

PLANNING AND DEVELOPMENT SERVICES STAFF REPORT

For Planning Commission Meeting of October 20, 2020

**SUBJECT: 2385 East Ellsworth Road Request to Amend Approval Conditions
(Special Exception Use for Medical Marijuana Provisioning
Center/Marijuana Retailer)**

File No. SEU20-007

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission, after hearing all interested persons and reviewing all relevant information, finds the amended Special Exception Use application meet the standards in Chapter 55 (Unified Development Code), Section 5.30.4.C (Approved Special Exceptions) and therefore approves a six-month extension to the land division and site plan approval conditions of the previously approved 2385 East Ellsworth Road Special Exception Use for a Medical Marijuana Provisioning Center/Marijuana Retailer. This approval is based on the following findings:

1. The amended application has been reviewed in conjunction with the previously approved Special Exception Use to determine the aggregate impact of the proposed changes in conjunction with the existing use.
2. The proposed use remains consistent with the C1 (Local Business) District, which provides for commercial retail uses as well as office and residential uses.
3. The proposed use continues to not adversely impact traffic, pedestrians, bicyclists, circulation, or road intersections based on the location. East Ellsworth Road provides access to the site, and the proposed use is consistent with other surrounding uses' traffic impact.
4. The site plan documenting the existing and proposed conditions of the site previously submitted continues as part of this application.
5. Through documentation submitted by the petitioner regarding waste disposal, inventory tracking, security, and other methods of operation of the facility, the provisioning center/retailer will be operated in a manner that will not have an adverse impact on the neighboring properties or area, and will not have a detrimental impact on natural features.

This amended Special Exception Use approval is based on the following conditions:

1. A land division application to create an approximately 8,000-square foot lot is submitted and approved by May 19, 2021, one and a half years from the City

Planning Commission approval of the previously approved petition, and the special exception use shall only apply to that lot.

2. A Site Plan for City Council for an approximately 1,500-square foot, one story commercial building must be approved by May 19, 2021, one and a half years from the City Planning Commission approval of the previously approved petition, and the special exception use may only occupy the development approved on that site plan.
3. The petitioner obtaining and maintaining both a State of Michigan Marijuana License and a City of Ann Arbor Marijuana Permit, and providing documentation to Planning Services by November 19, 2022.
4. The petitioner operating a marijuana business at this address by November 19, 2022.

And that the Ann Arbor Planning Commission approves the attached Area Plan which demonstrates compliance with the applicable Special Exception Use standards.

SUMMARY:

The applicants requests to amend a previously approved Special Exception Use for a Marijuana Provisioning Center/Marijuana Retailer by adding six months to timeline for receiving land division and site plan approval, from November 19, 2020 to May 19, 2021.

Two of the four approval conditions require separate approvals within one year of the City Planning Commission approval of the special exception use, which was November 19, 2019. The applicant cannot meet the deadline for land division and, especially, site plan approval from City Council by November 19, 2020 and asks for a six-month extension.

STAFF RECOMMENDATION:

Staff recommends that the special exception use conditions be **amended** as requested because the coronavirus pandemic has caused unexpected delays to most aspects of development, including preparing, submitting and reviewing site plans. A six-month extension to receive land division and site plan approval is a reasonable request given the circumstances.

LOCATION:

This site is located on the north side of East Ellsworth Road between Shadowood Drive and Jonathan Court, in the south planning area. Ward 3.

DESCRIPTION OF MODIFICATION:

On November 19, 2019, the Planning Commission approved a special exception use petition for a marijuana provisioning center/marijuana retailer to be located in a proposed new building at 2385 East Ellsworth Road. The plan associated with the SEU petition was considered an Area Plan, illustrating the intention for a land division of the 18,000-square foot site into two lots and building a 1,500-square foot one-story building on the southern, slightly smaller lot. The existing one-story building would be located on the northern lot.

After the SEU was approved with conditions on November 19, 2019, the applicant continued work on the proposed site plans under review. Progress to finalize a proposed site plan was slowed while the applicant's engineers designed a way to serve the new building with sanitary sewer service. The only solution is very costly and drove the applicant to look for more economical alternatives. This work slowed down considerably in the early months of the coronavirus pandemic. As a new-normal business environment was established, the applicant had an idea to divide the site in a different way so that the existing building could host the provisioning center/retailer. By August 2020, it became clear this new approach was viable and was more economical than the original approach, but it also became clear that there was not enough time for any site plans to be prepared, reviewed and approved approved by City Council by November 19, 2020.

At this time, the applicant is seeking an extension to the approval conditions so that the approval does not become invalid. During the six-month extension, the applicant will either submit site plans in compliance with the approved SEU or will submit a petition to amend the contents of the SEU and a site plan for improvements to the parking lot and general layout.

The applicant's extension request letter is attached and [linked](#) in this report.

PLANNING BACKGROUND:

Section 5.30.4.C regulates modifications to approved special exceptions. When a use has received special exception use approval, an amended application is required and the amended application is reviewed in conjunction with the previously approved special exception use to determine the aggregate impact of the proposed changes in conjunction with the existing use. The Planning Commission may a) approve the new or amend the previously-approved special exception use, b) amend the previously-approved special exception use and impose additional conditions to assure continued compatibility, or c) deny the new special exception use or new site plan for the previously-approved use. Denial of a modification does not change the status of the previously-approved special exception use.

STAFF COMMENTS:

Planning – The request to extend the approval conditions by six months is a reasonable modification considering the unanticipated complications of the engineering needed to extend sanitary sewer and the coronavirus pandemic. If the applicant is committed, there is ample time for City Council to approve a site plan by May 19, 2021.

Prepared by Alexis DiLeo, City Planner
Reviewed by Brett Lenart, Planning Manager
10/16/20

Attachments: November 19, 2019 Planning Staff Report (SEU18-034)
[Extension Request Letter from Applicant](#)

c: Petitioner – Comercial Services Property Management Inc. (28500 Franklin Rd., Southfield, MI 48322, stevensoka@gmail.com)
Property Owner – 2385 E Ellsworth Road, LLC (28500 Franklin Rd., Southfield, MI 48322)
Petitioner's Agent – Michigan Medical Cannabis Consulting, LLC (Brian Fenech, m2c2@gmail.com)
City Attorney's Office
Systems Planning
File No. SEU20-007

PLANNING AND DEVELOPMENT SERVICES STAFF REPORT

For Planning Commission Meeting of November 19, 2019

SUBJECT: 2385-A East Ellsworth Road Special Exception Use for Medical Marijuana Provisioning Center/Marijuana Retailer with Site Plan for Planning Commission Approval

File No. SEU18-034

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission, after hearing all interested persons and reviewing all relevant information, including an accompanying site plan, finds the petition substantially meet the standards in Chapter 55 (Unified Development Code), Section 5.29.5.D (Special Exceptions) and Section 5.16.3.G (Marijuana Facility), and therefore approves the 2385-A East Ellsworth Road Special Exception Use for a Medical Marijuana Provisioning Center/Marijuana Retailer. This approval is based on the following findings:

1. The proposed use will be consistent with the C1 (Local Business) District, which provides for commercial retail uses as well as office and residential uses.
2. The proposed use will not adversely impact traffic, pedestrians, bicyclists, circulation, or road intersections based on the location. East Ellsworth Road provides access to the site, and the proposed use is consistent with other surrounding uses' traffic impact.
3. A site plan documenting the existing and proposed conditions of the site has been submitted as part of this application.
4. Through documentation submitted by the petitioner regarding waste disposal, inventory tracking, security, and other methods of operation of the facility, the provisioning center will be operated in a manner that will not have an adverse impact on the neighboring properties or area, and will not have a detrimental impact on natural features.

This Special Exception Use approval is based on the following conditions:

1. A land division application to create an approximately 8,000-square foot lot is submitted and approved within one year of the City Planning Commission approval of this petition, and the special exception use shall only apply to that lot.
2. A Site Plan for City Council for an approximately 1,500-square foot, one story commercial building must be approved within one year of the City Planning

Commission approval of this petition, and the special exception use may only occupy the development approved on that site plan.

3. The petitioner obtaining and maintaining both a State of Michigan Marijuana License and a City of Ann Arbor Marijuana Permit, and providing documentation to Planning Services within three years of the City Planning Commission approval date of this petition.
4. The petitioner operating a marijuana business at this address within three years of the City Planning Commission approval date of this petition.

And that the Ann Arbor Planning Commission approves the attached Area Plan which demonstrates compliance with the applicable Special Exception Use standards.

SUMMARY:

A request for special exception use approval for a medical marijuana provisioning center to be located on a portion of a parcel at 2385 East Ellsworth Road. If approved, a land division application will be made to split the existing parcel into two lots of approximately 11,000 and 8,000 square feet, and a site plan petition will be submitted for approval of a new, approximately 1,500-square foot commercial building to house the contemplated provisioning center on the smaller, southern lot. Site plan applications have been submitted but are currently considered area plans in support of the proposed special exception use.

STAFF RECOMMENDATION:

Staff recommends that the special exception use be **approved with conditions** subject to Planning Commission consideration because, with the proposed conditions, the contemplated special exception use is of such location, size and character as to be compatible with the zoning district in which the site is situated; and the location and size of the proposed use, its nature and intensity, the site layout and access, and effect of the proposed use on public services would not be hazardous or inconvenient to the neighborhood nor unduly conflict with the normal traffic of the neighborhood.

LOCATION:

This site is located on the north side of East Ellsworth Road between Shadowood Drive and Jonathan Court, in the south planning area. Ward 3.

DESCRIPTION OF PETITION:

The petitioner seeks special exception use approval to operate a medical marijuana provisioning center/marijuana retailer in proposed 1,500-square foot building on proposed 8,000-square foot lot. The location is currently an 18,000-square foot lot, zoned C1, that cannot be assured is more than 1,000 feet from a school. The petitioner has submitted a land division application to create a lot that is more than 1,000 feet from

a school, and will proceed with the approval process for a new commercial building on the site if the requested special exception use approval is granted.

SURROUNDING LAND USES AND ZONING:

	LAND USE	ZONING
NORTH	Multiple-Family Residential Playground	C1 (Local Commercial)
EAST	Multiple-Family Residential	R4A (Multiple-Family Residential)
SOUTH	Municipal Services (Wheeler Center)	PL (Public Land)
WEST	Multiple-Family Residential Playground	C1

SPECIAL EXCEPTION USE STANDARDS:

The Planning Commission, in arriving at its decision relative to any application for a special exception, shall apply the standards shown on the attached [petition](#).

In addition, the following information is required to be submitted for provisioning centers and marijuana retailers per 5.16.3.G Marijuana Facilities:

- 1) an [operations statement](#) that describes the life cycle of marijuana on site, and general business operations;
- 2) a [safety and security plan](#) that addresses marijuana, customers, employees, and the neighborhood;
- 3) a [description](#) of methods to be used to contain all odors within the building;
- 4) a waste [disposal plan](#) for marijuana; and
- 5) [hours](#) of operation.

This required information is attached to this document as well as linked.

PLANNING STAFF COMMENTS:

The special exception use requirements as they are applied to this petition are broken down into general categories below.

Master Plan: (The [City Master Plan](#) includes 8 elements, adopted individually between 2009 and 2017, and together by resolution in 2015.) Together, the City Master Plan elements seek to guide the City towards sustainability, conservation, and increasing livability, affordability, transportation choices, and dense, mixed uses on vibrant, active, friendly streets. The [Land Use Element](#) recommends commercial use for this site.

Compatibility with the general vicinity: The use is compatible with other adjacent uses in the general vicinity.

Consistent with the neighborhood and not detrimental: General retail use is in compatible with the surrounding neighborhood, which includes multiple-family and single-family homes. Provisioning centers are proving to be similar to general retail uses in intensity and character. It should be noted that several residents have written to oppose the proposed use.

Parking: The site has enough space to accommodate a 1,500-square foot commercial building to host the proposed use, and all required development standards such as off-street parking.

Pedestrian Safety: Public sidewalks, in good condition, are present in front of this site on East Ellsworth Road. There are some gaps in the sidewalk system farther from this site.

Vehicular movement and traffic: The vehicle trips generated by a provisioning center are consistent with general retail uses found in commercial districts.

Natural Features: There are on natural features on this site. There is a landmark street tree whose critical root zone extends onto this site.

Additional required Marijuana Facility SEU information:

Operations Plan: The referenced [operation plan](#) describes the life cycle of product through the facility, storage, deliveries and cash handling.

Safety & Security: The state licensing process requires an extremely detailed and comprehensive security system. Staff does not ask for the particulars of provisioning centers' security plan since our documents are all public, unlike the state license permit application which is not. The applicant has provided an abbreviated [security plan](#) within the operations plan.

Odor Control: Lack of odor control is the most frequent complaint heard by staff about provisioning centers. The applicant has addressed [odor control](#) in their operations plan which includes air filtration methods and equipment.

Waste Disposal: The applicant has addressed [waste disposal](#) in their operations plan, stating that any marijuana waste will be reported, rendered unusable, and disposed of in a dumpster for landfill disposal.

Hours of Operations: Normal [hours of operation](#) are provided in the operation plan. They are proposed to be 9:00am to 9:00pm Monday through Saturday and 10:00am to 6:00pm on Sunday.

MAP:

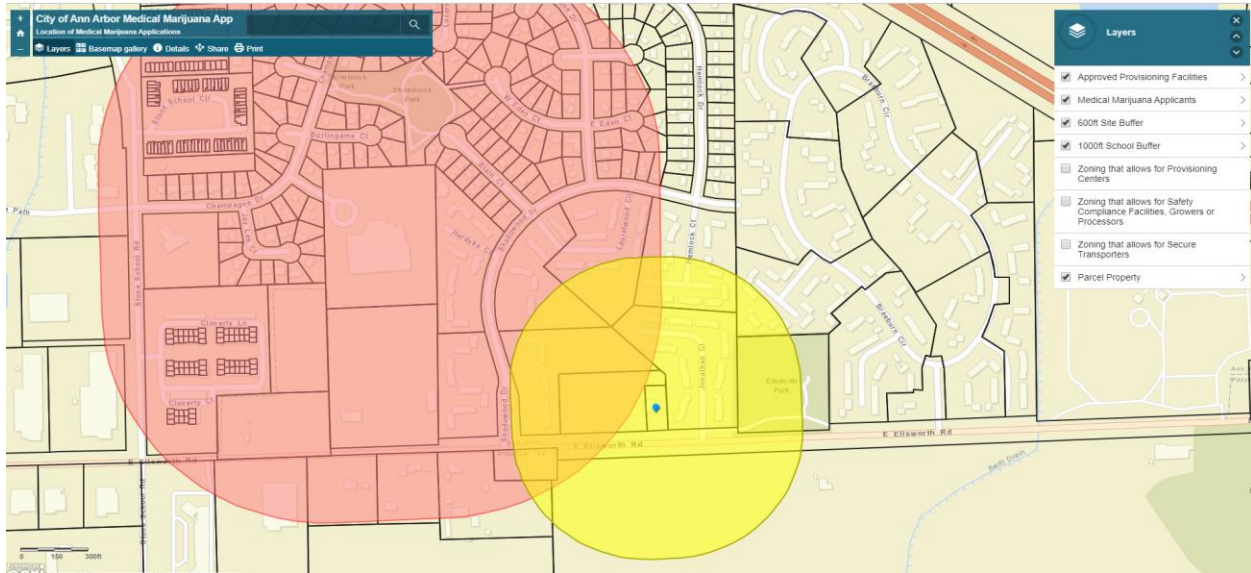


Figure 1: Marijuana Facility Buffer Map

DEPARTMENT COMMENTS:

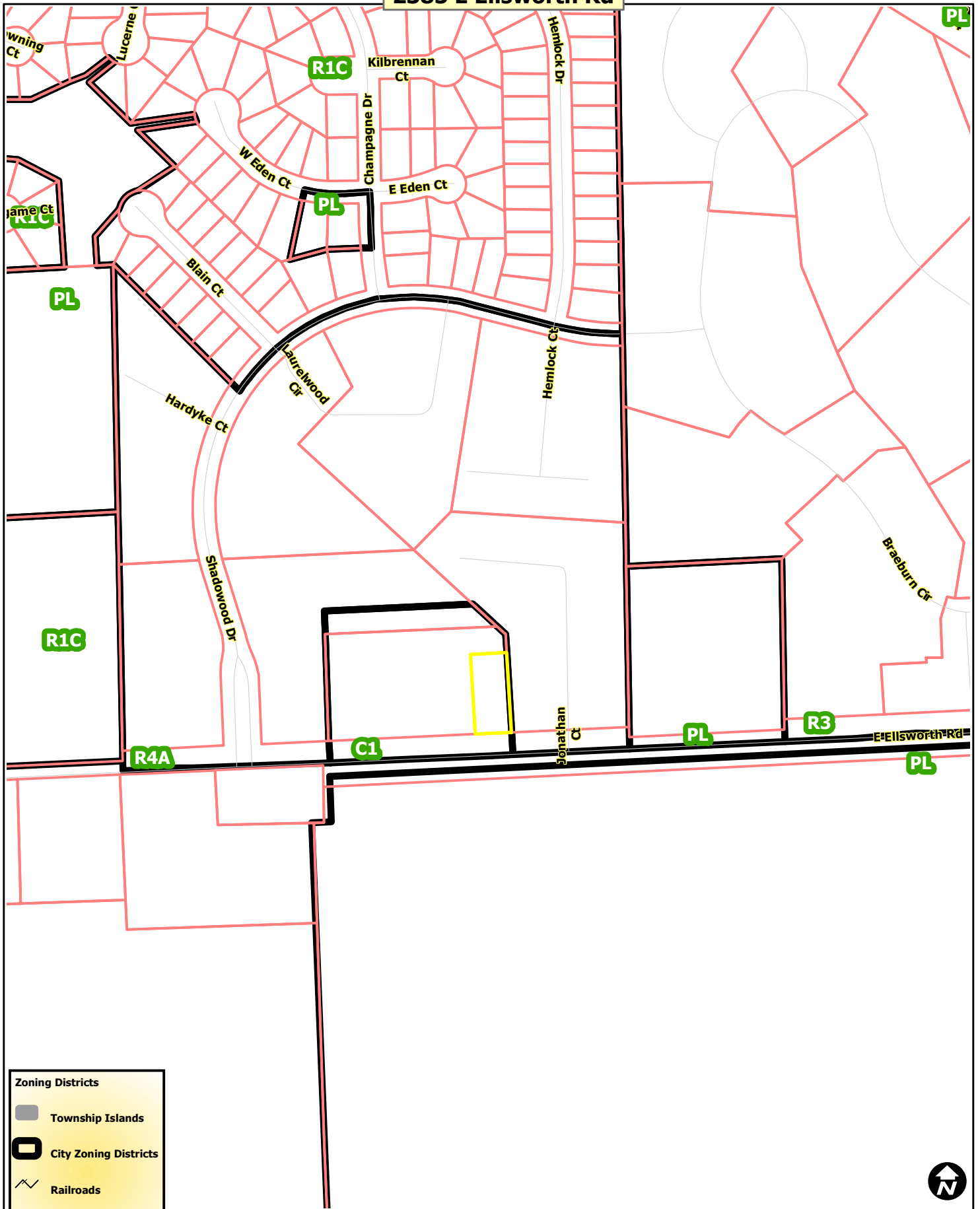
Development review staff have reviewed the application. None offer any comments regarding the proposed land use. Several have noted comments about the pending site plan application which the applicant should be able to successfully resolve with revisions.

