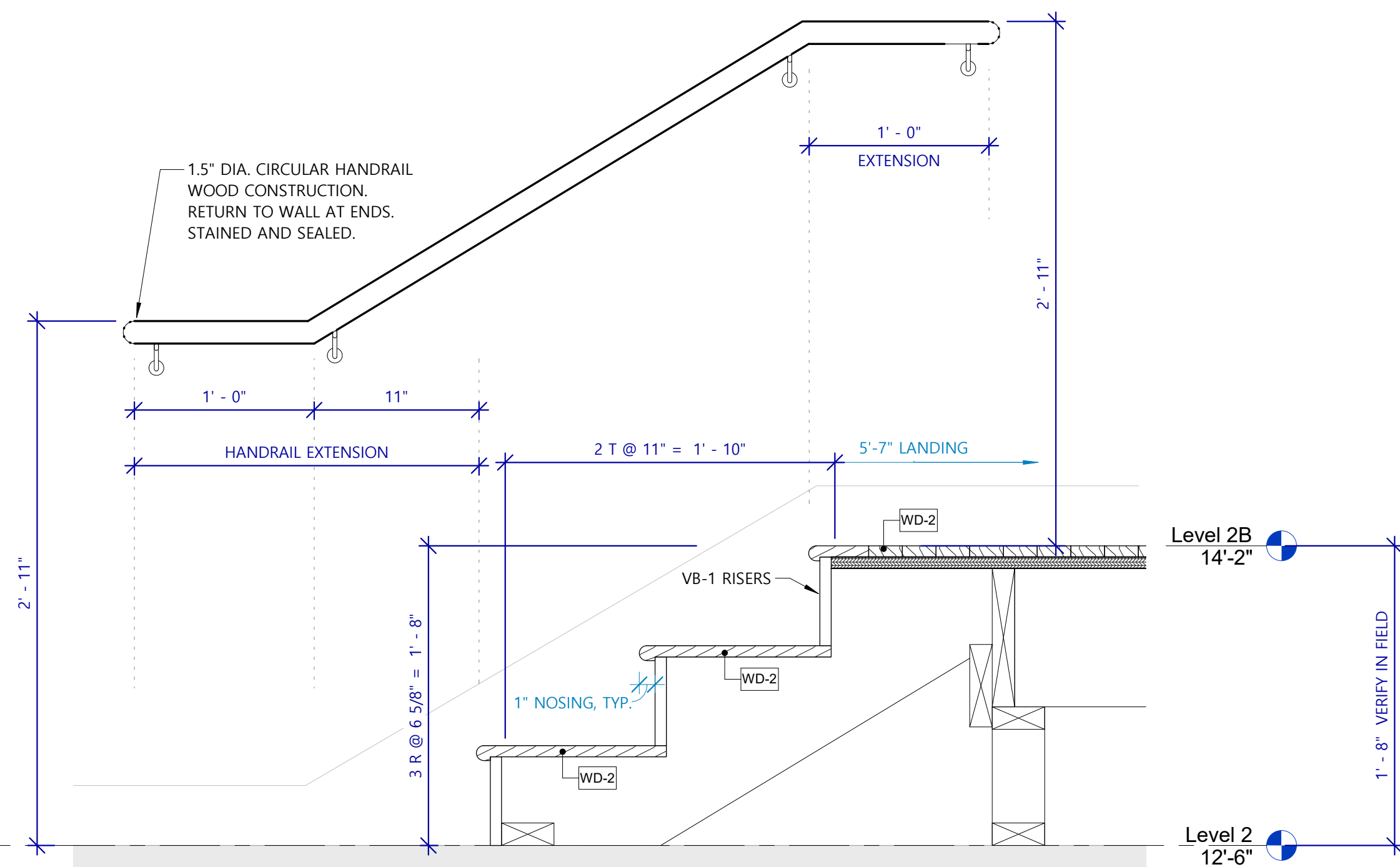
2 STUDENT GALLERY-N  
1/2" = 1'-0"

(2) 36" HEAVY-DUTY PONY WALL ANCHORS, CLARK-DIETRICK PW-36 w/(4) ANCHORS

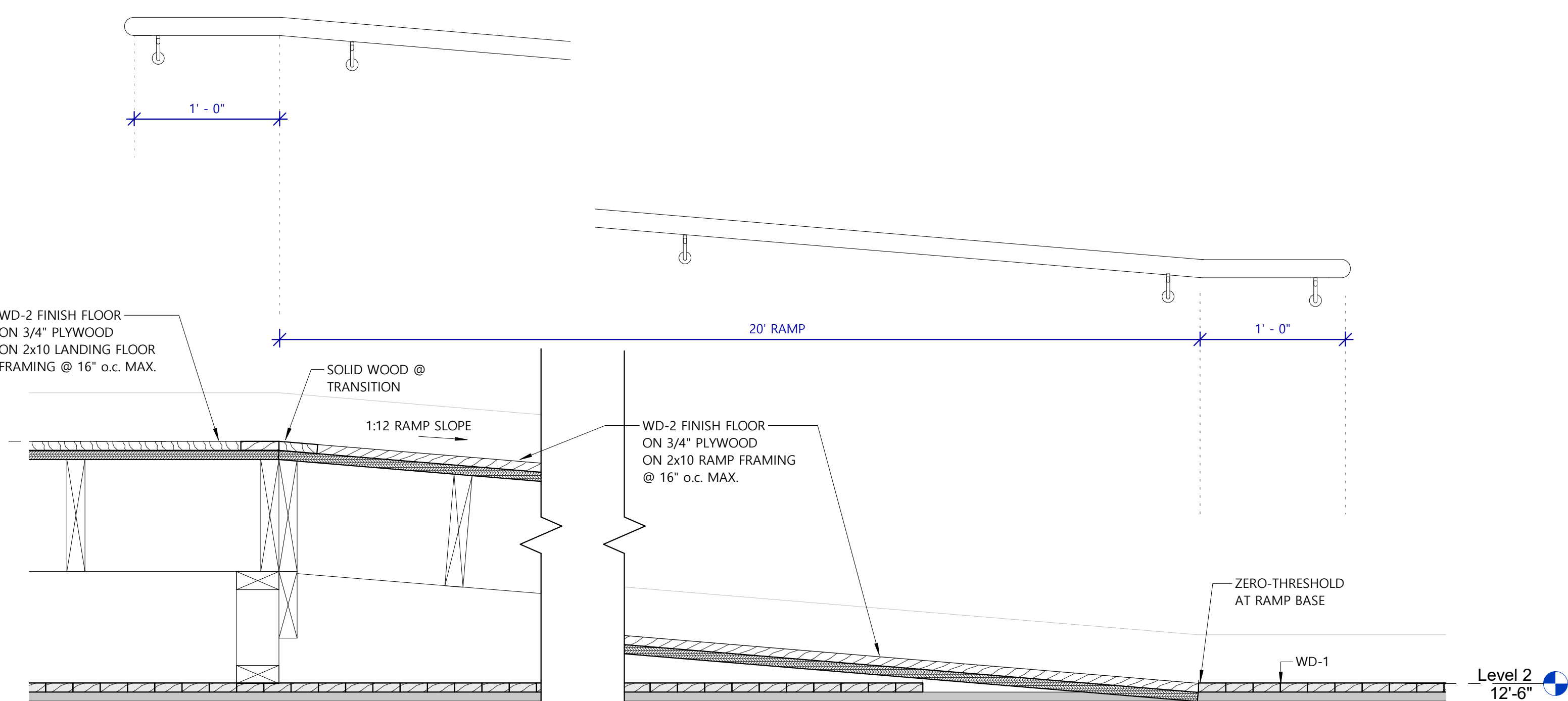


3 STUDENT GALLERY-E  
1/2" = 1'-0"

(6) 48" HEAVY-DUTY PONY WALL ANCHORS, CLARK-DIETRICK PW-48 w/(4) ANCHORS, OR APPROVED EQUAL.



5 STAIR SECTION  
1 1/2" = 1'-0"



6 RAMP SECTION  
1 1/2" = 1'-0"



Ex 10-31-22

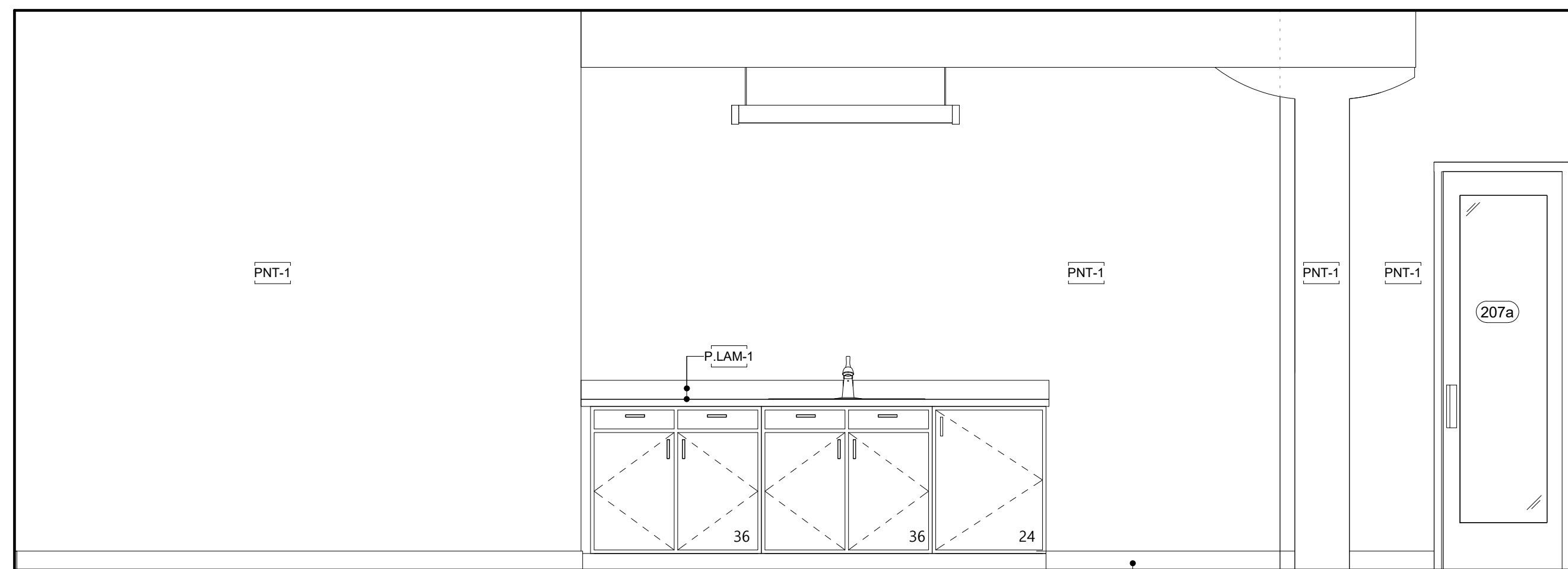
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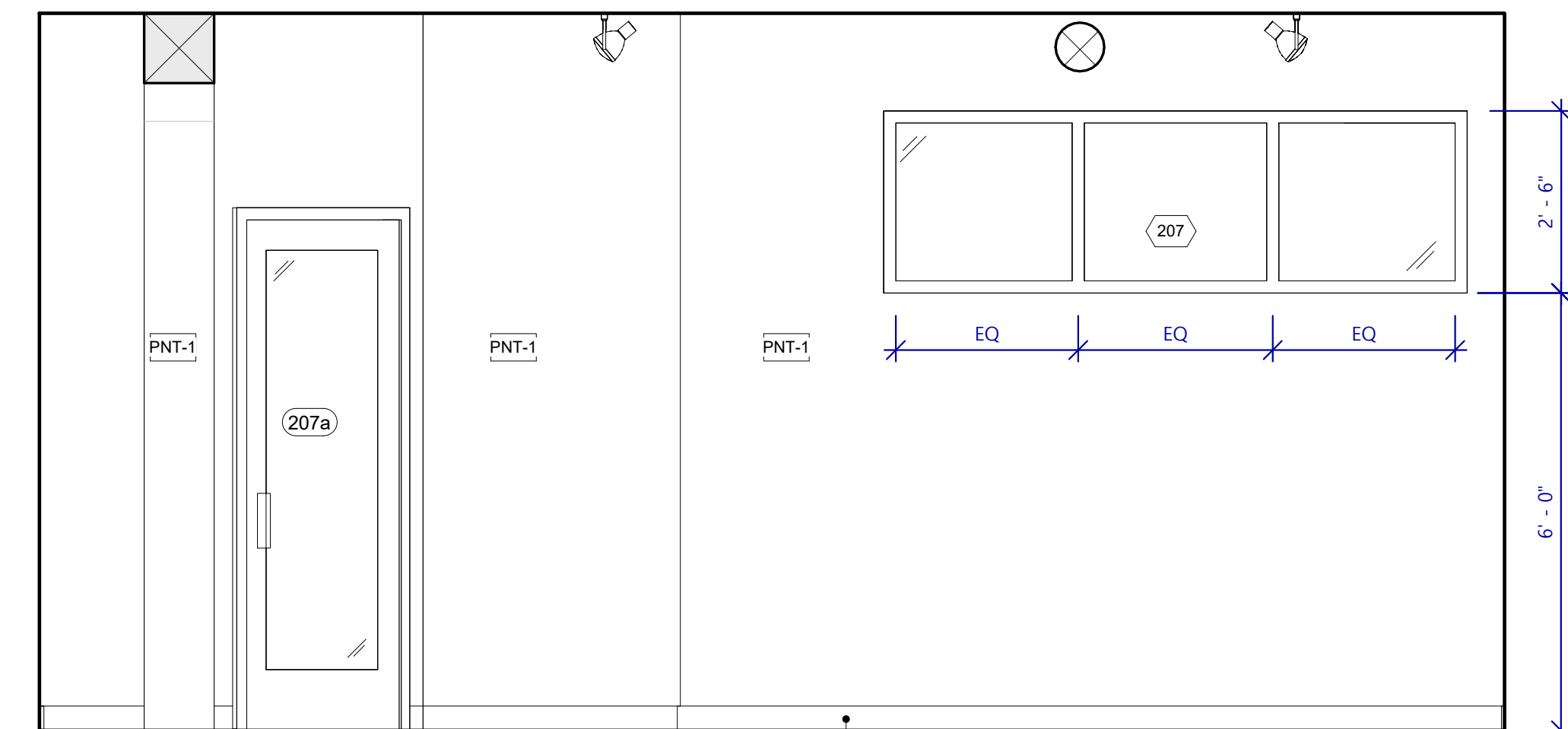
| DATE       | DESCRIPTION |
|------------|-------------|
| 04/06/2021 | BID/PERMIT  |

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|-------------|--------------|
| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

