

Resolution to Approve City Place Landscape Modification Request, 407- 437 South Fifth Avenue

Whereas, City Council approved the City Place site plan on September 21, 2009;

Whereas, The petitioner desires to make minor changes to the approved site plan through the Administrative Amendment process;

Whereas, New landscape requirements have been adopted since the original site plan approval that make compliance with the conflicting land use buffer requirements impractical along the south property line;

Whereas, The petitioner has requested modification of the conflicting land use buffer requirement;

Whereas, The City Council has the authority to grant a landscape modification request per section 5:608, Chapter 62;

Whereas, The modifications are consistent with the intent of Chapter 62 (Landscaping); and

Whereas, The landscape plan is part of a previously approved site plan that will be maintained and continued and no alterations are proposed to the existing landscape elements along the southern boundary;

RESOLVED, That City Council approve the conflicting land use buffer modification request to maintain the previously approved landscape plan along the southern property line as shown on the site plan, dated October 11, 2011.

Sponsored by: Councilmember Derezinski

Resolution to Approve City Place Revised Building Elevations (407-437 South Fifth Avenue)

Whereas, On September 21, 2009, City Council approved the City Place Site Plan to construct two 24-unit residential buildings on this 1.23-acre site;

Whereas, On September 21, 2009, City Council also approved the City Place Development Agreement, which contained a provision that construction of the buildings be consistent with the approved elevation drawings, and that any changes to the elevations, setbacks, aesthetics or materials would require City Council approval; and

Whereas, City Place Ann Arbor LLC, petitioner, has requested revisions to the approved elevations for the building;

RESOLVED, That City Council approve the revised building elevation drawings for City Place, as shown on the drawing dated October 13, 2011.

Sponsored by: Councilmember Derezinski



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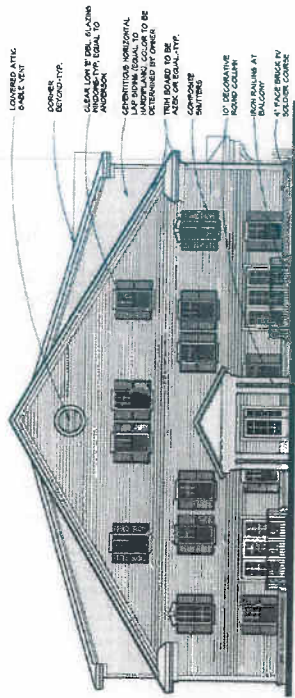
City Place
M.O.R.
Lap Sided Facade

J BRADLEY MOORE
& ASSOCIATES
1944 Jackson Road, #150 Ann Arbor, MI 48103 (734) 930-1500

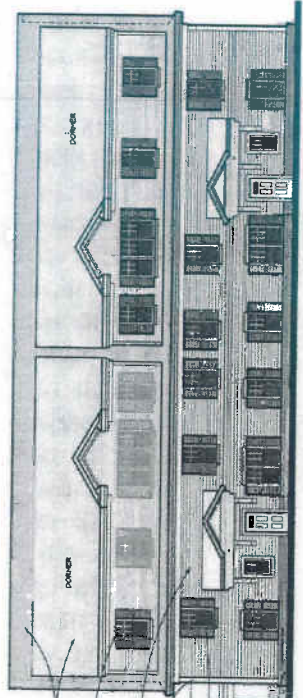
revisions

job 27106

drawn kmm/ATJ
date 06/09/09
sheet A3.9B



ALT. B1' LEFT SIDE ELEVATION-NORTH (south building) PITCHED ROOF
SCALE: 1/8" = 1'-0"



ALT. B1' FRONT ELEVATION-NORTH (south building) PITCHED ROOF
SCALE: 1/8" = 1'-0"



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City Place
M.O.R.
Lap Sided Facade

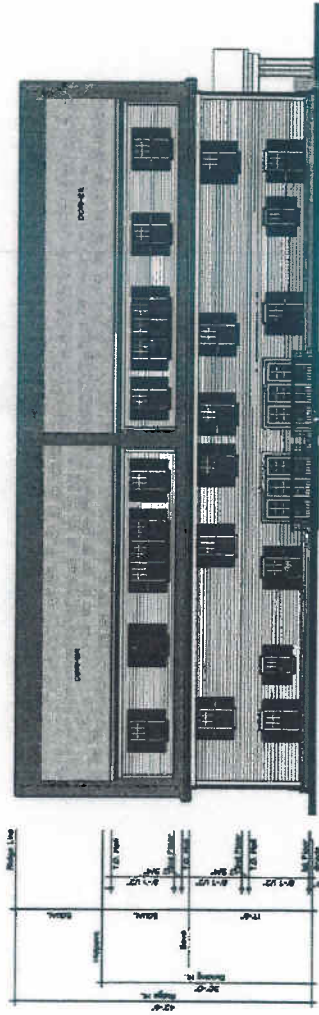
J BRADLEY MOORE
& ASSOCIATES
1444 Jackson Road, #150 Ann Arbor, MI 48103 (734) 930-1500

revisions

job 27106

drawn by/ML
date 08/09/09

sheet A3.9B2



ALT. 'B' REAR ELEVATION-EAST (south building) PITCHED ROOF
Scale: 1/8" = 1'-0"



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City Place
M.O.R.
Lap Sided Facade

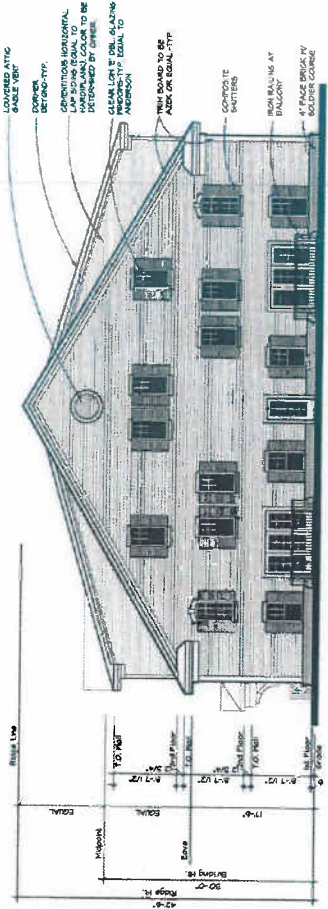
J BRADLEY MOORE
& ASSOCIATES
4844 Jackson Road #150 Ann Arbor, MI 48103 (734) 930-1500

revisions

job 27106

drawn k.w./N.J.
date 05/09/09

sh. A3.9B4



ALT. 'B1' RIGHT SIDE ELEVATION-SOUTH (south building) PITCHED ROOF
SCALE: 1/8" = 1'-0"



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J BRADLEY MOORE & ASSOCIATES
 4944 Jackson Road, #150 Ann Arbor, MI 48103 (734) 930-1500

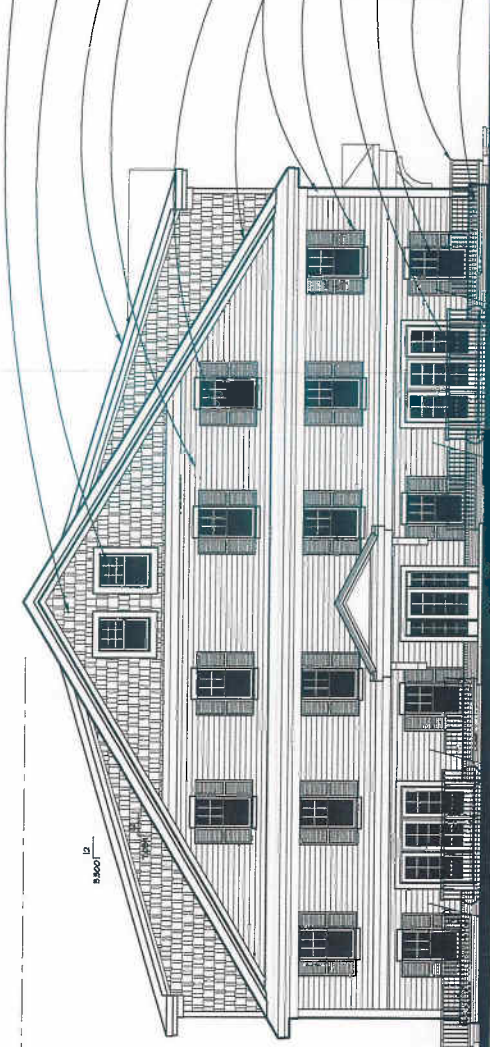
City Place
 Fifth Avenue, Ann Arbor, MI
 BUILDING 'A' & 'B'
 SOUTH EAST ELEVATIONS

PROVISIONS
 400

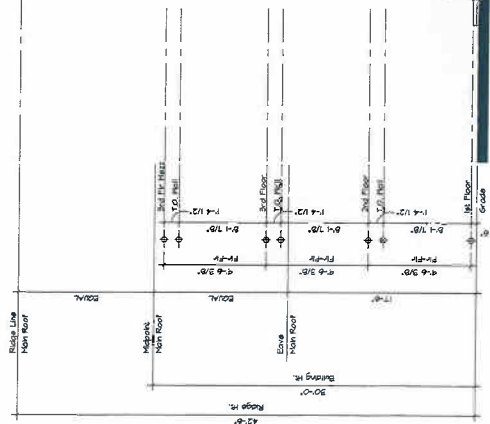
job 201310

drawn by
 date
 revised Elevations
 sheet A2.2

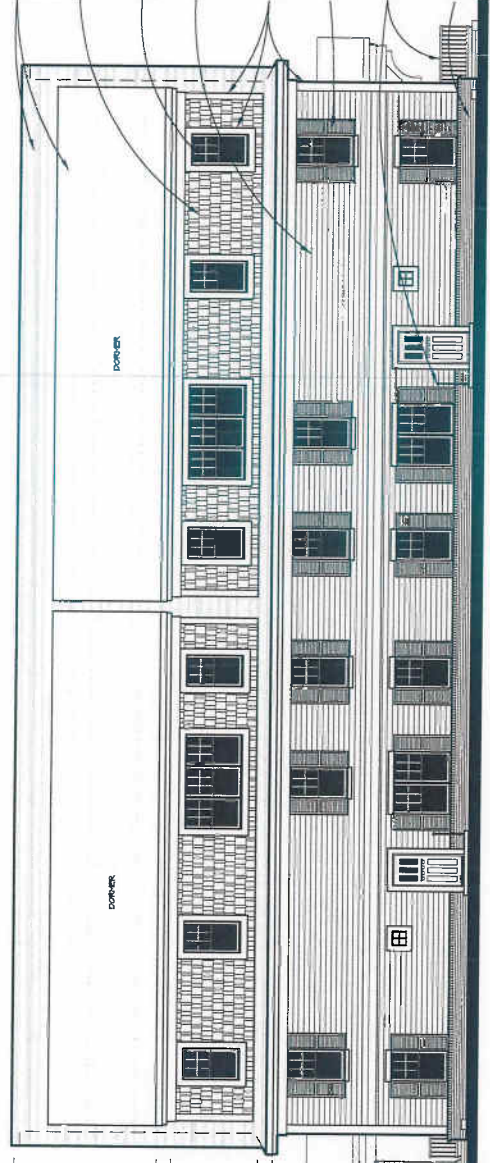
CEMENTOUS SHALL NOT BE USED FOR
 METAL HAND RAILS OR METAL
 HANDRAILS TO BE DETERMINED BY OWNER.
 CLEAR LANE TO BE ALIGNED
 WITH THE FACE OF THE WALL AT
 THE TOP OF THE RAILING.
 METAL HAND RAILS AT
 ANKLES SHALL BE ADJUSTED
 TO THE FACE OF THE RAILING.
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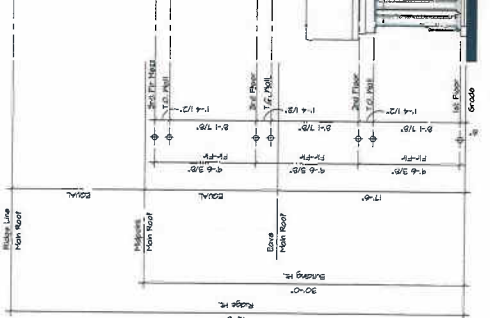
SOUTH ELEV BLDG 'B' / NORTH BLDG 'A' (SIDE YARD)
 SCALE: 3/16" = 1'-0"



CEMENTOUS SHALL NOT BE USED FOR
 METAL HAND RAILS OR METAL
 HANDRAILS TO BE DETERMINED BY OWNER.
 CLEAR LANE TO BE ALIGNED
 WITH THE FACE OF THE WALL AT
 THE TOP OF THE RAILING.
 METAL HAND RAILS AT
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 METAL HAND RAILS AT ANKLES
 SHALL BE ADJUSTED TO THE
 FACE OF THE RAILING.



EAST ELEVATION BOTH BUILDINGS (REAR YARD)
 SCALE: 3/16" = 1'-0"





City of Ann Arbor

301 E. Huron St.
Ann Arbor, MI 48104
<http://a2gov.legistar.com/Calendar.aspx>

Text File

File Number: 11-1336

Agenda # DC-2

Introduced: 10/17/2011

Version: 1

Current Status: Introduced from Council

Matter Type: Resolution

Resolution to Approve City Place Landscape Modification Request, 407- 437 South Fifth Avenue

Attached is a resolution to approve a conflicting land use buffer modification for the City Place Site Plan, consistent with Section 5:608 of Chapter 62 (Landscaping and Screening).

An Administrative Amendment to the City Place site plan currently is being reviewed by city staff to allow interior re-configurations of units and minor site changes. An Administrative Amendment requires the project to be brought into compliance with all existing City codes. A recent change to Chapter 62 includes a requirement that all multi-family projects zoned R3 or R4 install a conflicting land use buffer of 15 feet between a building and any adjacent land zoned or used for residential. Previously, the code only required this buffer around surface parking lots.

The parcels that constitute the City Place project are adjacent to other residentially zoned and used land on the east and south sides. The east side has adequate room to install the additional landscaping and buffer. The south side does not have enough room for the required 15 foot wide buffer. While the proposed building is set back 16 feet from the southern property line, an existing driveway servicing the adjacent residential parcel to the south is located on the City Place property. The location of this driveway restricts the installation of the landscape buffer in this area and, as such, the petitioner has requested a modification of the buffer requirements (see attached letter).

While the intent of the recent code changes was to buffer large multi-family projects from adjacent residential properties, the result is a 15 foot wide conflicting land use buffer between similar land uses when applied in the R4C district. In addition, the required landscape buffer is wider than the 12-foot required side setback in the R4C district. Planning staff is working with the Planning Commission's Ordinance Revisions Committee to revise this section of code in order to remove this requirement. However, until that time, City Council has the authority to grant the requested landscape modification

Section 5:608 of Chapter 62 allows the city council to modify a code requirement if the landscape plan is part of a previously approved site plan that will be maintained and continued and if no alterations are proposed to the existing landscape elements along the southern boundary.

Approval of this resolution will allow the petitioner to construct the amended site plan as

approved by City Council on September 21, 2009.

City Staff recommends approval of this request.

Attachment: October 10, 2011 Letter from Jeff Helminski

Prepared By: Matt Kowalski, City Planner

Reviewed By: Wendy L. Rampson, Planning Manager

City Place

Administrative Amendment Request

October 2011

EXHIBIT D

CITY PLACE

SITE PLAN

LOCATED IN THE CITY OF ANN ARBOR, WASHTENAW CO., MICHIGAN

OWNER/DEVELOPER
 FIFTH AVENUE LIMITED PARTNERSHIP
 403 S. FIFTH AVE. #100
 ANN ARBOR, MI 48103
 ATTN: ALEX DE PARRY

ENGINEER/SURVEYOR
 MIDWESTERN CONSULTING, LLC
 3815 FLAKA DR.
 ANN ARBOR, MI 48108
 PH: (734) 995-0200
 ATTN: R. JAMES GORNERLO

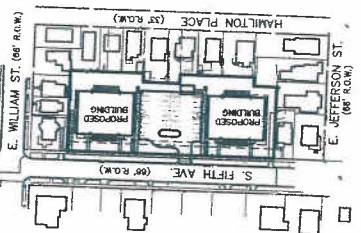
ARCHITECT
 J. BRADLEY MOORE & ASSOCIATES
 403 S. FIFTH AVE. #100
 ANN ARBOR, MI 48103
 PH: (734) 930-1500
 ATTN: BRAD MOORE

DEVELOPMENT PROGRAM

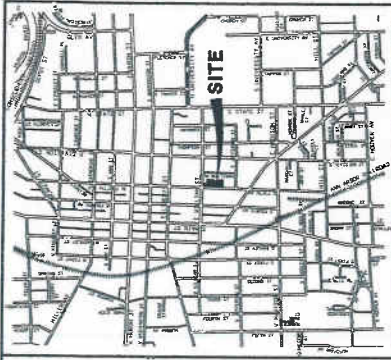
1. The development consists of approximately 120 units of residential housing, including townhomes, condominiums, and single-family detached homes.
2. The development is located on a 12.5-acre site bounded by S. Fifth Ave. to the north, E. William St. to the east, and E. Jefferson St. to the south.
3. The development is designed to be a walkable, transit-oriented community with a mix of housing types and uses.
4. The development includes a mix of housing types, including townhomes, condominiums, and single-family detached homes.
5. The development is designed to be a walkable, transit-oriented community with a mix of housing types and uses.
6. The development includes a mix of housing types, including townhomes, condominiums, and single-family detached homes.
7. The development is designed to be a walkable, transit-oriented community with a mix of housing types and uses.
8. The development includes a mix of housing types, including townhomes, condominiums, and single-family detached homes.
9. The development is designed to be a walkable, transit-oriented community with a mix of housing types and uses.
10. The development includes a mix of housing types, including townhomes, condominiums, and single-family detached homes.

GENERAL NOTES

1. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO THE CITY OF ANN ARBOR PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS AND ANY AMENDMENTS THERE TO.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ANN ARBOR AND THE STATE OF MICHIGAN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ANN ARBOR AND THE STATE OF MICHIGAN.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ANN ARBOR AND THE STATE OF MICHIGAN.