Prepared by Alexis DiLeo, City Planner
Reviewed by Brett Lenart, Planning Manager
11/15/19

Attachments: Zoning/Parcel Maps
Aerial Photo
SEU Petition Application
Site Plan, including Floor Plan

c: Petitioner – Comercial Services Property Management Inc. (28500 Franklin Rd., Southfield, MI 48322, stevemsoka@gmail.com)
Property Owner – 2385 E Ellsworth Road, LLC (28500 Franklin Rd., Southfield, MI 48322)
Petitioner’s Agent – Michigan Medical Cannabis Consulting, LLC (Brian Fenech, m2c2@gmail.com)
City Attorney’s Office
Systems Planning
File No. SEU18-034

2385 E Ellsworth Rd



Zoning Districts

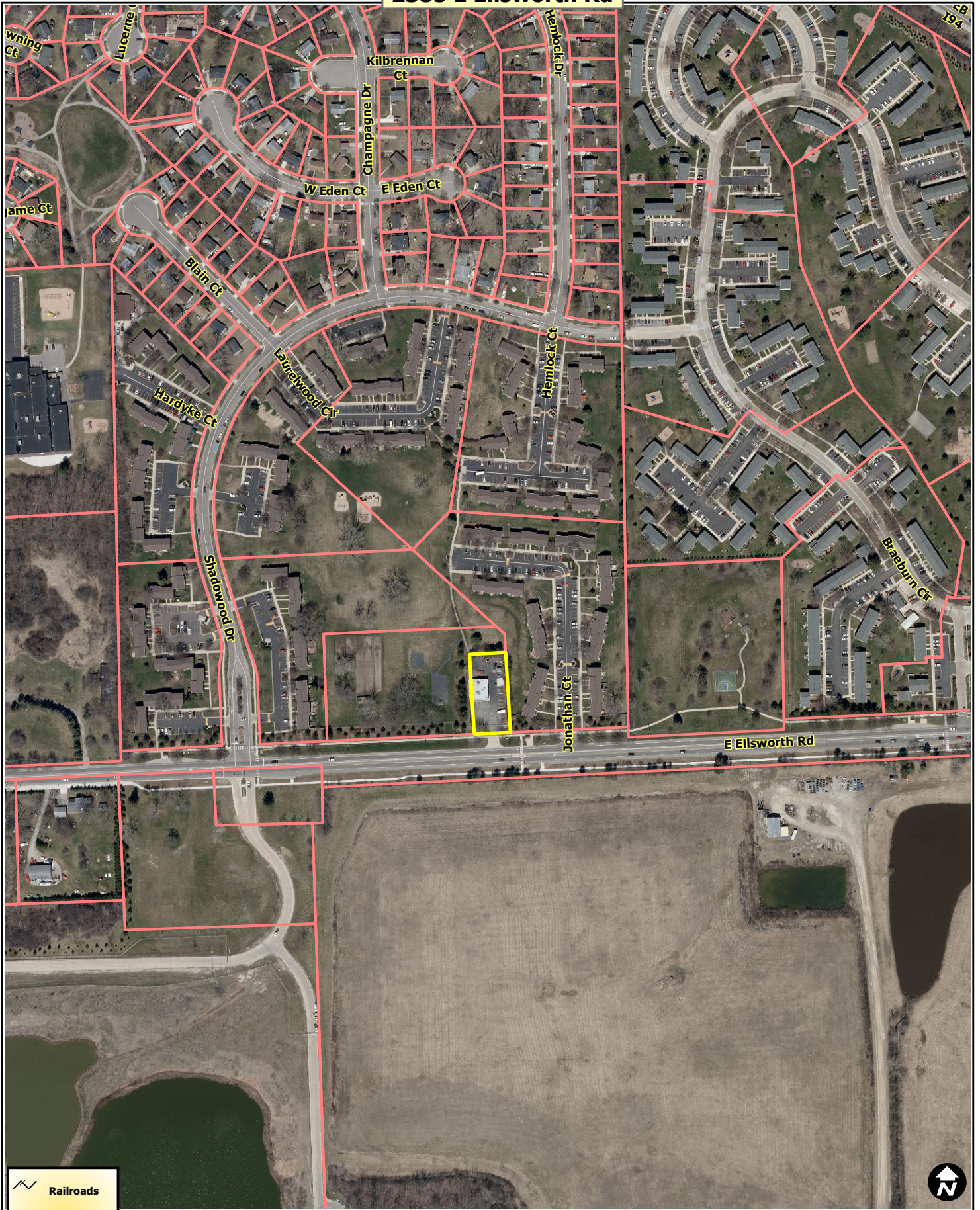
- Township Islands
- City Zoning Districts
- Railroads
- Huron River
- Tax Parcels






Map date: 9/17/2019
Any aerial imagery is circa 2018 unless otherwise noted
Terms of use: www.a2gov.org/terms



2385 E Ellsworth Rd



-  Railroads
-  Huron River
-  Tax Parcels



Map date: 9/17/2019
Any aerial imagery is circa 2018
unless otherwise noted
Terms of use: www.a2gov.org/terms

Damian Farrell Design Group

359 Melty Drive, #4A / Ann Arbor / Michigan
734.998.1331 / DFDGonline.com



2385 East Ellsworth SEU Application

2385 E Ellsworth
Ann Arbor, MI 48105

For SEU Application - 05.04.18
Pre-submittal Meeting - 03.30.18

Attachment B – Statements

Operation Statement:

The applicant is committed to using industry best practices for all operational aspects of the proposed provisioning center. Complete compliance with the MMFLA and Ann Arbor Ordinances is a top priority. The Life-Cycle of products, including product purchasing, deliveries, storage and transfers of product and cash, as well as patient flow through the facility will all be conducted in a manner that reduces the risk of security issues, promotes patients safety with issues such as proper consumption consultation, and monitoring purchase amounts to assure compliance with the MMFLA and prevent diversion.

Patient Intake:

All patients, caregivers and guests will be greeted at the reception desk and will have to present valid state ID to verify that they are 18 or over or accompanied by a parent or guardian. No person other than a valid patient or caregiver may enter the consultation area. Any returning patient or caregiver will have their Michigan Medical Marihuana Program card to verify its validity and their information will be cross-referenced in the METRC system to determine whether their daily purchase allowance has been exceeded. If the patient or caregiver's MMMP card is valid and they have not exceeded daily purchase allowances they will then be escorted through the secure reception area door and led into the waiting area until a provisioning center consultant escorts them to the consulting room.

New patients and caregivers will be required to present a valid state ID as well as a valid MMMP card and upon verification will be presented with a membership agreement which describes the provisioning center's policies and procedures as well as discloses the risks associated with the use and possession of medical cannabis. Once a new member has executed their membership agreement they will follow the same procedures as existing provisioning center patients.

No patient, caregiver or guest will be allowed entry into the facility if they are showing signs of intoxication or impairment or if they have violated the provisioning center's policies in the past. Any patient, caregiver or guest that violates policy or procedures

risks the possibility of having their membership revoked and permanent banning from the property.

Product Life-Cycle:

Purchases will be made by the provisioning center manager. All product will be purchased from licensed vendors as identified through the state's list of approved cultivators and processors. All deliveries will be made by licensed secured transporters to a secure, non-public area of the provisioning center that is under 24hr video surveillance. All product deliveries will be made at scheduled times during business hours. All product deliveries and cash leaving the provisioning center will be scanned into the state approved METRC seed to sale tracking system.

Upon receipt, all inventory will be cross checked to the purchase order for accuracy and inspected for issues such as contamination, improper labeling, improper testing, damage, and improper quality control. Once a delivery is approved all items will be scanned into the provisioning center's inventory system which will be linked to the state's METRC system. Once scanned into inventory all product will be stored in a safe in a secured area of the provisioning center which will be under 24hr surveillance. Only the amount and variety of product necessary for a particular shift will be removed from the secured storage area to the provisioning center's consultation area.

After a patient has made their selections from the consultation area, the product will be packaged in appropriate packaging and scanned out of inventory via the POS system and the inventory data will be adjusted accordingly internally and with METRC.

Safety & Security Plan:

The safety and security of the proposed provisioning center's patients, staff, and neighbors are a top priority. The proposed provisioning center will employ best practices when it comes to security. Beyond just satisfying all requirements of the MMFLA, the proposed provisioning center will utilize 3 layers of security for the property itself. Along with exterior lighting, HD cameras will provide 360 degree coverage of the exterior of the property. The building itself will have HD cameras at the exterior and interior at all points of entry and egress. The Interior of the provisioning center will have complete camera coverage for all patient areas of the facility as well as additional cameras positioned to capture all activity in the cash and cannabis storage areas of the facility. All video captured will be stored for a period of 30 days with the exception of cash and cannabis storage areas which will be preserved for a minimum of 3 years. All cameras will have a real-time feed to the Ann Arbor Police department, and the facility will be contracting with a security monitoring company that will monitor the provisioning center 24hrs a day for break-ins, and hold-up/robbery remotes and door alarms will be accessible to all staff. All staff and patients will enter through a Meter 6M multi-purpose, multi-zone metal detector/body scanner.

Odor Mitigation:

The highest industry standards for odor mitigation will be used. A commercial grade HEPA air filtration system will be installed, and charcoal filters will be used throughout the provisioning center and in close proximity to exterior doors and areas where any onsite preparation of cannabis products, such as packaging of medical marijuana flowers, will be conducted. All filters will be cleaned and changed on a regular schedule and all products will be stored in airtight containers.

Waste Disposal:

All non-marijuana waste will be disposed of in city provided containers outside of the provisioning center with anticipated pickup twice per week. Any and all medical marijuana related waste will be stored in locked containers marked as medical marijuana waste" and stored in a locked area inside of the provisioning center until it is removed from the facility by an employee and taken to an appropriate waste disposal site for composting.

Hours of Operation:

We intend to have the following hours of operation:

Monday – Saturday:	9am-9pm
Sunday:	10am-6pm

Closed certain Holidays including Thanksgiving and Christmas.

2385 E ELLSWORTH

SOUTH PARCEL A CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN SITE PLAN

OWNER

2385 E ELLSWORTH ROAD LLC
28500 FRANKLIN ROAD
SOUTHFIELD, MI 48304
PH (248) 231-6016
ATTN: STEVE SOKA

ARCHITECH

DAMIEN FARREL DESIGN GROUP
359 METTY DRIVE, SUITE 4A
ANN ARBOR, MI 48103
PH (734) 998-1331
ATTN: KYLE GONZALEZ

SURVEYOR/CIVIL ENGINEER

MIDWESTERN CONSULTING, LLC
3815 PLAZA DR.
ANN ARBOR, MI 48108
PH (734) 995-0200
ATTN: HEATH HARTT, PE

LEGAL DESCRIPTIONS - PROPOSED SOUTH PARCEL

SOUTH PARCEL

PROPOSED PARCEL OF LAND LOCATED IN THE SW 1/4 OF SECTION 10, T3S, R6E, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN.

Commencing at the SE corner of Lot 122, Arbor Oaks Subdivision No. 1, also being the POINT OF BEGINNING;
thence S87°54'33"W 95.00 feet along the North right-of-way line of E. Ellsworth Rd. (120' wide);
thence N02°05'35"W 87.19 feet;
thence N87°54'25"E 95.00 feet;
thence S02°05'35"E 87.19 feet along the East line of said Lot 122 of Arbor Oaks Subdivision No.1 to the POINT OF BEGINNING. Being part of Lot 122 of Arbor Oaks Subdivision No.1 and also part of SW 1/4 of Section 10, T3S, R6E, City of Ann Arbor, Washtenaw County, Michigan, and containing 0.19 acres of land more or less. Being subject to easements and restrictions of record, if any.

SUBJECT TO the following variable width access and public utility easement described as the following:

Commencing at the SE corner of Lot 122, Arbor Oaks Subdivision No. 1, as recorded in Liber 19 of Plats, Pages 67-71, Washtenaw County Records; thence S87°54'33"W 6.00 feet along the North right-of-way line of E. Ellsworth Rd. (120' wide) to the POINT OF BEGINNING;
thence continuing S87°54'33"W 55.80 feet along said North right-of-way line;
thence N02°05'27"W 71.69 feet;
thence S88°04'57"W 27.75 feet;
thence N02°05'57"W 15.41 feet;
thence N87°54'25"E 83.55 feet;
thence S02°05'35"E 87.20 feet to the POINT OF BEGINNING. Being part of Lot 122 of Arbor Oaks Subdivision No.1 and also part of SW 1/4 of Section 10, T3S, R6E, City of Ann Arbor, Washtenaw County, Michigan. Being subject to easements and restrictions of record, if any.

LEGAL DESCRIPTIONS - PROPOSED NORTH PARCEL

NORTH PARCEL

PROPOSED PARCEL OF LAND LOCATED IN THE SW 1/4 OF SECTION 10, T3S, R6E, CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN.

Commencing at the SE corner of Lot 122, Arbor Oaks Subdivision No. 1, N02°05'35"W 87.19 feet along the East line of said Lot 122 of Arbor Oaks Subdivision No.1 feet to the POINT OF BEGINNING;
thence S87°54'25"W 95.00 feet;
thence N02°05'35"W 122.81 feet;
thence N87°54'33"E 95.00 feet;
thence S02°05'35"E 122.81 feet along said East line of Lot 122 to the POINT OF BEGINNING. Being part of Lot 122 of Arbor Oaks Subdivision No.1 and also part of SW 1/4 of Section 10, T3S, R6E, City of Ann Arbor, Washtenaw County, Michigan, and containing 0.27 acres of land more or less. Being subject to easements and restrictions of record, if any.

TOGETHER WITH the following variable width access and public utility easement described as the following:

Commencing at the SE corner of Lot 122, Arbor Oaks Subdivision No. 1, as recorded in Liber 19 of Plats, Pages 67-71, Washtenaw County Records; thence S87°54'33"W 6.00 feet along the North right-of-way line of E. Ellsworth Rd. (120' wide) to the POINT OF BEGINNING;
thence continuing S87°54'33"W 55.80 feet along said North right-of-way line;
thence N02°05'27"W 71.69 feet;
thence S88°04'57"W 27.75 feet;
thence N02°05'57"W 15.41 feet;
thence N87°54'25"E 83.55 feet;
thence S02°05'35"E 87.20 feet to the POINT OF BEGINNING. Being part of Lot 122 of Arbor Oaks Subdivision No.1 and also part of SW 1/4 of Section 10, T3S, R6E, City of Ann Arbor, Washtenaw County, Michigan. Being subject to easements and restrictions of record, if any.

NATURAL FEATURES IMPACT STATEMENTS

TREE IMPACTS - NO LANDMARK TREES ARE LOCATED ON THE SITE.

WOODLANDS - NO WOODLANDS ARE LOCATED ON THE SITE.

FLOODPLAINS/WATERCOURSES - NO FLOODPLAINS OR WATERCOURSES ARE LOCATED ON THE SITE.

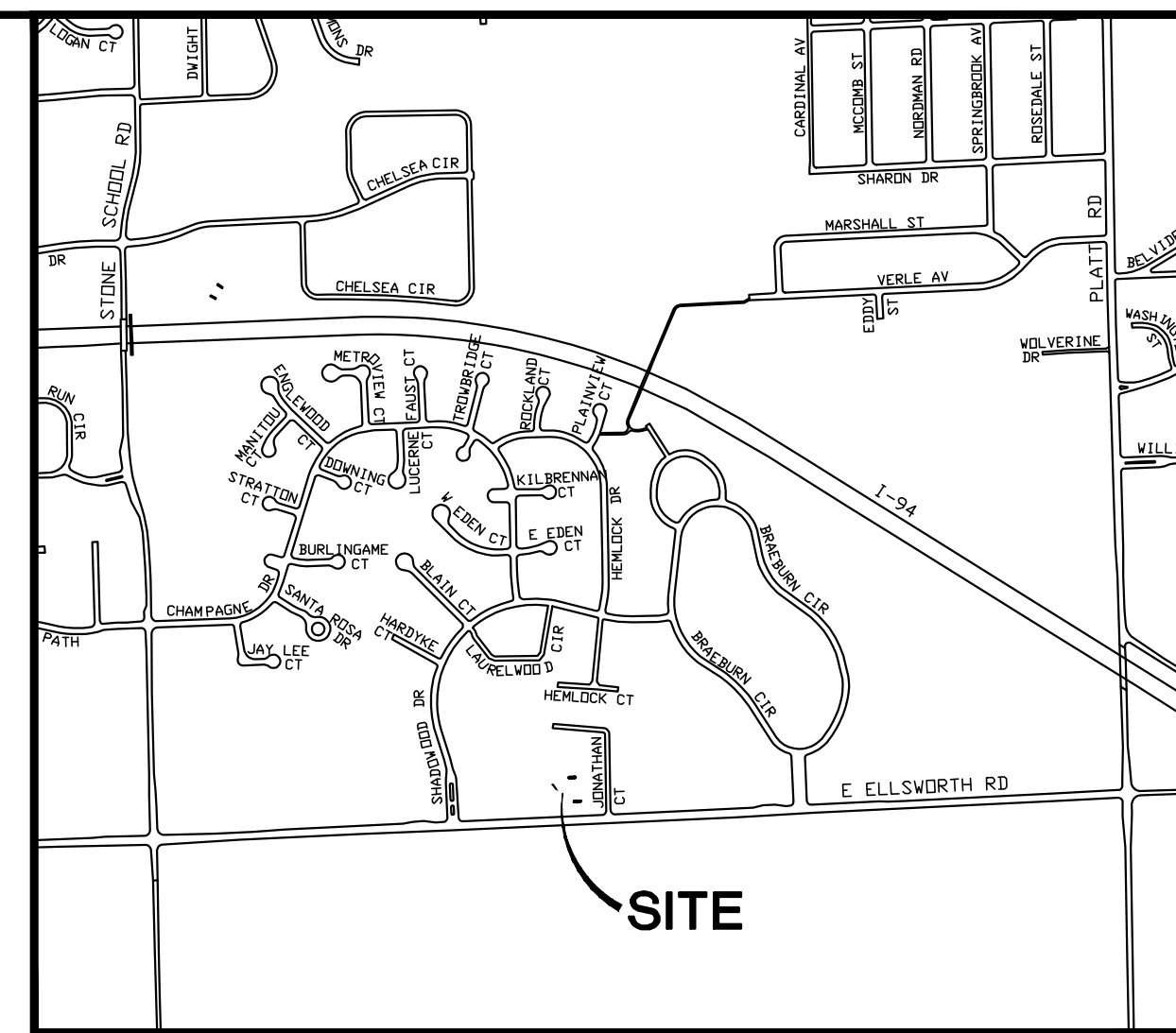
WETLANDS - NO WETLANDS ON THE SITE.

STEEPSLOPES - NO STEEP SLOPES ARE LOCATED ON THE SITE.



OVERALL SITE

1" = 40'



VICINITY MAP
NOT TO SCALE



Sheet Index

#	SHEET TITLE
01	COVER
02	EXISTING CONDITIONS & ALTA SURVEY
03	REMOVALS
04	DIMENSIONAL SITE PLAN
05	GRADING AND SOIL EROSION CONTROL PLAN
06	UTILITY PLAN
07	STORMWATER MANAGEMENT PLAN
08	LANDSCAPE PLAN
09	FIRE PROTECTION AND REFUSE PLAN
10	SITE DETAILS
11	PHOTOMETRIC PLAN
A0.00	PERSPECTIVE & STREETWALL
A1.00	FLOOR PLAN & SECTION
A4.00	ELEVATIONS

LAND DIVISION ZONING COMPARISON CHART

LAND DIVISION	Existing Parent Parcel	Parcel B	Parcel A
ZONING COMPARISON	Required/ Permitted	Proposed	Proposed
Zoning:	C1	C1	C1
Building Height	35 ft		
Max Stories	3	1	1
Minimum Lot Area	2,000 sq ft	11,666sf	8,283sf
Minimum Width	20 ft	95ft	95ft
FAR	100% max.	22%	19%
Floor Area per Non-Residential Use	8000sf max.	2,487sf	1,532sf
Setbacks	10 ft min/ 25 ft max	10 ft	14 ft
Side - West	0/30"	0 ft existing	3 ft
Side - East	0/30"	44 ft existing	62 ft
Rear	0/30"	62 ft existing	20 ft
Vehicular Parking	Min 1 per 310 sf Max 1 per 265 sf	8 min, 9 max required 9 provided	5 min/ 6 max required 6 provided
Bicycle Parking	1 per 3,000 sf Floor Area (50% B/C)	1 space required 0 provided - shared	1 space required 2 provided - shared
Traffic			Total: 404 Trips AM Peak: 33 Trips PM Peak: 48 Trips

* 30' where abutting Residential Zoned Land, otherwise none
+ 1ft. per building ht ft over 30 ft

DEVELOPMENT PROGRAM

2385 E. ELLSWORTH ROAD LLC CURRENTLY OWNS THE RIGHTS TO THE PROPERTY AT 2385 E ELLSWORTH ROAD, ANN ARBOR. THE PROPOSED PROJECT CONSISTS OF A LOT SPLIT AND THE CONSTRUCTION OF A NEW SINGLE STORY BUILDING TO BE USED AS A MEDICAL MARIJUANA DISPENSARY. THE EXISTING BUILDING WILL REMAIN AS THE CURRENT USE AND IS LOCATED ON THE REMAINDER PARCEL. CONSTRUCTION WILL OCCUR AS A SINGLE PHASE, WITH WORK STARTING IN THE SPRING OF 2020.

COMMUNITY ANALYSIS

THE PROPOSED DEVELOPMENT IS LOCATED WITHIN C1 COMMERCIAL ZONING AND NOT LOCATED WITHIN A RESIDENTIAL DISTRICT AND NOT WITHIN A HISTORICAL DISTRICT. NO IMPACT TO SCHOOL CAPACITY IS ANTICIPATED.