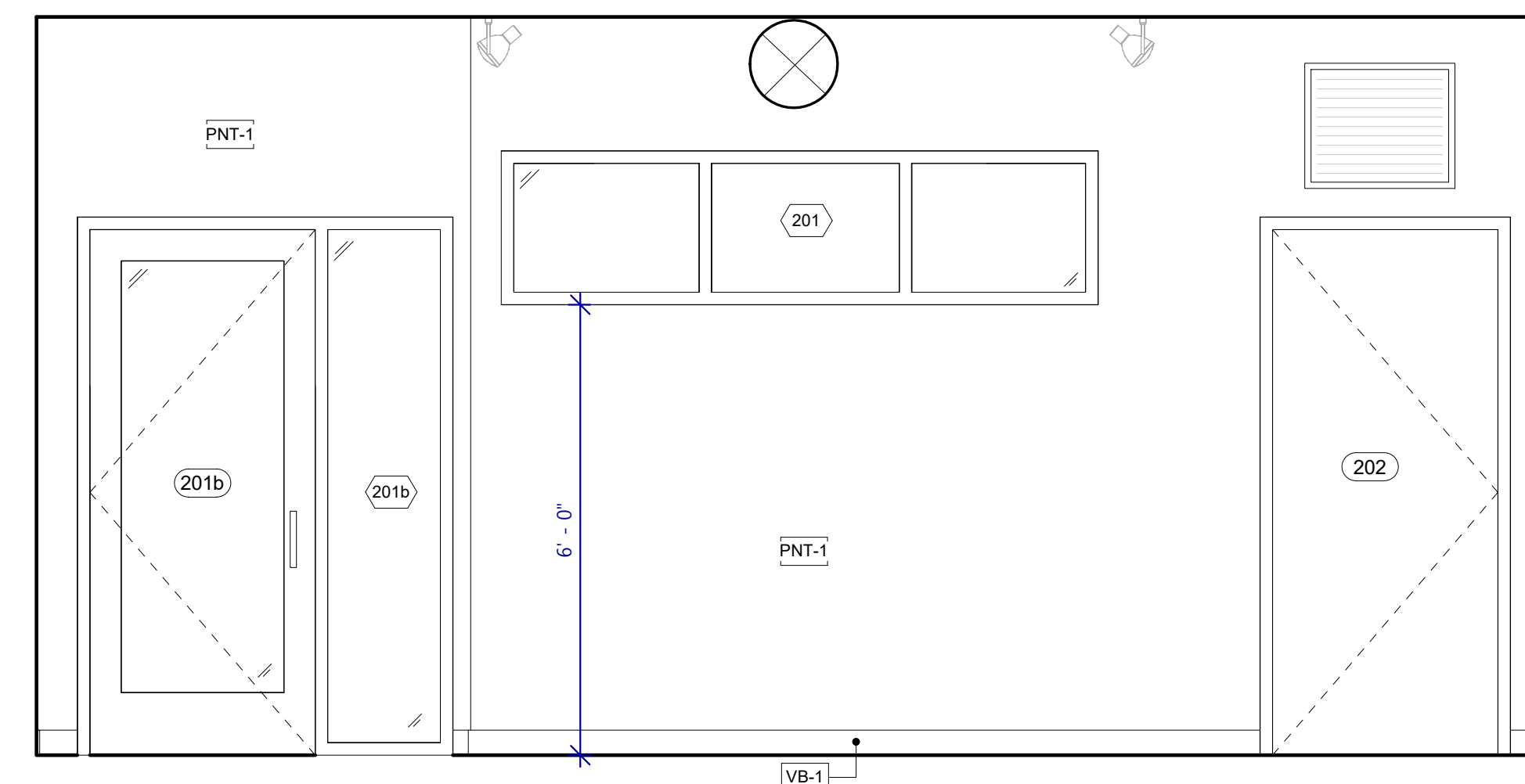
INTERIOR ELEVATIONS  
LEVEL 2  
**A6.5**



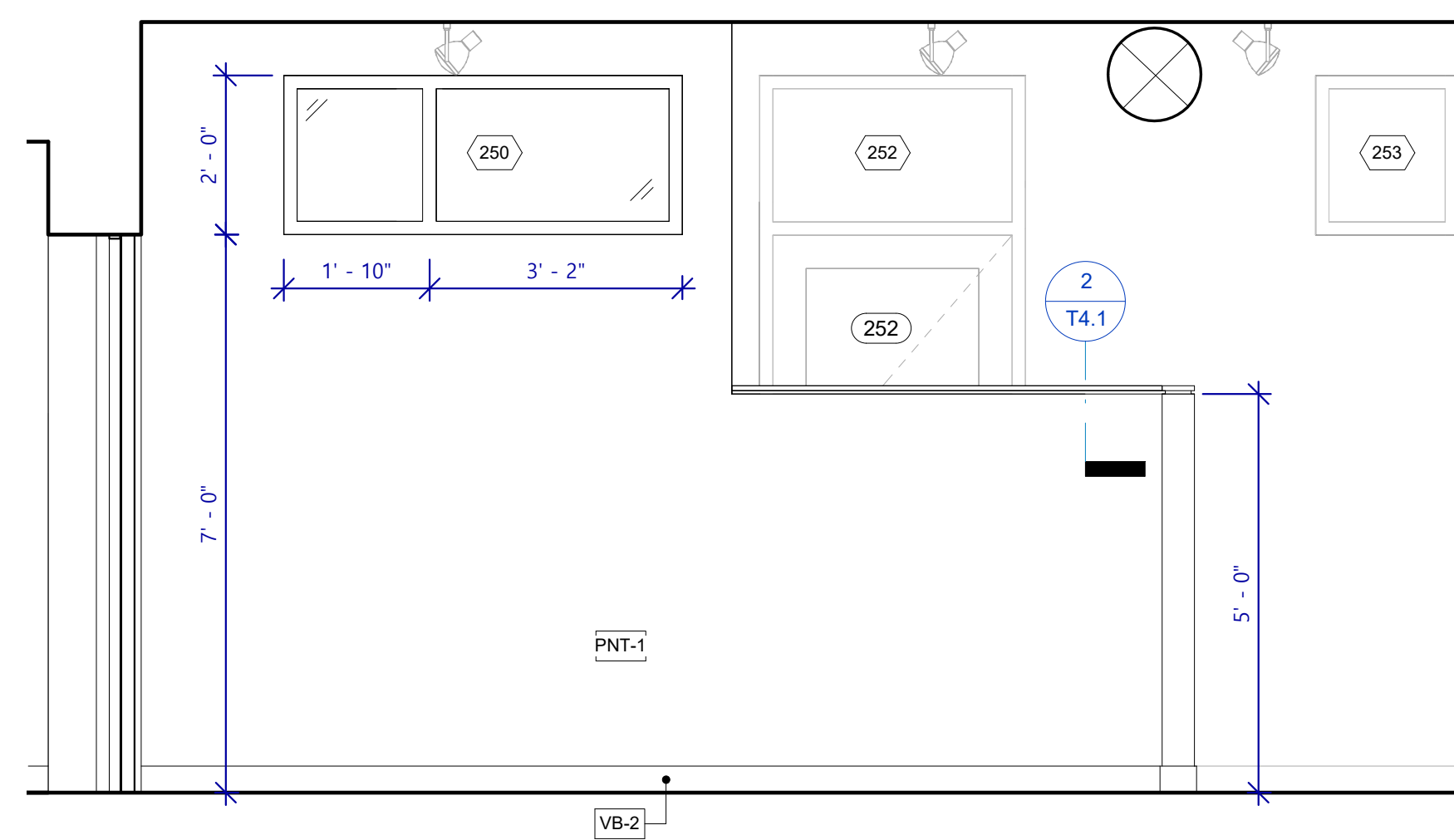
7 CLASSROOM 207-W  
1/2" = 1'-0"



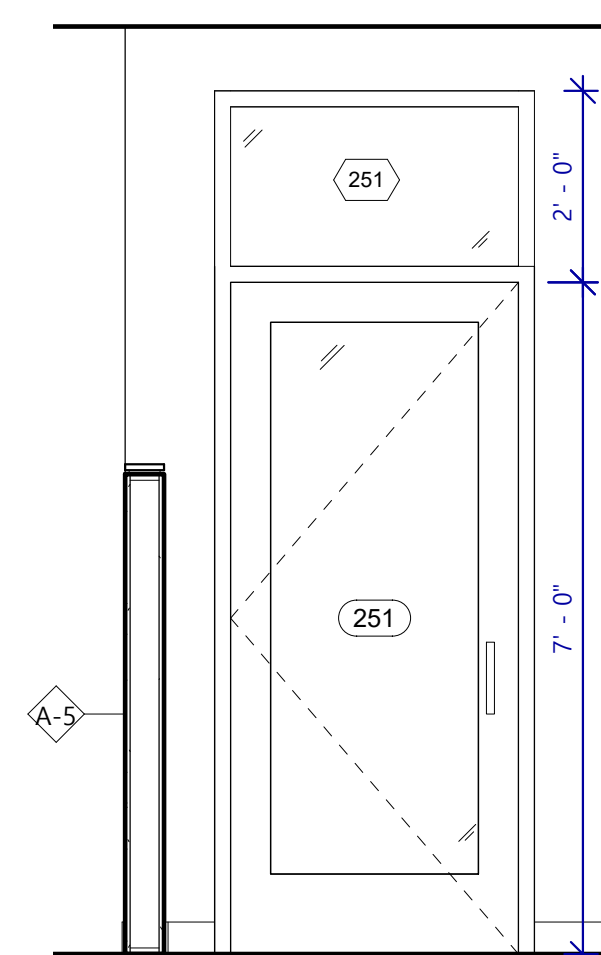
6 CLASSROOM 207- N  
1/2" = 1'-0"



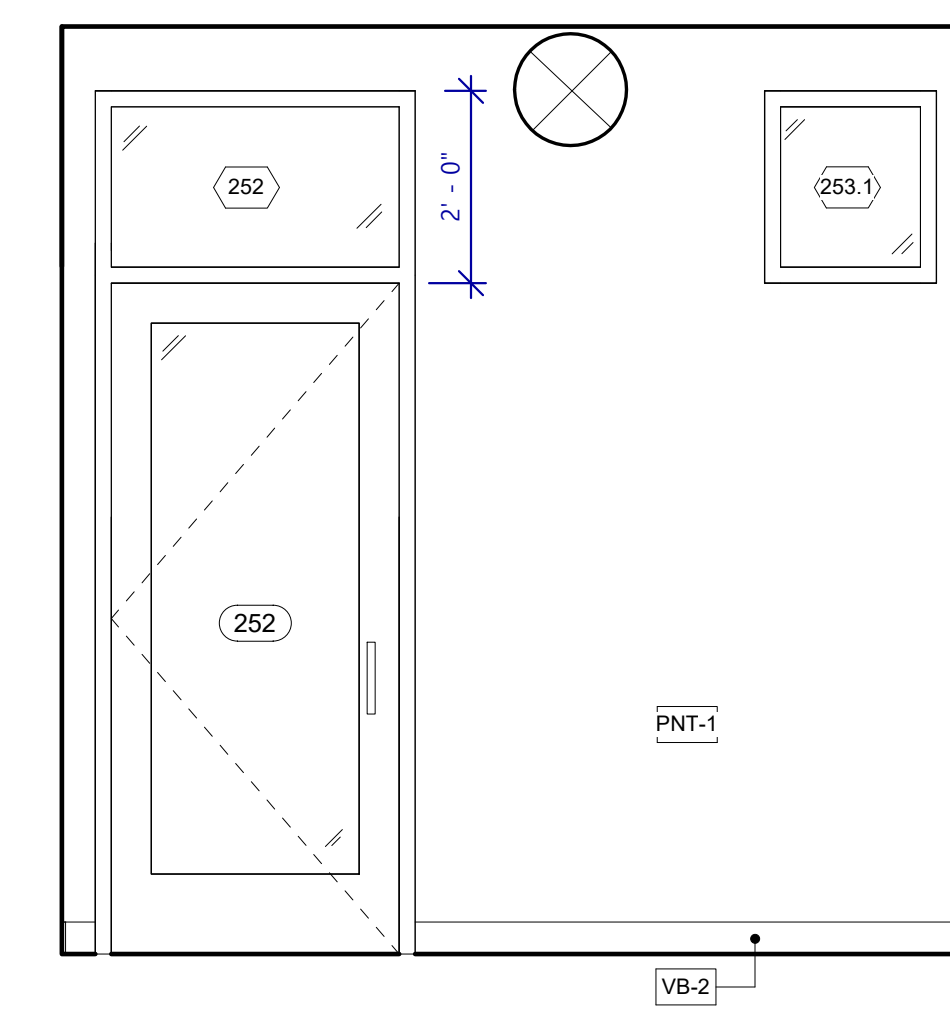
1 CLASSROOM 201- S  
1/2" = 1'-0"



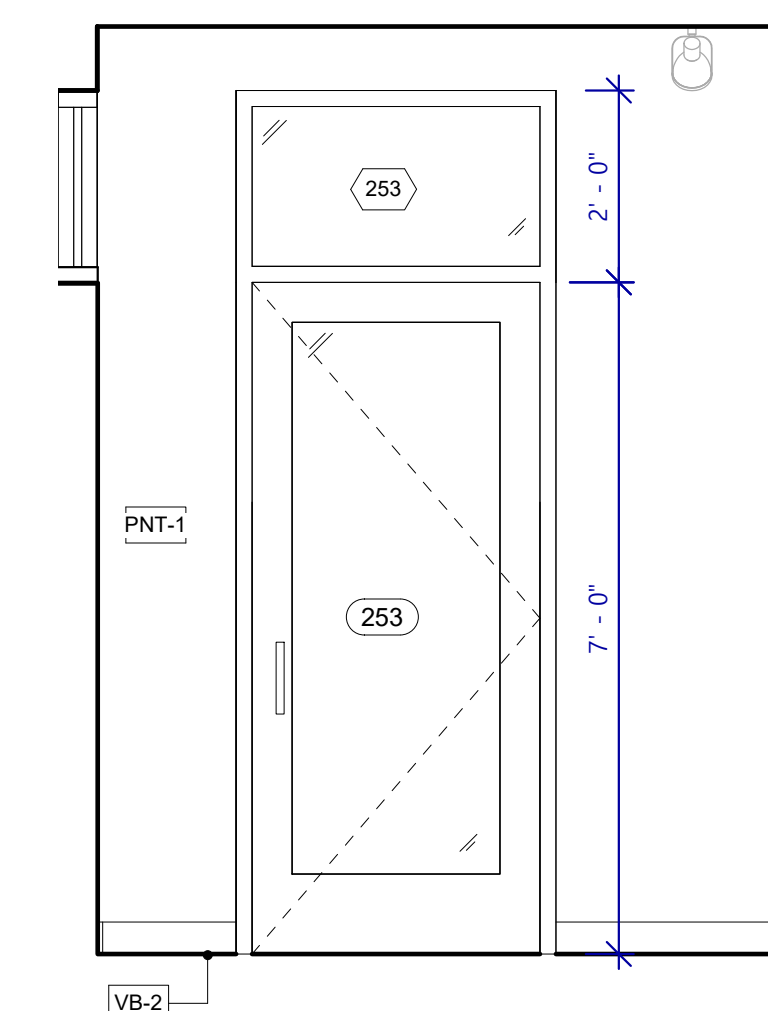
2 OPEN OFFICE 250- N  
1/2" = 1'-0"



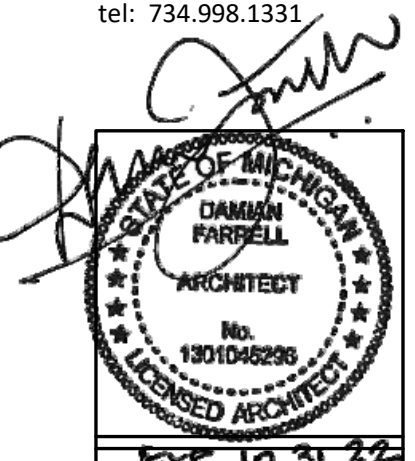
3 OFFICE HALLWAY -W  
1/2" = 1'-0"