OVERALL SITE PLAN
 SCALE: 1"=100'



VICINITY MAP

NOT TO SCALE

SHEET INDEX

1. COVER SHEET (REV. 10/21/11)
2. EXISTING CONDITIONS (REV. 3/25/09)
3. REMOVAL PLAN (REV. 3/25/09)
4. DIMENSIONAL SITE PLAN & ALTERNATE ANALYSIS (REV. 10/21/11)
5. GRADING PLAN (REV. 10/21/11)
6. UTILITY PLAN (REV. 10/21/11)
7. DRAINAGE AREA PLAN, STORM DETENTION CALCULATIONS, & OUTLET DETAILS (REV. 10/21/11)
8. SOIL EROSION CONTROL PLAN (REV. 9/07/11)
9. LANDSCAPE PLAN (REV. 9/07/11)
10. MISCELLANEOUS DETAILS (REV. 9/07/11)
11. AERIAL OVERLAY PLAN (REV. 9/07/11)
12. PHOTOMETRIC PLAN (REV. 9/07/11)
13. SOIL BORING LOGS (REV. 4/2/09)
- A2.1 BUILDING ELEVATIONS (REV. 9/02/11)
- A2.2 BUILDING ELEVATIONS (REV. 9/02/11)
- B1.1 BUILDING PLAN (REV. 9/02/11)
- B1.2 ACCESSORY BUILDING (REV. 4/15/09)
19. REVISIONS SCHEDULE (REV. 10/21/11)

CITY PLACE

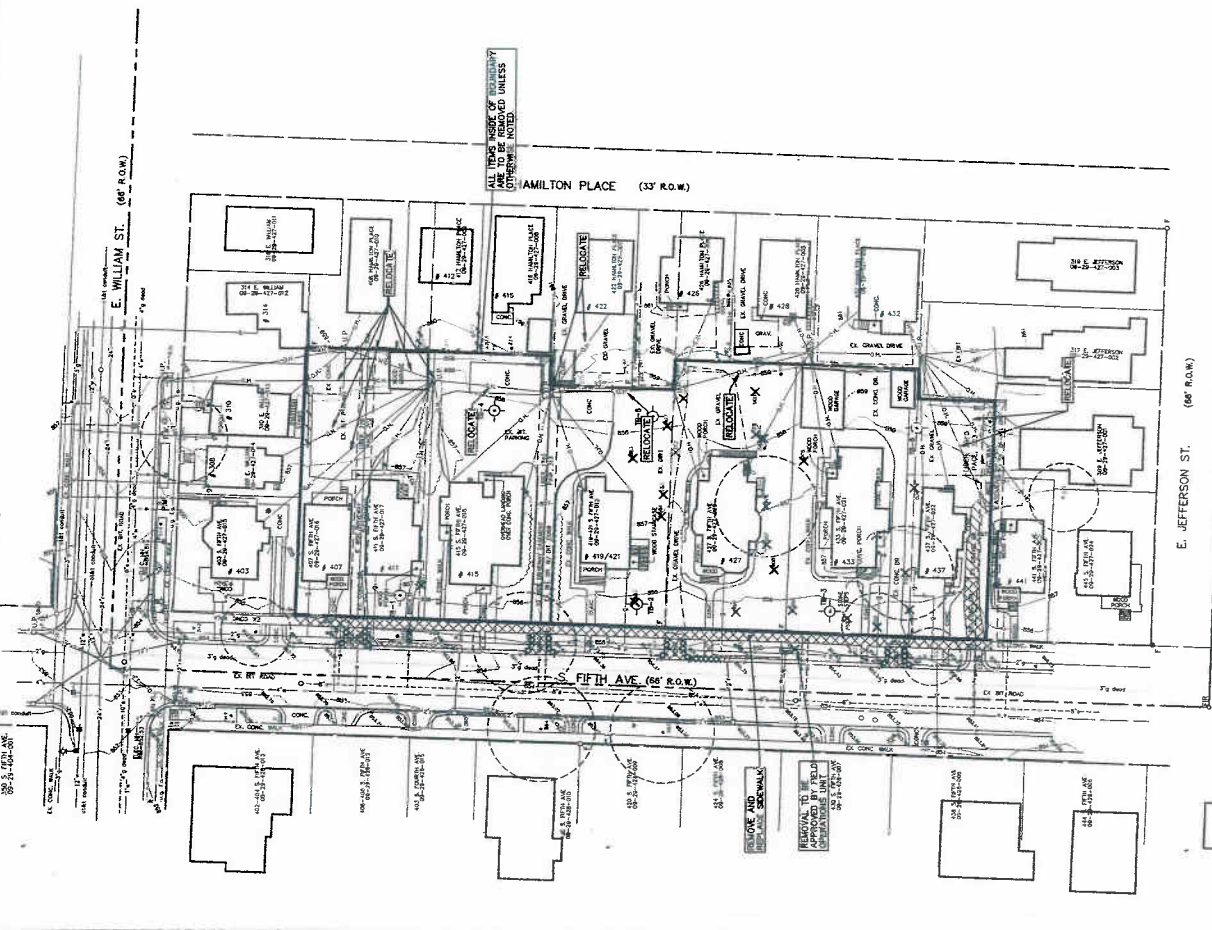
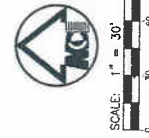
JOB NO. 07075
 DATE 3-2-09
 SHEET 1 OF 19

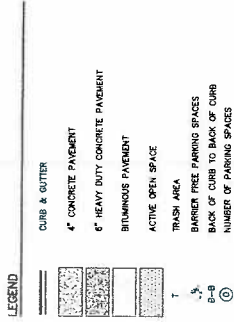
MIDWESTERN CONSULTING
 3815 FLAKA DR.
 ANN ARBOR, MI 48108
 PH: (734) 995-0200
 FAX: (734) 995-0201

RELEASED FOR	DATE

- LEGEND**
- EXIST. CONTOUR
 - EXIST. LOT LINES
 - EXIST. UTILITY POLE
 - ELEC. TRANSFORMER
 - EXIST. OVERHEAD UTILITY LINE
 - EXIST. TELEPHONE LINE
 - EXIST. ELECTRIC LINE
 - EXIST. WATER MAIN
 - EXIST. GATE VALVE IN BOX
 - EXIST. GATE VALVE IN WELL
 - EXIST. CATCH BASIN OR INLET
 - EXIST. SANITARY SEWER
 - TELEPHONE RISER
 - WATER RISER
 - WATER METER
 - GAS METER
 - SHADE TREE
 - LANDMARK TREE
 - FENCE
 - TREE OR SHRUB LIMIT
 - EXIST. BALLOON
 - SECTION CORNER
 - SOIL BOUND
 - TREE TO BE REMOVED
 - GRAVEL REMOVAL
 - CONCRETE REMOVAL
 - GRADING LIMITS

- REMOVAL NOTES**
1. Remove utility lines and structures to location of existing or proposed utility lines, structures, parking, and signs.
 2. Unless otherwise noted for removal, all other trees located within the project limits shall be preserved. All trees and shrubs shall be removed within the designated area.
 3. Any existing structures located within the project limits shall be removed prior to beginning proposed construction and removal.
 4. Existing sidewalks along S. Fifth Avenue shall be removed and replaced with new sidewalks, and replacement of the curbside of any existing sidewalks, and replacement of the curbside of any existing sidewalks, and replacement of the curbside of any existing sidewalks.
 5. The contractor shall be responsible for coordinating with the respective utility providers to remove and relocate all existing utility lines, meters, manholes, transformers, and other utility poles.
 6. The public utility service leads to the existing buildings to be removed shall be removed and replaced with new service leads. The service leads will be set and capped at the main.





DEVELOPMENT SUMMARY

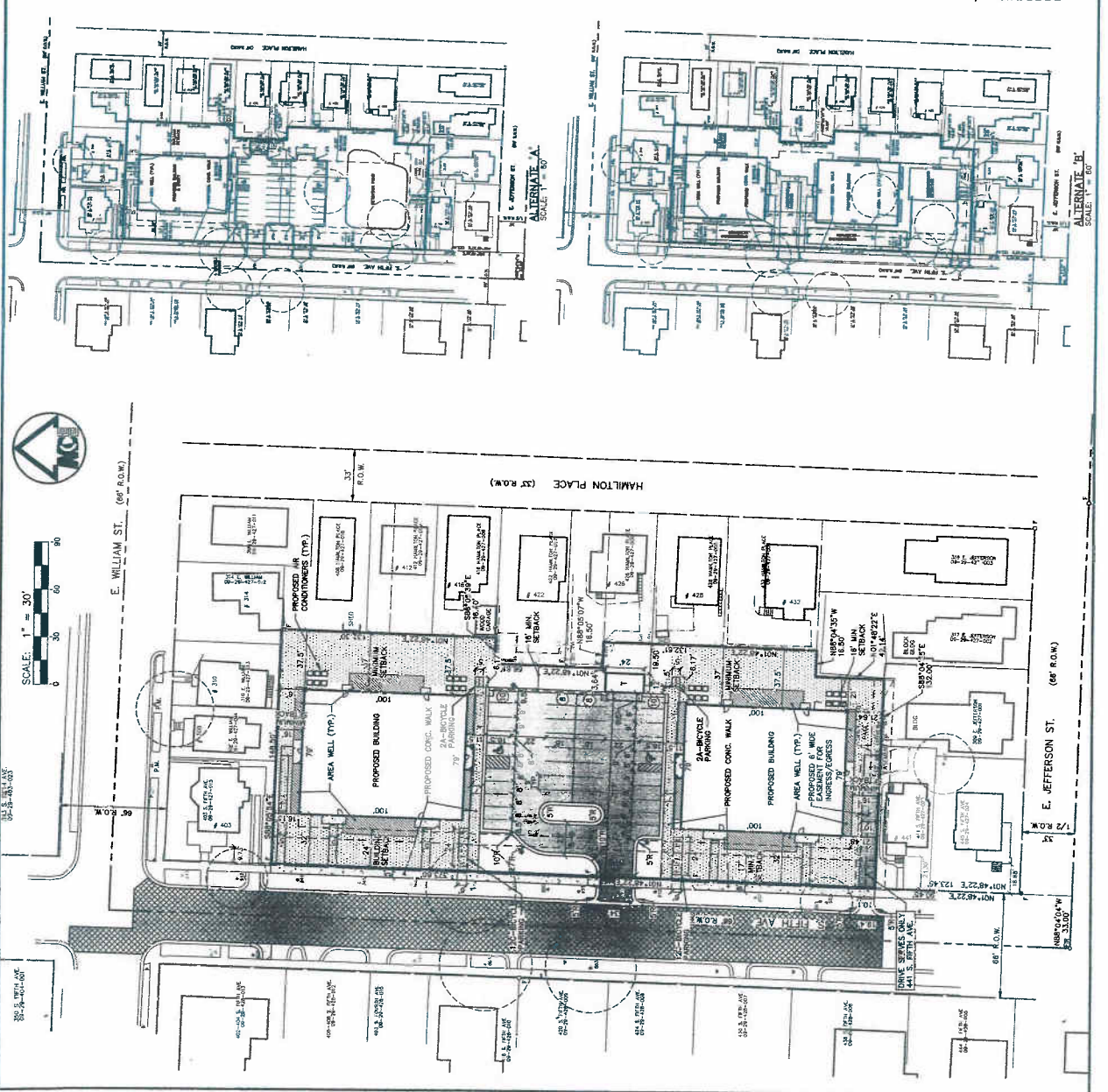
Building	Area	Volume	Notes
Building A	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building B	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building C	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building D	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building E	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building F	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building G	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building H	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building I	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building J	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building K	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building L	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building M	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building N	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building O	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building P	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building Q	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building R	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building S	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building T	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building U	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building V	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building W	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building X	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building Y	12,500 sq ft	12,500 cu ft	12,500 sq ft
Building Z	12,500 sq ft	12,500 cu ft	12,500 sq ft

ALTERNATE ANALYSIS NOTES

- The removal of the three (3) buildings for the proposed site plan is acceptable... (text continues)
- In order for the removal of the site to occur, the existing structures and... (text continues)
- Alternative B would require on-site parking to be placed on the site, which... (text continues)



811
 Know what's below.
 Call before you dig.



LEGEND

- EXIST. CONTOUR
- PROF. CONTOUR
- PROF. SPOT ELEVATION
- EXIST. UTILITY POLE
- PROF. UTILITY POLE
- ELEC. TRANSFORMER
- EXIST. OVERHEAD UTILITY LINE
- EXIST. UNDERGROUND UTILITY LINE
- EXIST. ELECTRIC LINE
- EXIST. TELEPHONE LINE
- EXIST. WATER MAIN
- PROF. WATER MAIN
- PROF. HYDRANT
- EXIST. GATE VALVE IN BOX
- PROF. GATE VALVE IN BOX
- EXIST. GATE VALVE IN WELL
- PROF. GATE VALVE IN WELL
- PROF. CURB STOP & BOX
- EXIST. STORM SEWER
- PROF. STORM SEWER
- EXIST. SANITARY INLET
- PROF. SANITARY INLET
- PROF. CAT-BOX BASIN OR INLET
- EXIST. SANITARY SEWER
- PROF. SANITARY SEWER
- PROF. CLEANOUT
- SIDEWALK RAMP
- PARADE METER
- TELEPHONE RISER
- CABLE TELEVISION RISER
- EXIST. TELEPHONE
- WATER METER
- GAS METER
- POST
- SINGLE TREE
- LANDMARK TREE
- FENCE
- SOIL BORING LOCATION
- FOUND IRON PIPE
- FOUNDATION
- CONTROL PT.
- GRADING LIMITS

BENCHMARKS

- BM #1 - SET MAG. NAIL ON WEST SIDE OF UTILITY POLE
 AT 310 E. WILLIAM ST.
 ELEVATION = 850.04
- BM #2 - SET MAG. NAIL ON EAST SIDE OF LIGHT POLE
 AT 418 S. FIFTH AVE.
 ELEVATION = 854.82

GENERAL GRADING NOTES

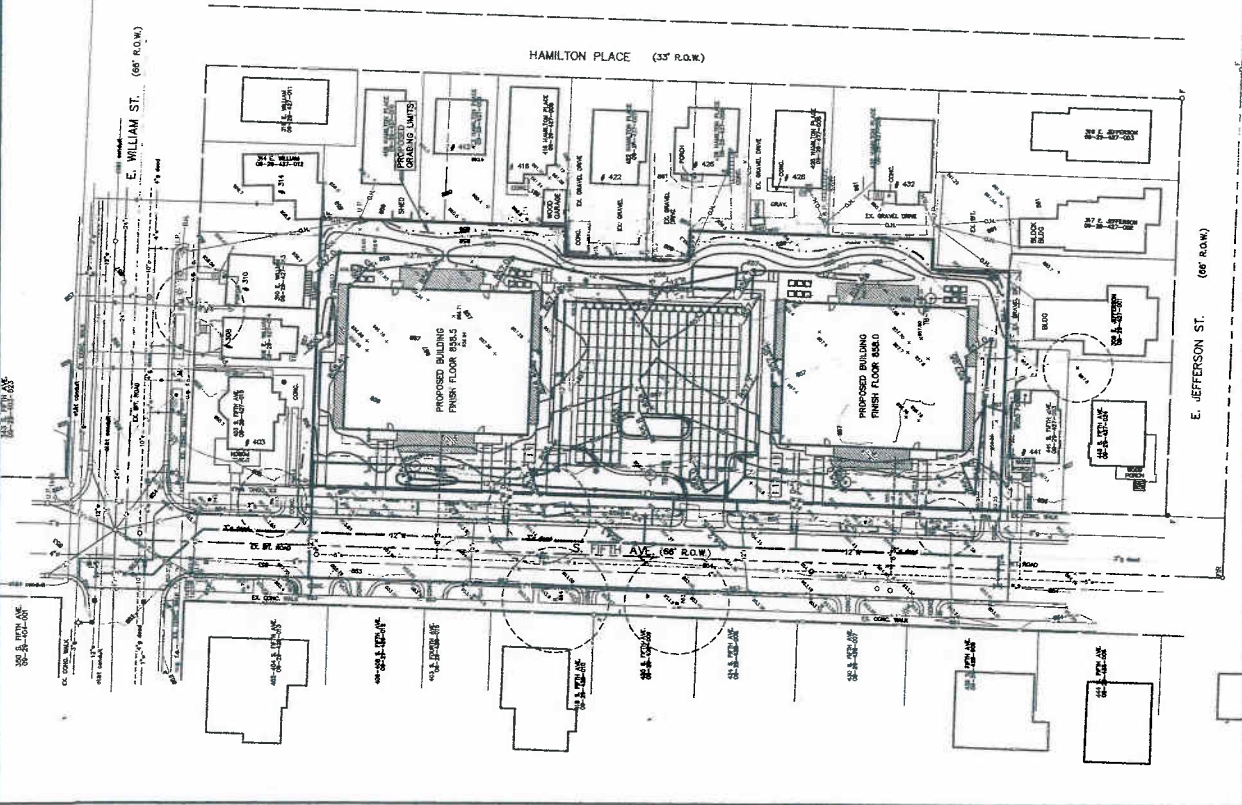
1. The proposed grading is shown on the site plan on the edge of each lot (D.M. lines) and on the edge of each street.
2. Add 0.25' to edge of mass (EM) elevations at sidewalk curb and plant to address top of curb elevation.
3. Add 0.50' to edge of mass (EM) elevations at integral curb and walk to achieve top of walk elevation.
4. Add 0.81' to edge of mass (EM) elevations at top of curb to achieve top of curb elevation.



SCALE: 1" = 30'



Know what's below.
 Call before you dig.