GENERAL NOTES:

- PER CHAPTER 49, SECTION 4:58 OF THE CITY CODE, "ALL SIDEWALKS ARE TO BE KEPT AND MAINTAINED IN GOOD REPAIR BY THE OWNER OF THE LAND ADJACENT TO AND ABUTTING THE SAME." PRIOR TO ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY FOR THIS SITE, ALL EXISTING SIDEWALKS MUST BE REPAIRED IN ACCORDANCE WITH CITY STANDARDS.
- "THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO THE CITY OF ANN ARBOR PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS WHICH ARE INCLUDED BY REFERENCE."
- "THE OMISSION OF ANY STANDARD DETAILS DOES NOT RELIEVE THE CONTRACTORS OF THEIR OBLIGATION TO CONSTRUCT ITEMS IN COMPLETE ACCORDANCE WITH PUBLIC SERVICES DEPARTMENT STANDARD SPECIFICATIONS."
- WORK IN THE ELLSWORTH RIGHT-OF-WAY REQUIRE A CITY RIGHT-OF-WAY PERMIT(S). PROJECT MANAGEMENT SHALL INSPECT ALL WORK IN THE RIGHT-OF-WAY INCLUDING BUT NOT LIMITED TO DRIVE APPROACHES, SIDEWALKS, CURB & GUTTER, UTILITIES, RELOCATION OF STREET LIGHTS, ETC.
- PUBLIC STREET LIGHT RELOCATION REQUIRED REVIEW AND APPROVAL OF THE CITY TRAFFIC ENGINEER. THE PROJECT OWNER WILL BE RESPONSIBLE FOR ALL ASSOCIATED COSTS OF THE RELOCATION.

2385 E ELLSWORTH

JOB No. 18300	DATE: 9/26/19	01
REVISIONS:	SHEET 1 OF 14	
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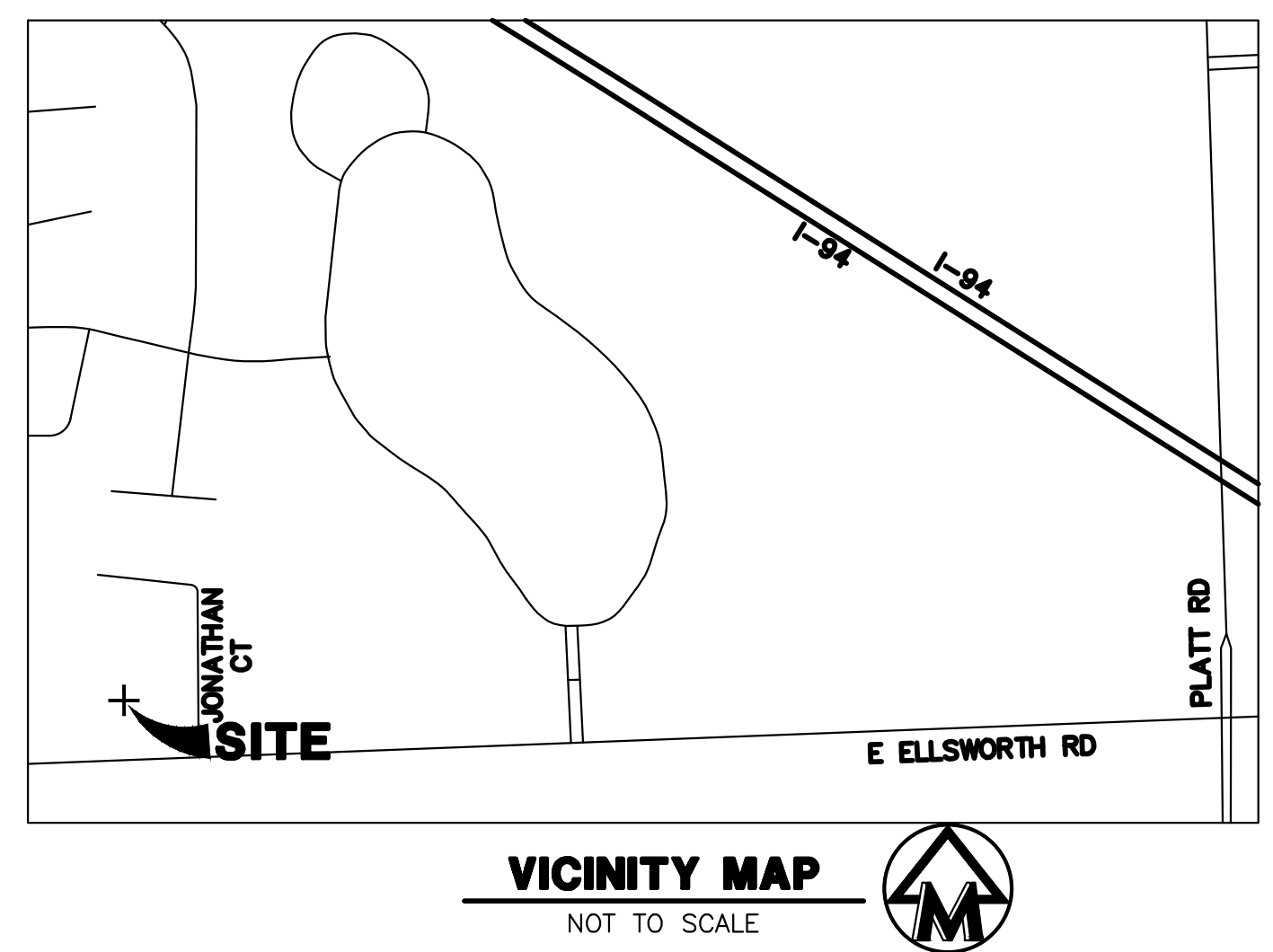
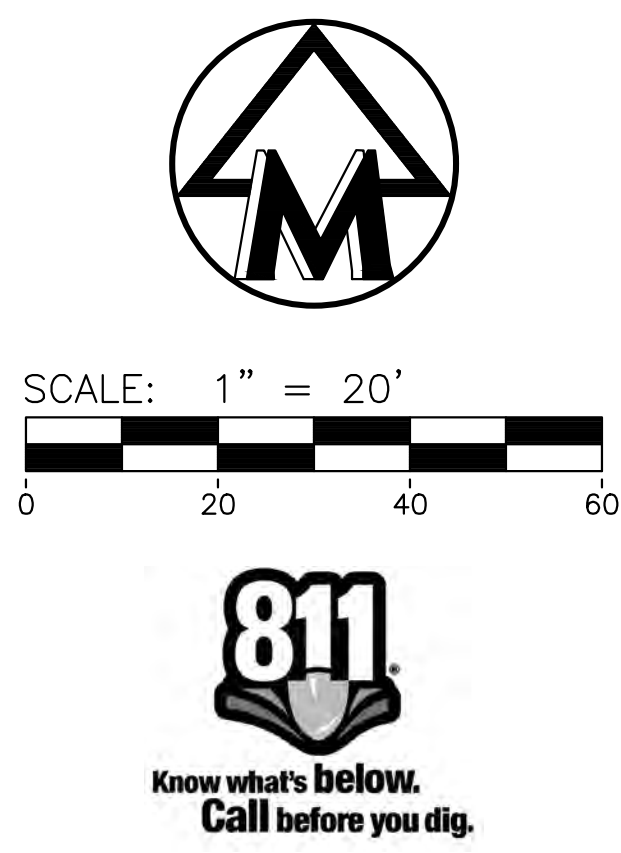
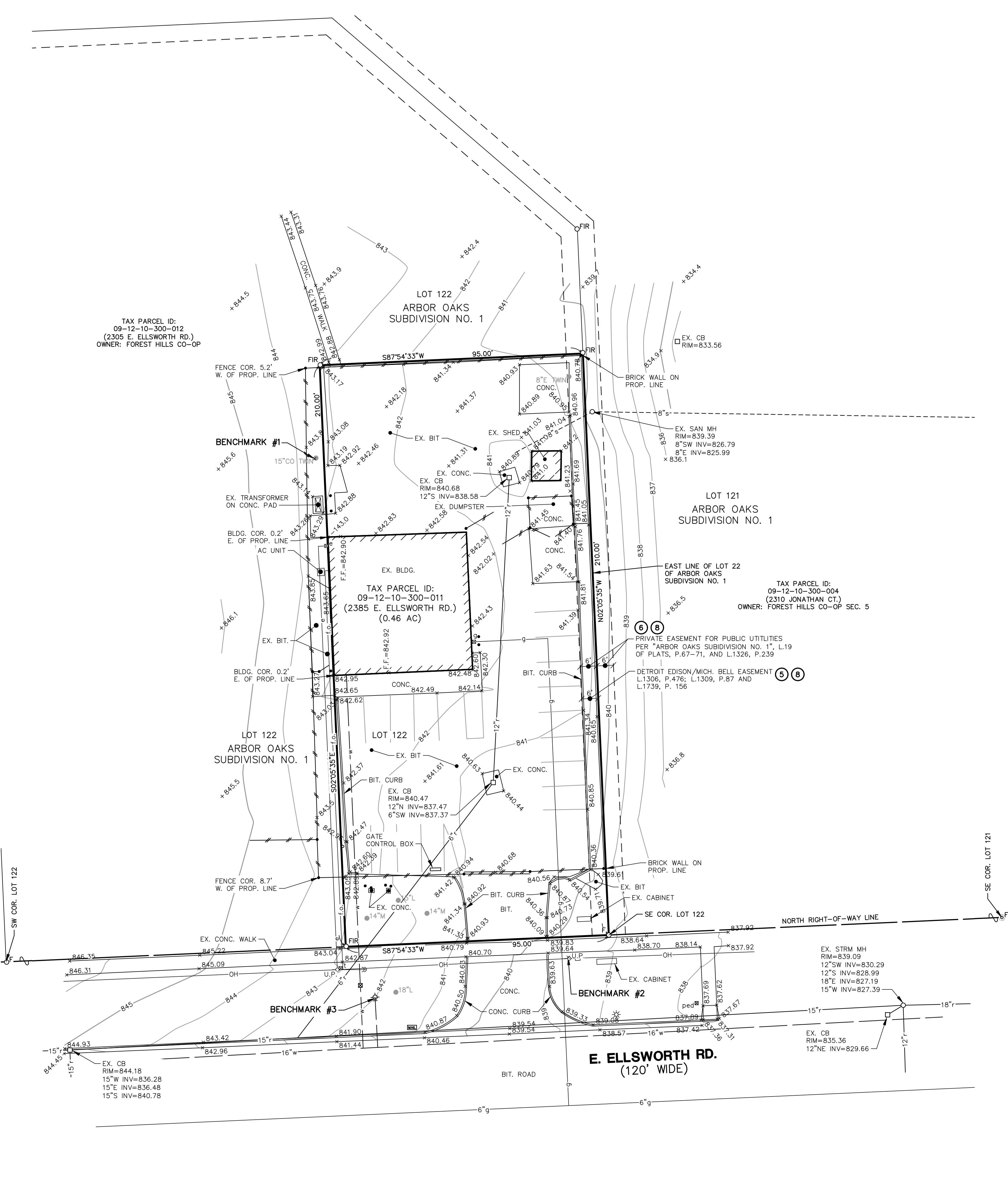


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RELEASED FOR:	DATE:	
HEATH HARTT, P.E. #56247		

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LEGAL DESCRIPTION

(from Absolute Title, Inc., File No.: 85004 Rev. 1, with Effective Date of July 19, 2019)

The Easterly 95 feet of the Southerly 210 feet of Lot 122, Arbor Oaks Subdivision No. 1, as recorded in Liber 19 of Plats, Pages 67 through 71, Washtenaw County Records.

Being more particularly described as the following: Commencing at the SE corner of Lot 122, Arbor Oaks Subdivision No. 1, as recorded in Liber 19 of Plats, pages 67 through 71, Washtenaw County records, also being the POINT OF BEGINNING;

thence S87°54'33"W 95.00 feet along the North right-of-way line of E. Ellsworth Rd. (120' wide);

thence N02°05'35"W 210.00 feet;

thence N87°54'33"E 95.00 feet;

thence S02°05'35"E 210.00 feet along the East line of said Lot 122 of Arbor Oaks Subdivision No. 1 to the POINT OF BEGINNING. Being part of Lot 122 of Arbor Oaks Subdivision No. 1 and also part of SW 1/4 of Section 10, T3S, R6E, City of Ann Arbor, Washtenaw County, Michigan, and containing 0.46 acres of land more or less. Being subject to easements and restrictions of record, if any.

EXCEPTIONS

- Building and use restrictions contained in instrument recorded in Liber 1326, Page 239, and in Liber 1688, Page 839, Washtenaw County Records, which are not accompanied by a right of reverter, but omitting any such covenant or restrictions based on race, color, religion, sex, handicap, familial status, or national origin. (NOT PLOTTABLE)
- Easement Grant and Declaration of Restrictions in favor of The Detroit Edison Company and Michigan Bell Telephone Company, as recorded in Liber 1306, Page 476, Washtenaw County Records, and Agreement pertaining thereto, as recorded in Liber 1309, Page 87, Washtenaw County Records. (PLOTTED)
- Easement for public utilities and drainage facilities, as shown on the recorded plat, and as disclosed by instrument recorded in Liber 1326, Page 239, Washtenaw County Records. (PLOTTED)
- Easements, covenants and restrictions recorded in Liber 1344, Page 193, Washtenaw County Records. (NOT PLOTTABLE)
- Right of Way in favor of The Detroit Edison Company, as recorded in Liber 1739, Page 156, Washtenaw County Records. (PLOTTED)

NOTES

- THIS SURVEY WAS PREPARED USING ABSOLUTE TITLE, INC. FILE NO. 85004 REV. 1 WITH AN EFFECTIVE DATE OF JULY 19, 2019.
- THE LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS INSURED IN THE TITLE COMMITMENT AND ANY EXCEPTIONS HAVE BEEN NOTED HEREIN.
- BEARINGS ARE BASED ON THE EAST LINE OF LOT 22 OF ARBOR OAKS SUBDIVISION NO. 1, AS RECORDED IN LIBER 19 OF PLATS, PAGES 67 THROUGH 71, WASHTENAW COUNTY RECORDS.
- SAID DESCRIBED PROPERTY IS NOT LOCATED WITHIN A 100-YEAR FLOOD PLAIN ZONE PER FLOOD INSURANCE RATE MAP NO. 26161C0402E WITH AN EFFECTIVE DATE OF APRIL 3, 2012, FOR COMMUNITY NUMBER 260213 AND 260623, IN WASHTENAW COUNTY, STATE OF MICHIGAN, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PROPERTY IS SITUATED.
- THERE IS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- THERE IS NO OBSERVED EVIDENCE OF THIS BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- THERE IS NO OBSERVED EVIDENCE INDICATING ANY CEMETERIES ARE LOCATED ON THE PARCEL HEREIN DESCRIBED.
- SITE ADDRESS: 2385 E. ELLSWORTH, ANN ARBOR MI

SURVEYORS CERTIFICATE

To: 2385 East Ellsworth Road, LLC, a Michigan limited liability company, Absolute Title, Inc.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 8, 11, 13, and 16 of Table A thereof. The fieldwork was completed on November 11, 2018.

MIDWESTERN CONSULTING, LLC

By: *Mark Vander Veen*
Mark Vander Veen, P.S. No. 56788

Date: September 11, 2019



The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

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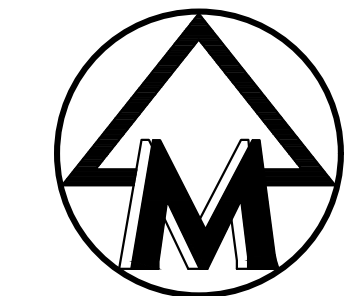
2385 E ELLSWORTH
SITE PLAN
EXISTING CONDITIONS AND ALTA

02

DATE: 9/26/19	REV. DATE:
SHEET 2 OF 14	REV. DATE:
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ENG. HTH	PM. HTH
TECH. HTH	DATEX.ORG
FILE	FILE

JOB NO. **18300**

M:\Civ\130_Proj\18300\Site Plan\18300RM.dwg, 9/26/2019 8:14 AM, Heath Hertl, 03 REMOVALS, MCLLC PDF, pp3
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SCALE: 1" = 20'



Know what's Below.
Call before you dig.

LEGEND

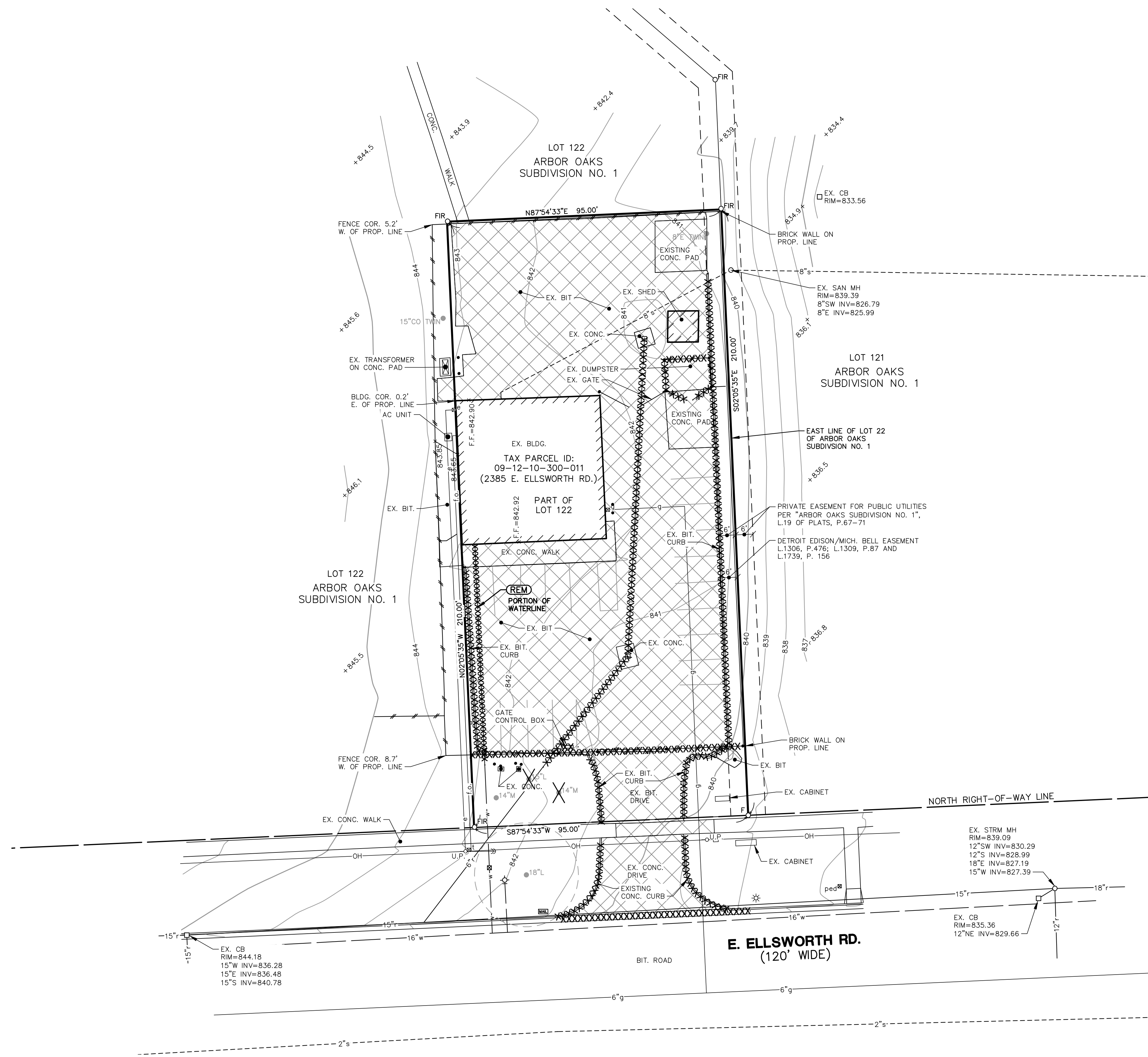
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	EXIST. SPOT ELEVATION
	EXIST. UTILITY POLE
	GUY WIRE
	EXIST. OVERHEAD UTILITY LINE
	EXIST. ELECTRIC LINE
	EXIST. GAS LINE
	EXIST. FIBER OPTIC LINE
	EXIST. WATER MAIN
	EXIST. HYDRANT
	EXIST. GATE VALVE IN BOX
	EXIST. STORM SEWER
	EXIST. CATCH BASIN OR INLET
	EXIST. SANITARY SEWER
	EXIST. SANITARY SEWER SIGN
	PEDESTRIAN CROSSING SIGNAL
	MAILBOX
	TELEPHONE RISER
	ELECTRIC METER
	GAS METER
	POST
	FENCE
	SINGLE TREE
	SECTION CORNER
	FOUND IRON PIPE
	FOUND IRON ROD
	CONTROL PT.
	REMOVALS
	X