4 OFFICE HALLWAY -N  
1/2" = 1'-0"



5 OFFICE HALLWAY -E  
1/2" = 1'-0"



Ex: 10-31-22

BID/BLDG PERMIT

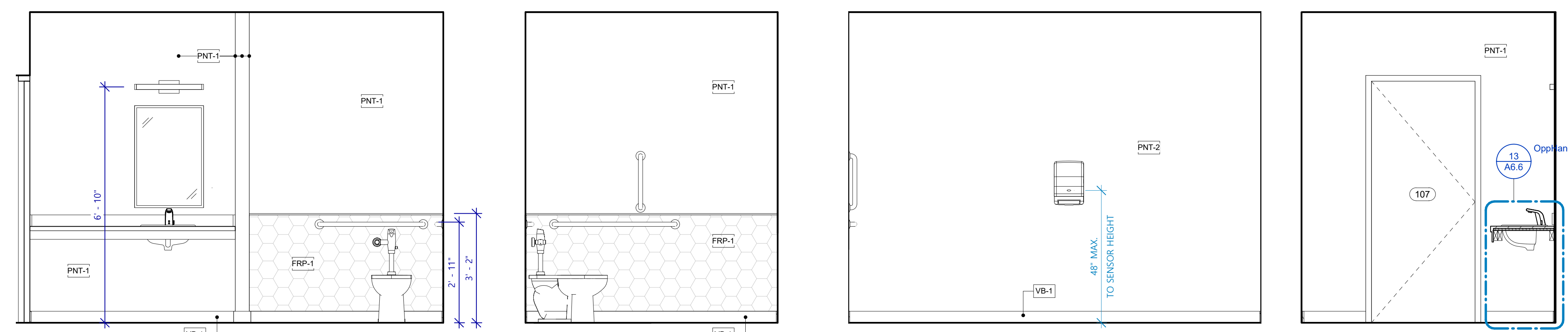
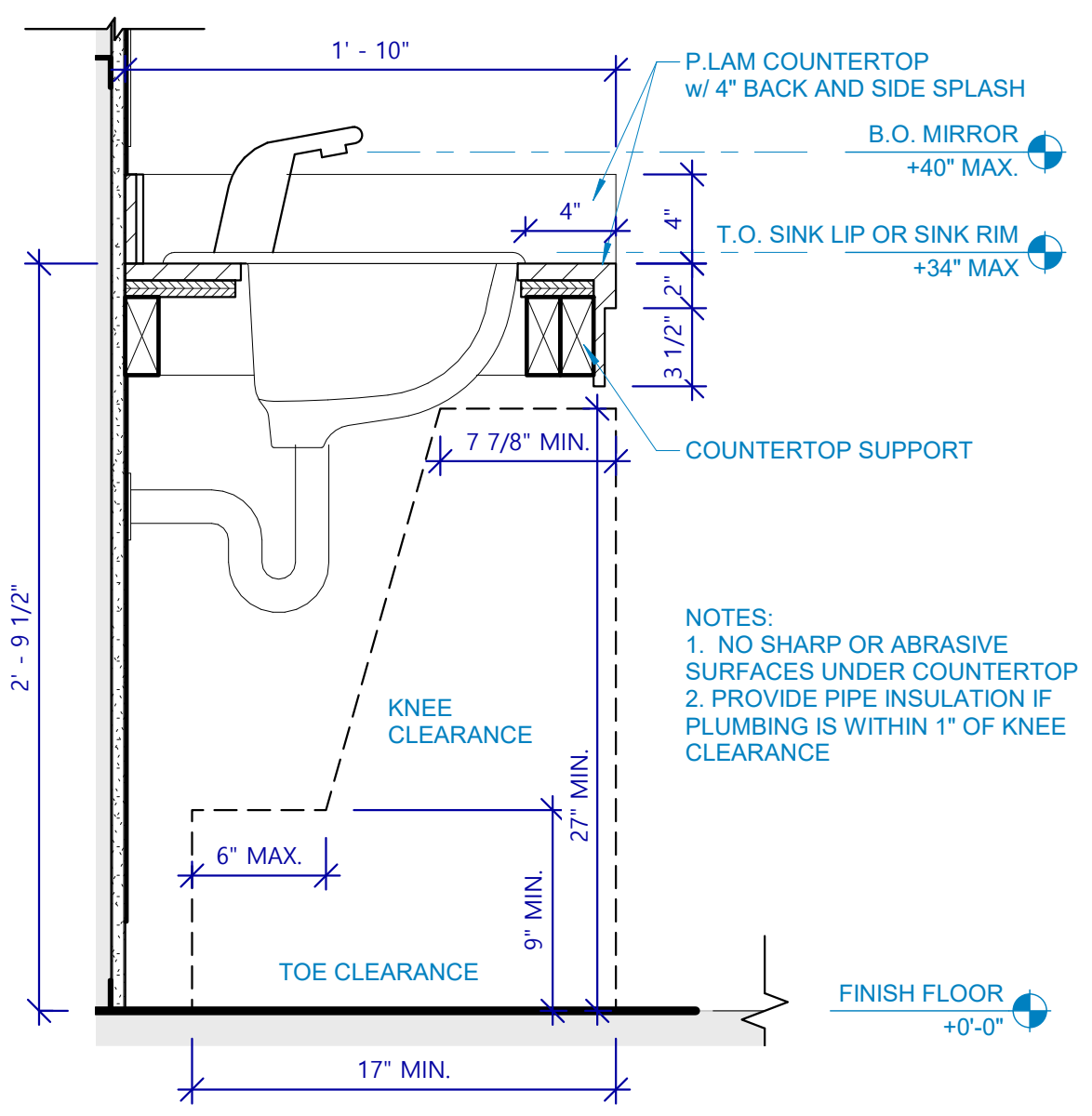
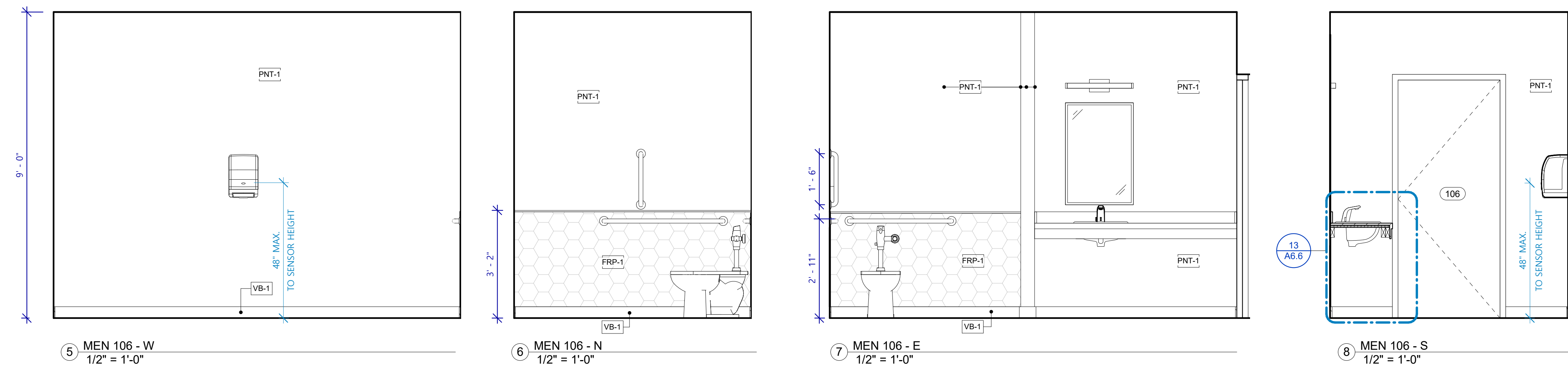
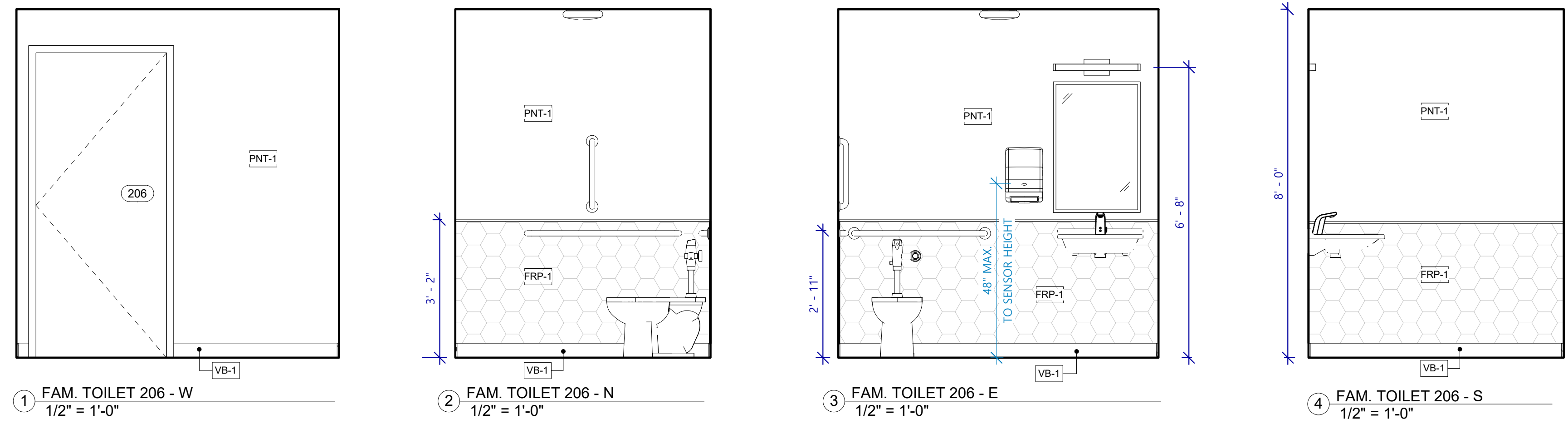
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ANN ARBOR, MICHIGAN 48104

| DATE       | DESCRIPTION |
|------------|-------------|
| 04/06/2021 | BID/PERMIT  |

|             |              |
|-------------|--------------|
| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

INT. ELEVATIONS  
117 TOILETS

A6.6



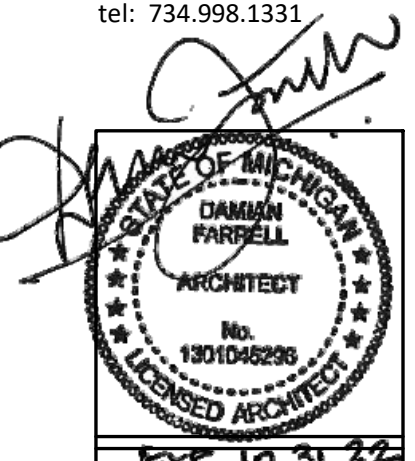
13 COUNTERTOP DETAIL  
1 1/2" = 1'-0"

9 WOMEN 107 - W  
1/2" = 1'-0"

10 WOMEN 107 - N  
1/2" = 1'-0"

11 WOMEN 107 - E  
1/2" = 1'-0"

12 WOMEN 107 - S  
1/2" = 1'-0"



Ex 10-31-22

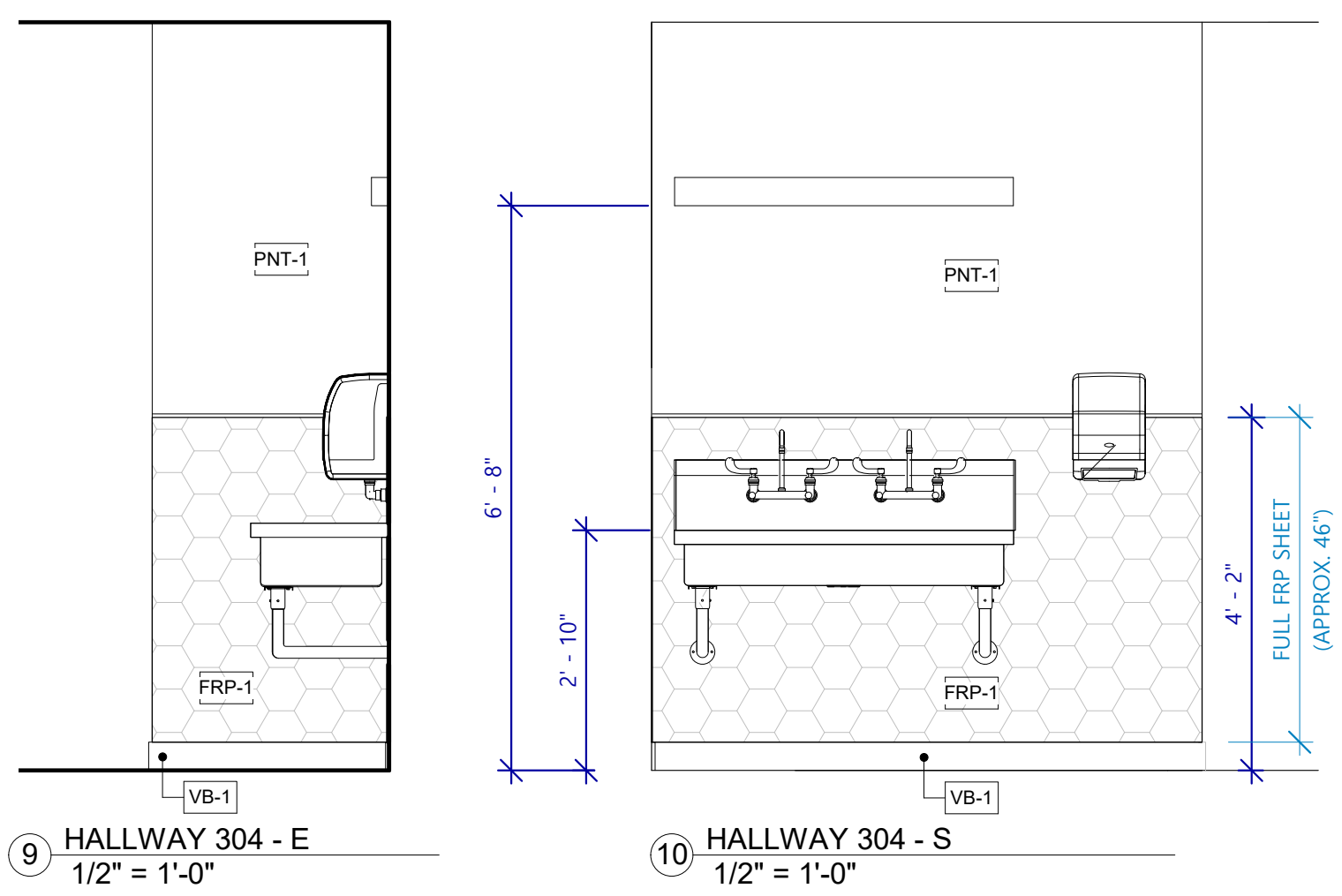
BID/BLDG PERMIT

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| DATE       | DESCRIPTION |
|------------|-------------|
| 04/06/2021 | BID/PERMIT  |

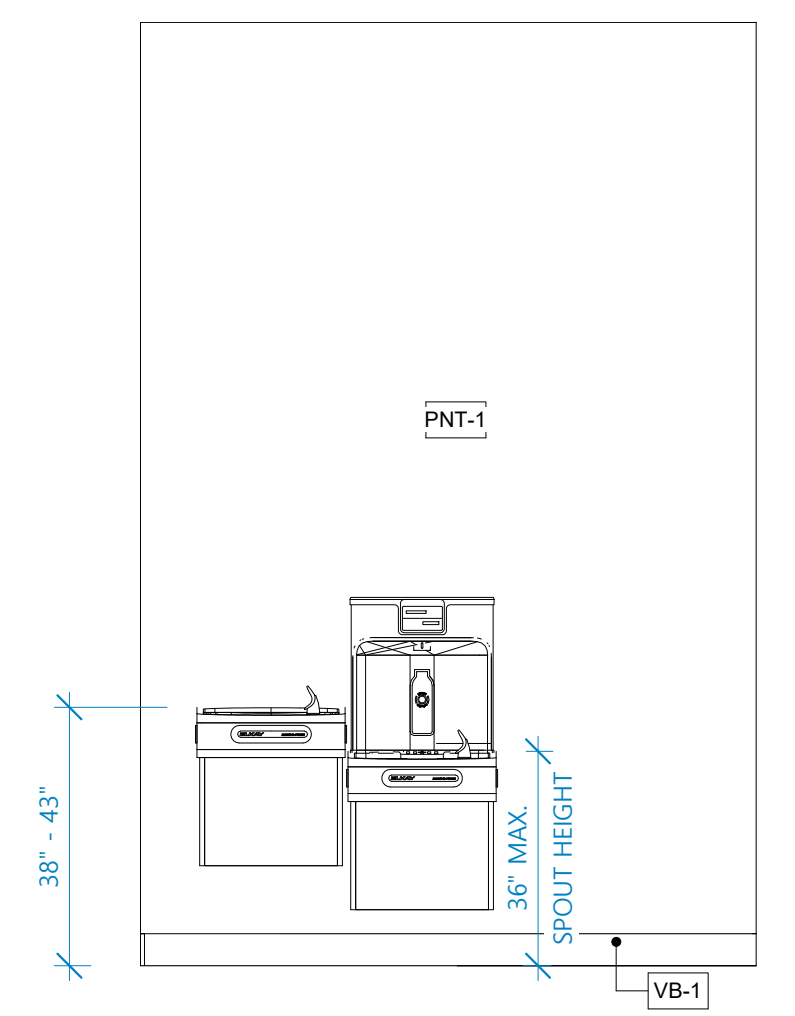
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|-------------|--------------|
| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