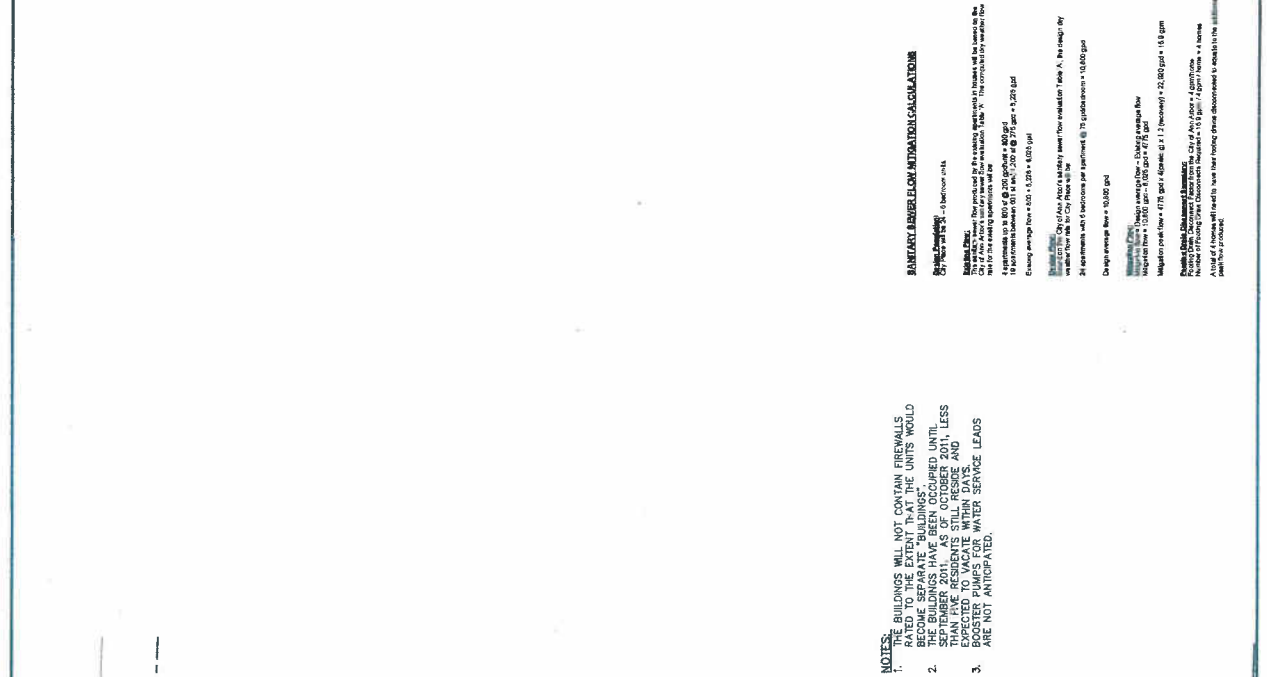
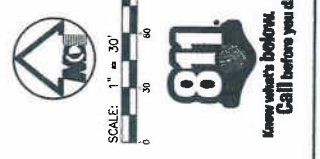


LEGEND

EXIST. UTILITY POLE	○
CITY WIRE/CONDUIT	—
EXIST. OVERHEAD UTILITY LINE	—
EXIST. LIGHT POLE	○
EXIST. TELEPHONE RISE	—
EXIST. ELECTRIC LINE	—
EXIST. GAS LINE	—
EXIST. WATER MAIN	—
EXIST. HYDRANT	○
EXIST. DATE VALVE IN BOX	○
PROP. DATE VALVE IN BOX	○
EXIST. DATE VALVE IN WELL	○
PROP. DATE VALVE IN WELL	○
EXIST. CURB STOP & BOX	○
PROP. CURB STOP & BOX	○
PROP. BLOW-OFF	○
EXIST. STORM SEWER	—
EXIST. SANITARY SEWER	—
PROP. CATCH BASIN OR INLET	○
EXIST. CATCH BASIN OR INLET	○
PROP. SANITARY SEWER	—
PROP. SANITARY SEWER	—
PROP. CLEANOUT	○
BIOWALK RAMP	—
ENCLOSED TRASH AREA	□
PARKING METER	○
PHONE BOOTH	○
TELEPHONE RISER	—
CABLE TELEVISION RISER	—
ELECTRIC METER	○
HYDRANT	○
GAS METER	○
POST	○
SINGLE TREE	○
LANDMARK TREE	○
FENCE	—
SECTION CORNER	○
FOUND IRON PIPE	—
FOUND IRON PIPE	—
FOUND IRON PIPE	—
FOUND IRON PIPE	—
FOUND IRON PIPE	—
PROPOSED LIGHT POLE	○

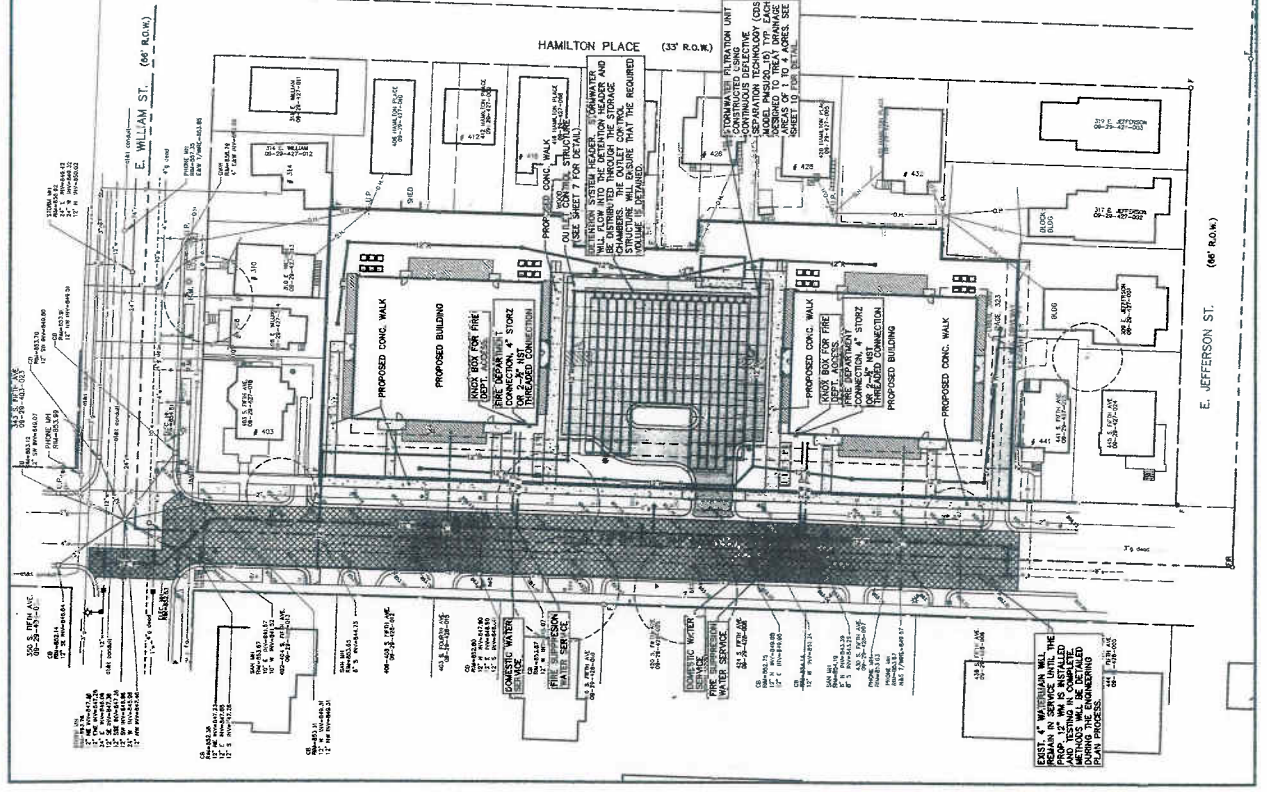
BENCHMARKS

BM #1 - AT 310E WILMUN ST. ELEVATION = 65864
BM #2 - FOUND IR. SPK. ON EAST SIDE OF LIGHT POLE ELEVATION = 65432



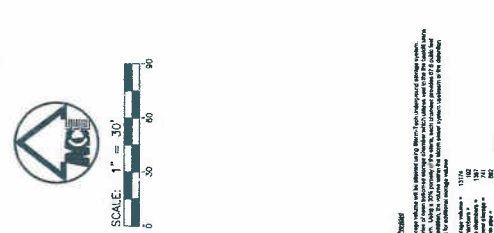
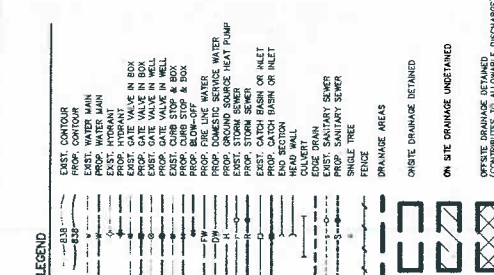
- NOTES:**
1. THE BUILDINGS WILL NOT CONTAIN FIREWALLS OR SEPARATE BUILDINGS. THE BUILDINGS HAVE BEEN OCCUPIED UNTIL THE CONSTRUCTION OF THE BUILDINGS. LESS THAN FIVE RESIDENTS STILL RESIDE AND ARE EXPECTED TO VACATE WITHIN DAYS. ARE NOT ANTICIPATED.
 2. THE BUILDINGS WILL NOT CONTAIN FIREWALLS OR SEPARATE BUILDINGS. THE BUILDINGS HAVE BEEN OCCUPIED UNTIL THE CONSTRUCTION OF THE BUILDINGS. LESS THAN FIVE RESIDENTS STILL RESIDE AND ARE EXPECTED TO VACATE WITHIN DAYS. ARE NOT ANTICIPATED.
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SUMMARY BUILDING METABOLIC CALCULATION
 City Place will be a 3-story office building.
 Building Area: 100,000 sq ft
 Occupancy: 100 persons per 1,000 sq ft
 Total Occupancy: 100 persons
 Cooling Load: 100 persons x 100 Btu/hr/person = 10,000 Btu/hr
 Heating Load: 100 persons x 100 Btu/hr/person = 10,000 Btu/hr
 Total Load: 20,000 Btu/hr
 Cooling Capacity: 20,000 Btu/hr
 Heating Capacity: 20,000 Btu/hr
 Total Capacity: 40,000 Btu/hr
 Cooling Capacity is 200% of Cooling Load
 Heating Capacity is 200% of Heating Load
 Total Capacity is 200% of Total Load
 Cooling Capacity is 200% of Cooling Load
 Heating Capacity is 200% of Heating Load
 Total Capacity is 200% of Total Load



REVISIONS:

NO.	DATE	DESCRIPTION
1	03/20/09	ISSUE FOR PERMITS
2	03/20/09	ISSUE FOR PERMITS
3	03/20/09	ISSUE FOR PERMITS
4	03/20/09	ISSUE FOR PERMITS
5	03/20/09	ISSUE FOR PERMITS
6	03/20/09	ISSUE FOR PERMITS
7	03/20/09	ISSUE FOR PERMITS
8	03/20/09	ISSUE FOR PERMITS
9	03/20/09	ISSUE FOR PERMITS
10	03/20/09	ISSUE FOR PERMITS
11	03/20/09	ISSUE FOR PERMITS
12	03/20/09	ISSUE FOR PERMITS
13	03/20/09	ISSUE FOR PERMITS
14	03/20/09	ISSUE FOR PERMITS
15	03/20/09	ISSUE FOR PERMITS
16	03/20/09	ISSUE FOR PERMITS
17	03/20/09	ISSUE FOR PERMITS
18	03/20/09	ISSUE FOR PERMITS
19	03/20/09	ISSUE FOR PERMITS
20	03/20/09	ISSUE FOR PERMITS



STORM WATER MANAGEMENT NARRATIVE

This City Place project consists of a new 100-year stormwater detention basin, with a detention volume of 1,223 cubic feet. The detention basin is located on the east side of the site, adjacent to the existing stormwater detention basin. The detention basin is designed to store stormwater during heavy rain events and release it at a controlled rate to the existing stormwater detention basin. The detention basin is designed to meet the requirements of the City of Denver Stormwater Management Manual, which requires a 100-year stormwater detention volume of 1,223 cubic feet for a site of this size. The detention basin is designed to be constructed in two phases. The first phase will consist of the construction of the detention basin structure and the second phase will consist of the construction of the detention basin access structure. The detention basin is designed to be constructed in two phases. The first phase will consist of the construction of the detention basin structure and the second phase will consist of the construction of the detention basin access structure.

STORM WATER CALCULATIONS

Project: City Place
 Midwestern Consulting Project No. 07075
 Detention Basin Capacity: 1,223 cu ft

Common Data and Assumptions

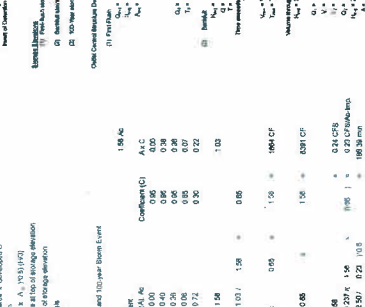
A. First Flush = 0.500 x A x 0.500 = 0.250 A
 B. Detention Volume = 1,223 cu ft
 C. Detention Time = 1.00 hr
 D. Detention Basin Capacity = 1,223 cu ft
 E. Detention Basin Area = 1,223 sq ft
 F. Detention Basin Depth = 1.00 ft
 G. Detention Basin Length = 1,223 ft
 H. Detention Basin Width = 1.00 ft

Storage Volume by Elevation Table

Elevation	Storage Provided (cubic feet)
840.01	0
840.00	109
840.00	1,362
850.00	4,190
850.00	8,798
851.00	9,298
852.00	11,454
852.00	12,732
852.51	13,720

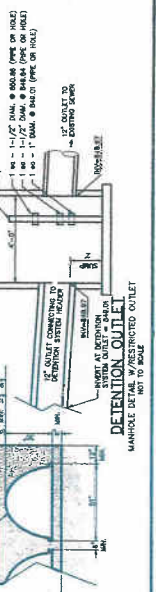
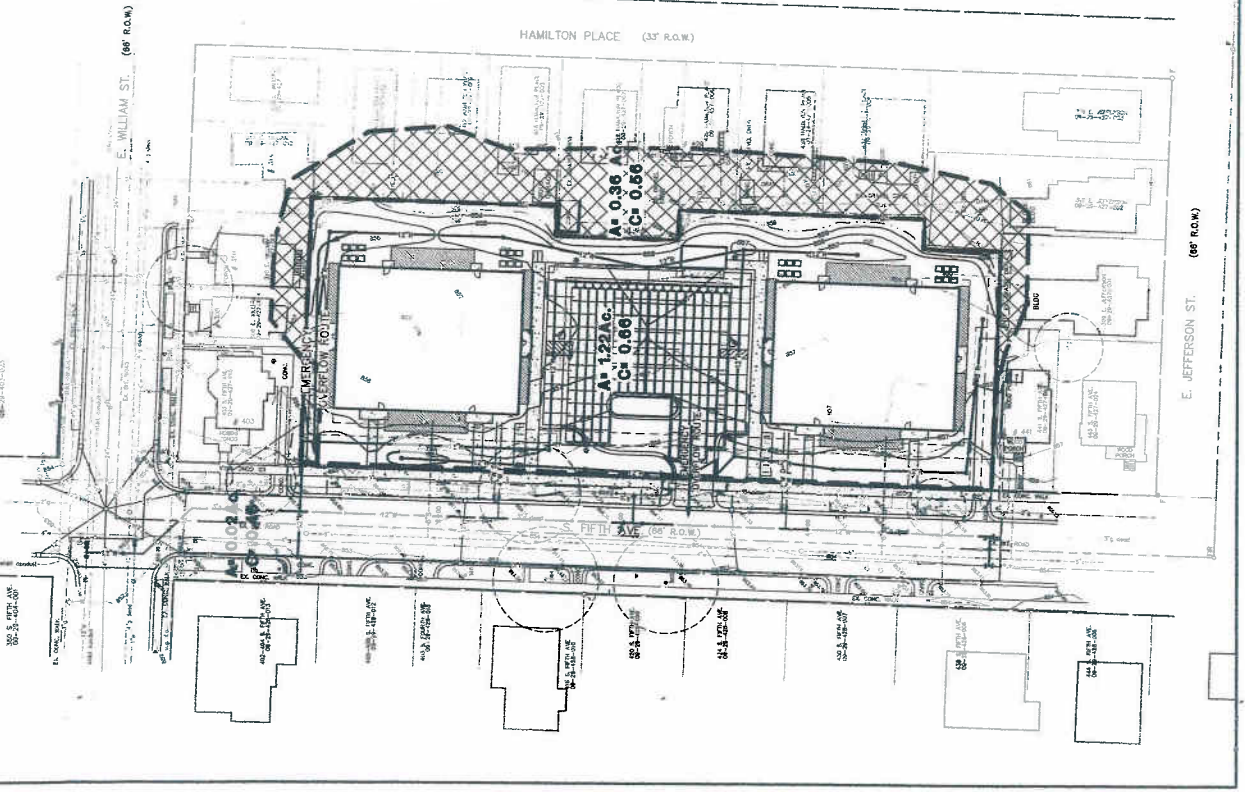
Stormwater Calculations

1. Detention Volume = 1,223 cu ft
 2. Detention Time = 1.00 hr
 3. Detention Basin Capacity = 1,223 cu ft
 4. Detention Basin Area = 1,223 sq ft
 5. Detention Basin Depth = 1.00 ft
 6. Detention Basin Length = 1,223 ft
 7. Detention Basin Width = 1.00 ft



Stormwater Calculations

1. Detention Volume = 1,223 cu ft
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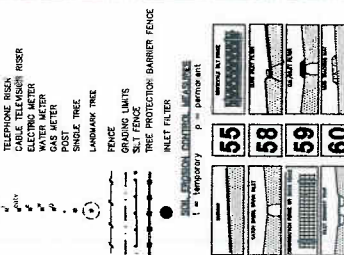


Stormwater Calculations

1. Detention Volume = 1,223 cu ft
 2. Detention Time = 1.00 hr
 3. Detention Basin Capacity = 1,223 cu ft
 4. Detention Basin Area = 1,223 sq ft
 5. Detention Basin Depth = 1.00 ft
 6. Detention Basin Length = 1,223 ft
 7. Detention Basin Width = 1.00 ft



- LEGEND**
- EXIST. CONTOUR
 - PROP. CONTOUR
 - EXIST. UTILITY POLE
 - PROP. UTILITY POLE
 - ELEC. TRANSFORMER
 - EXIST. TELEPHONE LINE
 - PROP. TELEPHONE LINE
 - EXIST. GAS LINE
 - PROP. GAS LINE
 - EXIST. WATER MAIN
 - PROP. WATER MAIN
 - PROP. HYDRANT
 - PROP. GATE VALVE IN BOX
 - PROP. GATE VALVE IN WELL
 - PROP. GATE VALVE IN M.W.
 - PROP. CATCH BASIN OR INLET
 - PROP. CATCH BASIN OR INLET
 - PROP. SANITARY SINKER
 - PROP. SANITARY SINKER
 - PROP. SANITARY SINKER
 - PROP. SANITARY SINKER
 - PARKING METEER
 - TELEPHONE RISER
 - ELECTRIC RISER
 - WATER METER
 - GAS METER
 - POLE
 - SINGLE TREE
 - LANDMARK TREE
 - FENCE
 - GRAVING LIMITS
 - SILT FENCE
 - PILE PROTECTION BARRIER FENCE
 - MESH FILTER



SOIL EROSION IMPACT STATEMENT
 The construction of the project will cause erosion through the site. At present, there are no erosion control measures in place on the site. Erosion control measures will be installed at all erosion and sedimentation points. The project will not cause any significant erosion or sedimentation. The project will not cause any significant erosion or sedimentation. The project will not cause any significant erosion or sedimentation.