TREE LEGEND

	COTTONWOOD
	ELM
	LOCUST
	MAPLE

NOTES

1. ALL DISTURBED AREAS (IN ADDITION TO THOSE SHOWN) ARE TO BE RESTORED AND STABILIZED IN KIND.



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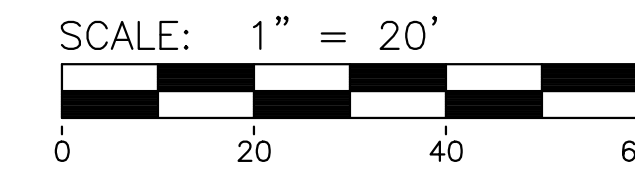
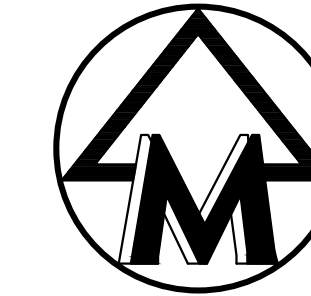
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2385 E ELLSWORTH
 SITE PLAN
 REMOVALS

03

JOB No.	18300
DATE:	9/26/19
SHEET:	3 OF 14
REV. DATE:	
CADD:	
ENG.:	HTH
PM.:	HTH
TECH.:	HTH
DATE:	9/26/19
BY:	HTH

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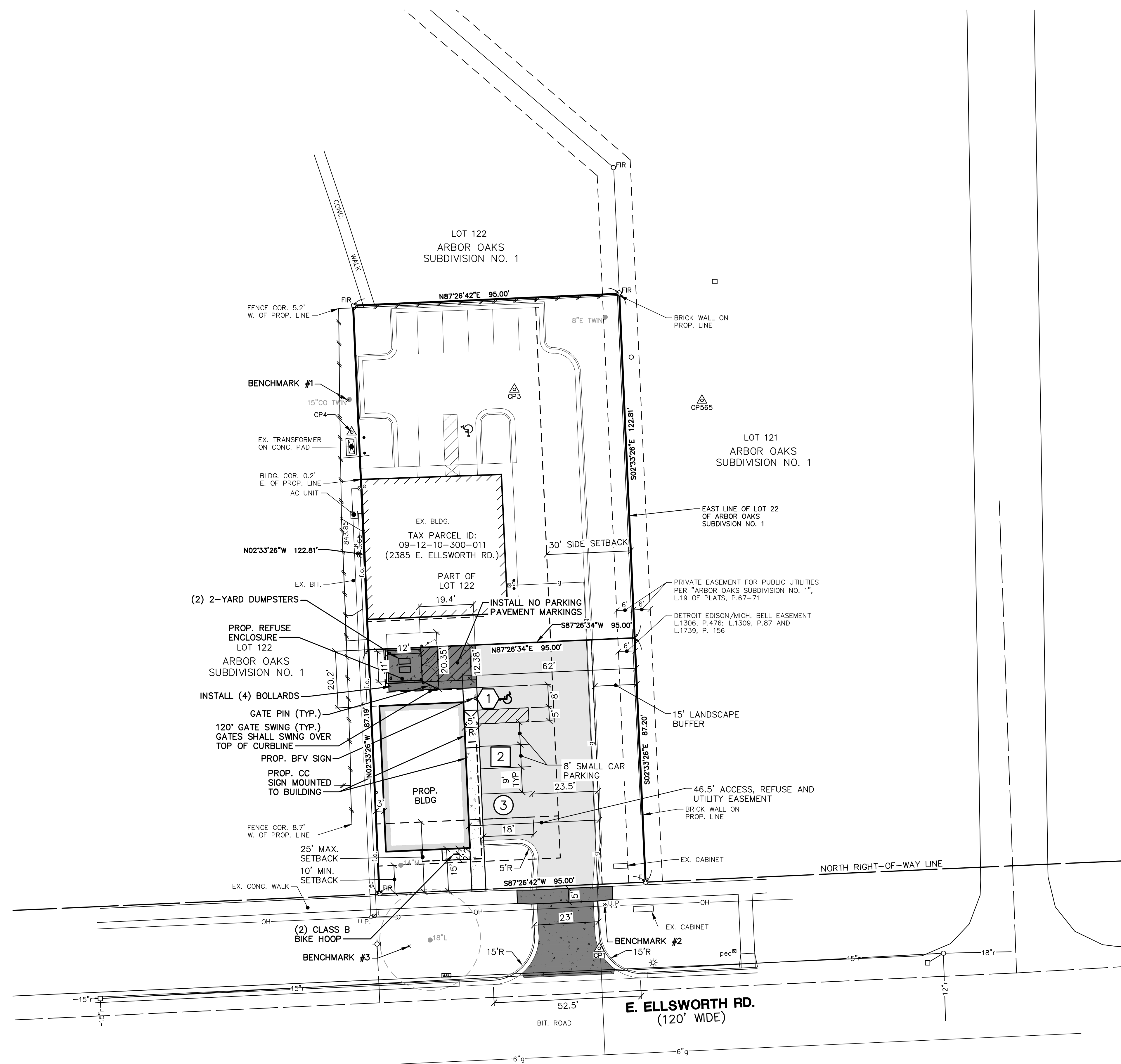


LEGEND

- ⊙ NUMBER OF STANDARD PARKING SPACES IN ROW
- NUMBER OF SMALL CAR PARKING SPACES IN ROW
- ⊕ NUMBER OF BARRIER FREE PARKING SPACES IN ROW
- BF BARRIER FREE PARKING SIGN
- BFV BARRIER FREE VAN PARKING SIGN
- CC COMPACT CAR ONLY SIGN
- SIGN SIGN
- PROP. CURB & GUTTER
- PROP. BITUMINOUS PAVEMENT
- PROP. CONCRETE PAVEMENT
- PROP. HEAVY DUTY CONCRETE

NOTES

1. ALL WORK TO BE PERFORMED SHALL COMPLY WITH ALL GOVERNMENTAL, STATE AND MUNICIPAL CODES AND ORDINANCES.
2. ACCESSIBLE PARKING SPACES AND REQUIRED BARRIER FREE SIGNAGE SHALL BE PROVIDED IN ACCORDANCE WITH THE MICHIGAN BUILDING CODE.
3. CURB RADIAL DIMENSIONS ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED. DRIVE AISLE DIMENSIONS ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED. ISLAND DIMENSIONS ARE TO BACK OF CURB. SIDEWALK DIMENSIONS ARE TO BACK OF CURB OR EDGE OF WALK.



The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

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2385 E ELLSWORTH
 SITE PLAN
 DIMENSIONAL SITE PLAN (SOUTH)

04

DATE: 9/26/19	REV. DATE:
SHEET 4 OF 14	REV. DATE:
CADD:	REV. DATE:
ENG: HTH	REV. DATE:
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DATEPLOT: 9/26/19	REV. DATE:
FILE:	REV. DATE:

JOB No. 18300

SOIL EROSION CONTROL MEASURES

t = temporary p = permanent

- 6** SEEDING WITH MULCH AND/OR MATING
- 55** GEOTEXTILE SILT FENCE
- 58** CURB INLET FILTER
- 59** C.B./INLET FILTER
- 60** MUD TRACKING MAT

PROGRAM PROPOSAL

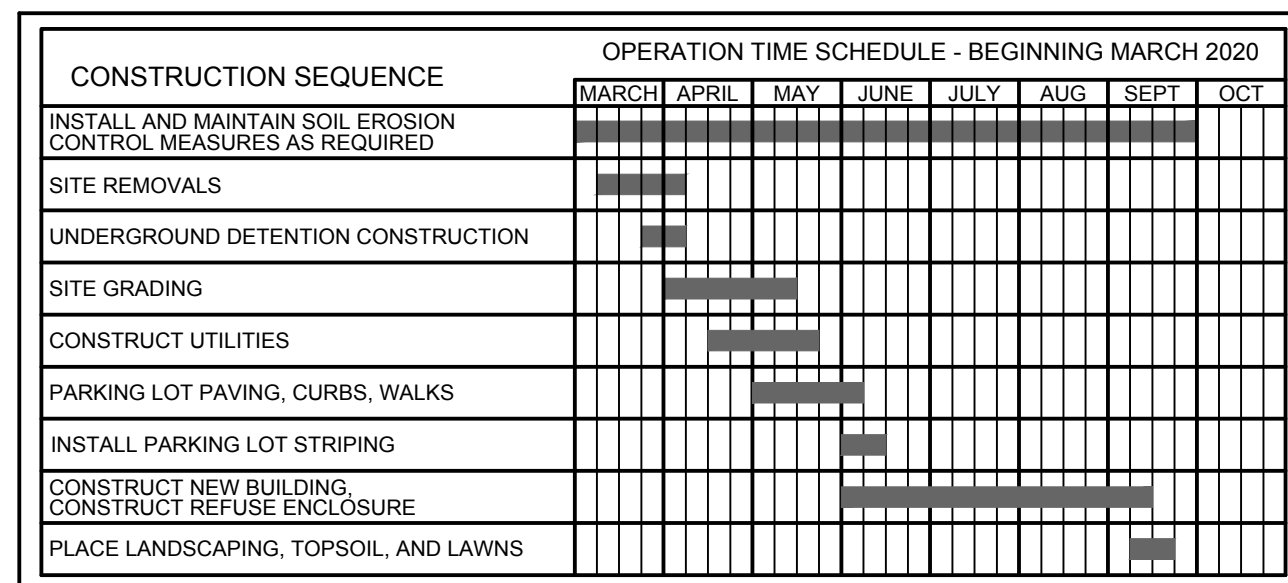
THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPLACEMENT, IF NECESSARY, OF ANY AND ALL OF THE PERMANENT SOIL EROSION CONTROL FEATURES ASSOCIATED WITH SEDIMENT AND SOIL EROSION CONTROL WITHIN THE DEVELOPMENT. THE FINANCIAL IMPLICATION OF SAID MAINTENANCE WILL BE THE RESPONSIBILITY OF THE OWNER.

Maintenance Plan Budget

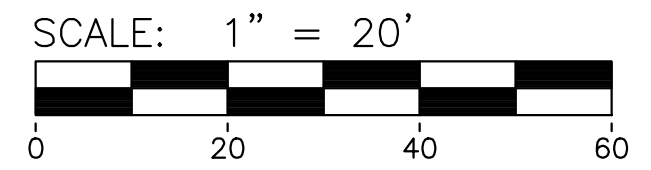
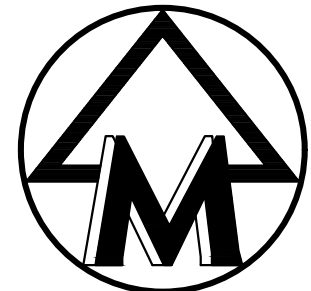
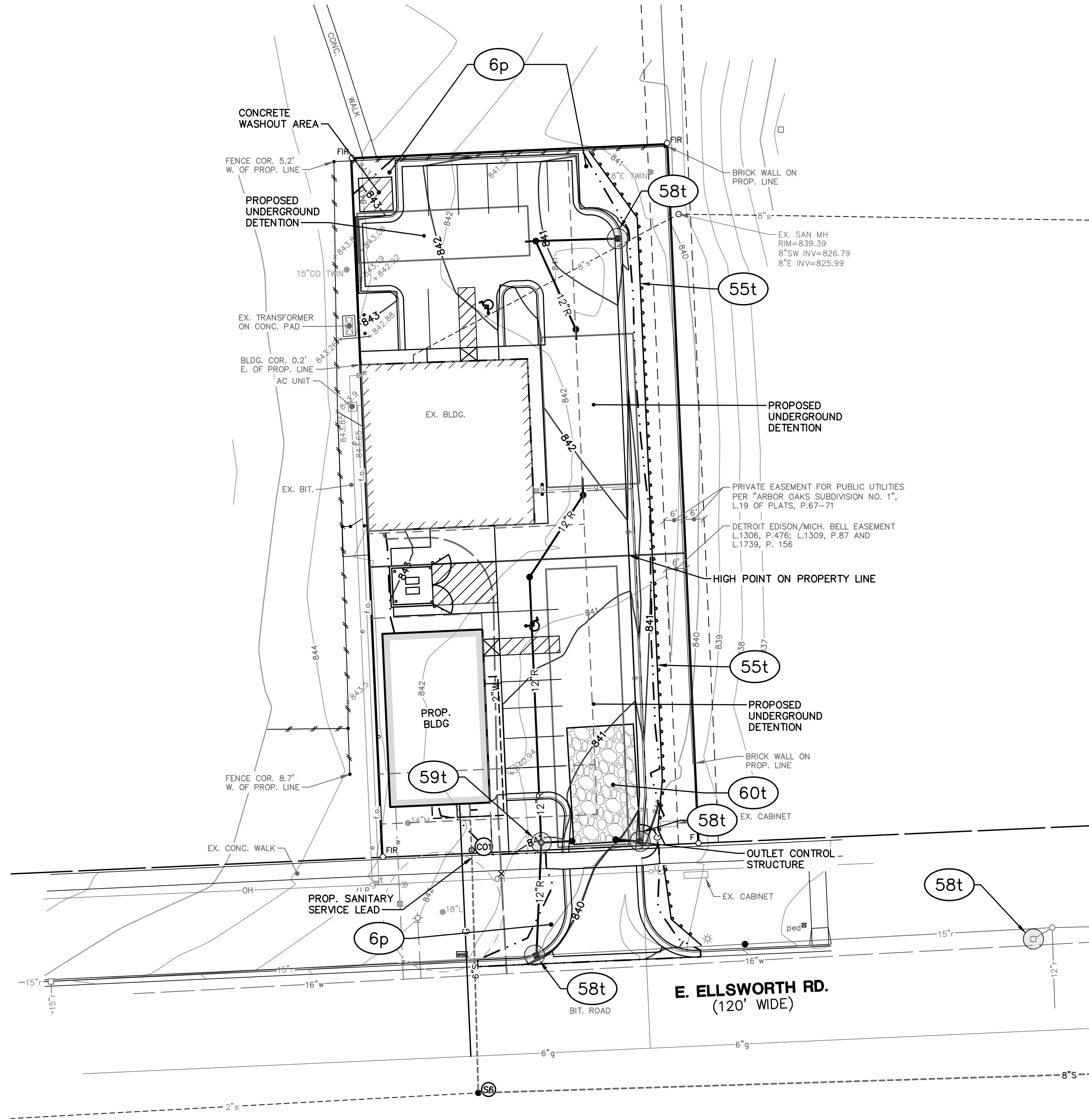
Responsible Party - Property Owner	
Annual inspection for sediment accumulation	\$100.00
Removal of sediment accumulation every year as needed	\$750.00
Inspect for floatables and debris annually and after major storms	\$100.00
Removal of floatables and debris annually and after major storms	\$150.00
Inspect system for erosion annually and after major storms	\$100.00
Re-establish permanent vegetation on eroded slopes as needed	\$350.00
Replacement of stone	\$100.00
Mowing 0-2 times per year	\$400.00
Inspect structural elements during wet weather and compare to as-built plans every 2 years	\$150.00
Make structural adjustments or replacements as determined by inspection as needed	\$400.00
Have a professional engineer carry out emergency inspections upon identification of severe problems	\$200.00
Total Annual Budget	\$2,800.00

PERMANENT MAINTENANCE TASKS AND SCHEDULE

	Components							Schedule
	Streets	Storm Sewer System	Catch Basin Sumps	Catch Basin Inlet Castings	Underground Detention	Parking Areas	Outflow Control Structure	
Inspect for sediment accumulation	X	X	X	X	X	X	X	annually
Removal of sediment accumulation		X	X	X	X	X	X	every year, as needed
Inspect for floatables and debris		X	X	X	X	X	X	annually
Cleaning of floatables and debris		X	X	X	X	X	X	annually, as needed
Inspection for erosion						X		annually
Re-establish permanent vegetation on eroded slopes						X		as needed
Clean streets	X							semi-annually
Mowing						X		semi-annually, as needed



SCHEDULING NOTED IN THE CHART ABOVE IS BASED ON A MARCH 1ST CONSTRUCTION START DATE. THE TIMELINE WOULD BE SHIFTED ACCORDINGLY IF CONSTRUCTION STARTS AT A DIFFERENT DATE. INCLEMENT WEATHER COULD ALSO AFFECT THE SCHEDULE LISTED.



SESC NOTES:

- ALL SILT FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. IF AT ANY TIME THE DEPTH OF SILT AND SEDIMENT COMES TO WITHIN 12" OF THE TOP OF ANY SILT FENCE, ALL SILT AND SEDIMENT SHALL BE REMOVED TO ORIGINAL GRADE.
- ALL TEMPORARY GRAVEL FILTERS SHOULD BE ADJUSTED AS TO LOCATION PER ACTUAL FIELD CONDITIONS. THE REMOVAL OF TRAPPED SEDIMENT AND THE CLEANOUT OR REPLACEMENT OF CLOGGED STONE MAY BE NECESSARY AFTER EACH STORM EVENT DURING THE PROJECT.
- ONLY UPON STABILIZATION OF ALL DISTURBED AREAS MAY THE SILT FENCE, AND TEMPORARY GRAVEL FILTERS BE REMOVED. ALSO, ALL STORM SEWERS MUST BE CLEANED OF ALL SEDIMENT.
- ESTIMATED COST TO STABILIZE SITE SHOULD CONSTRUCTION CEASE:
0.5ac x \$10,500/ac = \$5,250
- ESTIMATED SOIL MOVEMENTS ON SITE:
250 C.Y CUT; 50 C.Y. FILL
- PERMANENT SOIL EROSION CONTROLS ARE REQUIRED TO BE INSTALLED WITHIN FIVE (5) DAYS AFTER FINAL GRADING.
- AFTER SITE GRADING ALL DISTURBED AREAS NOT IMMEDIATELY UNDER CONSTRUCTION ARE TO BE STABILIZED.