INT ELEVATIONS  
117 TOILETS AND  
HALLWAYS  
**A6.7**

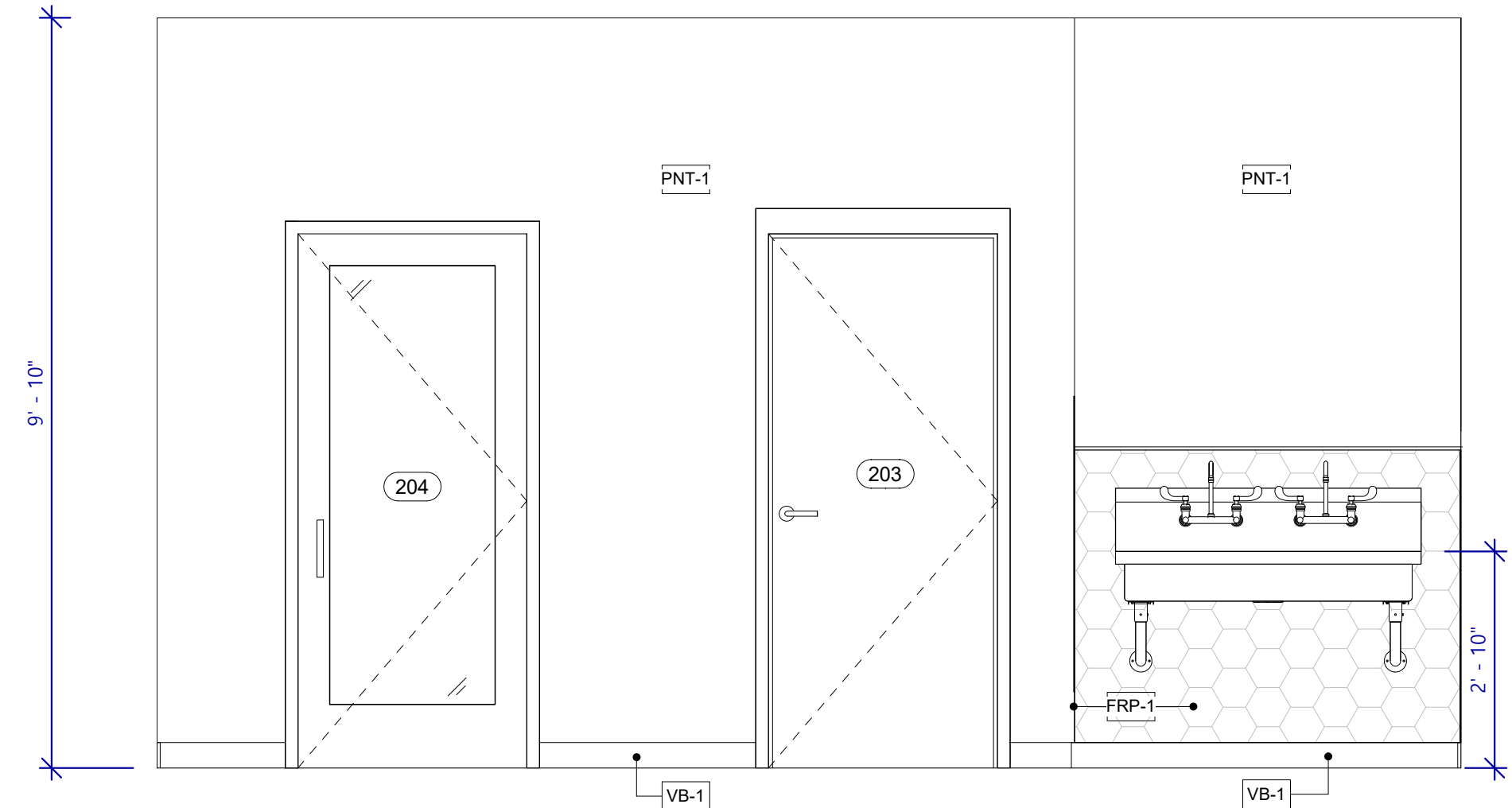


9 HALLWAY 304 - E  
1/2" = 1'-0"

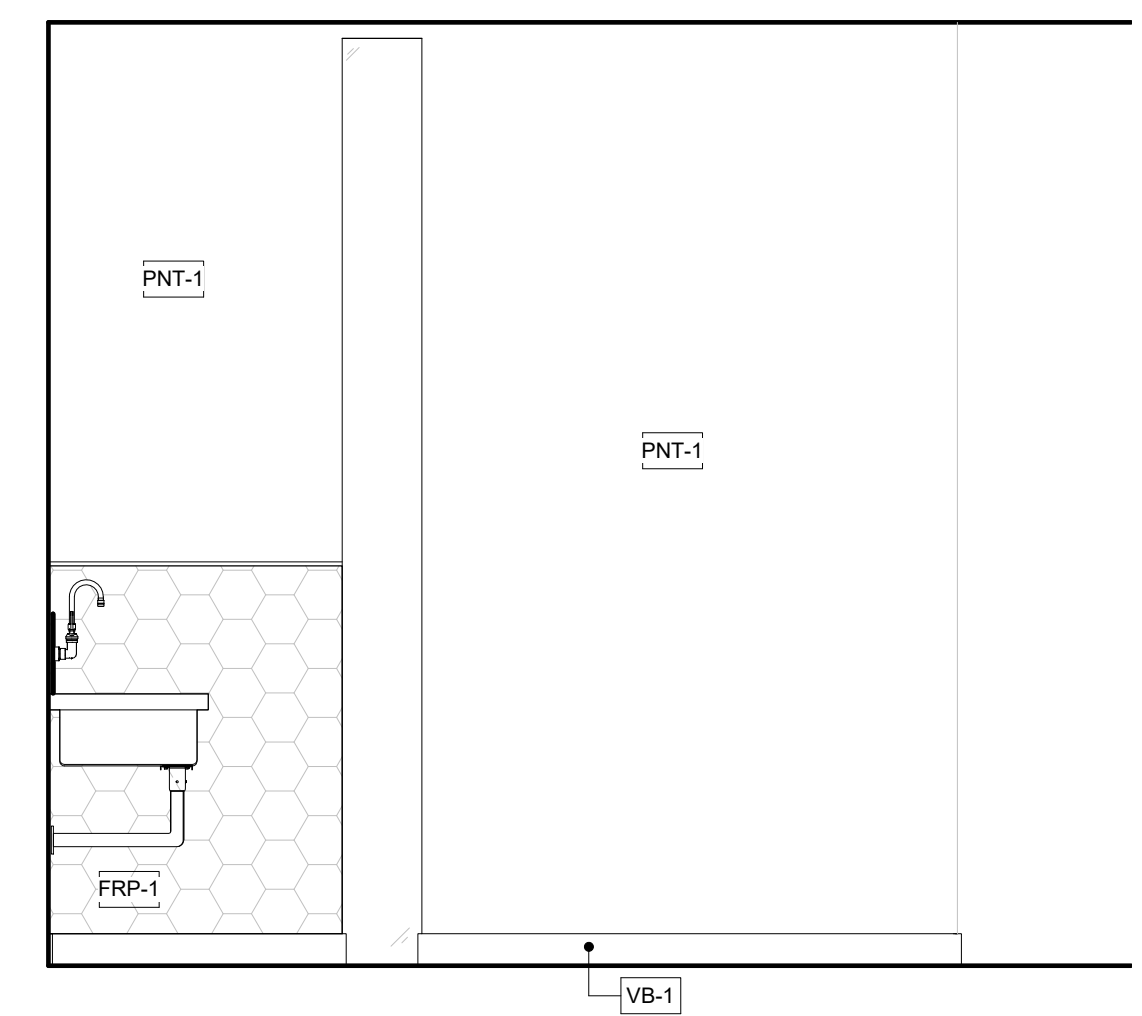
10 HALLWAY 304 - S  
1/2" = 1'-0"



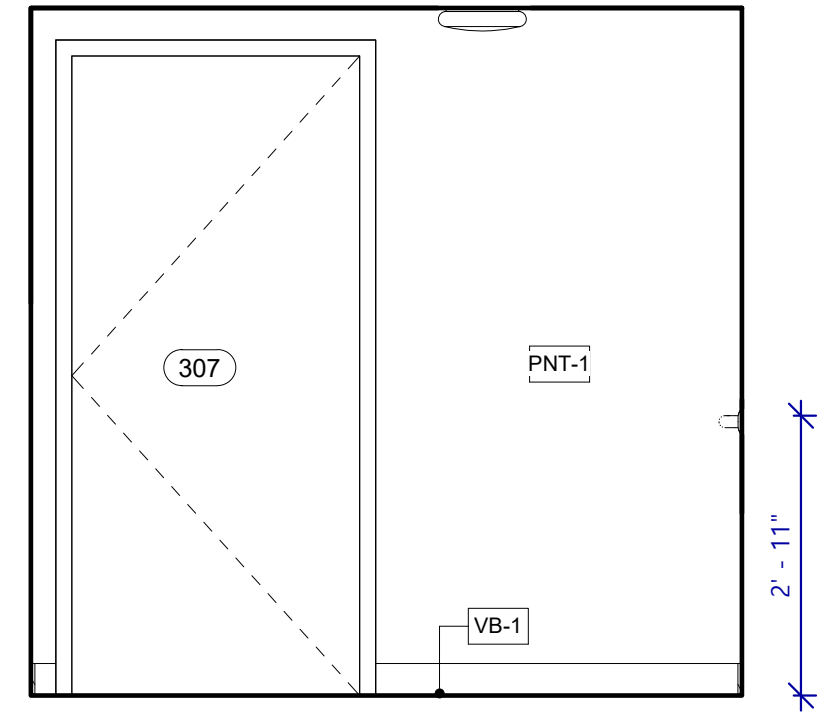
11 HALLWAY 210 - S  
1/2" = 1'-0"



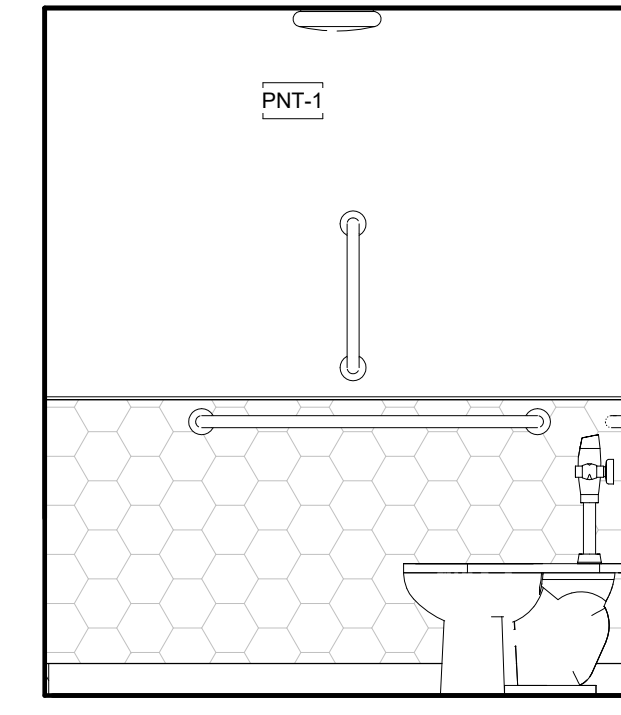
12 HALLWAY 210 - W  
1/2" = 1'-0"



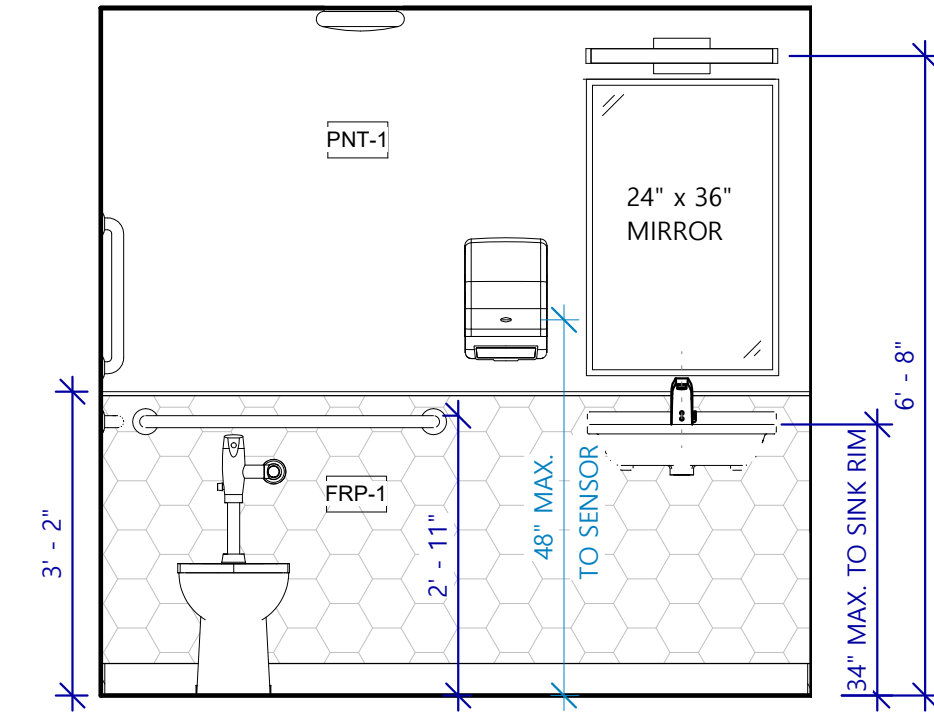
13 HALLWAY 210 - N  
1/2" = 1'-0"



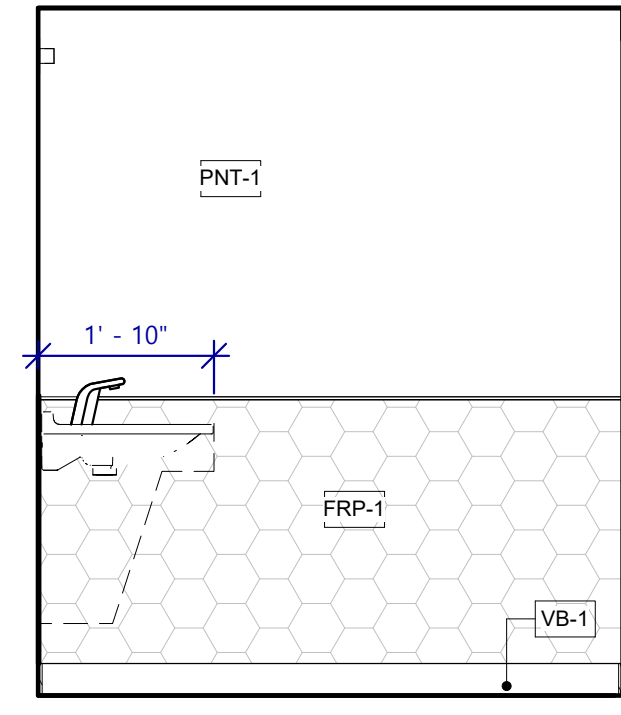
5 MEN 307 - W  
1/2" = 1'-0"