PERMANENT MAINTENANCE ITEMS AND SCHEDULE

Item	Install	Remove	Repair	Replace	Other
Grass	X	X			
Concrete	X				
Asphalt	X				
Paint	X				
Other					

CONSTRUCTION REQUIREMENTS

1. All work shall conform to the City of Kansas City Code, Chapter 20, and the Kansas City Engineering Department, Division of Engineering.
2. All work shall be done in accordance with the City of Kansas City Code, Chapter 20, and the Kansas City Engineering Department, Division of Engineering.
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10. All work shall be done in accordance with the City of Kansas City Code, Chapter 20, and the Kansas City Engineering Department, Division of Engineering.
11. The Contractor shall maintain all erosion control measures in place until the project is substantially complete.
12. Erosion control measures shall be maintained during construction.
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19. Erosion control measures shall be maintained during construction.
20. Erosion control measures shall be maintained during construction.

SOIL EROSION CONTROL - STAGE 2

SOIL EROSION CONTROL - STAGE 1

MATERIALS LIST

Item	Quantity	Unit	Notes
Silt Fence	1000	Linear Feet	Temporary
Straw	100	Cubic Yards	For erosion control
Mulch	100	Cubic Yards	For erosion control
Geotextile	100	Square Yards	For erosion control

PERMANENT MAINTENANCE PROGRAM

The Contractor shall be responsible for maintaining the permanent erosion control measures. The Contractor shall be responsible for maintaining the permanent erosion control measures. The Contractor shall be responsible for maintaining the permanent erosion control measures.

CONSTRUCTION REQUIREMENTS

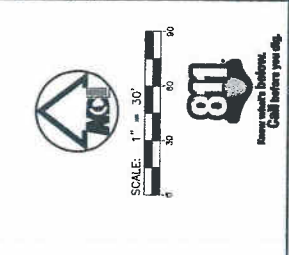
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LEGEND

EXIST. CONTOUR	---
PROP. CONTOUR	---
EXIST. UTILITY POLE	○
PROP. TRANSFORMER	○
EXIST. OVERHEAD UTILITY LINE	---
PROP. OVERHEAD UTILITY LINE	---
EXIST. TELEPHONE LINE	---
PROP. TELEPHONE LINE	---
EXIST. WATER MAIN	---
PROP. WATER MAIN	---
EXIST. HYDRANT	○
PROP. GATE VALVE IN BOX	○
EXIST. GATE VALVE IN WELL	○
PROP. GATE VALVE IN WELL	○
EXIST. CURB STOP & BOX	○
PROP. CURB STOP & BOX	○
EXIST. STORM SEWER	---
PROP. STORM SEWER	---
PROP. CATCH BASIN OR INLET	○
PROP. SANITARY SEWER	---
PROP. SANITARY SEWER	---
PARKING METER	○
POST	○
LANDMARK TREE	○
FENCE	---
GRADING LIMITS	---

LANDSCAPE NOTES

- 1) Values within will be provided with 150 gal. of all landscape plantings.
- 2) Plant materials to be selected and installed in accordance with the University of Minnesota Horticultural Department's "Standard Reference Planting Schedule".
- 3) All plantings shall be installed by the end of the following season.
- 4) Retention of existing trees with a minimum of 4" above ground and 4" below ground shall be maintained. All trees to be removed shall be removed by the end of the following season.
- 5) All trees to be removed shall be removed by the end of the following season.
- 6) All trees to be removed shall be removed by the end of the following season.
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LANDSCAPE REQUIREMENTS

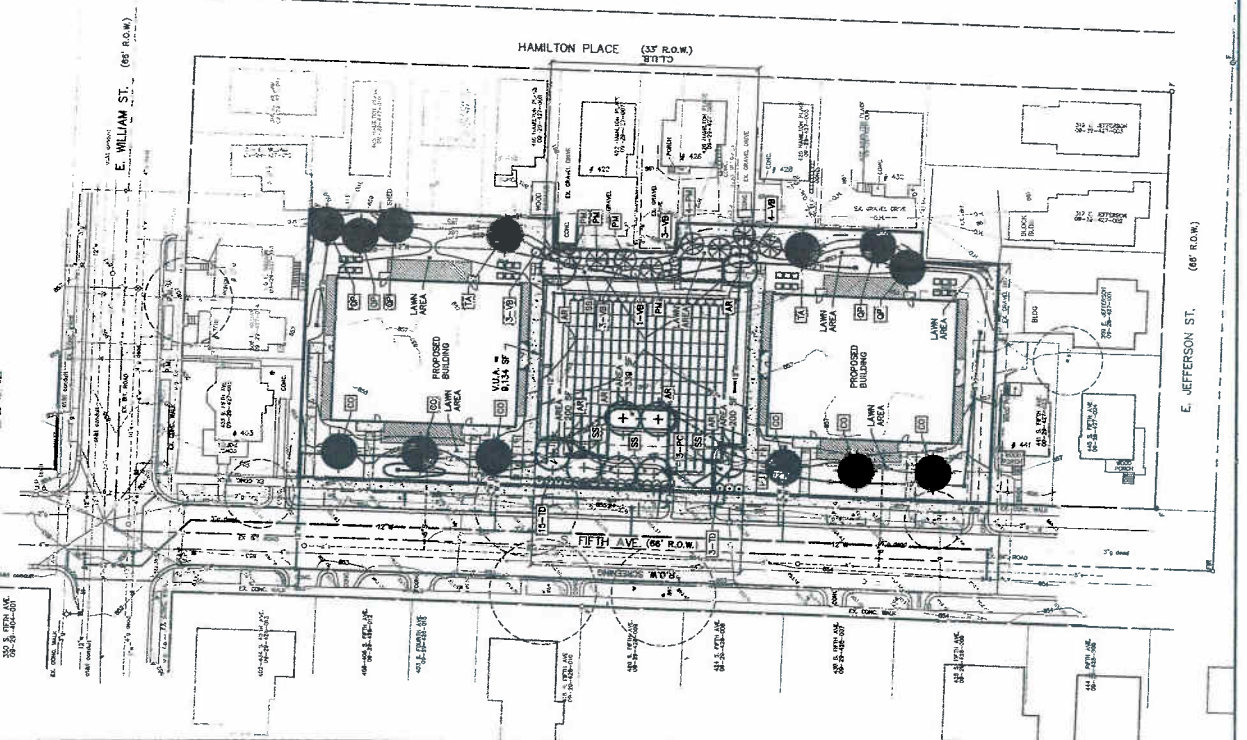
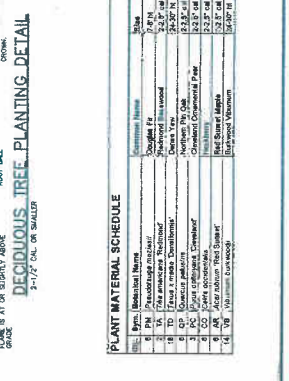
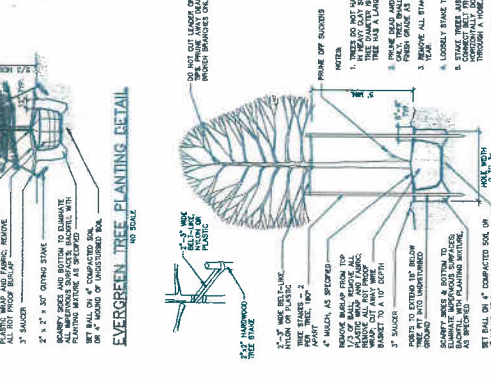
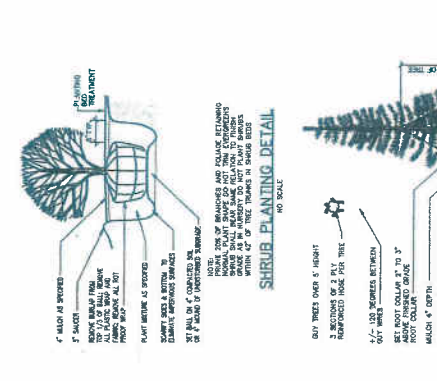
- 1) ALL PLANTINGS SHALL BE INSTALLED BY THE END OF THE FOLLOWING SEASON.
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- 3) ALL PLANTINGS SHALL BE INSTALLED BY THE END OF THE FOLLOWING SEASON.
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LANDSCAPE LEGEND

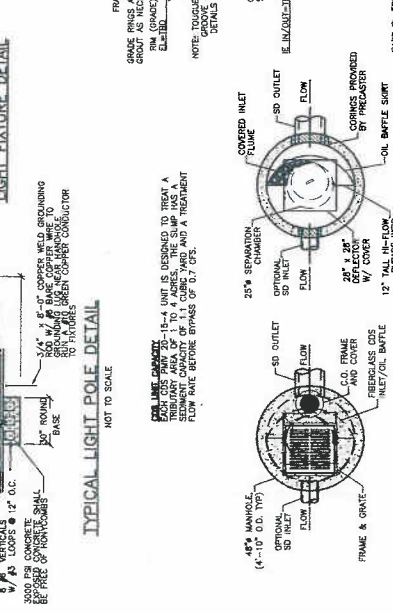
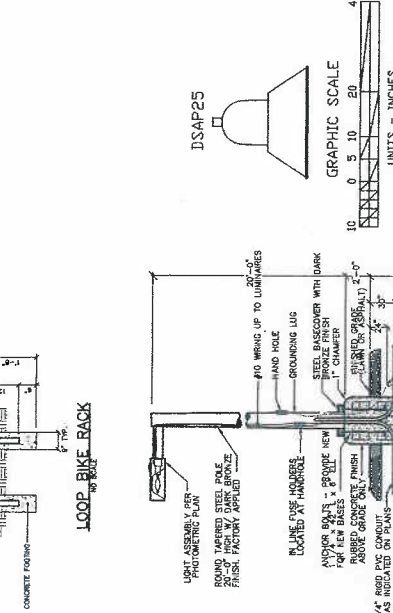
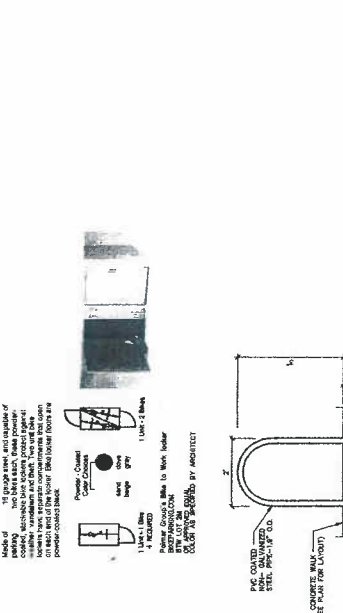
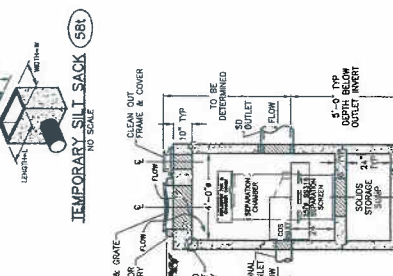
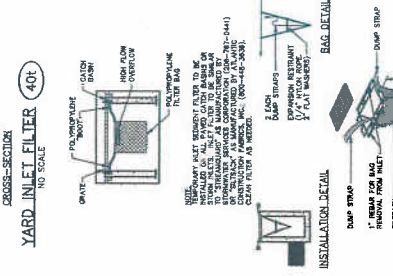
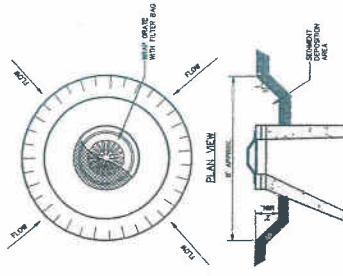
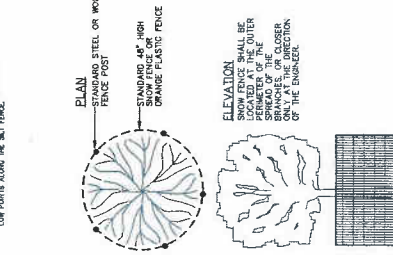
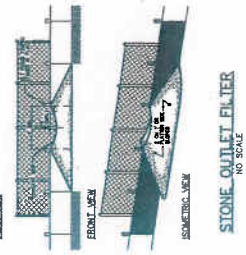
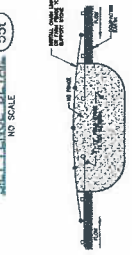
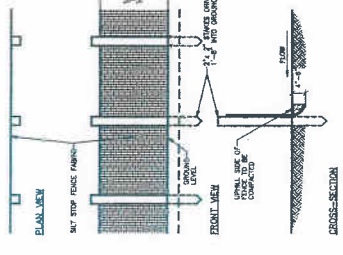
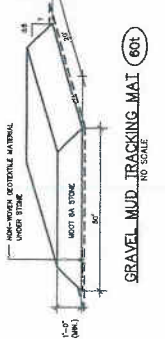
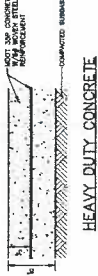
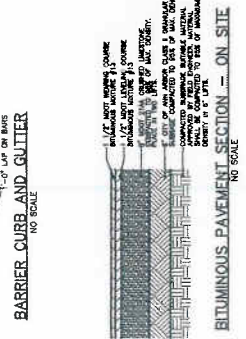
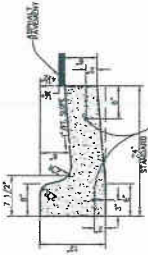
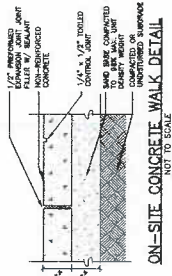
- PROPOSED CANOPY TREE
- PROPOSED FLOWERING TREE
- PROPOSED EVERGREEN TREE
- PROPOSED DECIDUOUS SHRUB
- PROPOSED EVERGREEN SHRUB
- PROPOSED CANOPY TREE (LANDMARK REPLACEMENT)
- EXISTING TREE TO REMAIN

PLANT MATERIAL SCHEDULE

Spec. Material Name	Quantity	Notes
1. PM (Panicum virgatum)	2.00	1.00
2. PM (Panicum virgatum)	2.00	1.00
3. PM (Panicum virgatum)	2.00	1.00
4. PM (Panicum virgatum)	2.00	1.00
5. PM (Panicum virgatum)	2.00	1.00
6. PM (Panicum virgatum)	2.00	1.00
7. PM (Panicum virgatum)	2.00	1.00
8. PM (Panicum virgatum)	2.00	1.00
9. PM (Panicum virgatum)	2.00	1.00
10. PM (Panicum virgatum)	2.00	1.00



NOTE
 FINISH, SUBGRAVELS & RAMPS TO BE
 CONSTRUCTED PER THE STANDARD SPECIFICATIONS FOR
 HIGHWAY CONSTRUCTION. ALL FINISHES SHALL
 MEET ALL REQUIREMENTS & GUIDELINES AS
 SPECIFIED IN THE STANDARD SPECIFICATIONS
 OF ANY APPLICABLE STANDARD AND ADA
 COMPLIANCE. SEE DETAILS
 ON THIS SHEET.



1.0" REINFORCED CONCRETE
 1.0" REINFORCED CONCRETE
 1.0" REINFORCED CONCRETE
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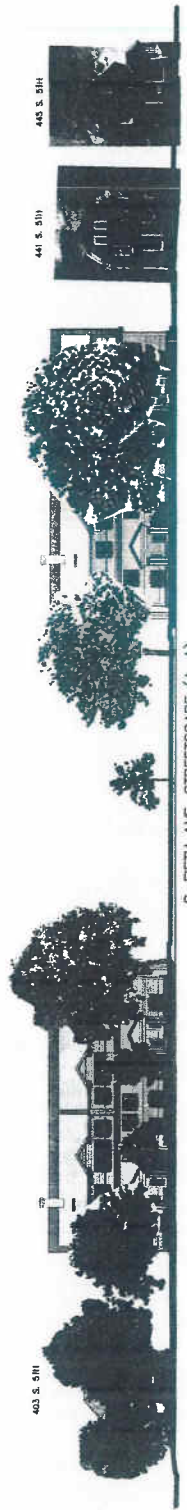
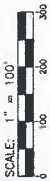
DATE: 5-12-08	PROJECT: 11 OF 18
PROJECT NO: 07075	CLIENT: CITY PLACE
DESIGNER: MCM	SCALE: 1" = 100'
DATE: 5-12-08	PROJECT: 11 OF 18
PROJECT NO: 07075	CLIENT: CITY PLACE
DESIGNER: MCM	SCALE: 1" = 100'

11

CITY PLACE
SITE PLAN
AERIAL OVERLAY PLAN

CLIENT
FIRST AVENUE LIMITED PARTNERSHIP
400 S. FIFTH AVE.
ANN ARBOR, MI 48103
ALEX DE PARRIS
ARCHITECT
(248) 761-9990

MIDWESTERN CONSULTING
Civil Engineering and
Transportation Engineers
4815 Plaza Drive
Ann Arbor, MI 48106
Phone: 734.966.0200
Fax: 734.965.0299



S. FIFTH AVE - STREETScape (A-A)
Coloring, trees & street furniture shown
Sheet: 11 of 18

LOG OF TEST BORING	DATE	BY	REV.
<p>SOIL DESCRIPTION TOP SOIL TO 12" BELOW GROUND SURFACE 12" TO 24" BELOW GROUND SURFACE 24" TO 36" BELOW GROUND SURFACE 36" TO 48" BELOW GROUND SURFACE 48" TO 60" BELOW GROUND SURFACE 60" TO 72" BELOW GROUND SURFACE 72" TO 84" BELOW GROUND SURFACE 84" TO 96" BELOW GROUND SURFACE 96" TO 108" BELOW GROUND SURFACE 108" TO 120" BELOW GROUND SURFACE</p>			

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<p>SOIL DESCRIPTION TOP SOIL TO 12" BELOW GROUND SURFACE 12" TO 24" BELOW GROUND SURFACE 24" TO 36" BELOW GROUND SURFACE 36" TO 48" BELOW GROUND SURFACE 48" TO 60" BELOW GROUND SURFACE 60" TO 72" BELOW GROUND SURFACE 72" TO 84" BELOW GROUND SURFACE 84" TO 96" BELOW GROUND SURFACE 96" TO 108" BELOW GROUND SURFACE 108" TO 120" BELOW GROUND SURFACE</p>			

LOG OF TEST BORING	DATE	BY	REV.
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SCHEDULE OF REVISIONS

DATE: June 19, 2008

SHEET: DESCRIPTION OF REVISION

1. Revision items added to sheet notes.
2. Front information setback & building setback lines moved 8 feet west due to average 200' Development Summary revised to include averaging calculations and revised front setback requirements.
3. Front information setback & building setback lines moved 8 feet west due to averaging calculations.
4. Front information setback & building setback lines moved 8 feet west due to averaging calculations.
5. Front information setback & building setback lines moved 8 feet west due to averaging calculations.
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17. Front information setback & building setback lines moved 8 feet west due to averaging calculations.
18. Front information setback & building setback lines moved 8 feet west due to averaging calculations.