LEGEND

- 838- EXIST. CONTOUR
- 838- PROP. CONTOUR
- x836.2- EXIST. SPOT ELEVATION
- 36.60x- PROP. SPOT ELEVATION
- o U.P.- EXIST. UTILITY POLE
- o U.P.- EXIST. UTILITY POLE W/ TRANS.
- o GUY WIRE
- o ELEC. TRANSFORMER
- o EXIST. OVERHEAD UTILITY LINE
- o EXIST. LIGHT POLE
- o PROP. LIGHT POLE
- o EXIST. TELEPHONE LINE
- o EXIST. ELECTRIC LINE
- o EXIST. GAS LINE
- o EXIST. GAS VALVE
- o f.o.- EXIST. FIBER OPTIC LINE
- o w- EXIST. WATER MAIN
- o w- PROP. WATER MAIN
- o EXIST. HYDRANT
- o PROP. HYDRANT
- o EXIST. GATE VALVE IN BOX
- o PROP. GATE VALVE IN BOX
- o EXIST. GATE VALVE IN WELL
- o PROP. GATE VALVE IN WELL
- o EXIST. CURB STOP & BOX
- o PROP. CURB STOP & BOX
- o EXIST. STORM SEWER
- o PROP. STORM SEWER
- o EXIST. CATCH BASIN OR INLET
- o PROP. CATCH BASIN OR INLET
- o EXIST. BEEHIVE INLET
- o PROP. BEEHIVE INLET
- o END SECTION
- o HEAD WALL
- o CULVERT
- o ds- EXIST. DOWNSPOUT
- o ps- PROP. DOWNSPOUT
- o s-o- EXIST. SANITARY SEWER
- o s-o- PROP. SANITARY SEWER
- o EXIST. CLEANOUT
- o PROP. CLEANOUT
- o C/L OF DITCH
- o SIGN
- o SINGLE TREE
- o TREE OR BRUSH LIMIT
- o FENCE
- o SILTFENCE
- o LIMITS OF DISTURBANCE

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2385 E ELLSWORTH
SITE PLAN
GRADING AND SOIL EROSION CONTROL PLAN

05

DATE: 9/26/19	REV. DATE:
SHEET 5 OF 14	
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PM: RTH	
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18300	

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SANITARY MITIGATION CALCULATIONS

Design Flow
Based on the City of Ann Arbor's sanitary sewer flow evaluation Table 'A', the design dry weather flow rate will be:

Medical Arts (Medical Marajuana Dispensary)	1560 sf	0.1 gpd/sf =	Total	156 gpd
				156 gpd

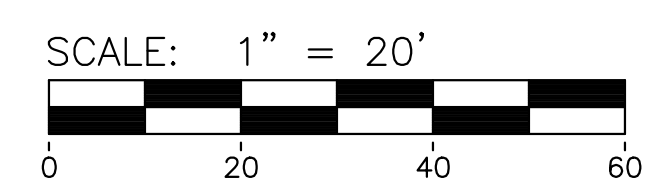
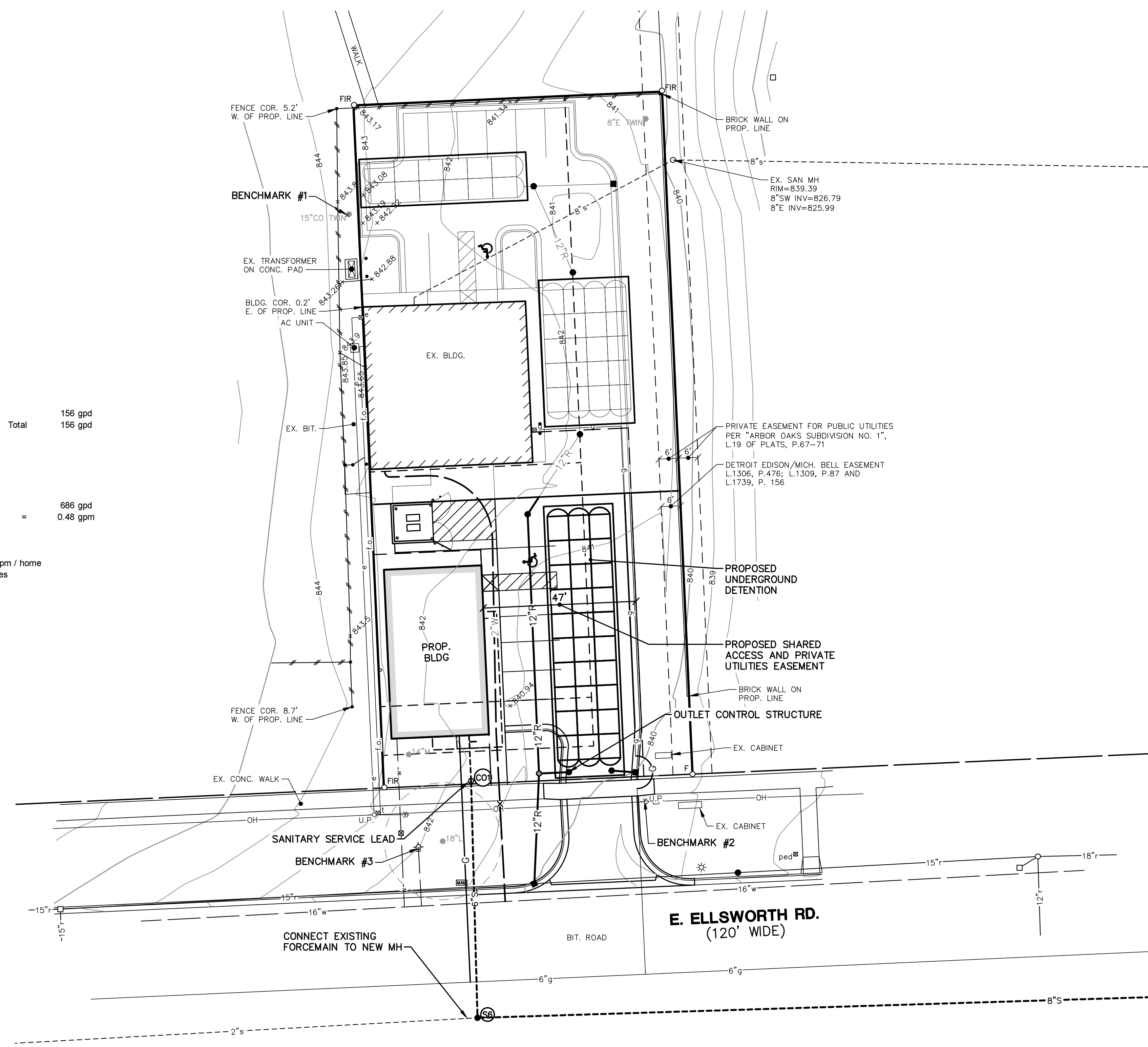
Existing Flow
There is no existing sanitary connection for this site.

Mitigation Flow

Mitigation Flow = (Proposed Flow - Existing Flow) * 4(peaking factor) * 1.1(recovery)				
Mitigation Peak Flow = 156 gpd x 4(peaking factor) x 1.1(recovery) =				686 gpd
				0.48 gpm

Footing Drain Disconnect Summary

Footing Drain Disconnect Factor from the City of Ann Arbor = 4 gpm/home				
Number of Footing Drain Disconnects Required =		0.48 gpm / 4 gpm / home		
				0.12 homes



LEGEND

U.P.	EXIST. UTILITY POLE
U.P.	EXIST. UTILITY POLE W/ TRANS.
GP	EXIST. GUY POLE
GUY WIRE	GUY WIRE
OH	ELEC. TRANSFORMER
OH	EXIST. OVERHEAD UTILITY LINE
*	EXIST. LIGHT POLE
*	PROP. LIGHT POLE
t	EXIST. TELEPHONE LINE
T	PROP. TELEPHONE LINE
e	EXIST. ELECTRIC LINE
E	PROP. ELECTRIC LINE
g	EXIST. GAS LINE
G	PROP. GAS LINE
g	EXIST. GAS VALVE
f.o.	EXIST. FIBER OPTIC LINE
F.O.	PROP. FIBER OPTIC LINE
w	EXIST. WATER MAIN
W	PROP. WATER MAIN
H	EXIST. HYDRANT
H	PROP. HYDRANT
G	EXIST. GATE VALVE IN BOX
G	PROP. GATE VALVE IN BOX
G	EXIST. GATE VALVE IN WELL
G	PROP. GATE VALVE IN WELL
X	EXIST. CURB STOP & BOX
X	PROP. CURB STOP & BOX
R	REDUCER
B	EXIST. BLOW-OFF
B	PROP. BLOW-OFF
P.I.V.	POST INDICATOR VALVE
KB	THRUST BLOCK
KB	PROP. KNOXBOX
R	EXIST. STORM SEWER
R	PROP. STORM SEWER
C	EXIST. CATCH BASIN OR INLET
C	PROP. CATCH BASIN OR INLET
B	EXIST. BEEHIVE INLET
B	PROP. BEEHIVE INLET
RD	PROP. ROOF DRAIN END SECTION
H	HEAD WALL
C	CULVERT
ds	EXIST. DOWNSPOUT
ds	PROP. DOWNSPOUT
S	EXIST. SANITARY SEWER
S	PROP. SANITARY SEWER
C	EXIST. CLEANOUT
C	PROP. CLEANOUT
si	TELEPHONE RISER
catv	CABLE TELEVISION RISER
em	ELECTRIC METER
w	WATER METER
cb	SPRINKLER CONTROL BOX
g	GAS METER
glm	GAS LINE MARKER
fiber	FIBER OPTIC MARKER
W	WELL

UTILITY NOTES

- ALL PUBLIC UTILITY INSTALLATION SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF ANN ARBOR STANDARD SPECIFICATIONS, CURRENT EDITION. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS, DEPTHS AND ELEVATIONS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT EXISTING UTILITIES DURING CONSTRUCTION.
- STORM WATER MANAGEMENT IS PROVIDED PER THE CURRENT WASHTENAW COUNTY WATER RESOURCES COMMISSION REQUIREMENTS.
- ANY EXISTING UTILITY LEADS NOT TO BE RE-USED ARE TO BE ABANDONED IN ACCORDANCE WITH THE CURRENT CITY OF ANN ARBOR STANDARDS.
- TWO WAY TRAFFIC SHALL BE MAINTAINED DURING CONSTRUCTION AT ALL TIMES UNLESS APPROPRIATE APPROVALS ARE RECEIVED FROM THE CITY OF ANN ARBOR.



ELLSWORTH ROAD UTILITY PLAN

1" = 60'

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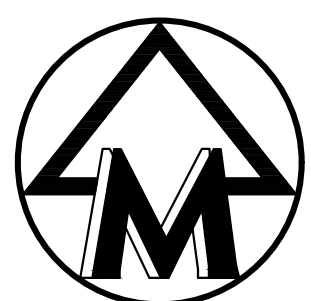
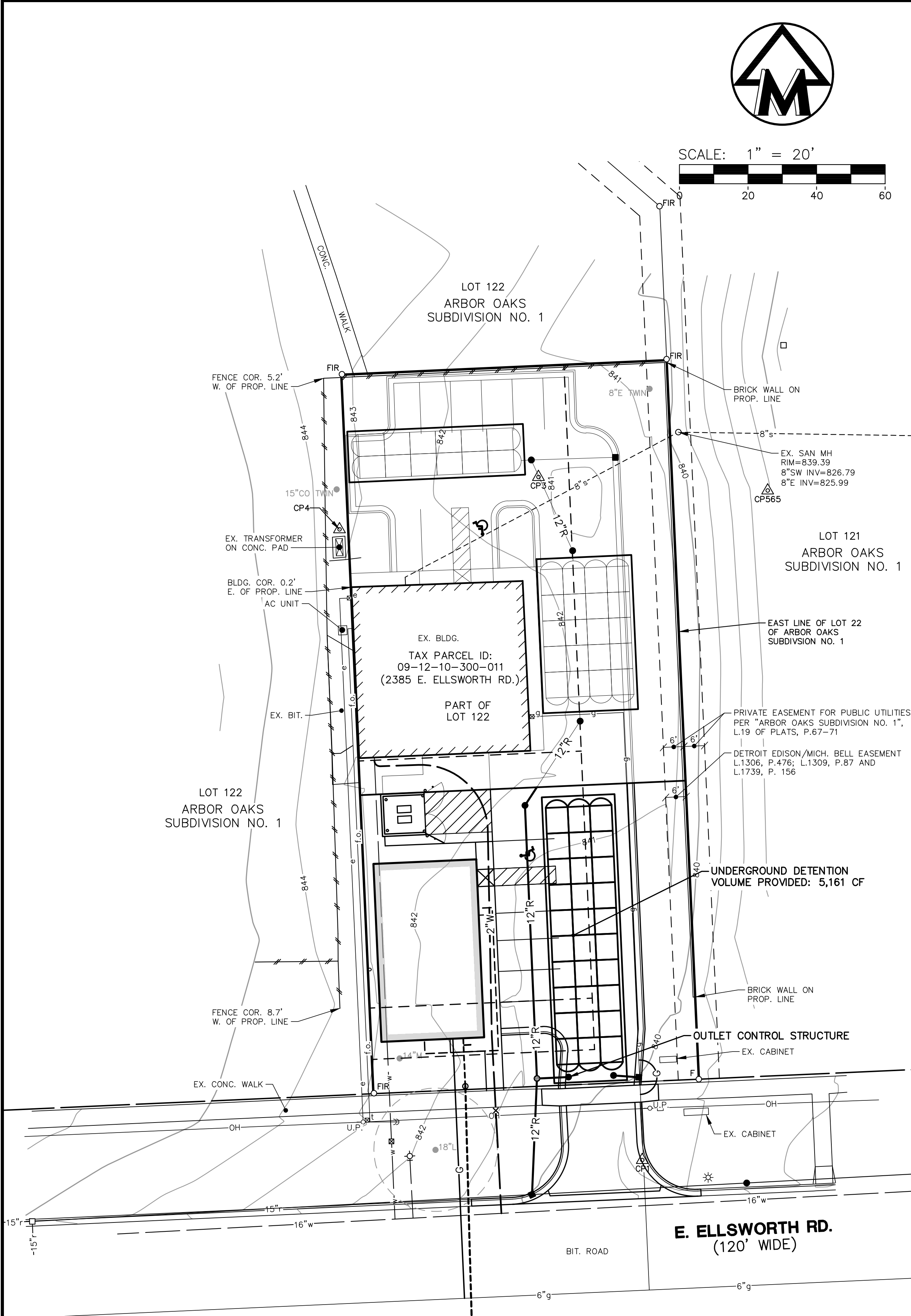
2385 E ELLSWORTH
 SITE PLAN
 UTILITY PLAN (SOUTH)

06

DATE: 9/26/19	REV. DATE:
SHEET 6 OF 14	REV. DATE:
CADD:	ENG: HTH
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JOB No. 18300

M:\Civ\132_Proj\13300\Site Plan\13300a.dwg, 9/26/2019 8:18 AM, Heath Hertl, 07 STORMWATER MANAGEMENT PLAN (SOUTH), MCLC PDF, .p3
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STORMWATER VOLUME CALCULATIONS

Stormwater Calculations REV 11/26/2018

W1 - Determining Post-Development Cover Types, Areas, Curve Numbers, and Runoff Coefficients

Rational Method Variables

Cover Type	Soil Type	Area (sf)	Area (ac)	Runoff Coeff. (C)	(C) x (Area)
Building/Pavement		3,283	0.19	0.95	0.18
Grass	D	2,438	0.06	0.45	0.03
Total		10,721	0.25		0.21

Weighted C = (Sum(CN)(Area))/(Area Total) = 0.84

NCRS Variables (Pervious)

Cover Type	Soil Type	Area (sf)	Area (ac)	Curve Number	(CN) x (Area)
Grass	D	2,438	0.06	84	0.05
Total		2,438	0.06		0.05

Weighted CN = (Sum(CN)(Area))/(Area Total) = 84

NCRS Variables (Impervious)

Cover Type	Soil Type	Area (sf)	Area (ac)	Curve Number	(CN) x (Area)
Building/Pavement		8,283	0.19	98	0.19
Total		8,283	0.19		0.19

Weighted CN = (Sum(CN)(Area))/(Area Total) = 98

W2 - First Flush Runoff Calculations (Vf)

A. $V_f = 1 \times 1/12' \times 43560 \text{ sf/ac} \times A \times C$ where A = 0.25 and where C = 0.84

$V_f = 1' \times 1/12' \times 43560 \text{ sf/ac} \times 0.25 \times 0.84 = 750 \text{ cf}$

W3 - Pre-Development Bankfull Runoff Calculations (Vof-pre)

A. 2 year / 24 hour storm event: P = 2.35 in

B. Pre-Development CN: CN = 79

C. S = (1000 / CN) - 10: S = 2,658 in

D. Q = [(P-0.25)^2] / [P+0.85]: Q = 0.739 in

E. Total Site Area excluding "Self-Creeding" BMPs: 10,721 sf

F. $V_{of-pre} = Q \times (1/12) \times \text{Area}$: $V_{of-pre} = 660 \text{ cft}$

W4 - Pervious Cover Post-Development Bankfull Runoff Calculations (Vof-per-post)

A. 2 year / 24 hour storm event: P = 2.35 in

B. Pervious Cover CN From Worksheet 1: CN = 84

C. S = (1000 / CN) - 10: S = 1,926 in

D. Q = [(P-0.25)^2] / [P+0.85]: Q = 1.001 in

E. Pervious Cover Area from Worksheet 1: 2,438 sf

F. $V_{of-per-post} = Q \times (1/12) \times \text{Area}$: $V_{of-per-post} = 203 \text{ cft}$

W5 - Impervious Cover Post-Development Bankfull Runoff Calculations (Vof-imp-post)

A. 2 year / 24 hour storm event: P = 2.35 in

B. Impervious Cover CN From Worksheet 1: CN = 98

C. S = (1000 / CN) - 10: S = 0,204 in

D. Q = [(P-0.25)^2] / [P+0.85]: Q = 2.122 in

E. Impervious Cover Area from Worksheet 1: 8,283 sf

F. $V_{of-imp-post} = Q \times (1/12) \times \text{Area}$: $V_{of-imp-post} = 1,464 \text{ cft}$

W6 - Pervious Cover Post-Development 100-Year Runoff Calculations (V100-per-post)

A. 100 year / 24 hour storm event: P = 5.11 in

B. Pervious Cover CN From Worksheet 1: CN = 84

C. S = (1000 / CN) - 10: S = 1,926 in

D. Q = [(P-0.25)^2] / [P+0.85]: Q = 3.371 in

E. Pervious Cover Area from Worksheet 1: 2,438 sf

F. $V_{100-per-post} = Q \times (1/12) \times \text{Area}$: $V_{100-per-post} = 685 \text{ cft}$

W7 - Impervious Cover Post-Development 100-Year Runoff Calculations (V100-imp-post)

A. 2 year / 24 hour storm event: P = 5.11 in

B. Impervious Cover CN From Worksheet 1: CN = 98

C. S = (1000 / CN) - 10: S = 0,204 in

D. Q = [(P-0.25)^2] / [P+0.85]: Q = 4.873 in

E. Impervious Cover Area from Worksheet 1: 8,283 sf

F. $V_{100-imp-post} = Q \times (1/12) \times \text{Area}$: $V_{100-imp-post} = 3,364 \text{ cft}$

W8 - Time of Concentration (Tc-hrs)

A. Assume 15-minute minimum time of concentration: Tc = 0.25 hr

W9 - Runoff Summary & On-Site Infiltration Requirement

A. Summary from Previous Worksheets

First Flush Volume (Vf)	750 cft
Pre-Development Bankfull Runoff Volume (Vof-pre)	660 cft
Pervious Cover Post-Development Bankfull Volume (Vof-per-post)	203 cft
Impervious Cover Post-Development Bankfull Volume (Vof-imp-post)	1,464 cft
Total BF Volume (Vof-post)	1,668 cft
Pervious Cover Post-Development 100-Year Volume (V100-per-post)	685 cft
Impervious Cover Post-Development 100-Year Volume (V100-imp-post)	3,364 cft
Total 100-Year Volume (V100)	4,049 cft

B. Determine Onsite Infiltration Requirement

Subtract the Pre-Development Bankfull from the Post-Development Bankfull Volume

Total Post-Development Bankfull Volume (Vof-post)	1,668 cft
Pre-Development Bankfull Runoff Volume (Vof-pre)	660 cft
Bankfull Volume Difference	1,008 cft
Infiltration Requirement (Vin)	1,008 cft

W12 - Natural Features Inventory

There are no natural features located on this site due to it being an existing built out urban site.