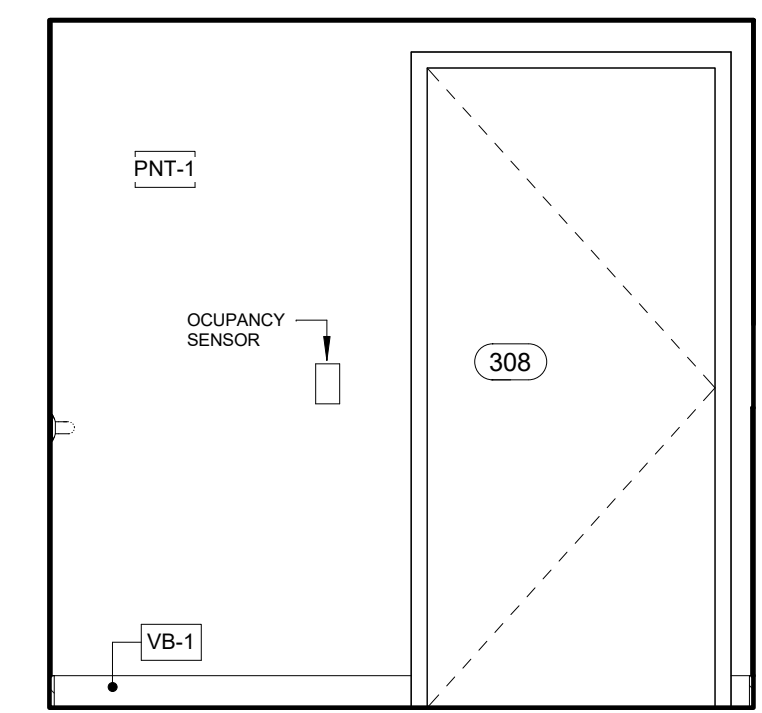
6 MEN 307 - N  
1/2" = 1'-0"



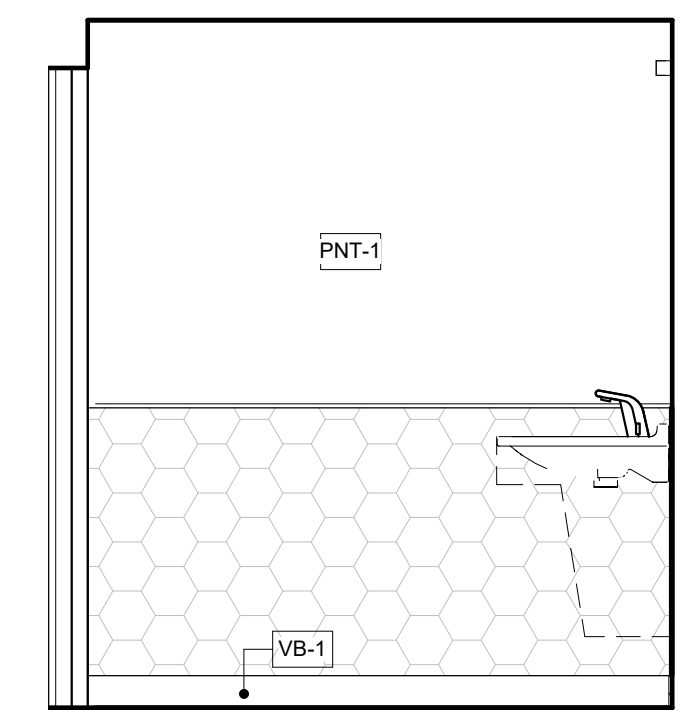
7 MEN 307 - E  
1/2" = 1'-0"



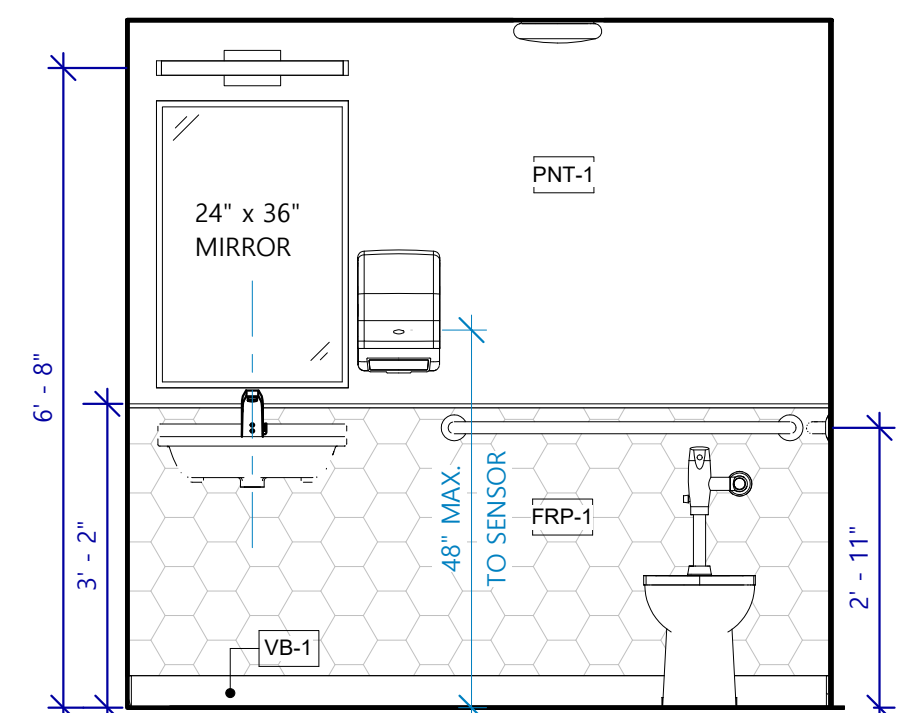
8 MEN 307 - S  
1/2" = 1'-0"



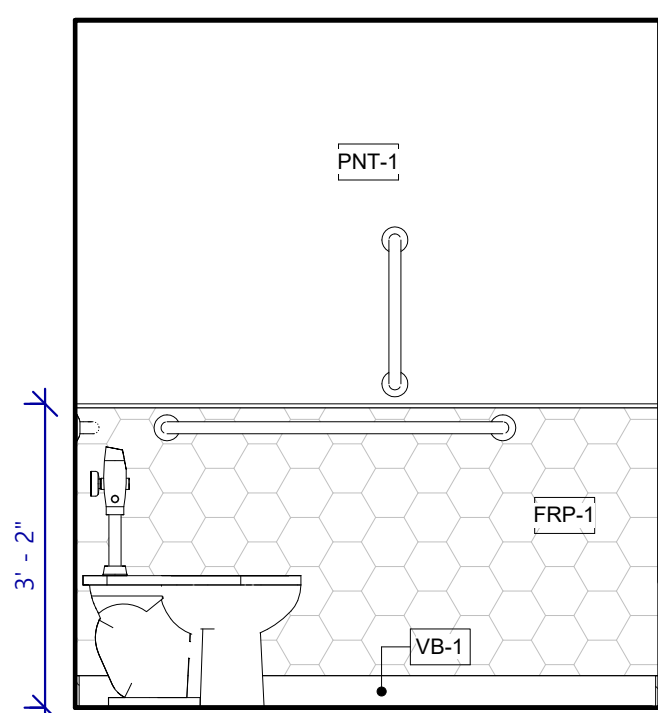
1 WOMEN 308 - W  
1/2" = 1'-0"



2 WOMEN 308 - N  
1/2" = 1'-0"

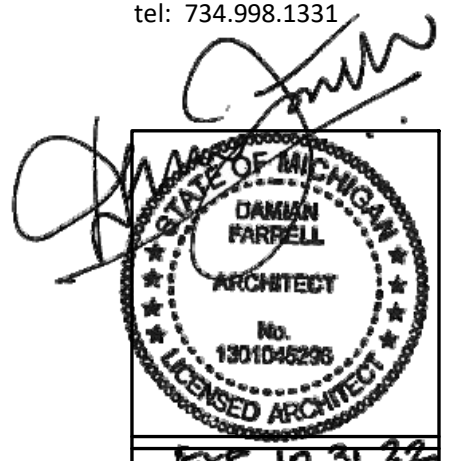


3 WOMEN 308 - E  
1/2" = 1'-0"



4 WOMEN 308 - S  
1/2" = 1'-0"





Ex 10-31-22

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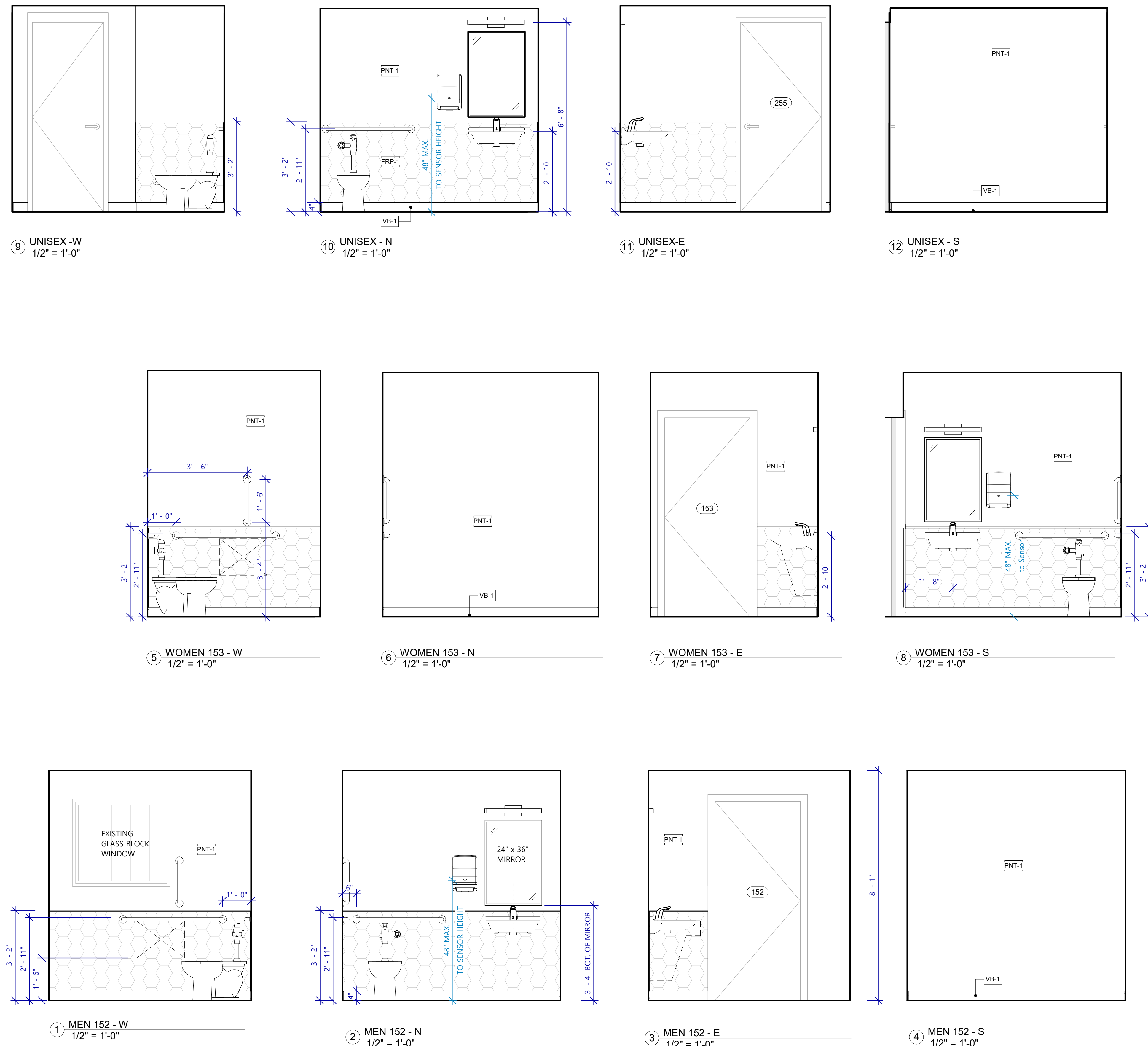
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|             |              |
|-------------|--------------|
| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

INT. ELEVATIONS  
115 TOILETS

A6.8





1 FINISH FLOOR PLAN - LEVEL 1  
3/16" = 1'-0"

| FINISH FLOOR KEY |                                  |
|------------------|----------------------------------|
| TAG              | DESCRIPTION                      |
| LVT-1            | 24"x24" TILE.                    |
| WD-1             | EXISTING WOOD FLOOR - REFINISH.  |
| WD-2             | NEW WOOD FLOOR - MATCH EXISTING. |

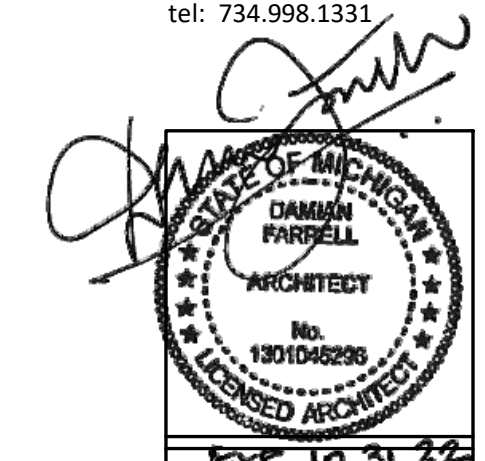
**FINISH FLOOR PLAN - LEVEL 1**

**A7.1**



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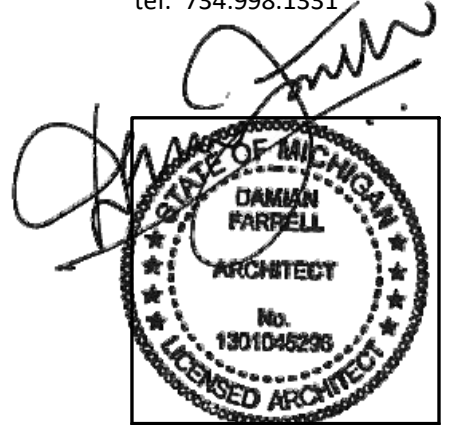
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| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |



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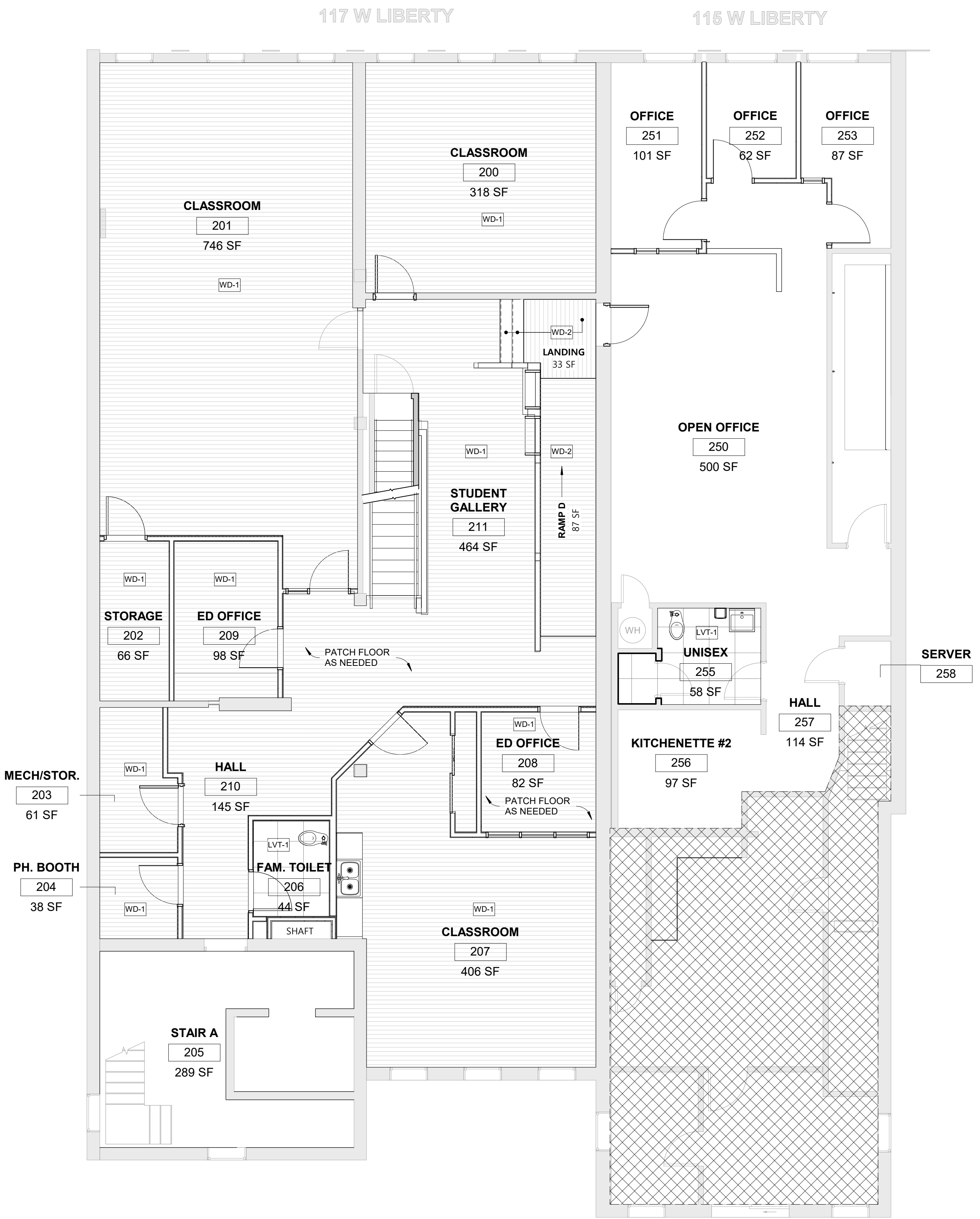
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| DATE       | DESCRIPTION |
|------------|-------------|
| 04/06/2021 | BID/PERMIT  |

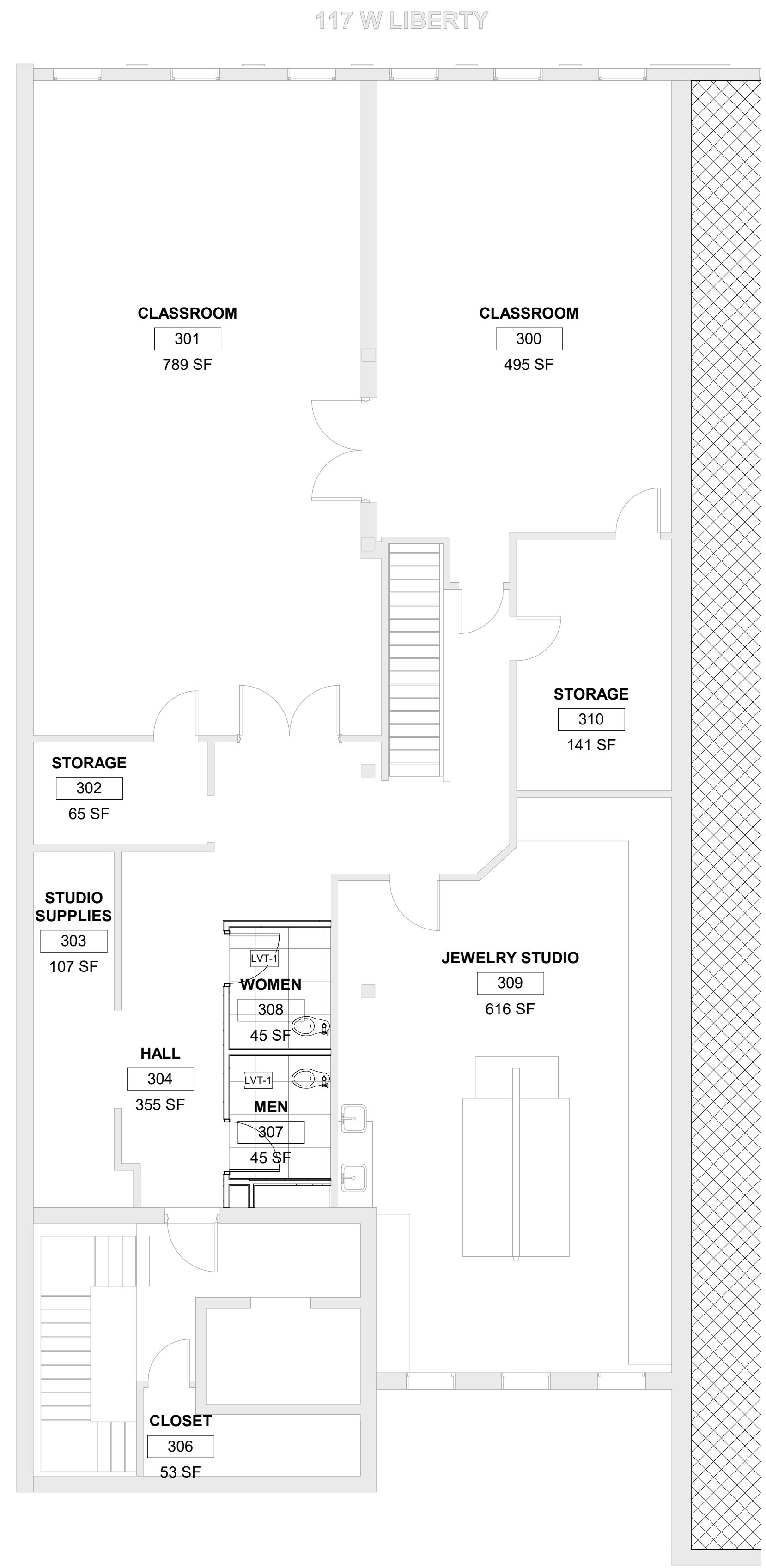
|             |              |
|-------------|--------------|
| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

FINISH FLOOR PLAN - LEVEL 2

A7.2



2 FINISH FLOOR PLAN - LEVEL 2  
3/16" = 1'-0"



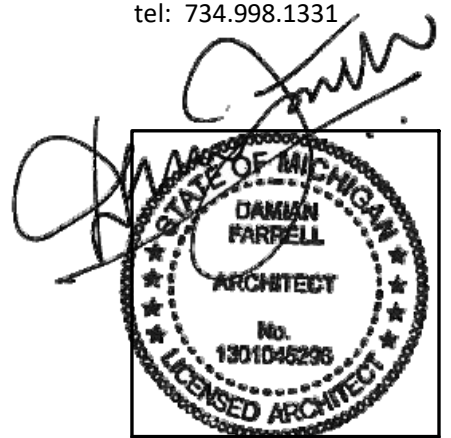
3 FINISH FLOOR PLAN - LEVEL 3  
3/16" = 1'-0"

| FINISH FLOOR KEY |                                  |
|------------------|----------------------------------|
| TAG              | DESCRIPTION                      |
| LVT-1            | 24"x24" TILE.                    |
| WD-1             | EXISTING WOOD FLOOR - REFINISH.  |
| WD-2             | NEW WOOD FLOOR - MATCH EXISTING. |



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DESIGN Designer  
DRAWN Author  
PROJECT NO. 200312\_21\_01

RCP LEVEL 0

A8.0



1 REFLECTED CEILING PLAN - LEVEL 0  
3/16" = 1'-0"

| ELECTRICAL FIXTURE LEGEND |        |  |
|---------------------------|--------|--|
| CODE                      | SYMBOL | FIXTURE TYPE   |
| A                         |        | TRACK LIGHTING - SALVAGED IF POSSIBLE                  |
| B                         |        | LITHONIA 4" DIA. RECESSED WAFER LED                    |
| C1                        |        | 4" ALCON "CHELA" LINEAR SUSPENDED LIGHT- 12184         |
| C2                        |        | 8" ALCON "CHELA" LED LINEAR SUSPENDED LIGHT- 12184     |
| D1                        |        | 4" ALCON "CHELA" LED SURFACE MOUNTED LIGHT- 11163      |
| D2                        |        | 8" ALCON "CHELA" LED SURFACE MOUNTED LIGHT- 11163      |
| E                         |        |  |
| F                         |        | LITHONIA - 2" LED VANITY LIGHT - FMVCSL                |
| G                         |        | LITHONIA FLUSH-MOUNT LED - FMLSL                       |
| H                         |        | PENDANT - TBD  |
| J                         |        | PENDANT - TBD  |
| K                         |        | PENDANT - TBD  |
| EM-1                      |        | EMERGENCY LIGHT  |
| EM-2                      |        | EMERGENCY LIGHT  |
| EX-1                      |        | EXIT SIGN<br>ILLUMINATED SURFACE<br>DIRECTION OF ARROW |

| ELECTRICAL SYMBOL LEGEND |  |
|--------------------------|--|
| WALL                     | SWITCH   |
|                          | 3-WAY SWITCH   |
|                          | MOTION SENSOR  |
|                          | OUTLET<br>- GF- GROUND FAULT INTERRUPTER<br>- WP - WATER PROOF<br>- NUMBER INDICATED<br>INSTALLATION HEIGHT A.F.F. |

| ELECTRICAL NOTES |  |
|------------------|--|
| 1.               | PLACE FIXTURES AND OUTLETS WHERE SHOWN AND AS REQUIRED BY CODE IF NOT SHOWN ON THESE DRAWINGS. ALL DIMENSIONS ARE TO ROUGH FRAMING OR BRICK SURFACES UNLESS OTHERWISE NOTED. |
| 2.               |  |

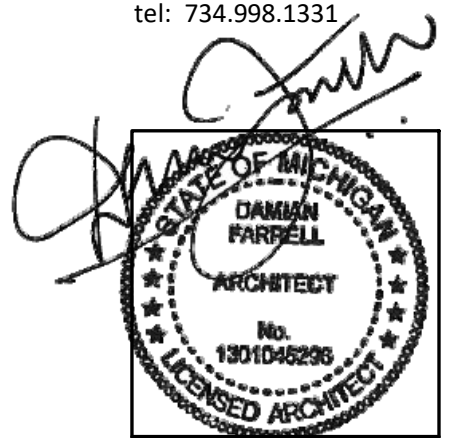
  

| PLAN LEGEND |                    |
|-------------|--------------------|
|             | NEW CONSTRUCTION   |
|             | EXISTING TO REMAIN |



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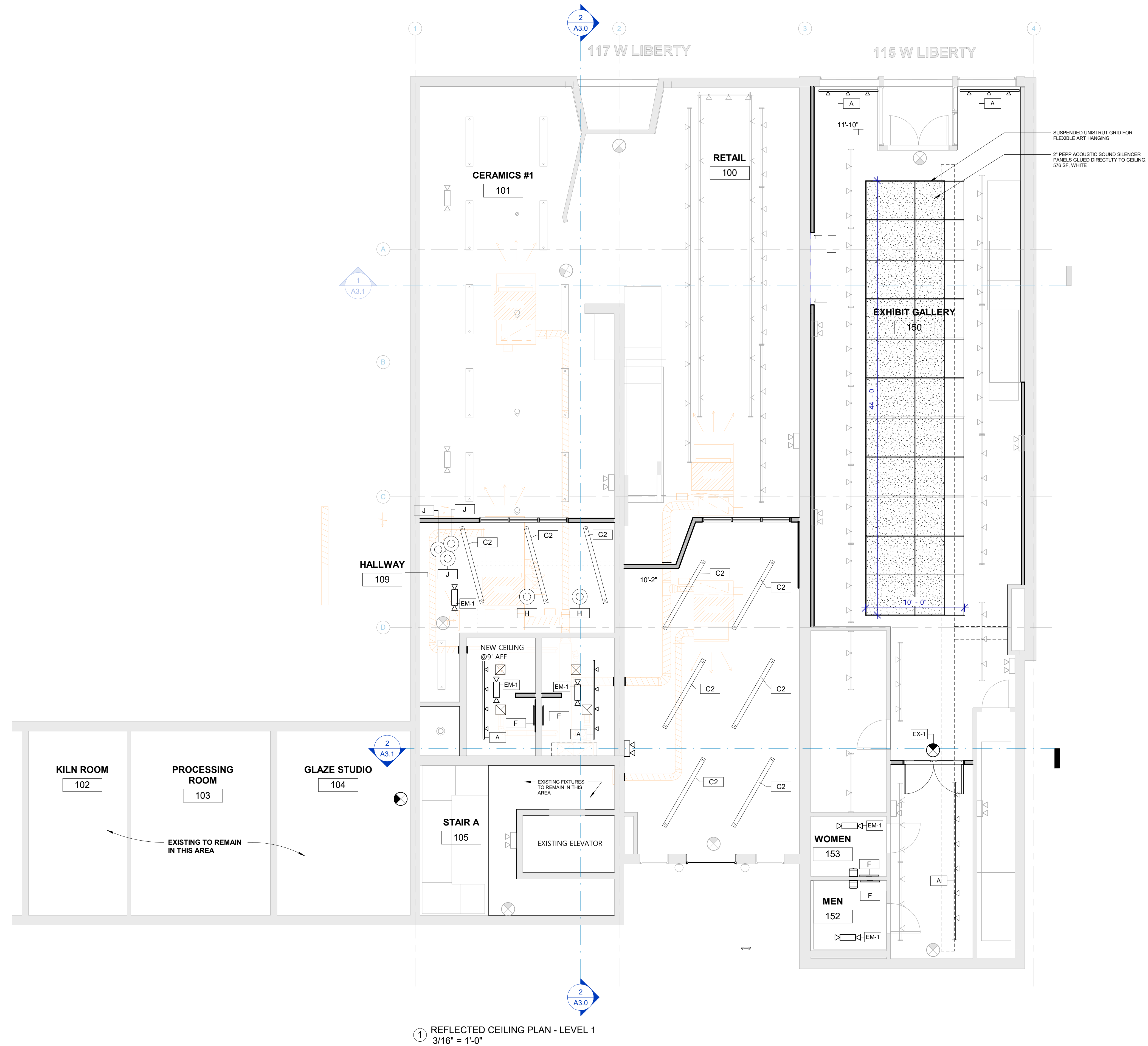
DATE  
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DESCRIPTION  
BID/PERMIT

DESIGN Designer  
DRAWN Author  
PROJECT NO. 200312\_21\_01

RCP LEVEL 1

A8.1



1 REFLECTED CEILING PLAN - LEVEL 1  
3/16" = 1'-0"

ELECTRICAL FIXTURE LEGEND

| CODE | SYMBOL | FIXTURE TYPE   |
|------|--------|--|
| A    |        | TRACK LIGHTING - SALVAGED IF POSSIBLE                  |
| B    |        | LITHONIA 4\"/>   |
| C1   |        | 4\"/>  |
| C2   |        | 8\"/>  |
| D1   |        | 4\"/>  |
| D2   |        | 8\"/>  |
| E    |        |  |
| F    |        | LITHONIA - 2\"/>                                       |
| G    |        | LITHONIA FLUSH-MOUNT LED - FMLSL                       |
| H    |        | PENDANT - TBD  |
| J    |        | PENDANT - TBD  |
| K    |        | PENDANT - TBD  |
| EM-1 |        | EMERGENCY LIGHT  |
| EM-2 |        | EMERGENCY LIGHT  |
| EX-1 |        | EXIT SIGN<br>ILLUMINATED SURFACE<br>DIRECTION OF ARROW |