SCHEDULE OF REVISIONS

DATE: September 7, 2011

SHEET: DESCRIPTION OF REVISION

1. Revised date for Administrative Amendment and
2. Revised date for Administrative Amendment and
3. Revised date for Administrative Amendment and
4. Revised date for Administrative Amendment and
5. Revised date for Administrative Amendment and
6. Revised date for Administrative Amendment and
7. Revised date for Administrative Amendment and
8. Revised date for Administrative Amendment and
9. Revised date for Administrative Amendment and
10. Revised date for Administrative Amendment and
11. Revised date for Administrative Amendment and
12. Revised date for Administrative Amendment and
13. Revised date for Administrative Amendment and
14. Revised date for Administrative Amendment and
15. Revised date for Administrative Amendment and
16. Revised date for Administrative Amendment and
17. Revised date for Administrative Amendment and
18. Revised date for Administrative Amendment and
19. Revised date for Administrative Amendment and
20. Revised date for Administrative Amendment and

SCHEDULE OF REVISIONS

DATE: October 11, 2011

SHEET: DESCRIPTION OF REVISION

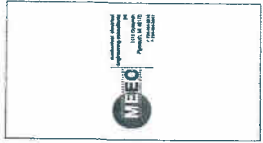
1. Revised date for Administrative Amendment, Development Summary notes
2. Revised date for Administrative Amendment, Development Summary notes
3. Revised date for Administrative Amendment, Development Summary notes
4. Revised date for Administrative Amendment, Development Summary notes
5. Revised date for Administrative Amendment, Development Summary notes
6. Revised date for Administrative Amendment, Development Summary notes
7. Revised date for Administrative Amendment, Development Summary notes
8. Revised date for Administrative Amendment, Development Summary notes
9. Revised date for Administrative Amendment, Development Summary notes
10. Revised date for Administrative Amendment, Development Summary notes

SCHEDULE OF REVISIONS

DATE: October 21, 2011

SHEET: DESCRIPTION OF REVISION

1. Revised date for Administrative Amendment, Development Summary notes
2. Revised date for Administrative Amendment, Development Summary notes
3. Revised date for Administrative Amendment, Development Summary notes
4. Revised date for Administrative Amendment, Development Summary notes
5. Revised date for Administrative Amendment, Development Summary notes
6. Revised date for Administrative Amendment, Development Summary notes
7. Revised date for Administrative Amendment, Development Summary notes
8. Revised date for Administrative Amendment, Development Summary notes
9. Revised date for Administrative Amendment, Development Summary notes
10. Revised date for Administrative Amendment, Development Summary notes



J. BRADLEY MOORE & ASSOCIATES
 CITY PLACE - ANN ARBOR
 SITE LIGHTING PHOTOMETRICS

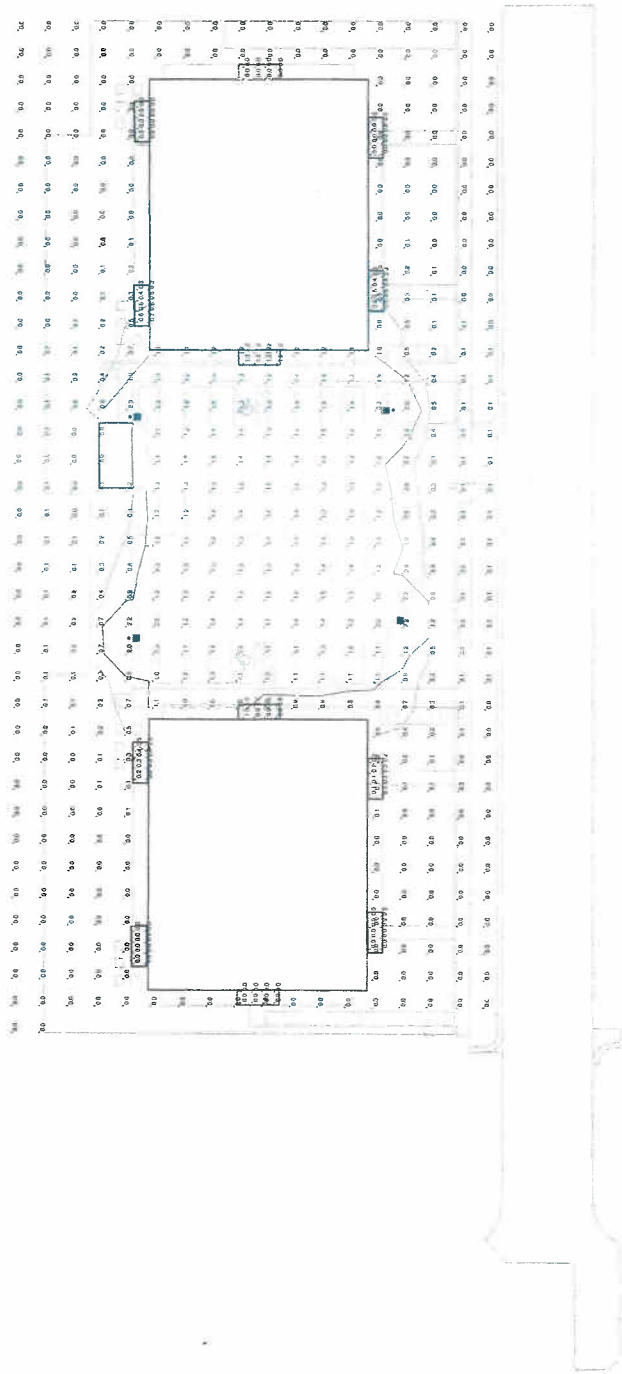
Designer	T.M.B.
Date	9-08-2011
Scale	AS NOTED
Drawing No.	

STATISTICS

Calculation	Symbol	Avg	Min	Max	Min	Max	Height
EAST PROPERTY LINE LIGHT SPILL	-	0.0%	0.0%	0.0%	0.0%	0.0%	N/A
WARRANT	*	1.4%	0.0%	3.3%	0.0%	3.3%	1.4'
SITE OVERALL	+	0.8%	0.0%	3.3%	0.0%	3.3%	N/A
WEST PROPERTY LINE LIGHT SPILL	-	0.0%	0.0%	0.0%	0.0%	0.0%	N/A

LUMINAIRE SCHEDULE

Symbol	Label	City	Catalog Number	Designation	Length	Foot	Urnace	LLF	Notes
■	CC	1	OSAP28 V	27' X 14' BINA AL HOBBING	ONE HUNDRED TWENTY TWO LIGHTING FIXTURES	2000	1000	0.8	132



SITE LIGHTING PHOTOMETRIC VALUES
 Scale: 1" = 40'



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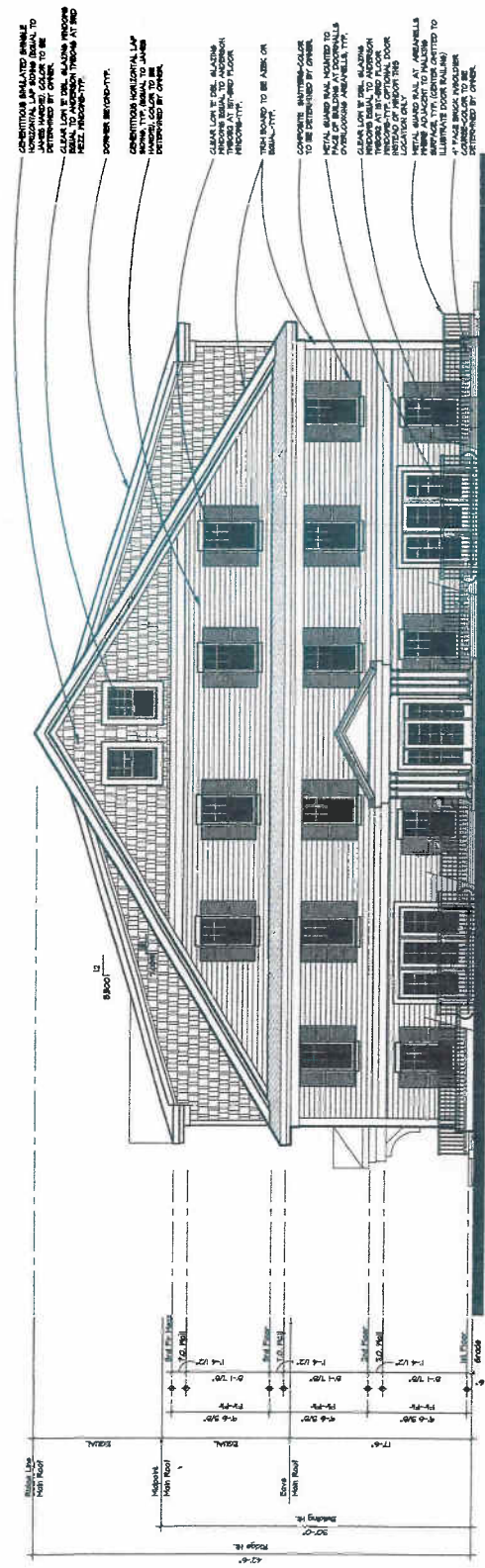
City Place
Fifth Avenue, Ann Arbor, MI
BUILDING 'A' & 'B'
NORTH, WEST ELEVATIONS

J BRADLEY MOORE
& ASSOCIATES
1844 Jackson Road, #150 Ann Arbor, MI 48103 (734) 930-1500

PROVISIONS
DATE

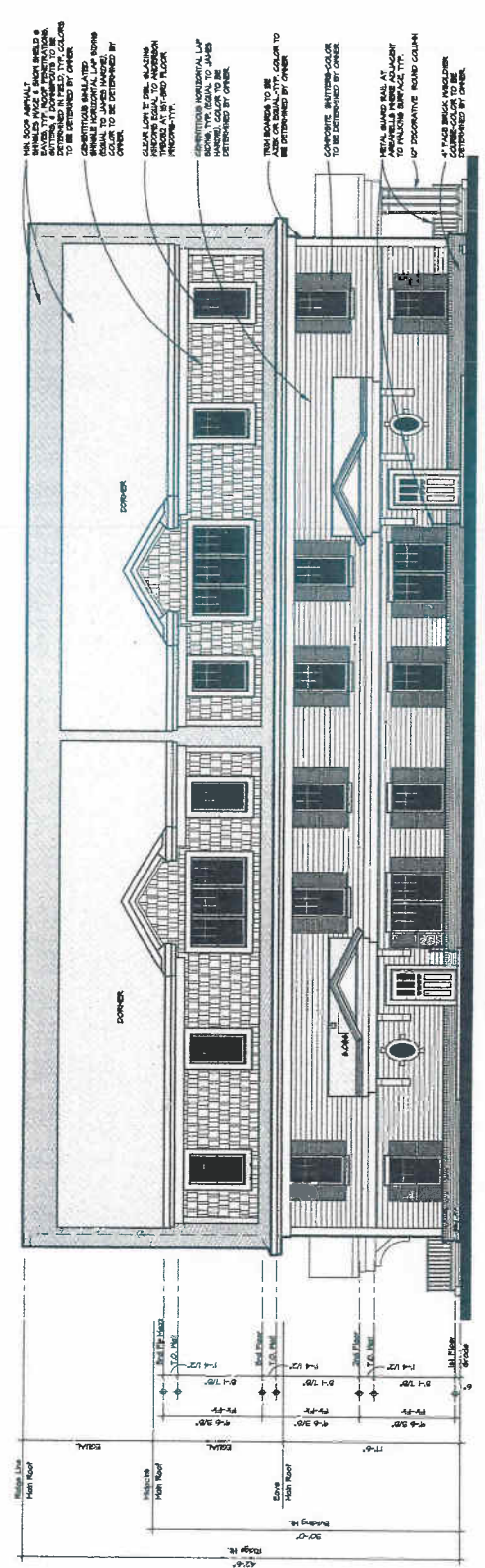
job 201310

drawn by
date
10.13.11
Revised Elevations
sheet
A2.1



NORTH ELEV BLDG 'A' (FROM PARKING)
SCALE: 5/16" = 1'-0"

CONDITIONS SHALLOTTED SHINGLE
HORIZONTAL LAP SHALL BE
DETERMINED BY OWNER.
METAL SHINGLES SHALL BE
HAND-APPLIED TO THE
ROOFING SURFACE. THE
HAND-APPLIED METAL
SHINGLES SHALL BE
DETERMINED BY OWNER.
CORNER RENDITION:
CONDITIONS HORIZONTAL LAP
SHALL BE DETERMINED BY
OWNER. THE COLOR OF THE
SHINGLES SHALL BE
DETERMINED BY OWNER.
CLEARANCE TO THE WINDOW
HEADS SHALL BE DETERMINED
BY THE WINDOW MANUFACTURER.
THE WINDOW HEADS SHALL
BE DETERMINED BY OWNER.
CLEARANCE TO THE WINDOW
HEADS SHALL BE DETERMINED
BY THE WINDOW MANUFACTURER.
THE WINDOW HEADS SHALL
BE DETERMINED BY OWNER.
METAL SHINGLES SHALL BE
HAND-APPLIED TO THE
ROOFING SURFACE. THE
HAND-APPLIED METAL
SHINGLES SHALL BE
DETERMINED BY OWNER.
CORNER RENDITION:
CONDITIONS HORIZONTAL LAP
SHALL BE DETERMINED BY
OWNER. THE COLOR OF THE
SHINGLES SHALL BE
DETERMINED BY OWNER.



WEST ELEVATION BOTH BUILDINGS (FROM STREET)
SCALE: 5/16" = 1'-0"

MIN. ROOF PITCH:
SHINGLES SHALL BE
HAND-APPLIED TO THE
ROOFING SURFACE. THE
HAND-APPLIED METAL
SHINGLES SHALL BE
DETERMINED BY OWNER.
CORNER RENDITION:
CONDITIONS HORIZONTAL LAP
SHALL BE DETERMINED BY
OWNER. THE COLOR OF THE
SHINGLES SHALL BE
DETERMINED BY OWNER.
CLEARANCE TO THE WINDOW
HEADS SHALL BE DETERMINED
BY THE WINDOW MANUFACTURER.
THE WINDOW HEADS SHALL
BE DETERMINED BY OWNER.
METAL SHINGLES SHALL BE
HAND-APPLIED TO THE
ROOFING SURFACE. THE
HAND-APPLIED METAL
SHINGLES SHALL BE
DETERMINED BY OWNER.
CORNER RENDITION:
CONDITIONS HORIZONTAL LAP
SHALL BE DETERMINED BY
OWNER. THE COLOR OF THE
SHINGLES SHALL BE
DETERMINED BY OWNER.



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City Place
11th Avenue, Ann Arbor, MI
STREETSCAPE (WEST)
ELEVATION

J BRADLEY MOORE
& ASSOCIATES
1644 Jackson Road, #150 Ann Arbor, MI 48103 (734) 330-1500

REVISIONS
DATE

job 201310

drawn: no
date: 09.02.11
sheet: A2.3



STREETSCAPE ELEVATION, BOTH BUILDINGS
SCALE: 1/8" = 1'-0"



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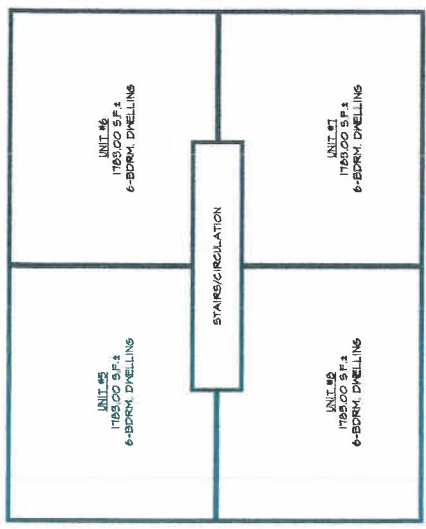
City Place
 Fifth Avenue, Ann Arbor, MI
 Typical Schematic
 Floor Lay-outs

BRADLEY MOORE & ASSOCIATES
 1444 Jackson Road, #150 Ann Arbor, MI 48103 (734) 990-1500

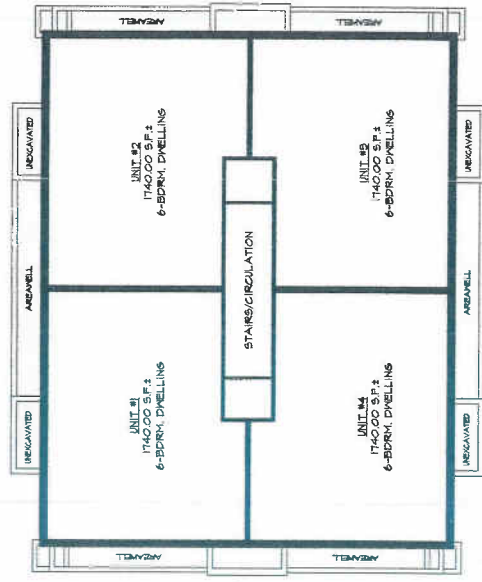
REVISIONS
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Job 201310