W13 - Site Summary of Infiltration & Detention

A. Stormwater Management Summary

Min Infiltration Requirement (Vin)	1,008 cft
Designed/Provided Infiltration Volume	0 cft
% Minimum Required Infiltration Provided	0.0 %
Total Calculated Detention Volume, Vdet	3,985 cft
Net Required Detention Volume	3,985 cft
(Vdet - Designed/Provided Infiltration Volume)	

B. Detention Volume Increase for sites where the required infiltration volume cannot be achieved.

% Required Infiltration NOT Provided	100.0 %
(100% - % Minimum Required Infiltration Provided)	
Net % Penalty (20% x % Required Infiltration NOT Provided)	20.0 %
Total Required Detention Volume, including penalty	4,782 cft
[(100% + Net % Penalty) x Net Required Detention Volume]	

Detention Outlet Calculations

A. Required Detention Volumes (Reduced by 8-hour Infiltration)

Storm Event	Req'd Volume	Loss	Infil Credit	=	Final Volume
First Flush	750 cft	-	0 cft	=	750 cft
Bankfull	1,668 cft	-	0 cft	=	1,668 cft
100-year	3,985 cft	-	0 cft	=	3,985 cft
100-year + Req'd Penalty	4,782 cft	-	0 cft	=	4,782 cft
Forebay Volume Required (5% of 100-yr)				=	199 cft

STORMWATER VOLUME PROVIDED

System Requirements	Imperial	System Sizing	Units
Required Storage Volume	5000 CF	Number of Chambers Required	30 each
Stone Porosity (Industry Standard = 40%)	30 %	Number of End Caps Required	8 each
Stone Above Chambers (12 inch min.)	12 inches	Bed Size (including perimeter stone)	1,755 square feet
Stone Foundation Depth (9 inch min.)	9 inches	Stone Required (including perimeter stone)	322 tons
Average Cover over Chambers (24 inch min.)	24 inches	Volume of Excavation	423 cubic yards
Bed size controlled by WIDTH or LENGTH?	LENGTH	Non-woven Filter Fabric Required (20% Safety Factor)	603 square yards
Limiting WIDTH or LENGTH dimension	63 feet	Length of Isolator Row	108 square yards
		Non-woven Isolator Row Fabric (20% Safety Factor)	137 square yards
		Woven Isolator Row Fabric (20% Safety Factor)	137 square yards
Storage Volume per Chamber	161.6 CF	Installed Storage Volume	5,161 cubic feet
Storage Volume per End Cap	39.1 CF		

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JOB No. **18300**

REVISIONS:

DATE: 9/26/19

SHEET 7 OF 14

REV. DATE

CADD: HTH

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PM: HTH

TECH: HTH

DATE: 9/26/19

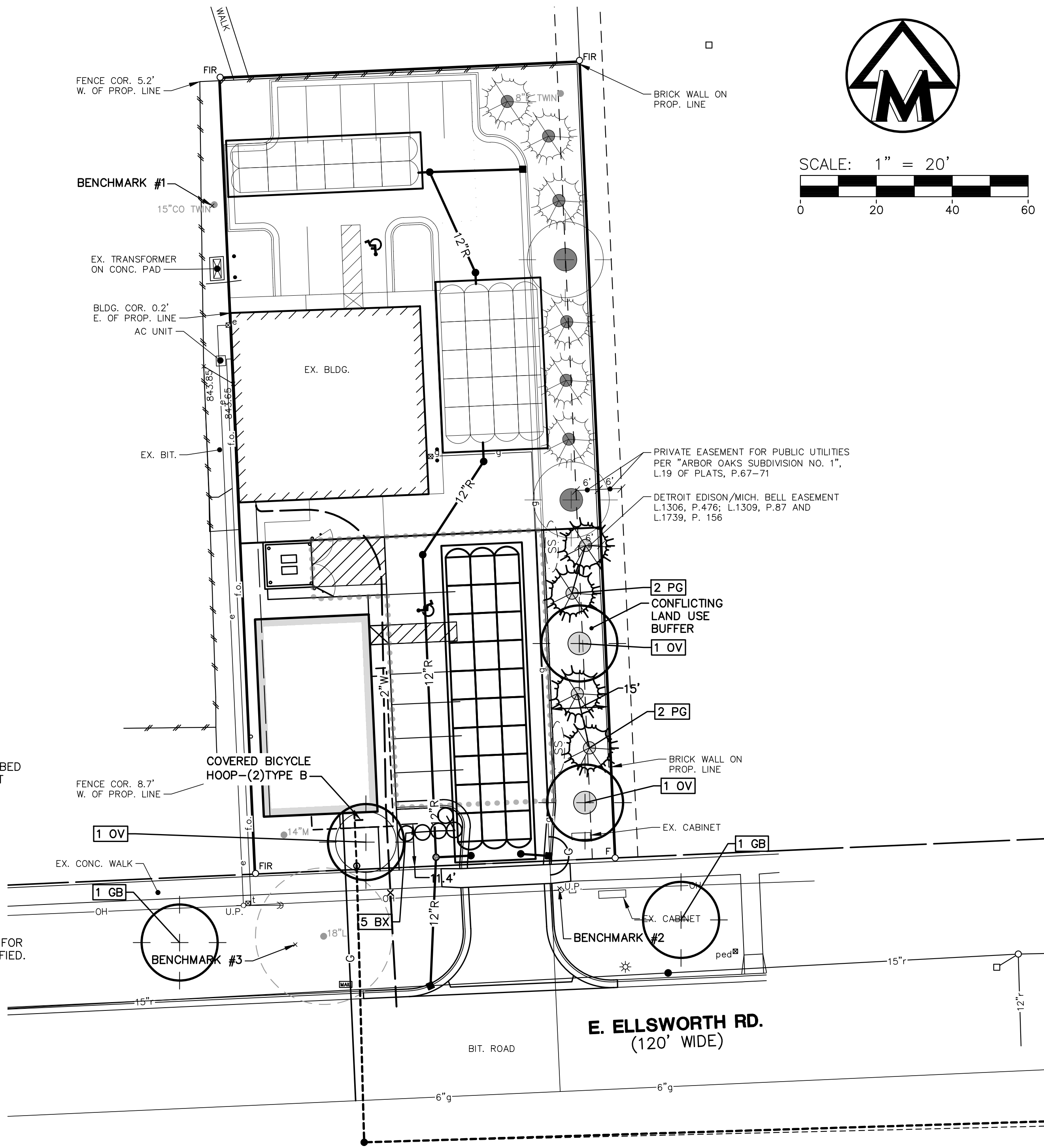
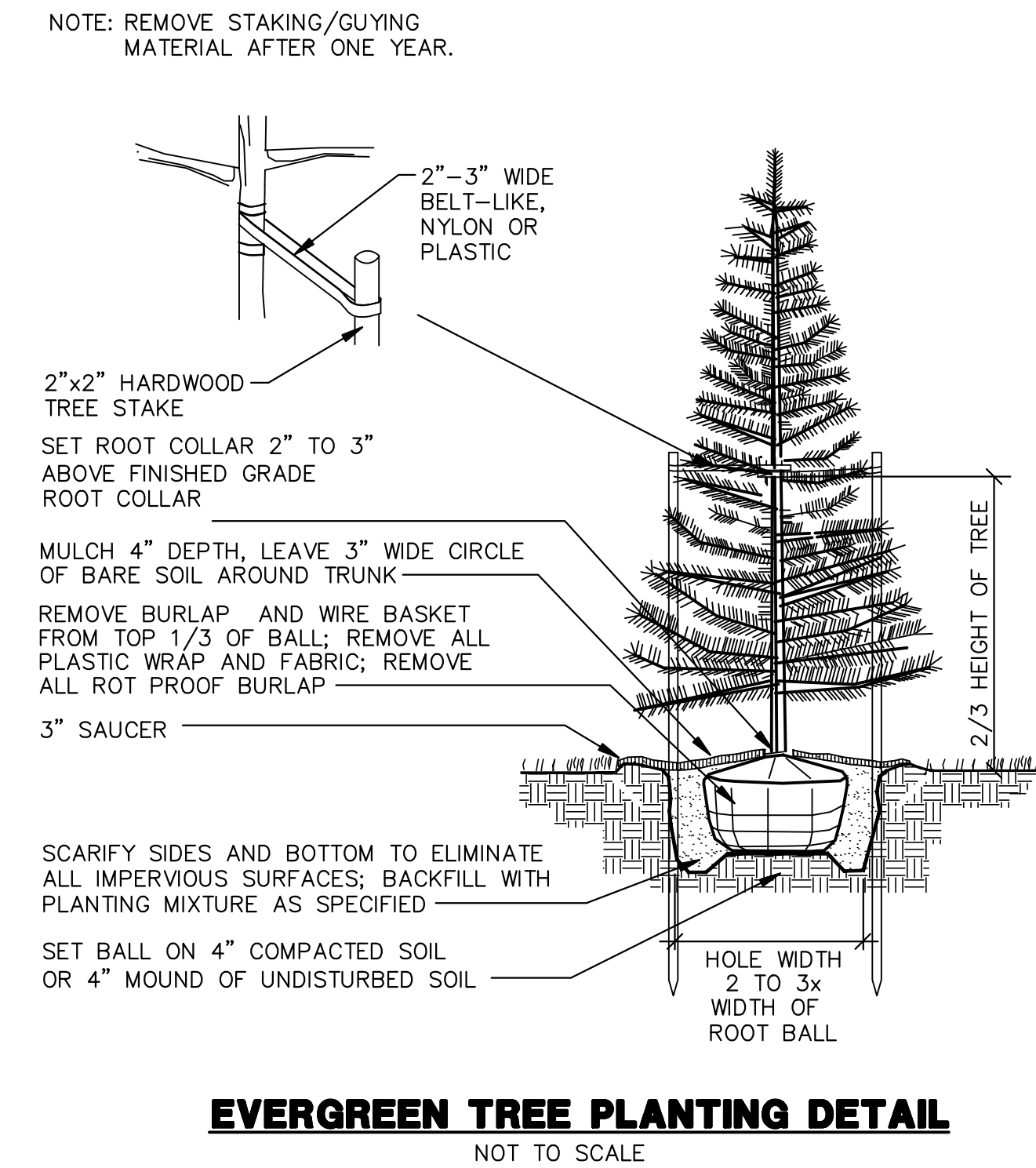
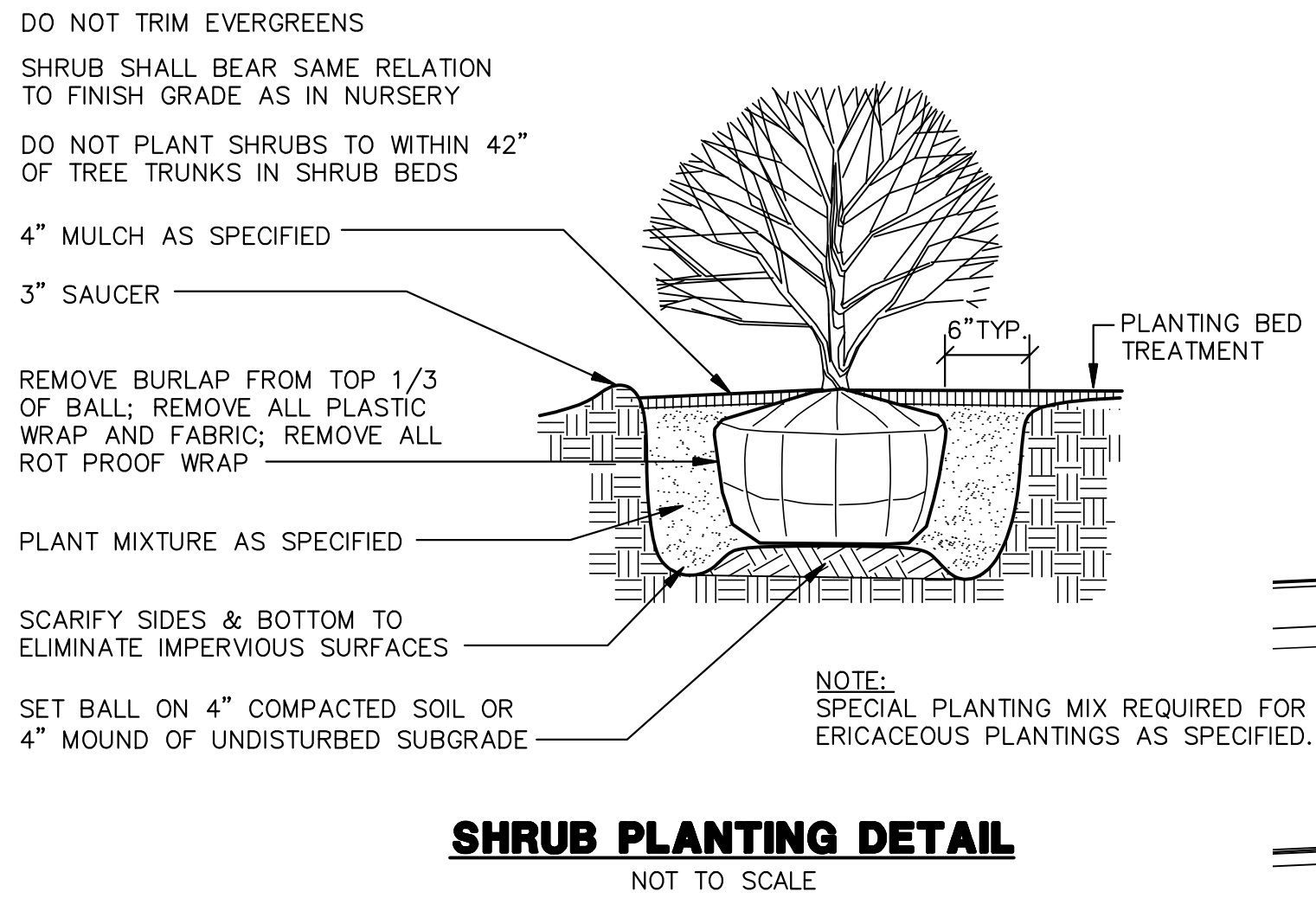
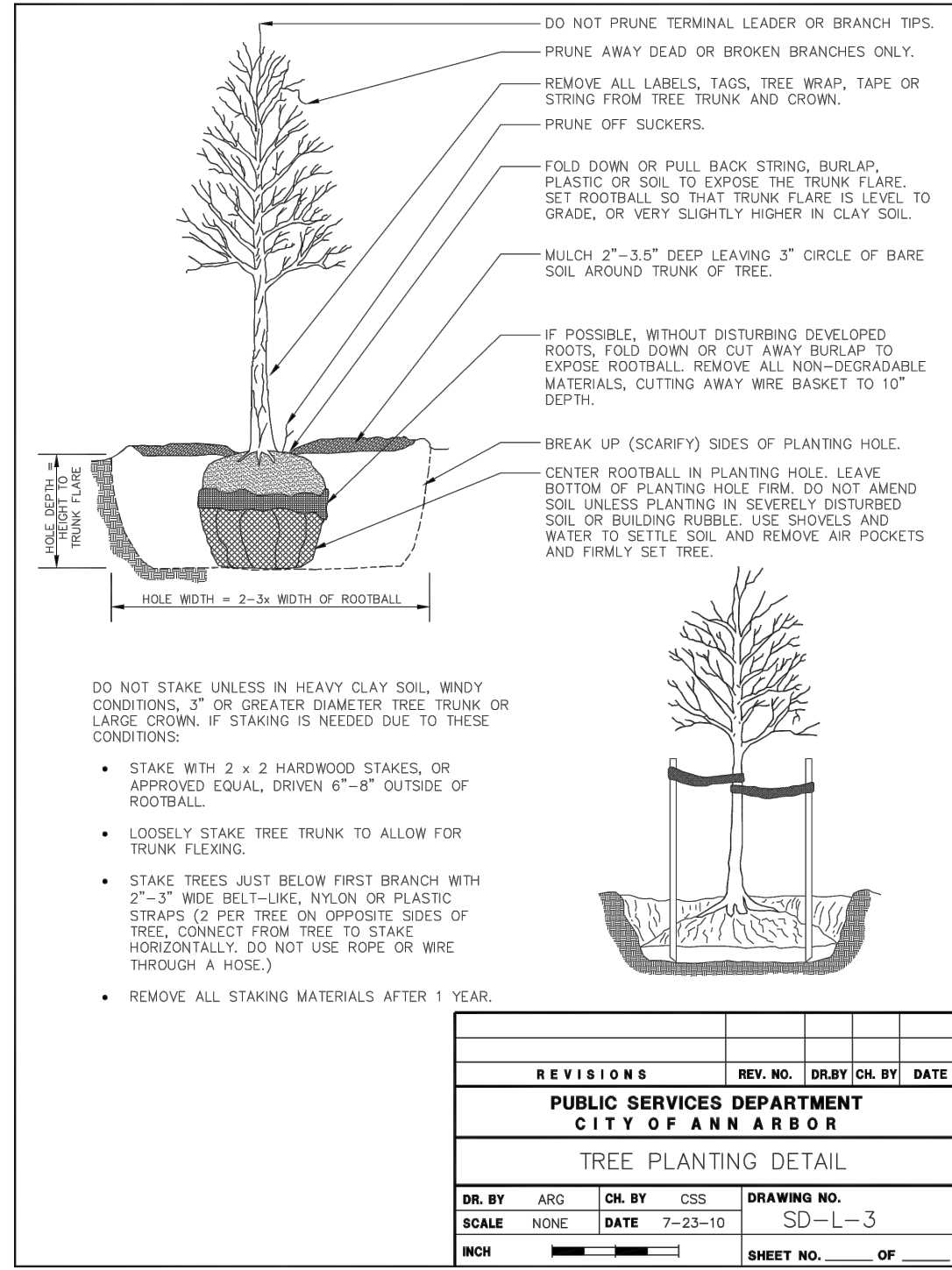
2385 E ELLSWORTH

SITE PLAN

STORMWATER MANAGEMENT PLAN (SOUTH)

07

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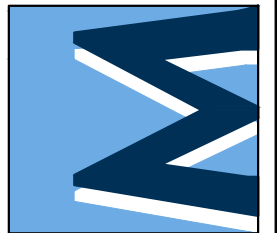
PLANT SCHEDULE

Total	ROW	VUA	CLUB	ROW	Code	Scientific Name	Common Name	Root	Size	Spacing	Notes
Evergreen Trees											
4			4		PG	<i>Picea glauca densata</i>	Black Hills Spruce	B&B	6' ht min.	15' o.c.	Full
4	0	0	4	0	Total						
Deciduous Trees											
2				2	GB	<i>Ginkgo biloba</i>	Ginkgo	B&B	2.5" cal.	20' o.c.	
3	1	0	2		OV	<i>Ostrya virginiana</i>	American Hophornbeam	B&B	2.5" Cal.	20' o.c.	
5	1	0	2	2	Total						
Shrubs											
5	5	0	0		BX	<i>Buxus x 'Green Mountain'</i>	Green Mountain Boxwood	#5 Cont	18-24" ht.	4' o.c.	

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2385 E ELLSWORTH
 SITE PLAN
 LANDSCAPE PLAN (SOUTH)

08

DATE: 9/26/19
 SHEET 8 OF 14
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 ENG: HTH
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 TECH: BDL/awg
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18300

JOB NO.
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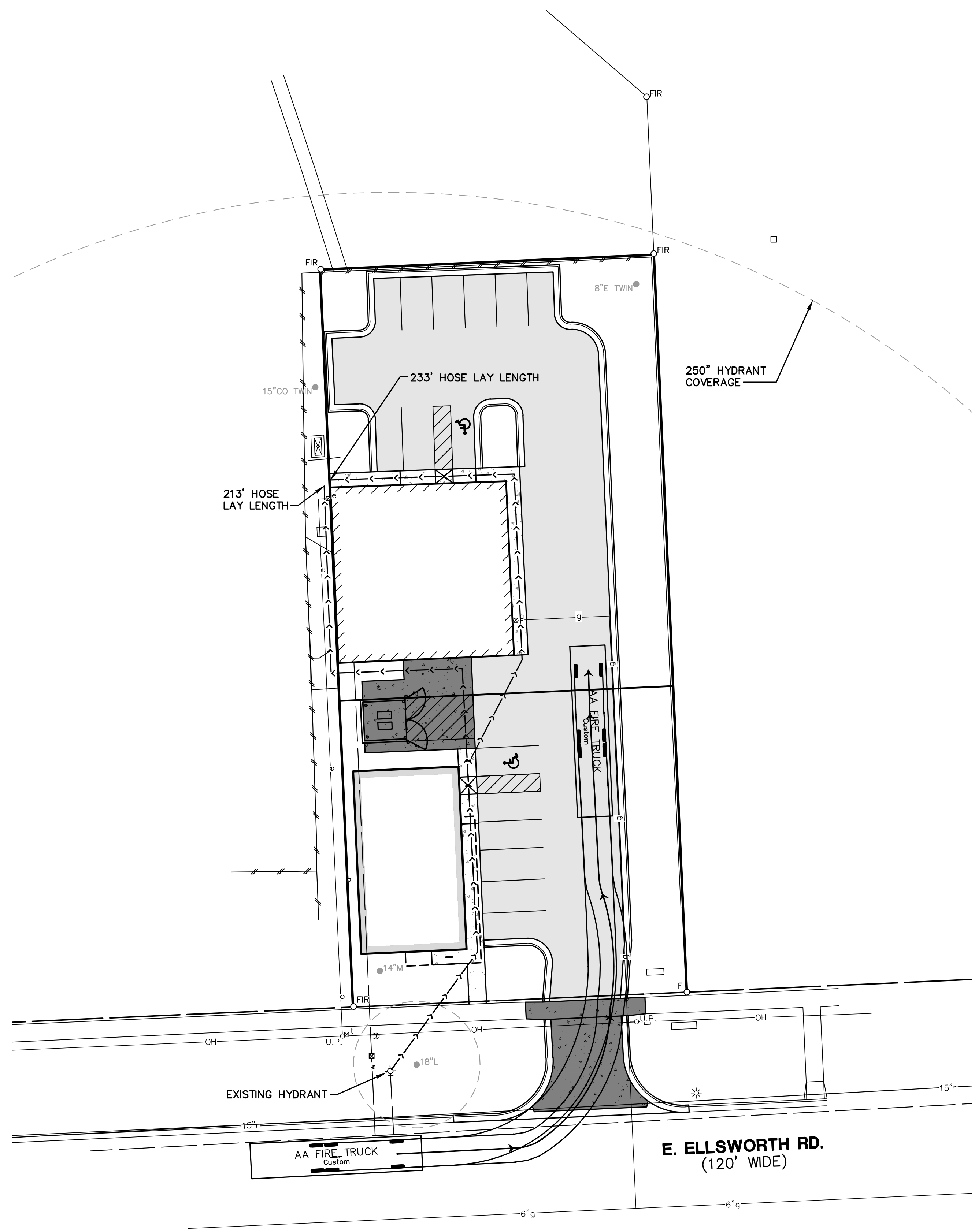
LANDSCAPE REQUIREMENTS