ELECTRICAL SYMBOL LEGEND

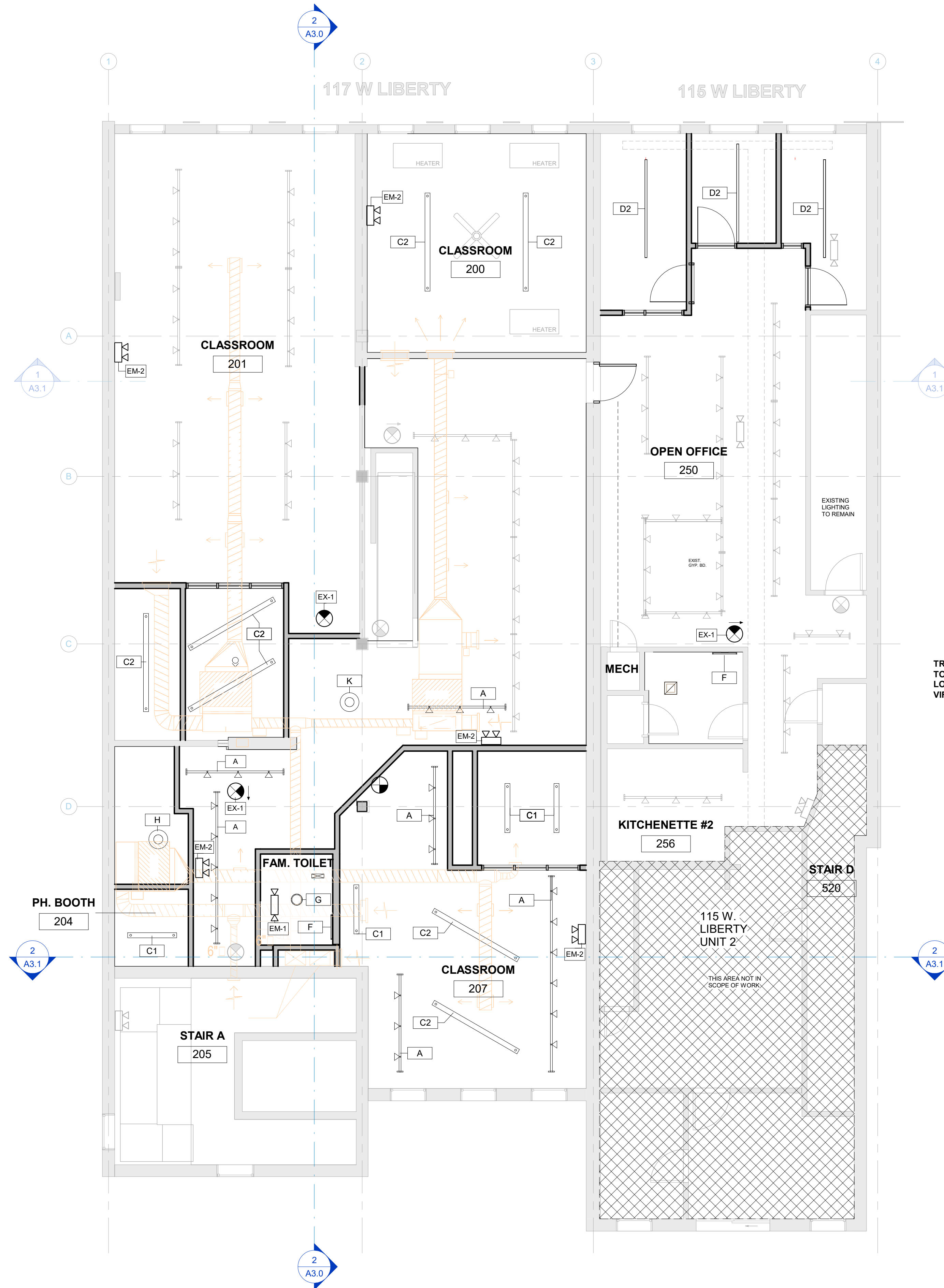
|      |  |  |
|------|--|--|
| WALL |  | SWITCH   |
|      |  | 3-WAY SWITCH   |
|      |  | MOTION SENSOR  |
|      |  | OUTLET<br>- GF - GROUND FAULT INTERRUPTER<br>- WP - WATER PROOF<br>- NUMBER INDICATED INSTALLATION HEIGHT A.F.F. |

ELECTRICAL NOTES

- PLACE FIXTURES AND OUTLETS WHERE SHOWN AND AS REQUIRED BY CODE IF NOT SHOWN ON THESE DRAWINGS. ALL DIMENSIONS ARE TO ROUGH FRAMING OR BRICK SURFACES UNLESS OTHERWISE NOTED.
- 

PLAN LEGEND

|  |                    |
|--|--------------------|
|  | NEW CONSTRUCTION   |
|  | EXISTING TO REMAIN |



1 REFLECTED CEILING PLAN - LEVEL 2  
3/16" = 1'-0"

| ELECTRICAL FIXTURE LEGEND |        |  |
|---------------------------|--------|--|
| CODE                      | SYMBOL | FIXTURE TYPE   |
| A                         |        | TRACK LIGHTING - SALVAGED IF POSSIBLE                  |
| B                         |        | LITHONIA 4" DIA. RECESSED WAFER LED                    |
| C1                        |        | 4" ALCON "CHELA" LINEAR SUSPENDED LIGHT- 12184         |
| C2                        |        | 8" ALCON "CHELA" LED LINEAR SUSPENDED LIGHT- 12184     |
| D1                        |        | 4" ALCON "CHELA" LED SURFACE MOUNTED LIGHT- 11163      |
| D2                        |        | 8" ALCON "CHELA" LED SURFACE MOUNTED LIGHT- 11163      |
| E                         |        |  |
| F                         |        | LITHONIA - 2" LED VANITY LIGHT - FMVCSL                |
| G                         |        | LITHONIA FLUSH-MOUNT LED - FMLSL                       |
| H                         |        | PENDANT - TBD  |
| J                         |        | PENDANT - TBD  |
| K                         |        | PENDANT - TBD  |
| EM-1                      |        | EMERGENCY LIGHT  |
| EM-2                      |        | EMERGENCY LIGHT  |
| EX-1                      |        | EXIT SIGN<br>ILLUMINATED SURFACE<br>DIRECTION OF ARROW |

| ELECTRICAL SYMBOL LEGEND |   |
|--------------------------|---|
| WALL                     | SWITCH  |
|                          | 3-WAY SWITCH                                  |
|                          | MOTION SENSOR                                 |
|                          | OUTLET  |
|                          | - GF- GROUND FAULT INTERRUPTER                |
|                          | - WP - WATER PROOF                            |
|                          | - NUMBER INDICATED INSTALLATION HEIGHT A.F.F. |

| ELECTRICAL NOTES |  |
|------------------|--|
| 1.               | PLACE FIXTURES AND OUTLETS WHERE SHOWN AND AS REQUIRED BY CODE IF NOT SHOWN ON THESE DRAWINGS. ALL DIMENSIONS ARE TO ROUGH FRAMING OR BRICK SURFACES UNLESS OTHERWISE NOTED. |
| 2.               |  |

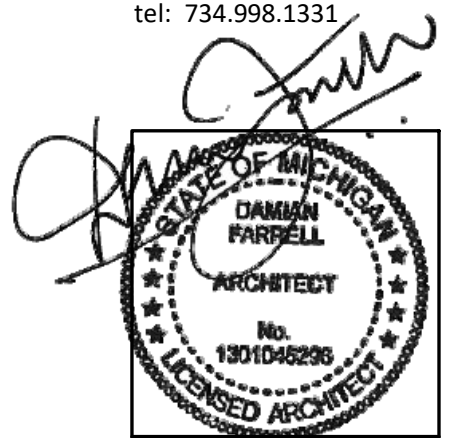
| PLAN LEGEND |                    |
|-------------|--------------------|
|             | NEW CONSTRUCTION   |
|             | EXISTING TO REMAIN |

TRACK LIGHTING TO BE RE-USED FROM LOWER LEVEL VIF



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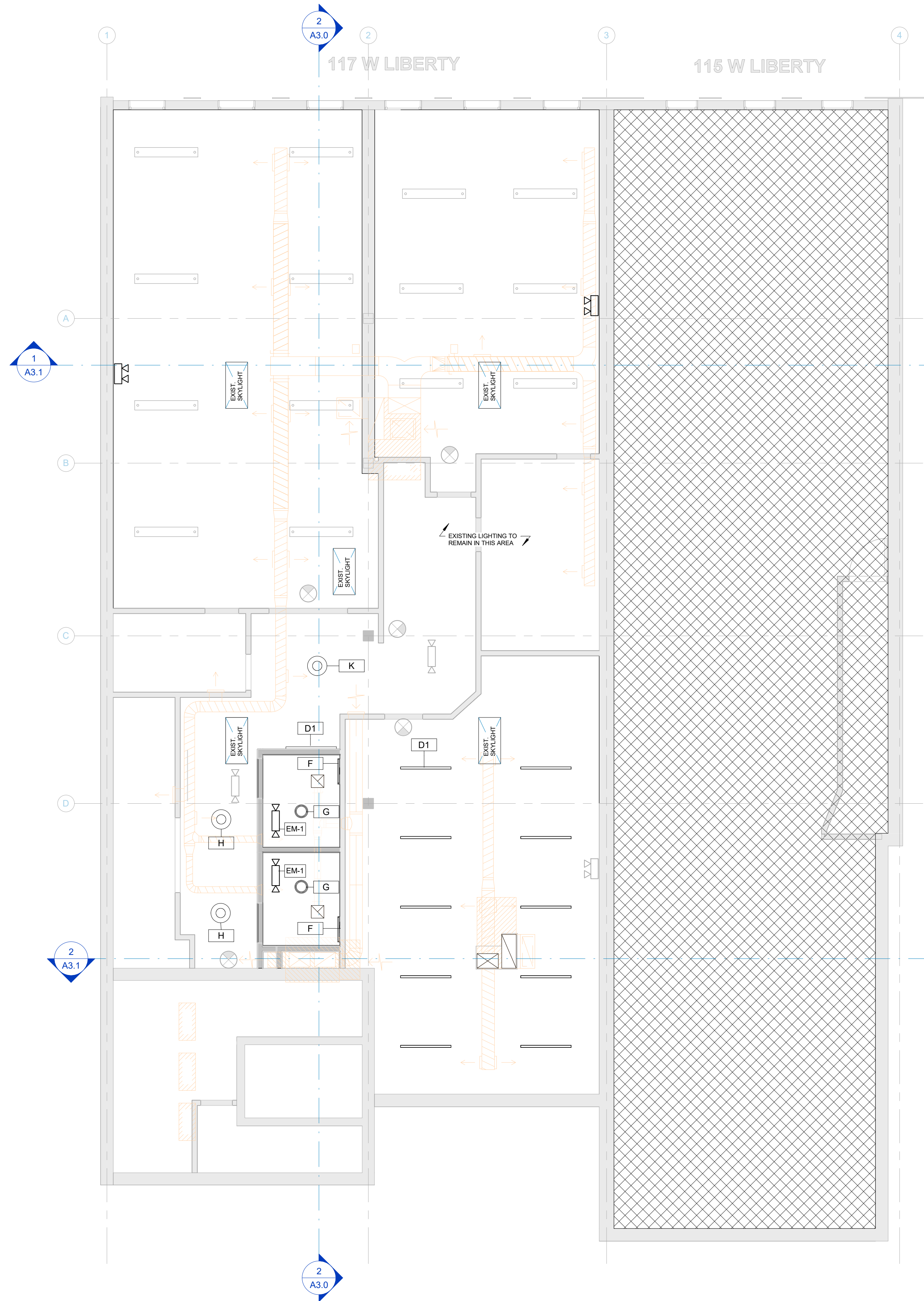
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DESIGN Designer  
DRAWN Author  
PROJECT NO. 200312\_21\_01

RCP LEVEL 2

A8.2



2 REFLECTED CEILING PLAN - LEVEL 3  
3/16" = 1'-0"

| ELECTRICAL FIXTURE LEGEND |        |  |
|---------------------------|--------|--|
| CODE                      | SYMBOL | FIXTURE TYPE   |
| A                         |        | TRACK LIGHTING - SALVAGED IF POSSIBLE                  |
| B                         |        | LITHONIA 4" DIA. RECESSED WAFER LED                    |
| C1                        |        | 4" ALCON "CHELA" LINEAR SUSPENDED LIGHT- 12184         |
| C2                        |        | 8" ALCON "CHELA" LED LINEAR SUSPENDED LIGHT- 12184     |
| D1                        |        | 4" ALCON "CHELA" LED SURFACE MOUNTED LIGHT- 11163      |
| D2                        |        | 8" ALCON "CHELA" LED SURFACE MOUNTED LIGHT- 11163      |
| E                         |        |  |
| F                         |        | LITHONIA - 2" LED VANITY LIGHT - FMVCSL                |
| G                         |        | LITHONIA FLUSH-MOUNT LED - FMLSL                       |
| H                         |        | PENDANT - TBD  |
| J                         |        | PENDANT - TBD  |
| K                         |        | PENDANT - TBD  |
| EM-1                      |        | EMERGENCY LIGHT  |
| EM-2                      |        | EMERGENCY LIGHT  |
| EX-1                      |        | EXIT SIGN<br>ILLUMINATED SURFACE<br>DIRECTION OF ARROW |

| ELECTRICAL SYMBOL LEGEND |   |
|--------------------------|---|
| WALL                     | SWITCH  |
|                          | 3-WAY SWITCH                                  |
|                          | MOTION SENSOR                                 |
|                          | OUTLET  |
|                          | - GF- GROUND FAULT INTERRUPTER                |
|                          | - WP - WATER PROOF                            |
|                          | - NUMBER INDICATED INSTALLATION HEIGHT A.F.F. |

| ELECTRICAL NOTES |  |
|------------------|--|
| 1.               | PLACE FIXTURES AND OUTLETS WHERE SHOWN AND AS REQUIRED BY CODE IF NOT SHOWN ON THESE DRAWINGS. ALL DIMENSIONS ARE TO ROUGH FRAMING OR BRICK SURFACES UNLESS OTHERWISE NOTED. |
| 2.               |  |

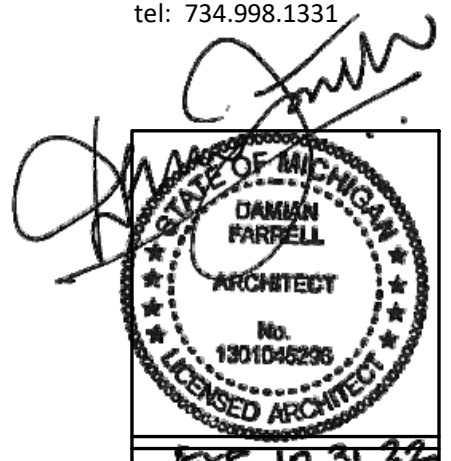
  

| PLAN LEGEND |                    |
|-------------|--------------------|
|             | NEW CONSTRUCTION   |
|             | EXISTING TO REMAIN |



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|             |              |
|-------------|--------------|
| DESIGN      | Designer     |
| DRAWN       | Author       |
| PROJECT NO. | 200312_21_01 |

RCP LEVEL 3

A8.3

# ROLLING FIRE DOOR

Models ERD10 & ERD20 (Insulated Firemiser™)



## STOP FIRE AND SMOKE IN ITS TRACKS

### TAILORED LIFE SAFETY SOLUTIONS

Our fire doors help save property, and more importantly, lives. Our advanced Fire Door Systems offer industry-leading, intelligent operation that:

- ▶ Activate thermally or electrically to contain fire and smoke spread
- ▶ Easily - or even automatically - reset or auto open after a fire event or power outage

### ENHANCED SMOKE PROTECTION

Optional SmokeShield® smoke and draft control conforms to UL1784 and assures that smoke will be compartmentalized with the fire and not spread quickly throughout the facility, allowing safe egress for occupants.