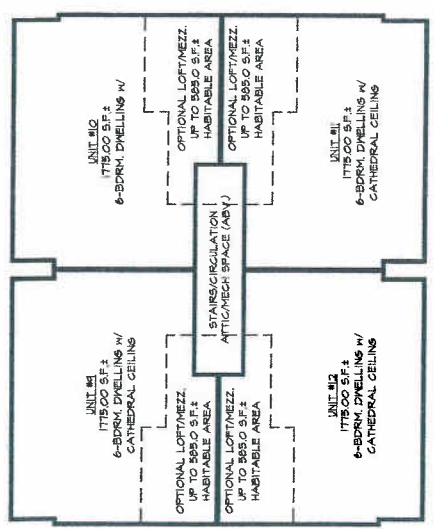
drawn by
 date 03/22/11
 sheet B1.1



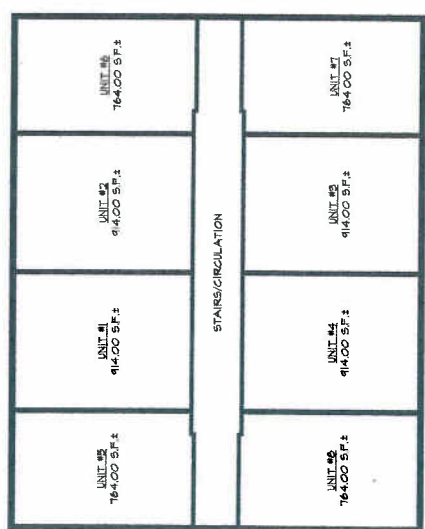
SECOND FLOOR PLAN BLDG 'B'
 APPROX. 150' BY 100' SCALE 1/8" = 1'-0"



SECOND FLOOR PLAN BLDG 'B'
 APPROX. 150' BY 100' SCALE 1/8" = 1'-0"



THIRD FLOOR PLAN BLDG 'B'
 APPROX. 150' BY 100' SCALE 1/8" = 1'-0"



FIRST FLOOR PLAN
 APPROX. 150' BY 100' SCALE 1/8" = 1'-0"



© Copyright 2008

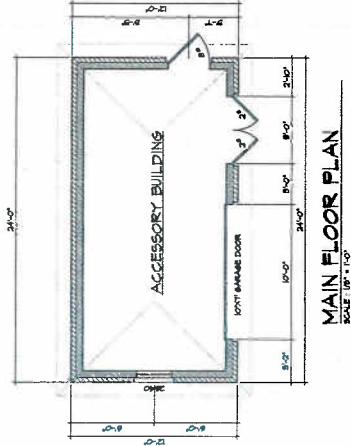
City Place Accessory Building
M.O.R.
Plan and Elevations

J BRADLEY MOORE
& ASSOCIATES
1644 Jackson Road, #150 Ann Arbor, MI 48103 (734) 930-1500

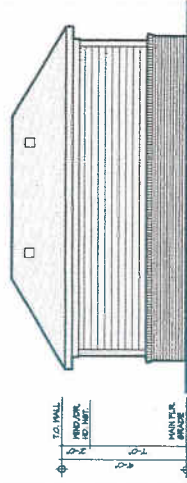
revisions

job 27106A

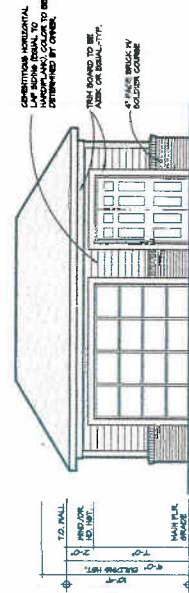
drawn MJC
date 04/15/09
sheet B1.2



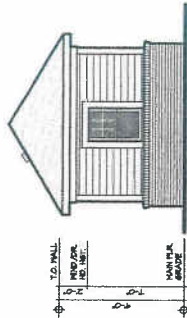
MAIN FLOOR PLAN
SCALE 1/8" = 1'-0"



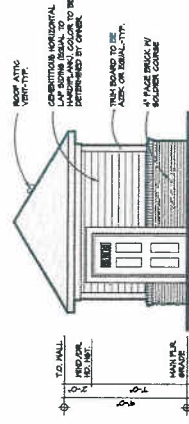
REAR ELEVATION-EAST
SCALE 1/8" = 1'-0"



FRONT ELEVATION-WEST
SCALE 1/8" = 1'-0"



LEFT SIDE ELEVATION-NORTH
SCALE 1/8" = 1'-0"



RIGHT SIDE ELEVATION-SOUTH
SCALE 1/8" = 1'-0"

City Place

Approved Site Plan

September 2009

CITY PLACE

SITE PLAN

LOCATED IN THE CITY OF ANN ARBOR, WASHTENAW CO., MICHIGAN

OWNER/DEVELOPER
 FIFTH AVENUE LIMITED PARTNERSHIP
 403 S. FIFTH AVE.
 ANN ARBOR, MI 48103
 ATTN: ALEX DA PARRY

ENGINEER/SURVEYOR
 MIDWESTERN CONSULTING, LLC
 3015 PLAZA DR. #100
 ANN ARBOR, MI 48103
 PH: (734) 985-0200
 ATTN: R. JAMES GORRIELLO

ARCHITECT
 J. BRADLEY MOORE & ASSOCIATES
 4644 JACKSON ROAD, #150
 ANN ARBOR, MI 48103
 PH: (734) 830-1500
 ATTN: BRAD MOORE

DEVELOPMENT PROGRAM

1. **QUALITY:**
 - The City of Ann Arbor is seeking a high quality development program for the City of Ann Arbor. The development program should be consistent with the City's Comprehensive Zoning Ordinance, the City's Comprehensive Land Use Ordinance, and the City's Comprehensive Transportation Ordinance.
 - The development program should be consistent with the City's Comprehensive Zoning Ordinance, the City's Comprehensive Land Use Ordinance, and the City's Comprehensive Transportation Ordinance.
 - The development program should be consistent with the City's Comprehensive Zoning Ordinance, the City's Comprehensive Land Use Ordinance, and the City's Comprehensive Transportation Ordinance.
2. **DESIGN:**
 - The development program should be consistent with the City's Comprehensive Zoning Ordinance, the City's Comprehensive Land Use Ordinance, and the City's Comprehensive Transportation Ordinance.
 - The development program should be consistent with the City's Comprehensive Zoning Ordinance, the City's Comprehensive Land Use Ordinance, and the City's Comprehensive Transportation Ordinance.
 - The development program should be consistent with the City's Comprehensive Zoning Ordinance, the City's Comprehensive Land Use Ordinance, and the City's Comprehensive Transportation Ordinance.
3. **CONSTRUCTION:**
 - The development program should be consistent with the City's Comprehensive Zoning Ordinance, the City's Comprehensive Land Use Ordinance, and the City's Comprehensive Transportation Ordinance.
 - The development program should be consistent with the City's Comprehensive Zoning Ordinance, the City's Comprehensive Land Use Ordinance, and the City's Comprehensive Transportation Ordinance.
 - The development program should be consistent with the City's Comprehensive Zoning Ordinance, the City's Comprehensive Land Use Ordinance, and the City's Comprehensive Transportation Ordinance.
4. **OPERATION:**
 - The development program should be consistent with the City's Comprehensive Zoning Ordinance, the City's Comprehensive Land Use Ordinance, and the City's Comprehensive Transportation Ordinance.
 - The development program should be consistent with the City's Comprehensive Zoning Ordinance, the City's Comprehensive Land Use Ordinance, and the City's Comprehensive Transportation Ordinance.
 - The development program should be consistent with the City's Comprehensive Zoning Ordinance, the City's Comprehensive Land Use Ordinance, and the City's Comprehensive Transportation Ordinance.

GENERAL NOTES:

1. THE DEVELOPMENT PROGRAM IS SUBJECT TO THE CITY OF ANN ARBOR PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS WHICH ARE INCLUDED BY REFERENCE.
2. THE OMISSION OF ANY STANDARD DETAILS DOES NOT RELIEVE THE CONTRACTOR OF ANY OBLIGATION TO CONSTRUCT IN ACCORDANCE WITH THE CITY OF ANN ARBOR PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS.
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SHEET INDEX

1. COVER SHEET (REV. 6/19/09)
2. EXISTING CONDITIONS (REV. 3/25/09)
3. REMOVAL PLAN (REV. 3/25/09)
4. DIMENSIONAL SITE PLAN & ALTERNATE ANALYSIS (REV. 6/19/09)
5. GRADING PLAN (REV. 6/19/09)
6. UTILITY PLAN (REV. 6/19/09)
7. DRAINAGE AREA PLAN, STORM DETENTION CALCULATIONS & OUTLET DETAILS (REV. 6/19/09)
8. SOIL EROSION CONTROL PLAN (REV. 6/19/09)
9. LANDSCAPE PLAN (REV. 6/19/09)
10. MISCELLANEOUS DETAILS (REV. 4/16/09)
11. AERIAL OVERLAY PLAN (REV. 3/25/09)
12. PHOTOMETRIC PLAN (REV. 3/25/09)
13. SOIL BORING LOGS (REV. 4/2/09)
14. A3.0B BUILDING ELEVATIONS (REV. 4/9/09)
15. A3.10B BUILDING ELEVATIONS (REV. 4/9/09)
16. B1.1 BUILDING PLAN (REV. 4/9/09)
17. B1.2 ACCESSORY BUILDING (REV. 4/15/09)
18. REVISIONS SCHEDULE (REV. 6/19/09)

VICINITY MAP

NOT TO SCALE



OVERALL SITE

SCALE: 1"=100'



CITY PLACE

JOB No. 07075

SHEET 1 OF 18

MIDWESTERN CONSULTING
 Civil, Electrical, Mechanical, Environmental, Surveying, Planning, Stormwater, Landscape Architects
 Phone: (734) 985-0200
 For 24-HOUR SERVICE

RELEASED FOR: DATE

DATE

DATE

DATE

DATE

4

- LEGEND**
- CONCRETE PAVEMENT
 - HEAVY DUTY CONCRETE PAVEMENT
 - JANUING PAVEMENT
 - ACTIVE OPEN SPACE
 - TASH AREA
 - BIKE/FREE PARKING SPACES
 - BACK OF CURB TO BACK OF CURB
 - NUMBER OF PARKING SPACES

DEVELOPMENT SUMMARY

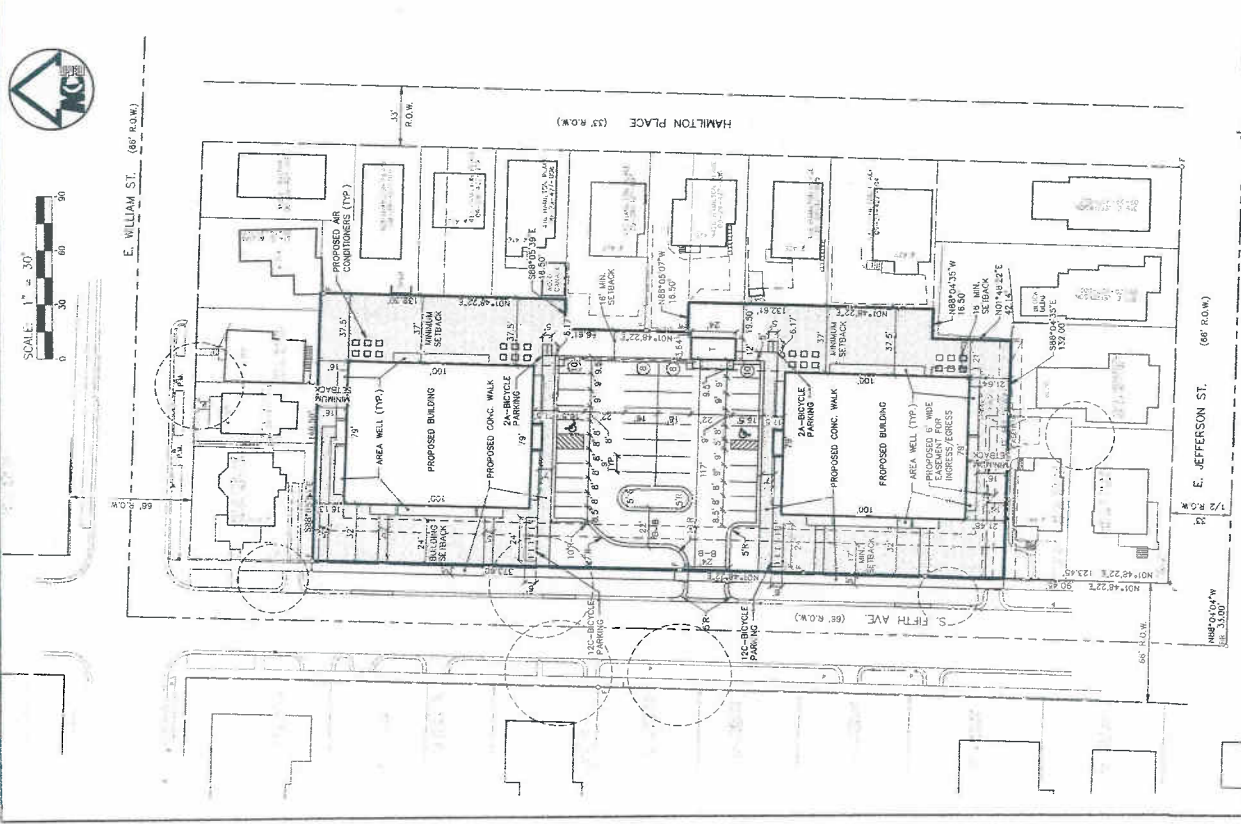
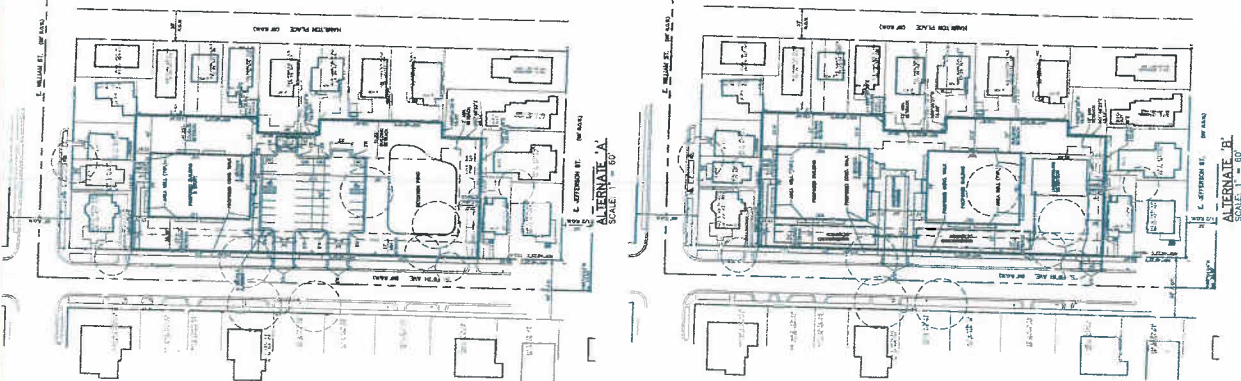
Proposed	Proposed
Building	100,000 sq ft
Site Area	12,000 sq ft
Area	12,000 sq ft
Maximum Floor Area	12,000 sq ft
Maximum Height	40 ft
Maximum Open Space	1,000 sq ft
Maximum Parking	100 spaces
Maximum Trash	100 tons
Maximum Water	100,000 gal
Maximum Sewer	100,000 gal
Maximum Gas	100,000 gal
Maximum Electric	100,000 kw
Maximum Mechanical	100,000 kw
Maximum Telecommunications	100,000 kw
Maximum Other	100,000 kw

ALTERNATE ANALYSIS NOTES

- The removal of the 17' x 11' sidewalk for the proposed site plan is acceptable with the location of a proposed building, required on-site parking, and required on-site trash enclosure. The proposed site plan includes a 17' x 11' sidewalk on the north side of the building. This sidewalk is proposed to be located on the north side of the building. The sidewalk is proposed to be located on the north side of the building. The sidewalk is proposed to be located on the north side of the building.
- In order for the sidewalk to be located on the north side of the building, the sidewalk is proposed to be located on the north side of the building. The sidewalk is proposed to be located on the north side of the building. The sidewalk is proposed to be located on the north side of the building.
- Alternative A is the proposed layout used to reduce the building footprint and to reduce the building footprint. The building footprint is proposed to be reduced by 17' x 11'. The building footprint is proposed to be reduced by 17' x 11'. The building footprint is proposed to be reduced by 17' x 11'.

ALTERNATIVES ANALYSIS SUMMARY

Proposed	Alternative A	Alternative B
Zoning	RC	RC
Dwelling Units	24	24
Parking Spaces	30	30
Height	30 ft	30 ft
Direction	Underground	Underground



LEGEND

- EAST UTILITY POLE
- GULLY TRANSFORMER
- EAST OVERHEAD UTILITY LINE
- EAST LIGHT POLE
- EAST TELEPHONE LINE
- EAST ELECTRIC LINE
- EAST GAS LINE
- PROP. WATER MAIN
- PROP. WATER MAIN
- EAST HYDRANT
- EAST GATE VALVE IN BOX
- PROP. GATE VALVE IN BOX
- PROP. GATE VALVE IN WALL
- PROP. GATE VALVE IN WALL
- EAST CURB STOP & BOX
- PROP. CURB STOP & BOX
- EAST BLOW-OFF
- PROP. BLOW-OFF
- PROP. STORM SEWER
- PROP. STORM SEWER
- EAST CATCH BASIN OR INLET
- PROP. CATCH BASIN OR INLET
- EAST SANITARY SEWER
- PROP. SANITARY SEWER
- PROP. SANITARY SEWER
- PROP. CLEANOUT
- SIDEWALK RAMP
- ENCLOSED TRASH AREA
- PARKING METERS
- TELEPHONE BOSS
- CABLE TELEVISION RISER
- ELECTRIC METER
- WATER METER
- GAS METER
- POST
- SINGLE TREE
- LANDMARK TREE
- FENCE
- SECTION CORNER
- FOUND IRON PIPE
- FOUND MONUMENT
- FOUND IRON ROD

BENCHMARKS

- BM #1 - 31' SIDE WALK ON WEST SIDE OF UTILITY POLE
 ELEVATION = 816.84
- BM #2 - FOUND R.R. SINK ON EAST SIDE OF LIGHT POLE
 ELEVATION = 814.92

SCALE: 1" = 30'

811
 Know what's Below.
 Call before you dig.

SANITARY SEWER FLOW MITIGATION CALCULATIONS

Design Assumptions:
 1. Peak winter flow = 1.5 cfs
 2. Peak summer flow = 1.5 cfs

Flow Rate:
 The flow rate for the proposed building is 1.5 cfs. The flow rate for the existing building is 1.5 cfs. The total flow rate is 3.0 cfs.