ROW	Allowed/ Required	Proposed Dispensary - South Lot
Street Trees	1 tree per 45 linear feet frontage	95 / 45 = 3 trees required 1 existing tree to remain, 2 trees provided with ROW adjacent to site due to utility and existing cabinet conflicts
Street Tree Escrow	\$1.30 per linear foot road frontage	95lf - 45lf (1 existing tree) = 50lf x \$1.30 = \$65.00
Vehicle Use Area		
Front Greenbelt	10ft, 1 tree per 30lf, 30' ht screening hedge/berm/wall	42lf frontage = 2 trees required 11.4 ft min. provided, 1 trees provided, 1 existing tree to remain, 5 shrubs provided
Interior islands	>3,300sf and <50,000sf VUA = 1:20 ratio 50% bioretention required of >750sf	3,260sf VUA - Not applicable
Interior island trees	1 tree per 250sf of required island	Not Applicable
Street trees (internal)		
	1 tree per 30lf	Not Applicable
Outdoor refuse	screening wall, trash and recycling dumpsters each	1 trash enclosure provided (shared with northern parcel)
Conflicting Land Use buffer	15 ft landscape buffer, 1 tree per 15 ft with 50% evergreen, 4ft screening	87 lf / 15 = 6 trees required, 6 trees provided (66% evergreen), existing wall to remain
Tree Mitigation	50% removed DBH - LM/woodland	Not applicable

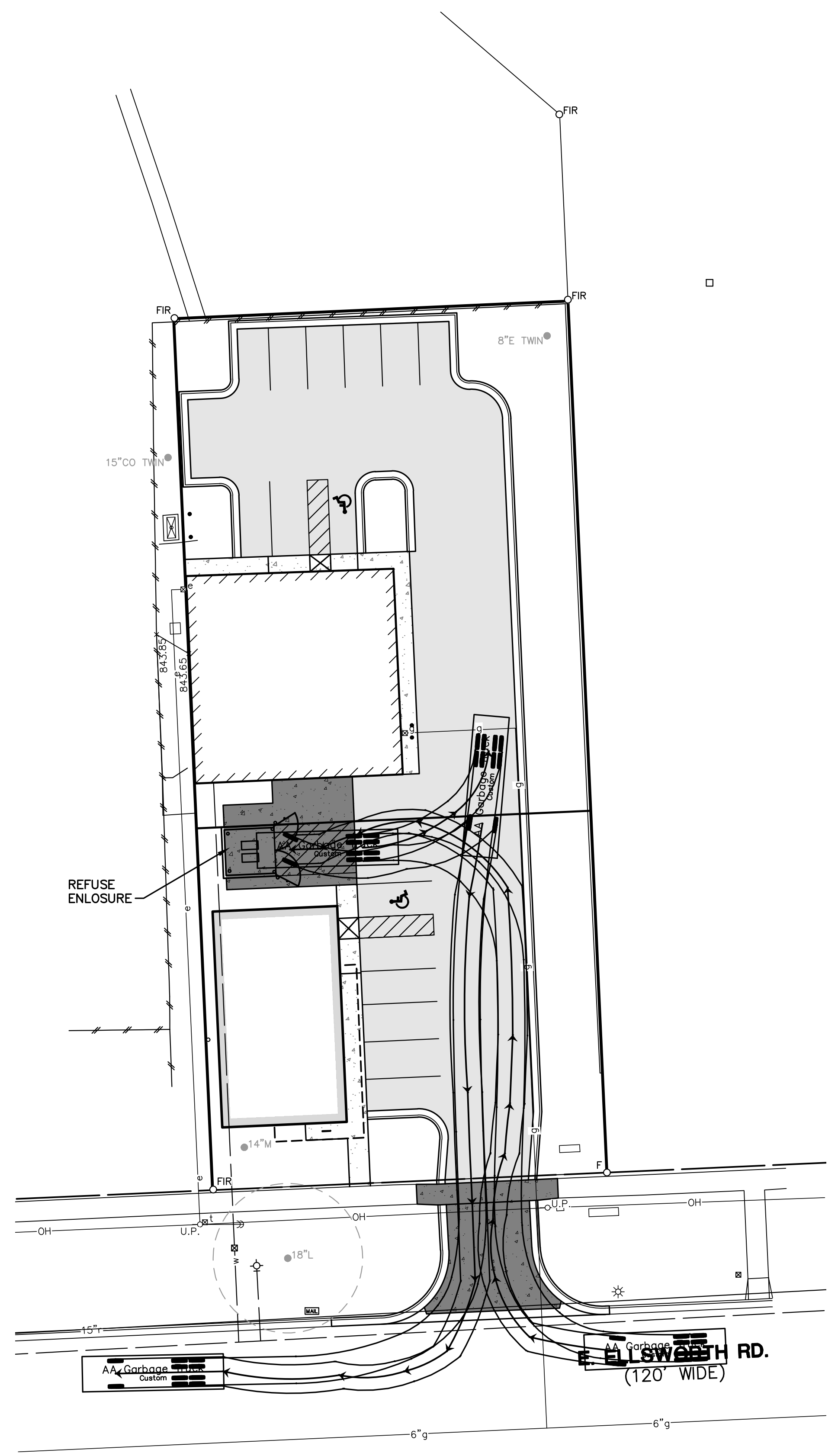
STREET TREE ESCROW

STREET TREE ESCROW OF \$65.00 WILL BE PROVIDED PRIOR TO ISSUING BUILDING PERMITS AND WILL BE REFUNDED AFTER CITY STAFF INSPECTION SHOWS LONG TERM SURVIVAL OF THE PROPOSED STREET TREES.

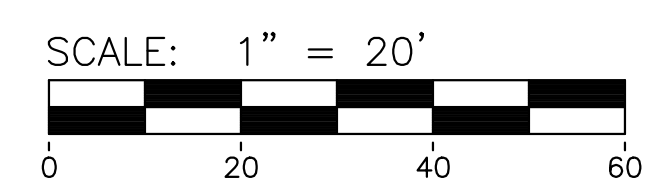
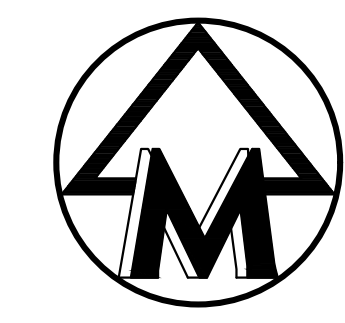
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FIRE PROTECTION PLAN



REFUSE MANAGEMENT PLAN



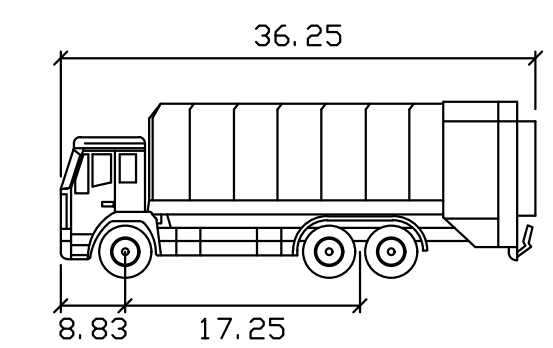
LEGEND

- U.P. EXIST. UTILITY POLE
- GUY WIRE
- ELEC. TRANSFORMER
- OH EXIST. OVERHEAD UTILITY LINE
- *— EXIST. LIGHT POLE
- *— PROP. LIGHT POLE
- *— PROP. BUILDING LIGHT
- CONCRETE SURFACE
- POST
- EXIST. BOLLARD
- PROP. BOLLARD
- FENCE
- 50' — FIRE HOSE LAY LENGTHS
- 250' — FIRE HYDRANT 250' COVERAGE RADIUS
- T — TRASH CONTAINER
- R — RECYCLING CONTAINER

FIRE PROTECTION NOTES:

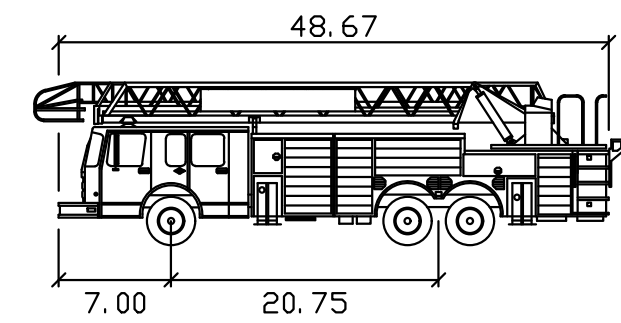
1. BUILDINGS SHALL NOT BE SPRINKLERED
2. CONSTRUCTION SEQUENCE:
 - A. HYDRANTS SHALL BE IN SERVICE PRIOR TO VERTICAL BUILDING CONSTRUCTION.
 - B. HYDRANTS PROVIDING COVERAGE FOR BUILDINGS SHALL BE IN SERVICE BEFORE COMBUSTIBLE MATERIALS ARE PLACED.
 - C. STORAGE AREAS FOR CONSTRUCTION MATERIAL MUST BE SO AS NOT TO INTERFERE WITH EMERGENCY SITE ACCESS
3. NO FIRE WALLS WILL BE CONSTRUCTED WITHIN BUILDINGS

STUDY TRUCKS



REFUSE VEH.

Width	: 8.42
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.8



FIRE TRUCK

Width	: 10.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 29.1

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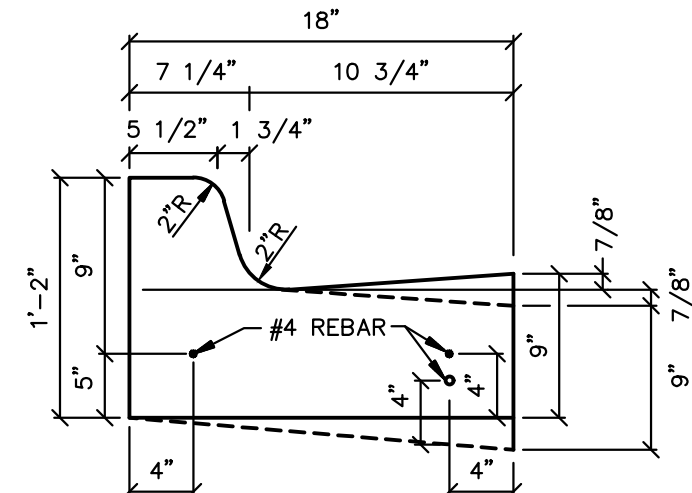
2385 E ELLSWORTH
 SITE PLAN
 FIRE PROTECTION AND REFUSE PLAN

09

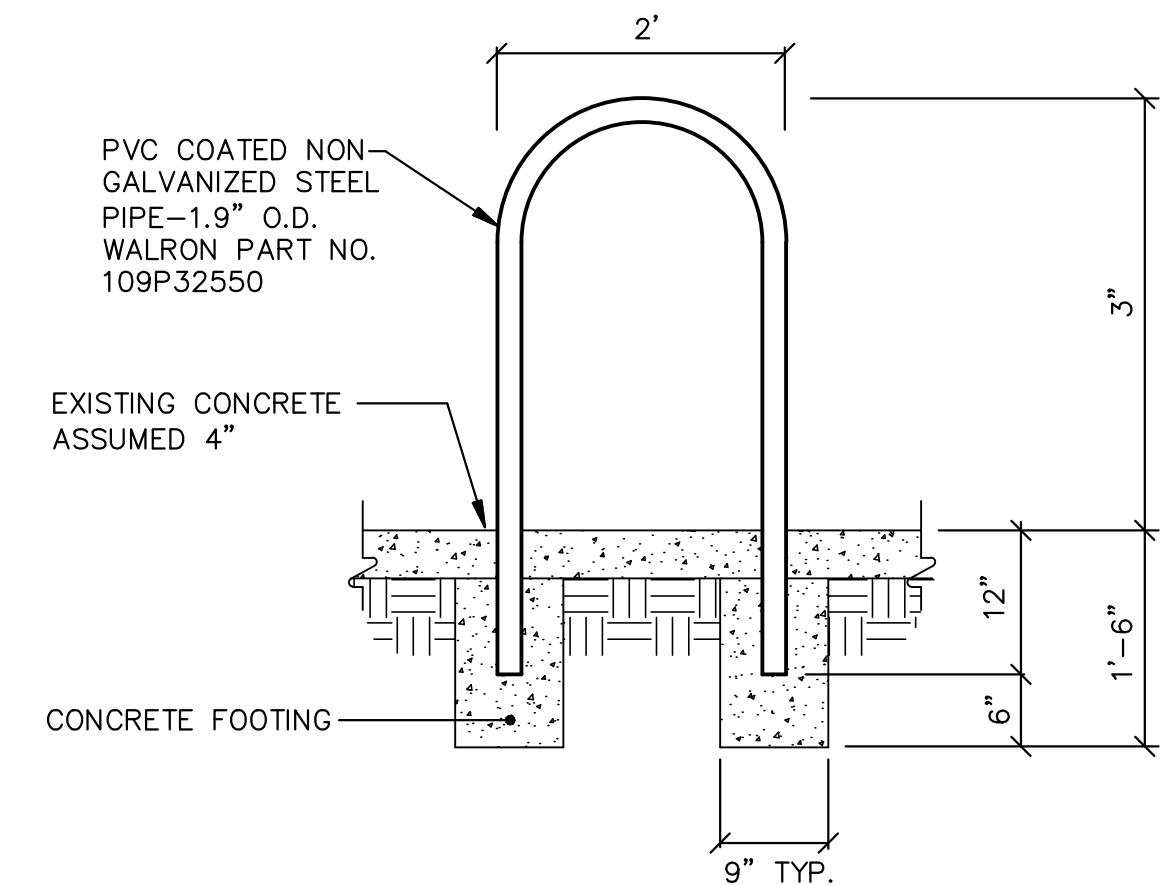
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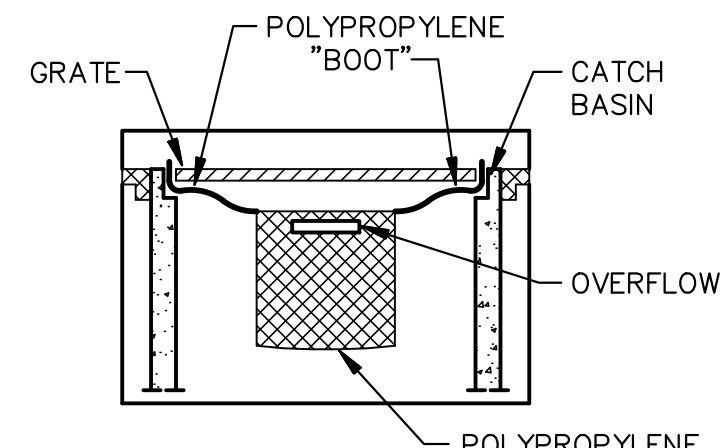
M:\Civ\132_P\13300\Site Plan\1330007.dwg, 9/26/2019 8:18 AM, Heath Hertl, 10 SITE DETAILS, MLC PDF.p3
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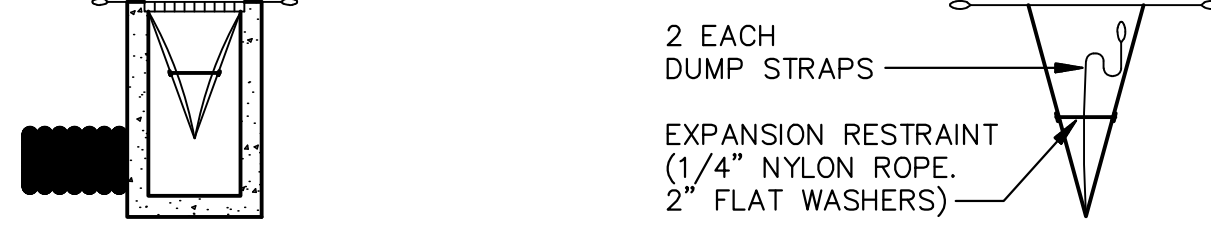
MDOT F-2 CURB AND GUTTER
MDOT F-2 CURB W/SPILLOUT GUTTER
 NOT TO SCALE



BIKE RACK (PROFILE)
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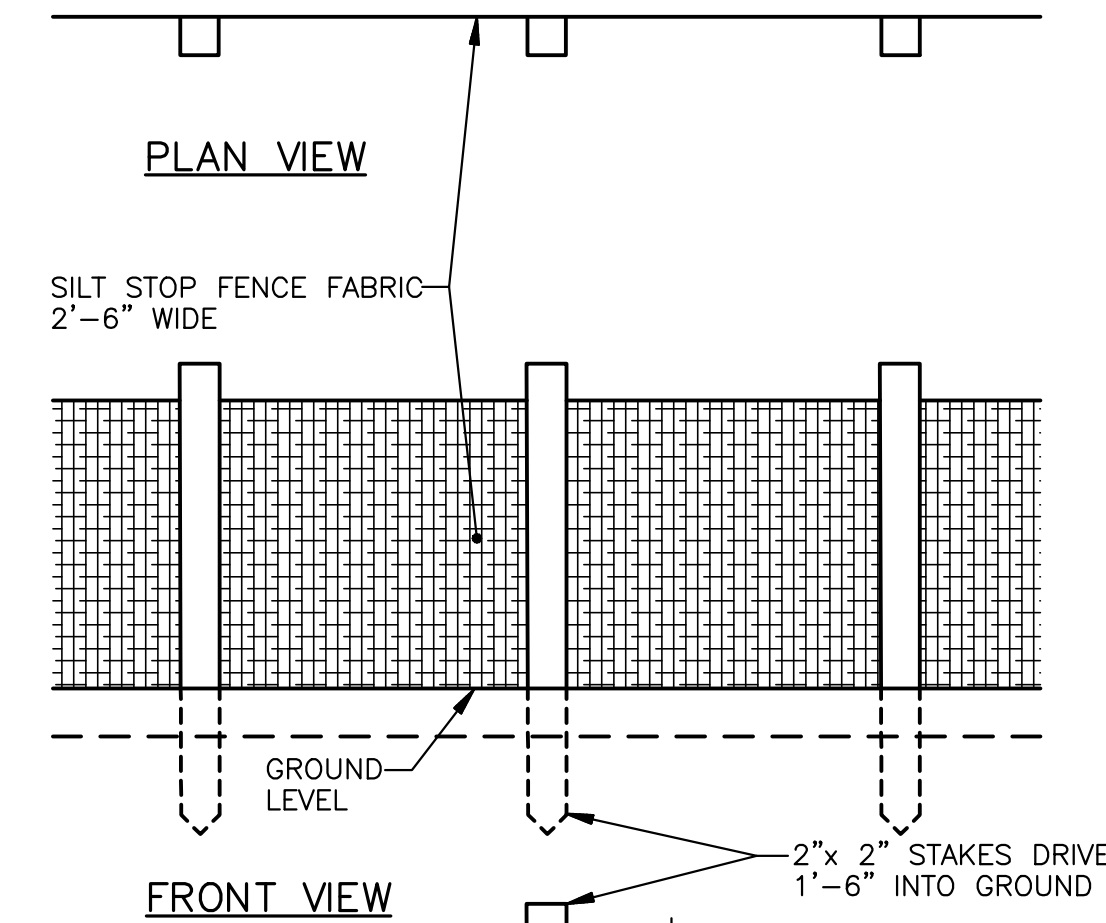


NOTE: TEMPORARY INLET SEDIMENT FILTER TO BE INSTALLED ON ALL PAVED CATCH BASINS OR STORM INLETS. INLET FILTER TO BE SIMILAR TO "STREAMGUARD" AS MANUFACTURED BY STORMWATER SERVICES CORPORATION (206-767-0441) OR "SILTSACK" AS MANUFACTURED BY ATLANTIC CONSTRUCTION FABRICS, INC.; (800-448-3636). CLEAN FILTER AS NEEDED.