### CUSTOM BUILT FOR EVERYDAY USE

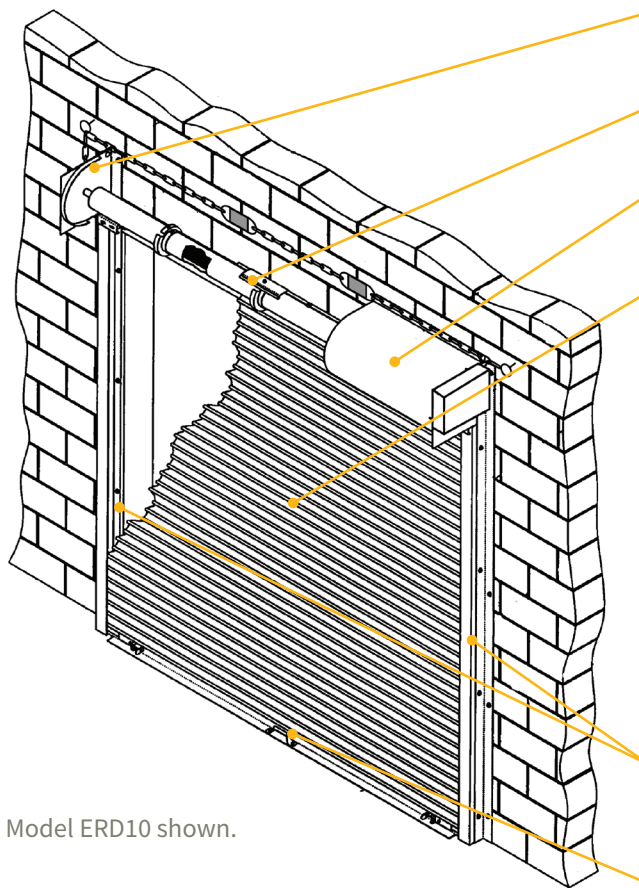
Designed for fire rated openings, our fire doors provide security and access control and are for use in openings that are not part of a required means of egress. Factory Mutual Approved and listed with California Office of State Fire Marshall. UL listed for fire protection ratings of 3/4, 1 1/2, 3 and 4 hours.

### INSULATED ROLLING FIRE DOOR OPTION

The Firemiser insulated fire door contains mineral wool which helps control climate and reduce sound transmission - featuring an R value of 5.3 and a U Value of .189 based on the ASHRAE Handbook of Fundamentals. This door is ideal for a climate controlled environment because it helps to maintain a different temperature on the interior and exterior of the door.



## STANDARD COMPONENT MATERIALS AND FINISHES



Model ERD10 shown.

**BRACKETS** - Steel with powder coating to match curtain. Bolt to guide assembly and support counter-balance shaft curtain.

**COUNTER-BALANCE SHAFT** - Steel. Supports curtain and contains torsion springs for assisting operation.

**HOOD** - Galvanized steel with GalvaNex™ polyester enamel finish to match curtain. Encloses the curtain and provides fire protection at the head of the door.

### CURTAIN

#### FIRE DOOR MODEL ERD10

Interlocking roll formed slats of galvanized steel with GalvaNex polyester enamel finish in Gray, Tan, **White** or Brown. Cast iron end locks are riveted to the ends of alternate slats to maintain alignment and prevent wear.

#### FIRE DOOR MODEL ERD20

Double skin interlocking roll formed slats of galvanized steel, with GalvaNex polyester enamel finish in Gray, Tan, White, or Brown filled with mineral wool insulation. Flame spread and smoke development index factors are zero as tested per ASTM E84. Cast iron end lock/wind locks are riveted to the slats to maintain alignment, lock curtain into guides and prevent wear.

**GUIDES** - Structural steel with powder coating to match curtain. Guide assemblies bolt to the wall and support the weight of the door.

**BOTTOM BAR** - Two back to back structural steel angles with powder coating in Gray, Tan, White or Brown. Lock mechanisms available.

## OPERATION

**Alarm-activated AlarmGard® and a variety of motor options are the superior choice.**

Fusible-link-activated chain, crank or motor options are available for openings that are not in a pedestrian thoroughfare and where electrical activation is not desired.

## OPTIONAL MATERIALS AND FINISHES

- ▶ Stainless steel - 300 series in #4 finish
- ▶ SpectraShield® Powder Coating in more than 180 colors

### Brackets, Guides and Bottom Bar

- ▶ Hot-dip galvanizing on steel components
- ▶ Zinc-enriched, corrosion-resistant powder coating in Gray



## CUSTOM-DESIGNED SOLUTIONS

Contact our experienced Architectural Design Support Team for help in customizing our products to fit your specific application.

☎ 877.537.4567 ✉ arch@cornellcookson.com

# ALARMGARD® TUBE MOTOR OPERATOR

ROLLING FIRE DOORS & COUNTER FIRE SHUTTERS

AlarmGard® Tube Motor Operators are concealed in the shaft assembly, making them ideal for openings with tight clearances or when you need to conceal the operator drive components without adding a bulky and unsightly motor cover. The AlarmGard Tube motor operator can be used on Fire Doors or Counter Fire Shutters.

## Features and Benefits

- ▶ Convenience of motor operation in a low profile, **concealed design.**
- ▶ Auto-Reset and selectable Auto-Open.
- ▶ Available with or without battery back up.
- ▶ UL 325 compliant and UL 864 Listed motor assembly.
- ▶ Rated for up to **10 cycles per day.**
- ▶ Electrical Connections from the operator to wall mounted control panel is plug and play.
- ▶ Internal fail-safe release device and internal centrifugal governor.

## Product Application Requirements

- ▶ An AlarmGard tube motor can operate a fire door or a fire counter shutter up to approximately 120 ft<sup>2</sup>.\*

\*Size limit varies by door configuration and gauge required.

\*\*Special order - additional lead time applies.



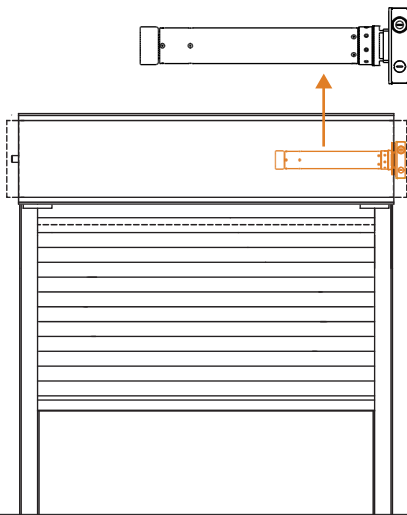
## Technical Specifications

|                                      |   |
|--------------------------------------|---|
| Input Voltage . . . . .              | 115 VAC/60 Hz<br>230 VAC/60 Hz**<br>230 VAC/50 Hz |
| Activation Input . . . . .           | 24 V  |
| Phase . . . . .                      | 1   |
| Duty . . . . .                       | up to 10 cycles/day                               |
| Auxiliary Manual Operation . . . . . | No  |

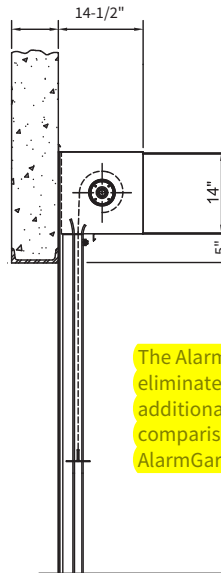


**Technical Drawings**

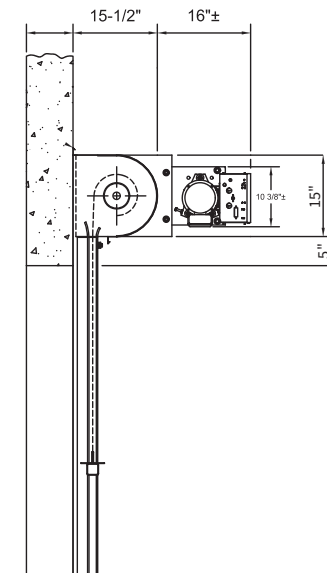
**AlarmGard® Tube Motor  
Front View**



**AlarmGard® Tube Motor  
Side View**

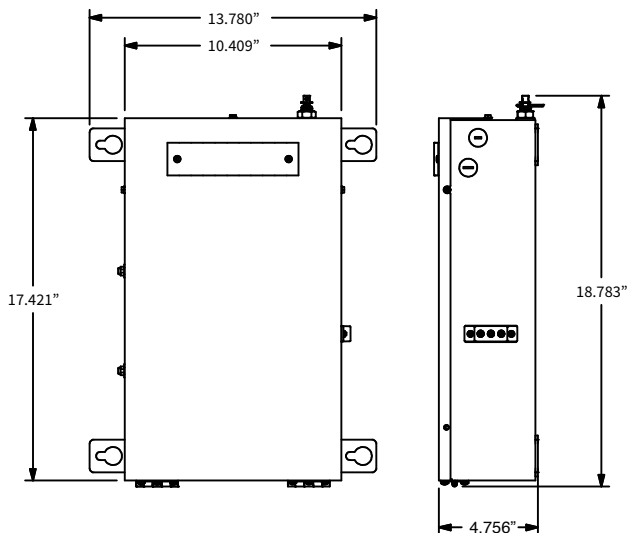


**Standard AlarmGard® Motor Operator  
Side View**

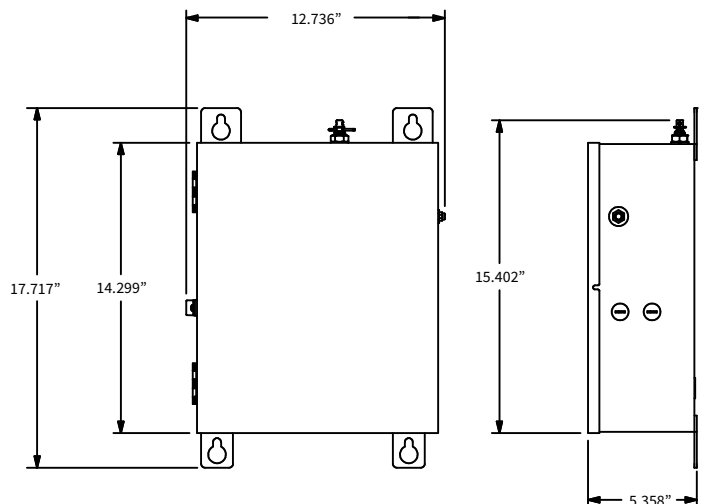


The AlarmGard Tube Motor will eliminate the need for an additional 16" on front of coil in comparison to the Standard AlarmGard Motor Operator.

**Motor Control Panel**



**Battery Back Up Motor Control Panel**



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# ALARMGARD® TUBE MOTOR OPERATOR

ROLLING FIRE DOORS & COUNTER FIRE SHUTTERS

AlarmGard® Tube Motor Operators are concealed in the shaft assembly, making them ideal for openings with tight clearances or when you need to conceal the operator drive components without adding a bulky and unsightly motor cover. The AlarmGard Tube motor operator can be used on Fire Doors or Counter Fire Shutters.

## Features and Benefits

- ▶ Convenience of motor operation in a low profile, concealed design.
- ▶ Auto-Reset and selectable Auto-Open.
- ▶ Available with or without battery back up.
- ▶ UL 325 compliant and UL 864 Listed motor assembly.
- ▶ Rated for up to 10 cycles per day.
- ▶ Electrical Connections from the operator to wall mounted control panel is plug and play.
- ▶ Internal fail-safe release device and internal centrifugal governor.

## Product Application Requirements

- ▶ An AlarmGard tube motor can operate a fire door or a fire counter shutter up to approximately 120 ft<sup>2</sup>.\*

\*Size limit varies by door configuration and gauge required.

\*\*Special order - additional lead time applies.



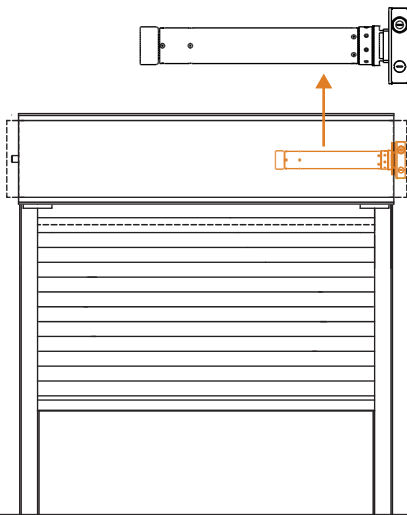
## Technical Specifications

|                                      |   |
|--------------------------------------|---|
| Input Voltage . . . . .              | 115 VAC/60 Hz<br>230 VAC/60 Hz**<br>230 VAC/50 Hz |
| Activation Input . . . . .           | 24 V  |
| Phase . . . . .                      | 1   |
| Duty . . . . .                       | up to 10 cycles/day                               |
| Auxiliary Manual Operation . . . . . | No  |

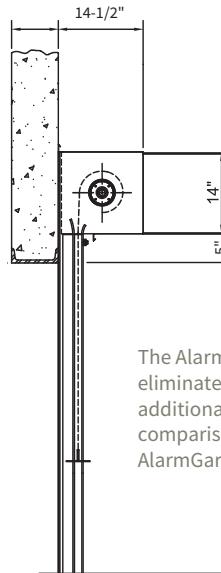


**Technical Drawings**

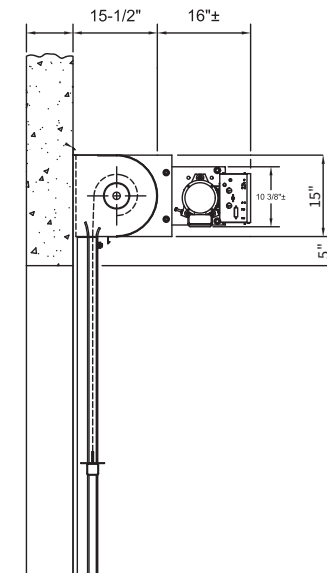
**AlarmGard® Tube Motor  
Front View**



**AlarmGard® Tube Motor  
Side View**

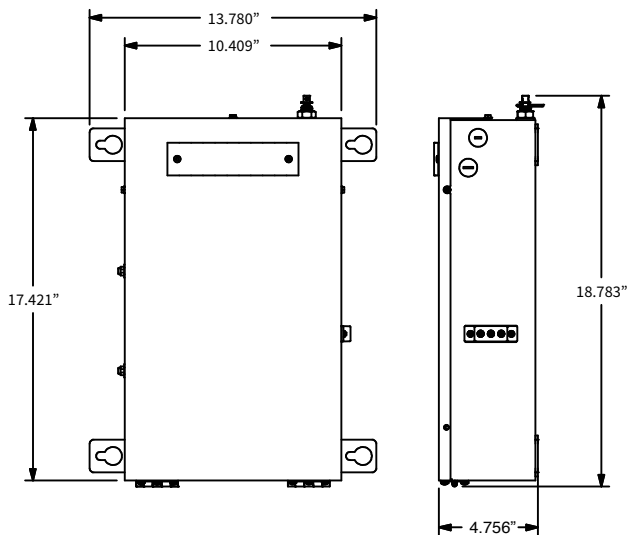


**Standard AlarmGard® Motor Operator  
Side View**

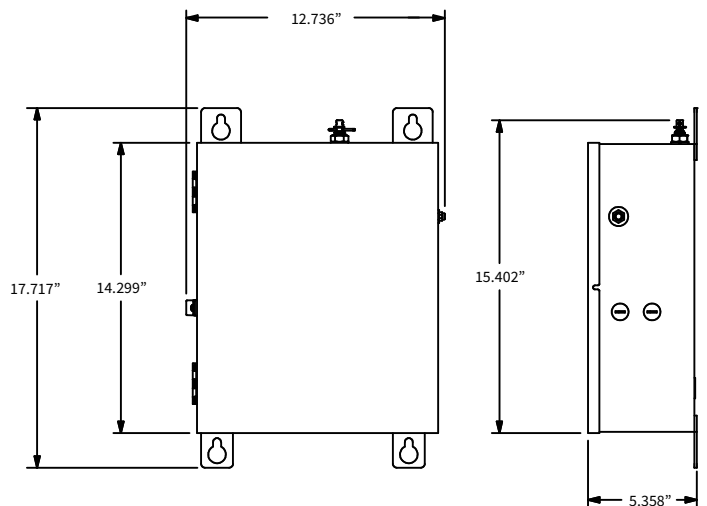


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