Flow Mitigation:
 The flow mitigation is provided by the proposed building. The flow mitigation is 1.5 cfs.

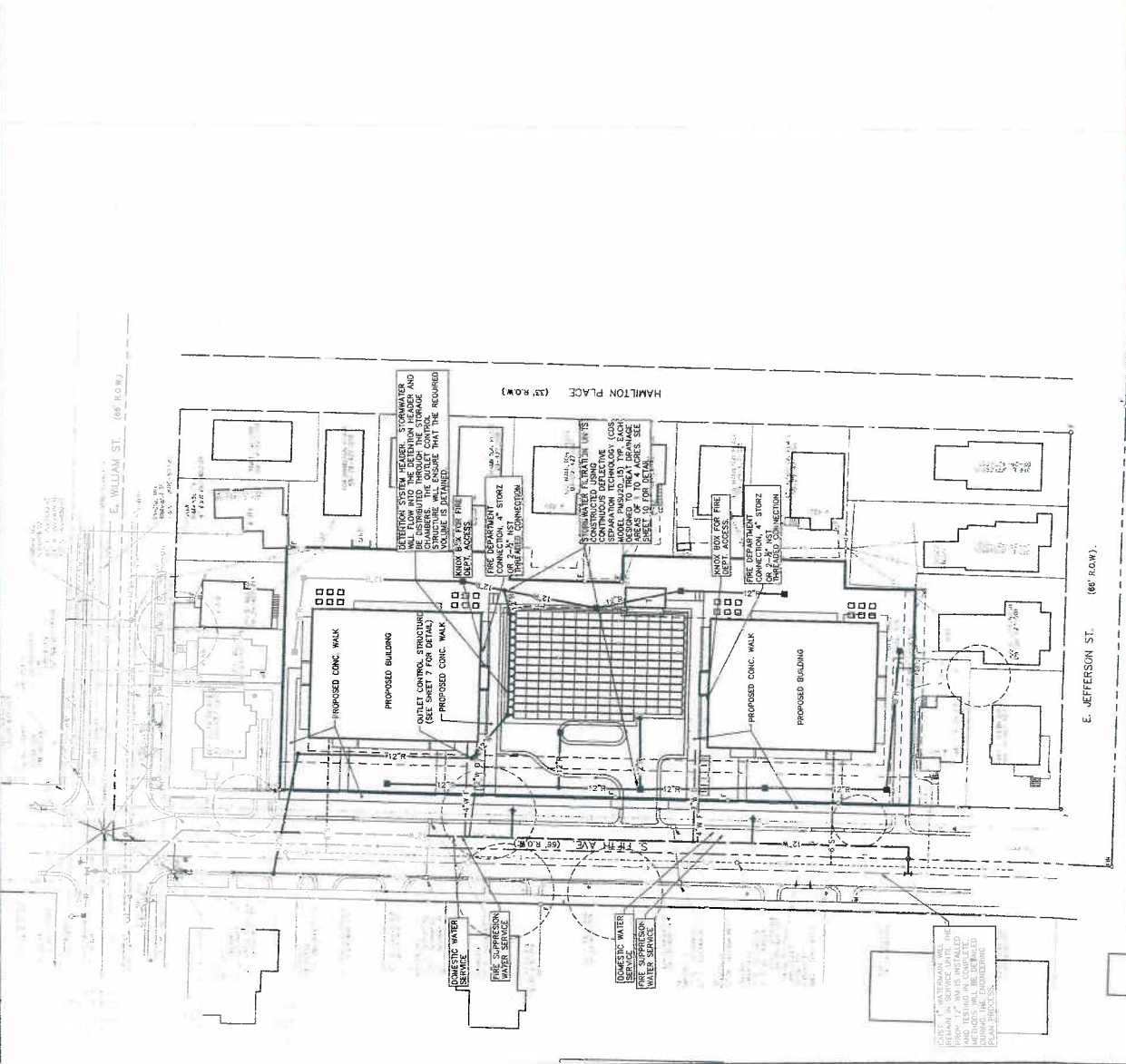
Flow Capacity:
 The flow capacity of the proposed building is 3.0 cfs. The flow capacity of the existing building is 1.5 cfs. The total flow capacity is 4.5 cfs.

Flow Distribution:
 The flow distribution is provided by the proposed building. The flow distribution is 1.5 cfs.

Flow Control:
 The flow control is provided by the proposed building. The flow control is 1.5 cfs.

Flow Monitoring:
 The flow monitoring is provided by the proposed building. The flow monitoring is 1.5 cfs.

Flow Reporting:
 The flow reporting is provided by the proposed building. The flow reporting is 1.5 cfs.



PROPOSED BUILDING

PROPOSED CONC. WALK

DOMESTIC WATER SERVICE

FIRE SUPPRESSION WATER SERVICE

SEWAGE WATER SERVICE

STORM WATER FILTERATION UNITS

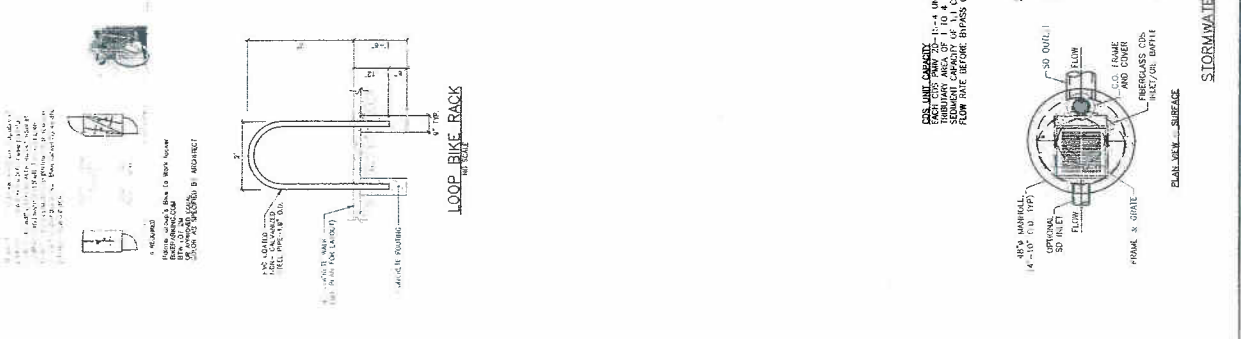
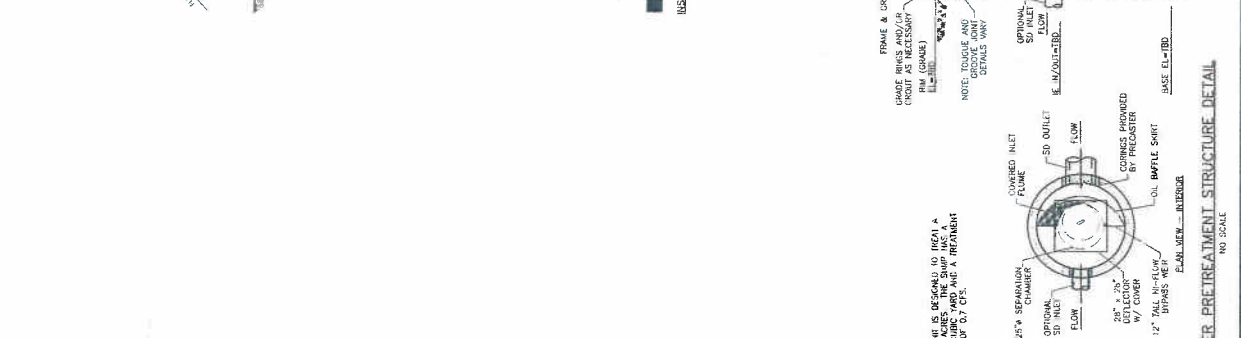
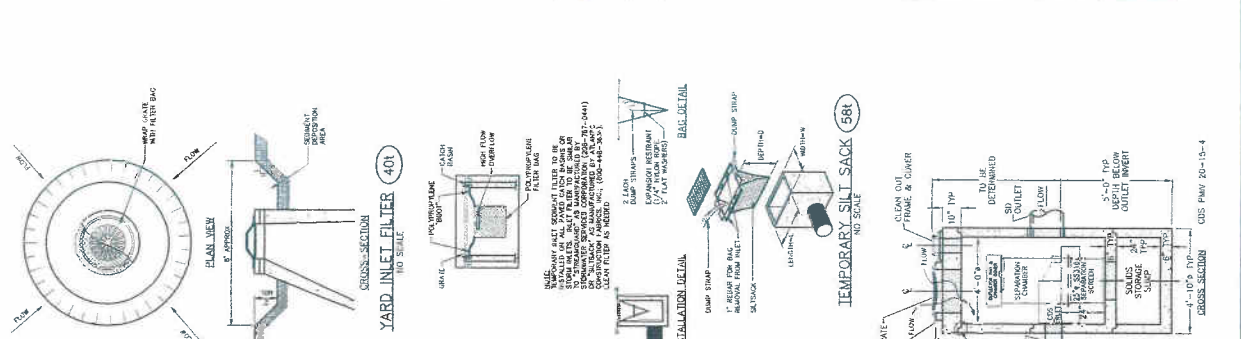
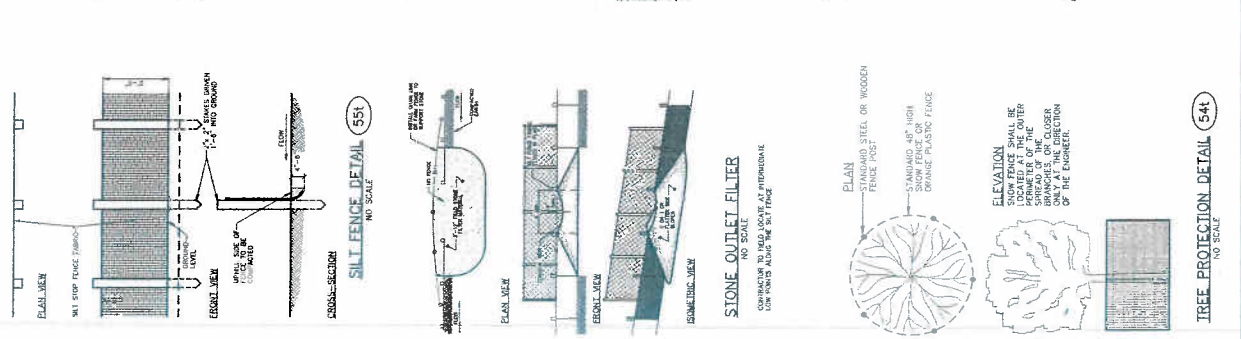
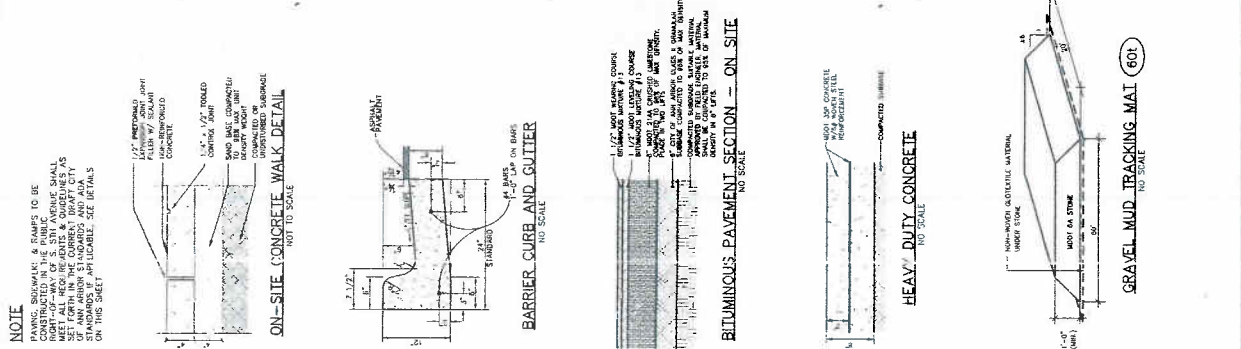
SEWAGE TREATMENT PLANT

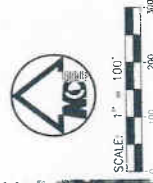
E. WILLIAM ST. (66' R.O.W.)

S. FIFTH AVE. (66' R.O.W.)

HAMILTON PLACE (33' R.O.W.)

E. JEFFERSON ST. (66' R.O.W.)





S. FIFTH AVE. STREETSCAPE (A-A)
 EASTING: 100' & 150' FROM CURB
 DATE: 1-1-09

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Color	Comment	Lamp	Foot Candles	LF	Watts
□	1A	1	1500K CLEAR	ANN UNCOATED DIFFUSER WITH PERFORATED MOUNTING REFLECTOR	ONE 1500K CLEAR NON-REFLECTING MOUNTING POSITION	1000	5.77	100
□	1C	1	1500K CLEAR	ANN UNCOATED DIFFUSER WITH PERFORATED MOUNTING REFLECTOR	ONE 1500K CLEAR NON-REFLECTING MOUNTING POSITION	1000	5.77	100
○	1A	1	1500K CLEAR	ANN UNCOATED DIFFUSER WITH PERFORATED MOUNTING REFLECTOR	ONE 1500K CLEAR NON-REFLECTING MOUNTING POSITION	600	0.22	96

STATISTICS

Symbol	Qty	Max.	Min.	Average	Length
□	1A	1.5	0.8	0.9	3.1
□	1C	1.5	0.8	0.9	N/A
○	1A	1.5	0.8	0.9	N/A

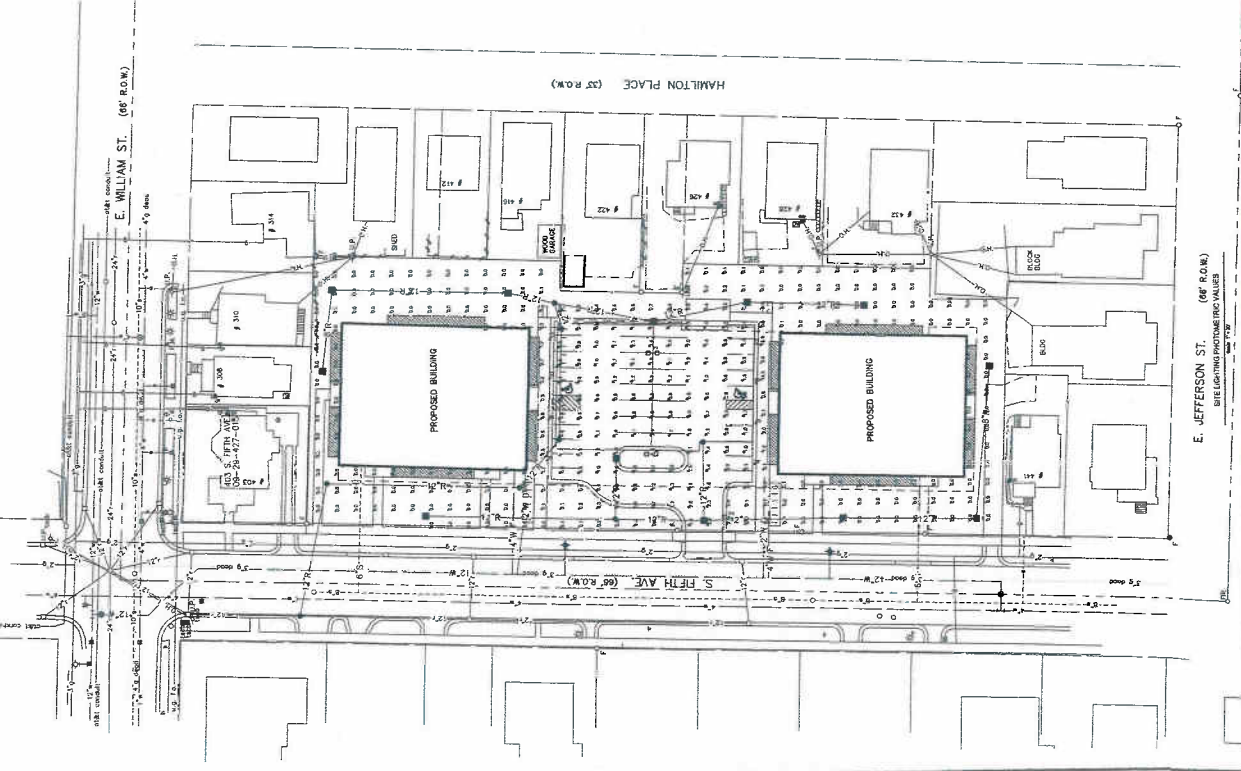
LUMINAIRE LOCATIONS

No.	Label	X	Y	Alt.	Orientation	TH
1	1A	43.5	207.5	0.0	0.0	0.0
2	1C	43.5	188.4	0.0	0.0	0.0
3	1C	43.5	169.4	0.0	0.0	0.0
4	1C	147.1	207.5	0.0	0.0	0.0
5	1C	177.3	207.5	0.0	0.0	0.0
6	1A	197.1	207.5	0.0	0.0	0.0
7	1A	123.3	207.5	0.0	0.0	0.0
8	1A	167.7	207.5	0.0	0.0	0.0
9	1A	81.2	207.5	0.0	0.0	0.0
10	1A	105.9	207.5	0.0	0.0	0.0
11	1A	150.1	207.5	0.0	0.0	0.0
12	1A	194.1	207.5	0.0	0.0	0.0
13	1A	148.5	207.5	0.0	0.0	0.0

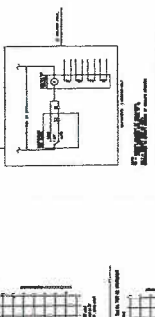
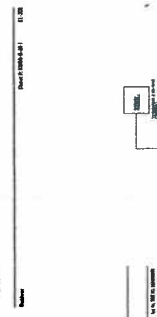
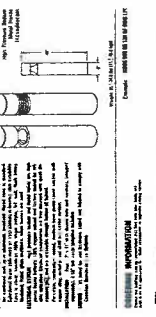
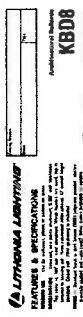
NOTES

- SEE EXHIBIT A FOR LUMINAIRE SCHEDULE.
- SEE EXHIBIT B FOR LUMINAIRE LOCATIONS.
- SEE EXHIBIT C FOR LUMINAIRE PHOTOMETRIC DATA.
- SEE EXHIBIT D FOR LUMINAIRE PHOTOMETRIC DATA.

THE DESIGNER HAS CONDUCTED VISUAL ANALYSIS OF THE LAYOUT AND HAS DETERMINED THAT THE LAYOUT IS SUITABLE FOR THE PROPOSED LUMINAIRE PLACEMENT. THE DESIGNER HAS CONDUCTED VISUAL ANALYSIS OF THE LAYOUT AND HAS DETERMINED THAT THE LAYOUT IS SUITABLE FOR THE PROPOSED LUMINAIRE PLACEMENT.



E. JEFFERSON ST. (66' R.O.W.)
S. FIFTH AVE. (66' R.O.W.)
HAMILTON PLACE (35' R.O.W.)
E. WILLIAM ST. (66' R.O.W.)



811
 Know what's below.
 Call before you dig.

LITHONIA LUMINAIRE
 10000 E. WINDYBROOK DRIVE
 ANN ARBOR, MI 48106
 TEL: 734.965.2700
 FAX: 734.965.0998
 WWW: WWW.LITHONIALUMINAIRE.COM



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City Place
M.O.R.
Lap Sided Facade

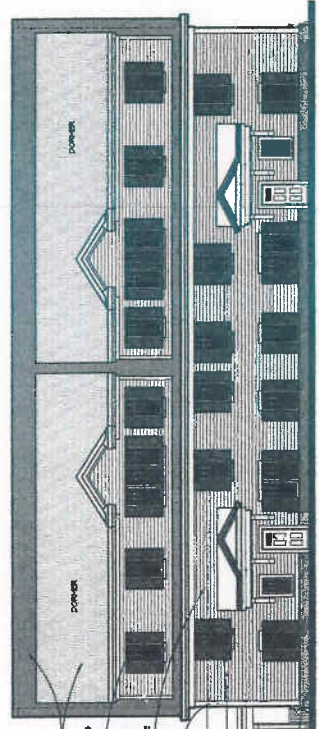
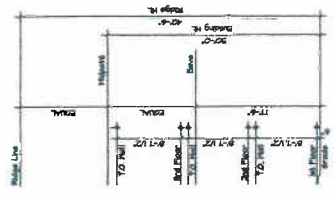
J BRADLEY MOORE
& ASSOCIATES
4644 Jackson Blvd, #150 Ann Arbor, MI 48103 (734) 930-1500

REVISIONS

Job 27106

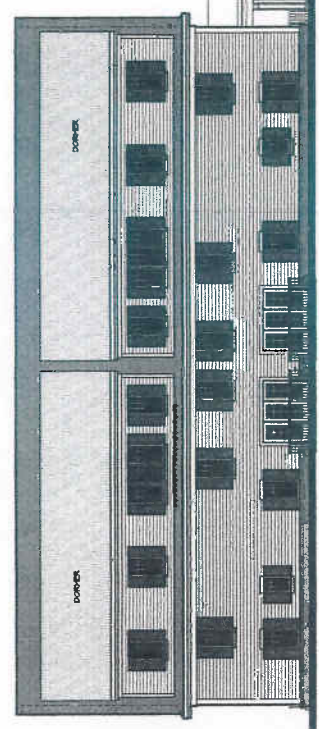
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date: 04/09/09

shl A3.9B

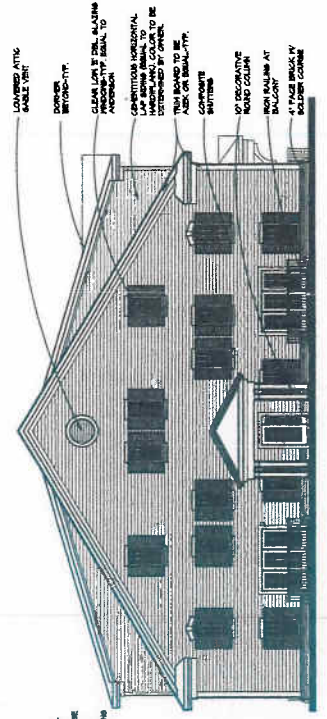


AL.T. B1' FRONT ELEVATION-WEST (south building) PITCHED ROOF
SCALE: 1/8" = 1'-0"

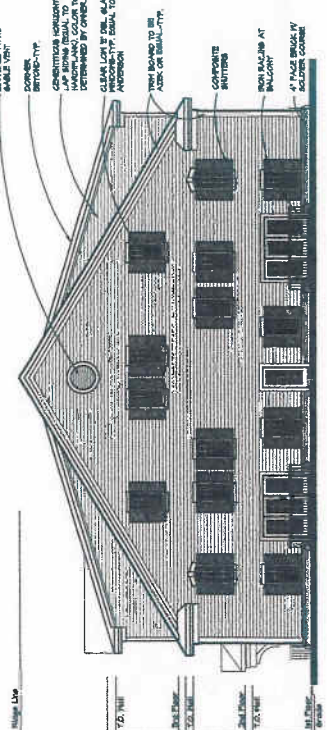
APPLY SHEETS-1111
CLEAR LOW IN THE ALUMINUM
FACED-1111 ROOF, TO
MATCH
CONCRETE MASONRY
LAP SIDING SHALL BE
HARSH AND COLOR TO BE
DETERMINED BY OWNER.
THIS SHALL BE
ADD ON SOUTH-1111.
CONCRETE
SUITES
1/2" DECORATIVE
ROUND COLUMN
4" FACE BRICK V
SUCOR CORNER



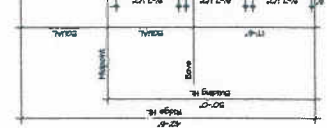
AL.T. B1' REAR ELEVATION-EAST (south building) PITCHED ROOF
SCALE: 1/8" = 1'-0"



AL.T. B1' LEFT SIDE ELEVATION-NORTH (south building) PITCHED ROOF
SCALE: 1/8" = 1'-0"



AL.T. B1' RIGHT SIDE ELEVATION-SOUTH (south building) PITCHED ROOF
SCALE: 1/8" = 1'-0"



LOWERS ATTIC
SABLE VENT
DORMER
DORMER-1111
CONCRETE MASONRY
LAP SIDING SHALL TO BE
HARSH AND COLOR TO BE
DETERMINED BY OWNER.
THIS SHALL BE
ADD ON SOUTH-1111.
CONCRETE
SUITES
1/2" DECORATIVE
ROUND COLUMN
4" FACE BRICK V
SUCOR CORNER

LOWERS ATTIC
SABLE VENT
DORMER
DORMER-1111
CONCRETE MASONRY
LAP SIDING SHALL TO BE
HARSH AND COLOR TO BE
DETERMINED BY OWNER.
THIS SHALL TO BE
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CONCRETE
SUITES
1/2" DECORATIVE
ROUND COLUMN
4" FACE BRICK V
SUCOR CORNER



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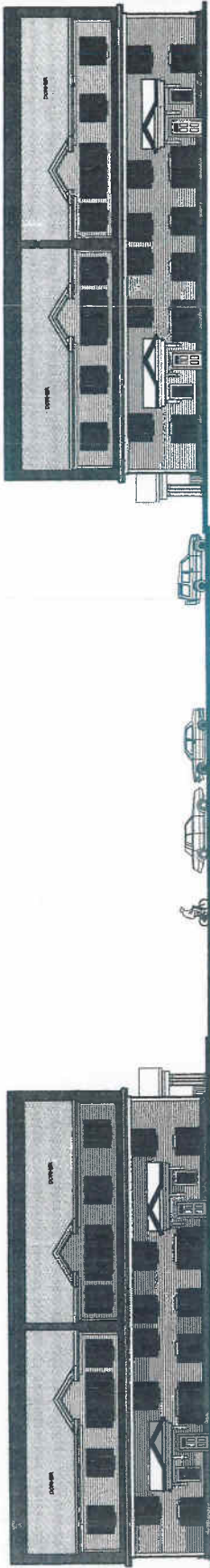
City Place
M.O.R.
Lap Sided Facade
Overall Street Elevation

J BRADLEY MOORE
& ASSOCIATES
4844 Jackson Road, #150 Ann Arbor, MI 48103 (734) 930-1500

revisions

job 27106

drawn: MJK/MJC
date: 04/09/09
sheet: A3.10B



ALT. 'B1' STREET ELEVATION-PITCHED ROOF

SCALE: 9/32" = 1'-0"



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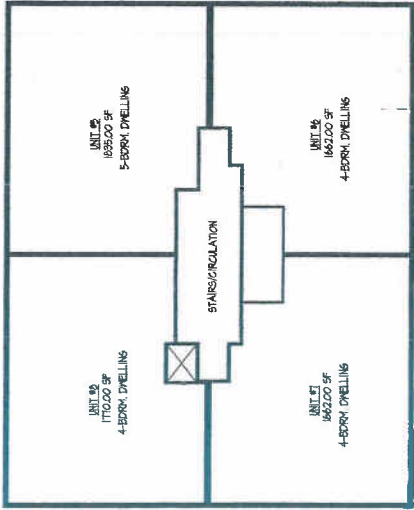
City Plans
M.O.R.
Floor Plans

J BRADLEY MOORE & ASSOCIATES
1444 Jackson Road, #150 Ann Arbor, MI 48103 (734) 930-1500

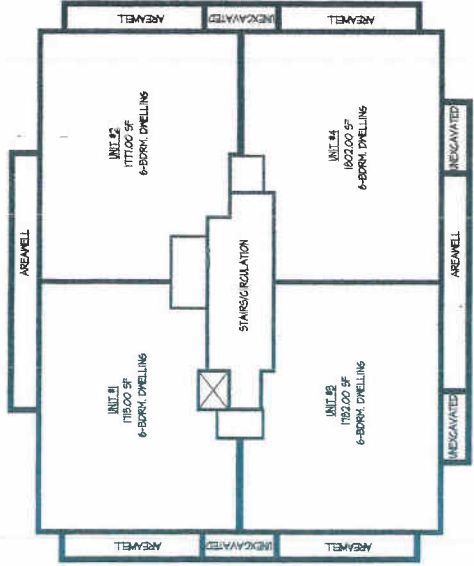
REVISIONS

job 27106

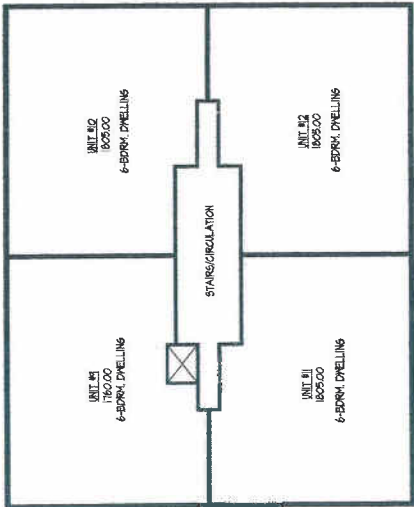
drawn h.w./MTU
date 04/09/08
sheet B1.1



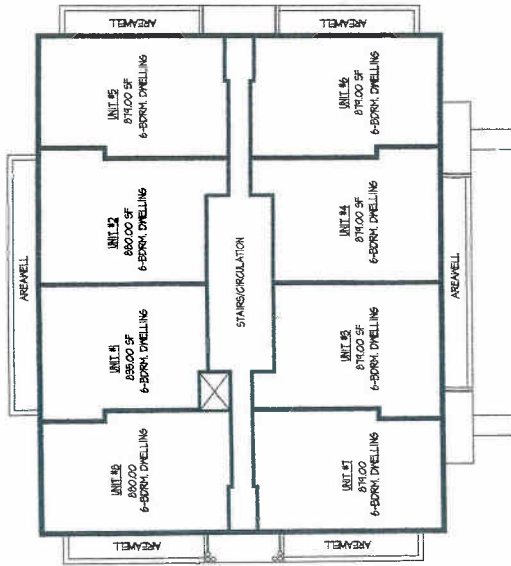
SECOND LEVEL PLAN-SOUTH BUILDING
SCALE: 1/8" = 1'-0"



LOWER LEVEL PLAN-SOUTH BUILDING
SCALE: 1/8" = 1'-0"



THIRD LEVEL PLAN-SOUTH BUILDING
SCALE: 1/8" = 1'-0"



MAIN FLOOR PLAN-SOUTH BUILDING
SCALE: 1/8" = 1'-0"



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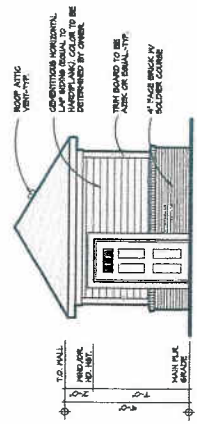
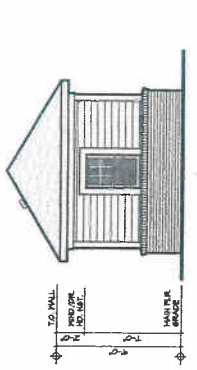
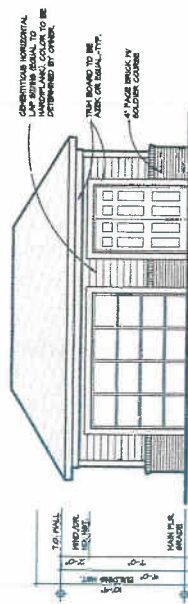
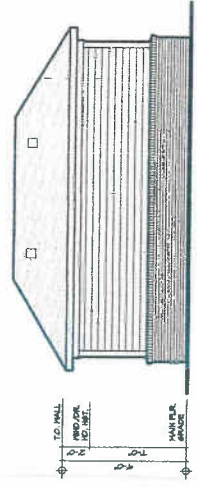
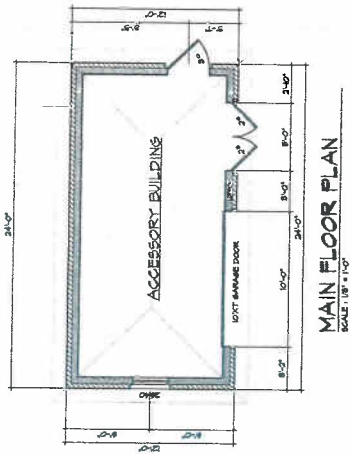
City Place Accessory Building
M.O.R.
Plan and Elevations

J BRADLEY MOORE
& ASSOCIATES
4944 Jackson Road, #150 Ann Arbor, MI 48103 (734) 930-1500

revisions

job 27106A

drawn MTU
date 04/15/09
shd B1.2



Photos of Subject Site
and
Neighboring Properties
October 30, 2011



Looking North from
309 E. Jefferson



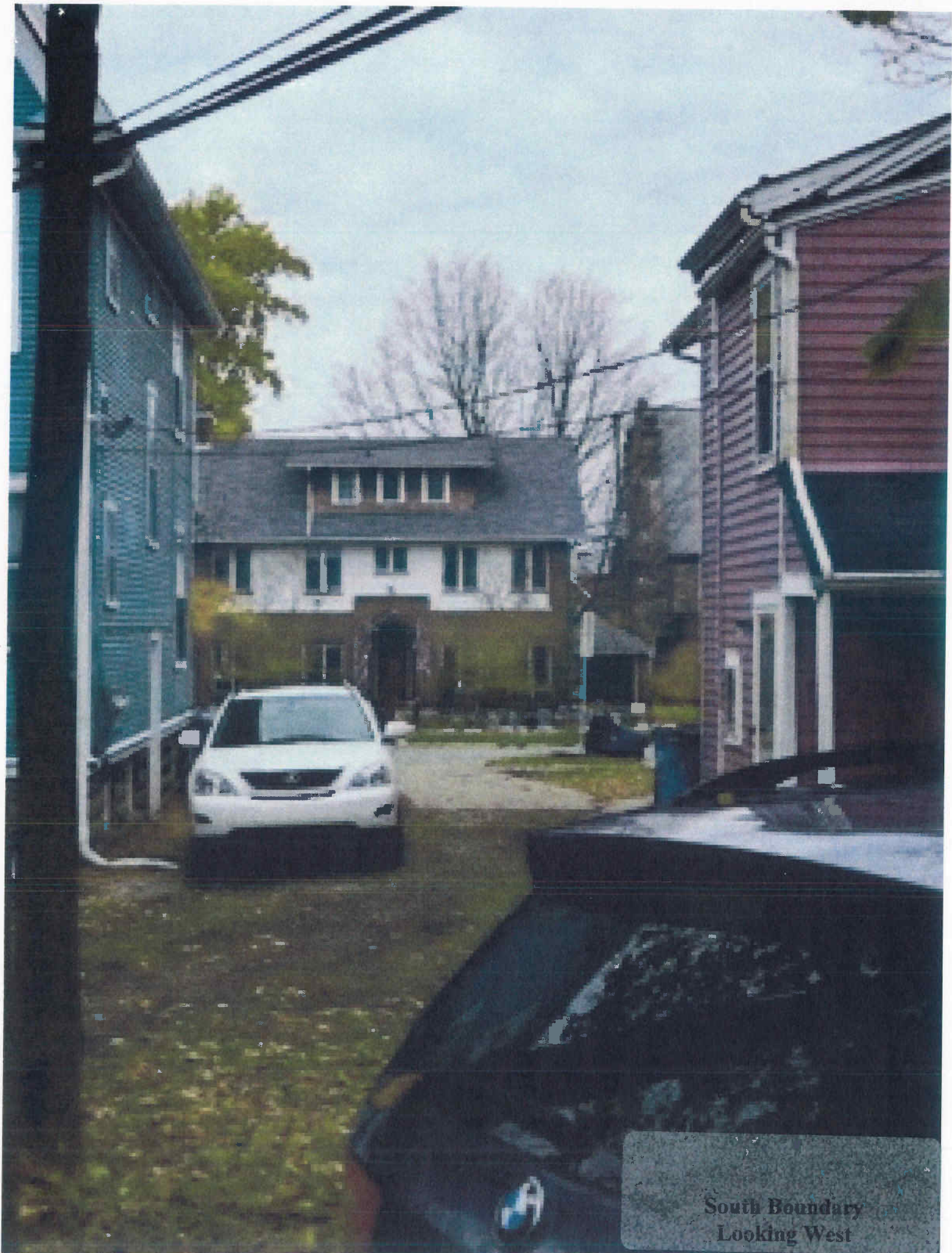
Looking North from
441 S. Fifth



South Boundary from
Opposite Sidewalk



South Boundary
from Sidewalk



South Boundary
Looking West



Streetscape Looking
North from 445 S. Fifth



View from 438 S. Fifth



View from 444 S. Fifth