INSTALLATION DETAIL

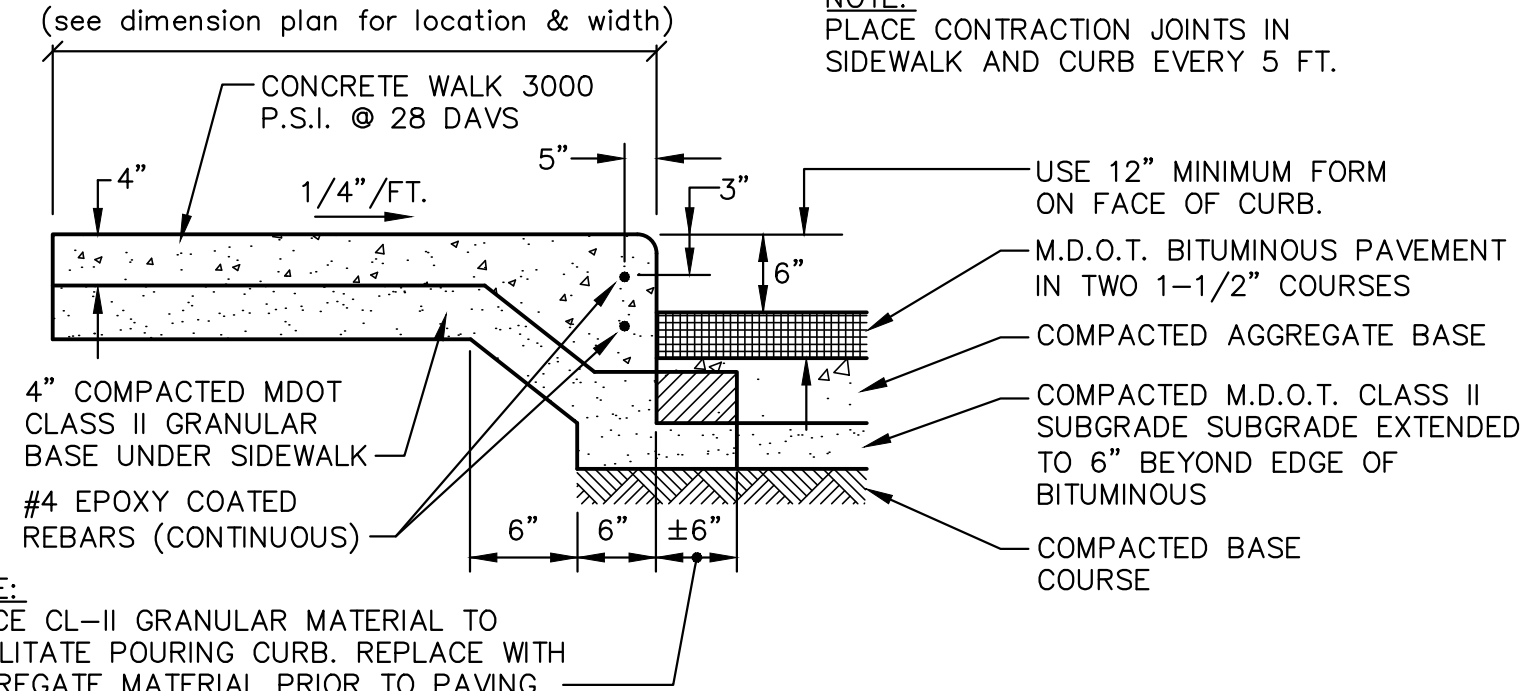
BAG DETAIL



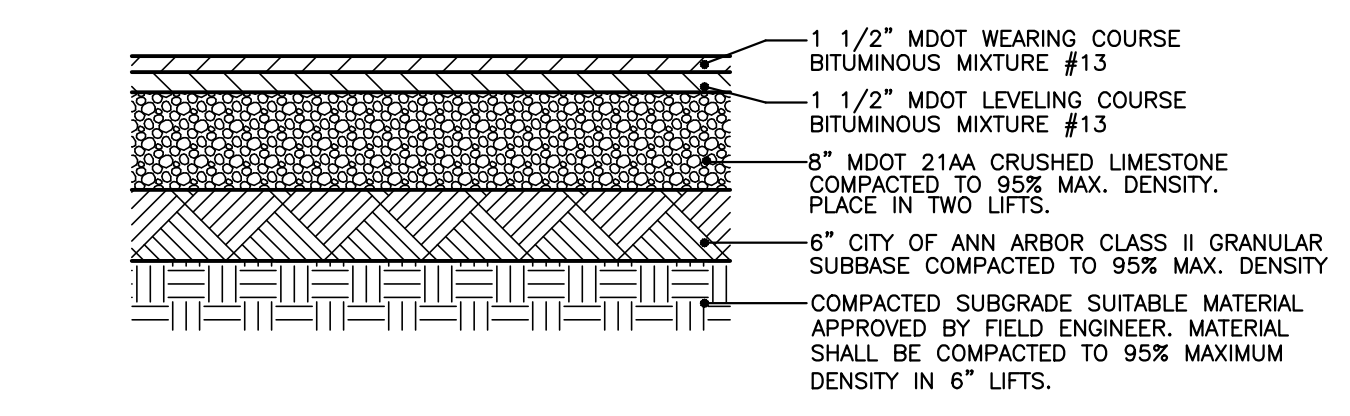
FRONT VIEW

CROSS-SECTION

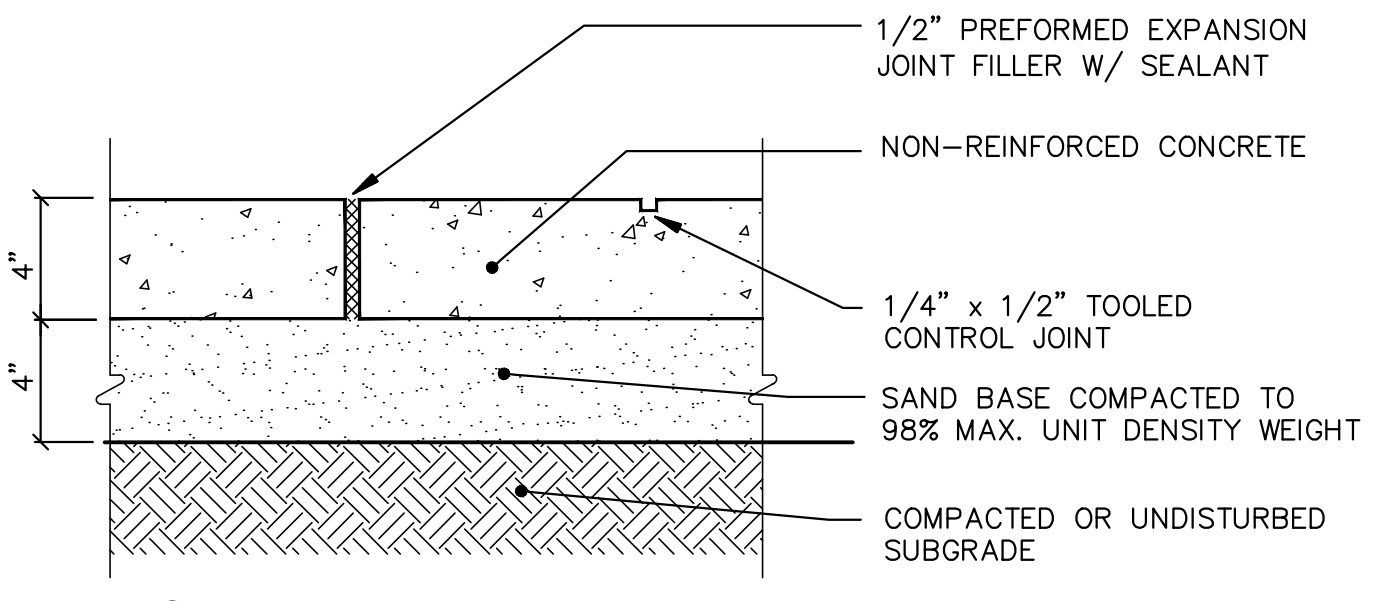
SILT FENCE DETAIL
 NO SCALE



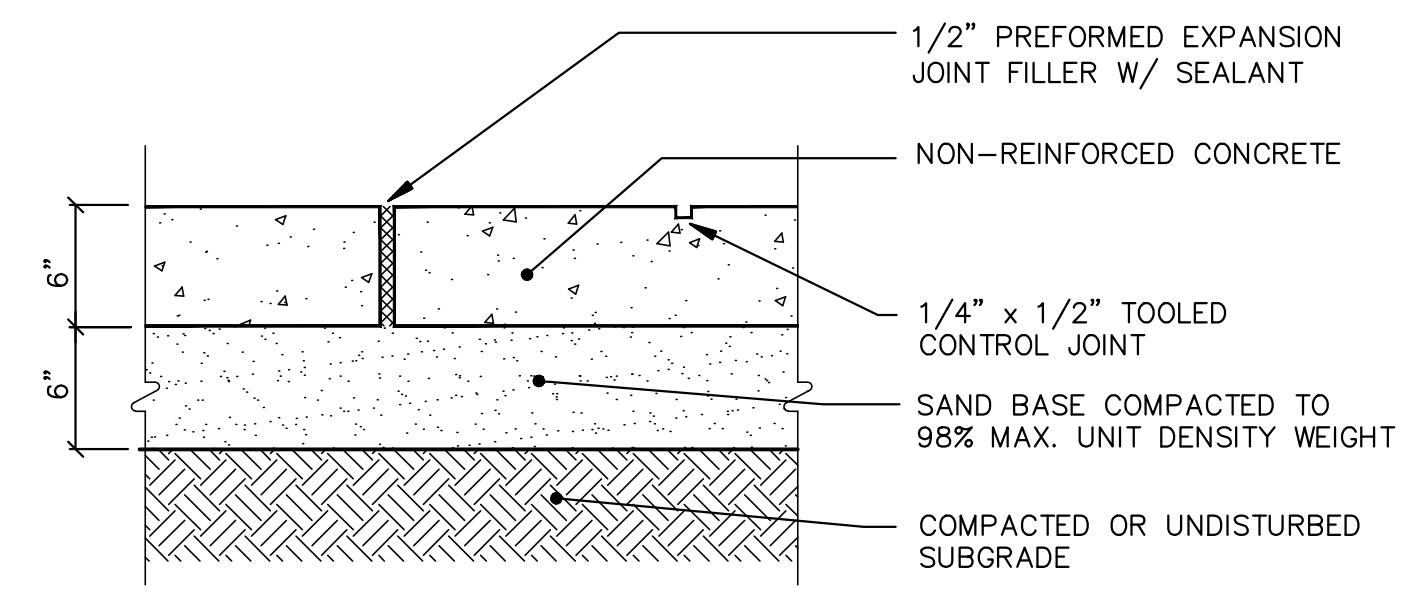
TYPICAL INTEGRAL WALK AND CURB
 NOT TO SCALE



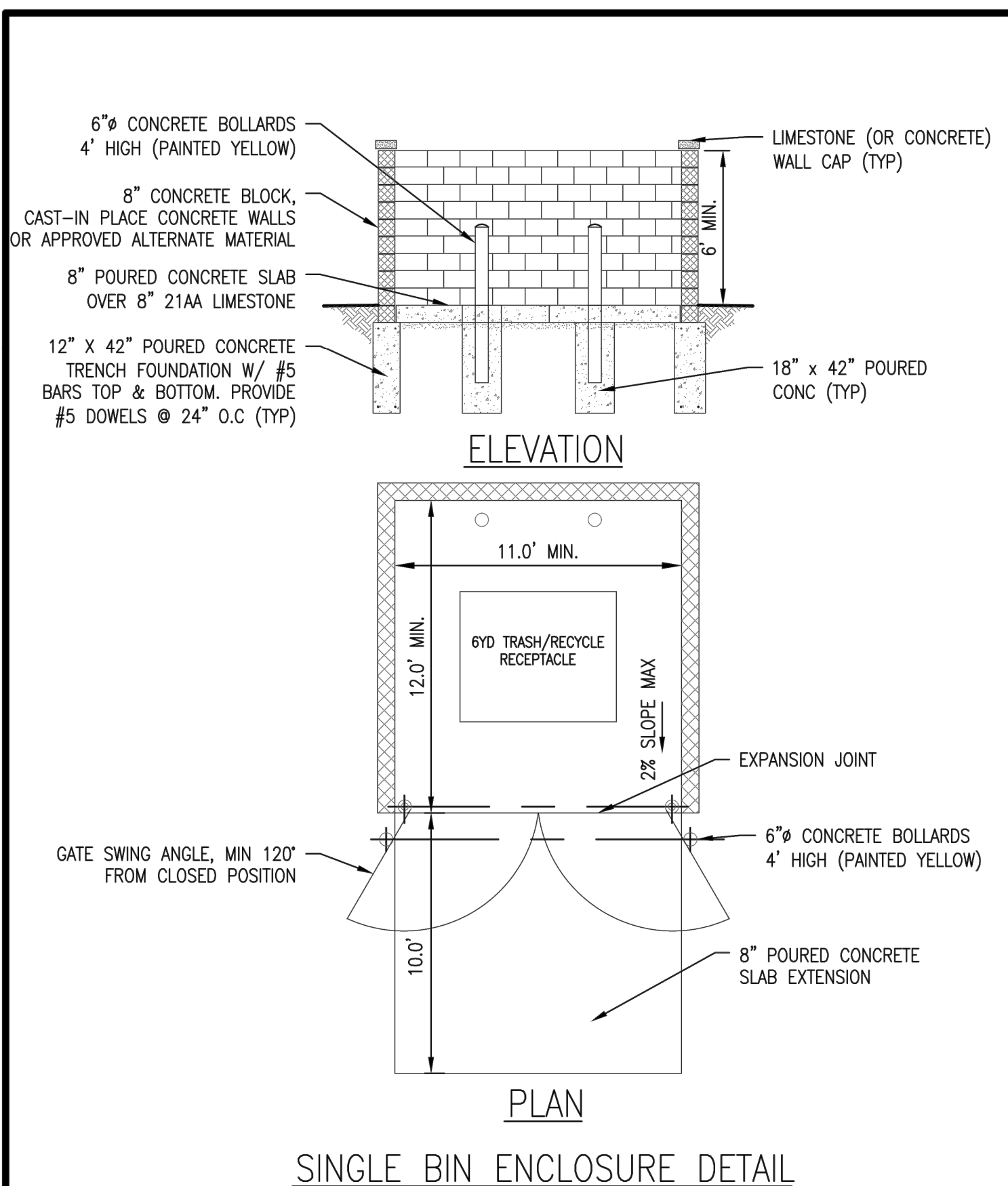
BITUMINOUS PAVEMENT DETAIL
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CONCRETE WALK DETAIL
 NOT TO SCALE



HEAVY DUTY CONCRETE DETAIL
 NOT TO SCALE

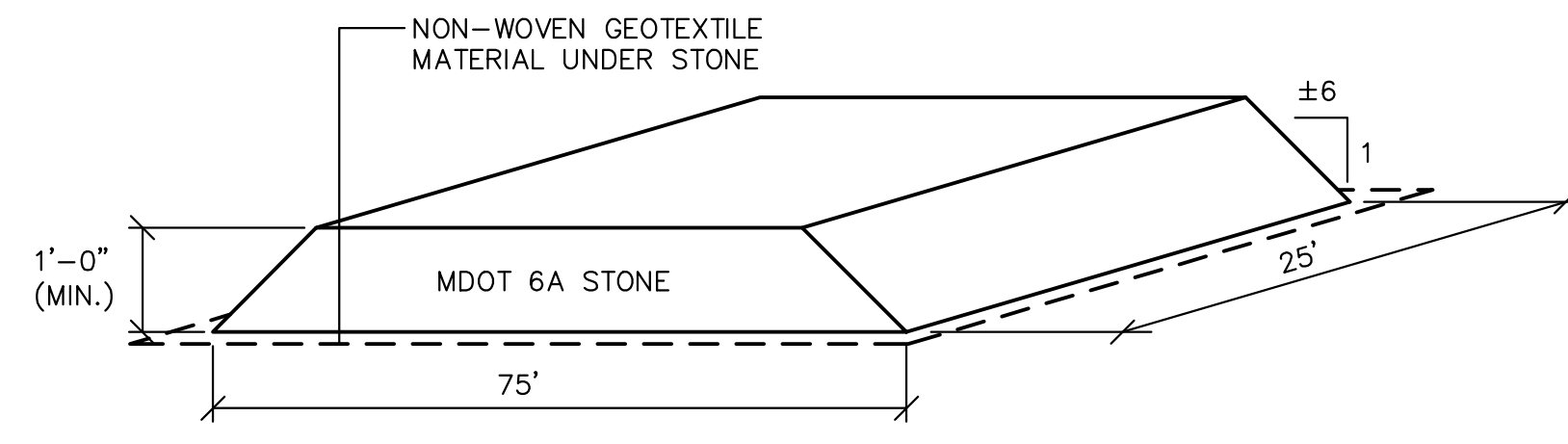


SINGLE BIN ENCLOSURE DETAIL

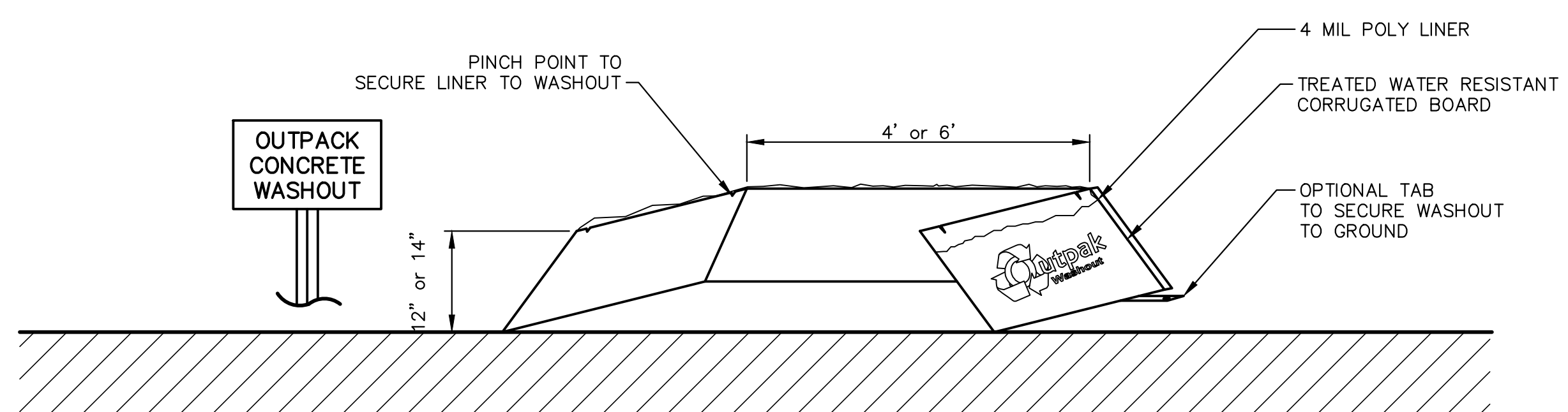


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REV. NO.	DATE	DRAWN BY	CHECKED BY
SOLID WASTE STANDARD DETAILS			
DR. OHM	CH. CJE	DRAWING NO.	
SCALE N.T.S.	DATE 12/29/15	PAGE 1	



GRAVEL MUD TRACKING MAT
 NOT TO SCALE



OUTPACK CONCRETE WASHOUT DETAIL
 NOT TO SCALE

- NOTES:**
1. THE CONCRETE WASHOUT AREA SHALL BE INSTALLED PRIOR TO ANY CONCRETE PLACEMENT ON THIS PROJECT.
 2. SIGNS SHALL BE PLACED AS NECESSARY TO CLEARLY INDICATE THE LOCATION OF THE CONCRETE WASHOUT.
 3. THE CONCRETE WASHOUT AREA WILL BE REPLACED AS NECESSARY TO MAINTAIN CAPACITY FOR WASTE CONCRETE AND OTHER LIQUID WASTE.
 4. WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE SITE.
 5. DO NOT MIX EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON-SITE.
 6. DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
 7. AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS.
 8. LOCATE WASHOUT AREA AT LEAST 50' (15 METERS) FROM STORM DRAINS, OPEN DITCHES, OR WATERBODIES.
 9. WASH OUT WASTES INTO THE OUTPACK WASHOUT AS SHOWN WHERE THE CONCRETE CAN SET, BE BROKEN UP, AND THEN DISPOSED OF PROPERLY.

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2385 E ELLSWORTH
 SITE PLAN
 SITE DETAILS

10

JOB No. 18300
 REVISIONS:
 DATE: 9/26/19
 SHEET 10 OF 14
 REV. DATE
 CADD
 ENG. RTH
 PM. RTH
 TECH. RTH
 1830007



DAMIAN
 FARRELL
 DESIGN
 GROUP

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 tel: 734.998.1331

FOR SITE PLAN APPROVAL

2385 E ELLSWORTH
 2385 E ELLSWORTH ROAD
 ANN ARBOR, MI 48108

DATE	DESCRIPTION
09.26.19	SITE PLAN APPROVAL

DESIGN	Designer
DRAWN	Author
PROJECT NO.	180208_05_07

PERSPECTIVE &
 STREETWALL

Ao.00

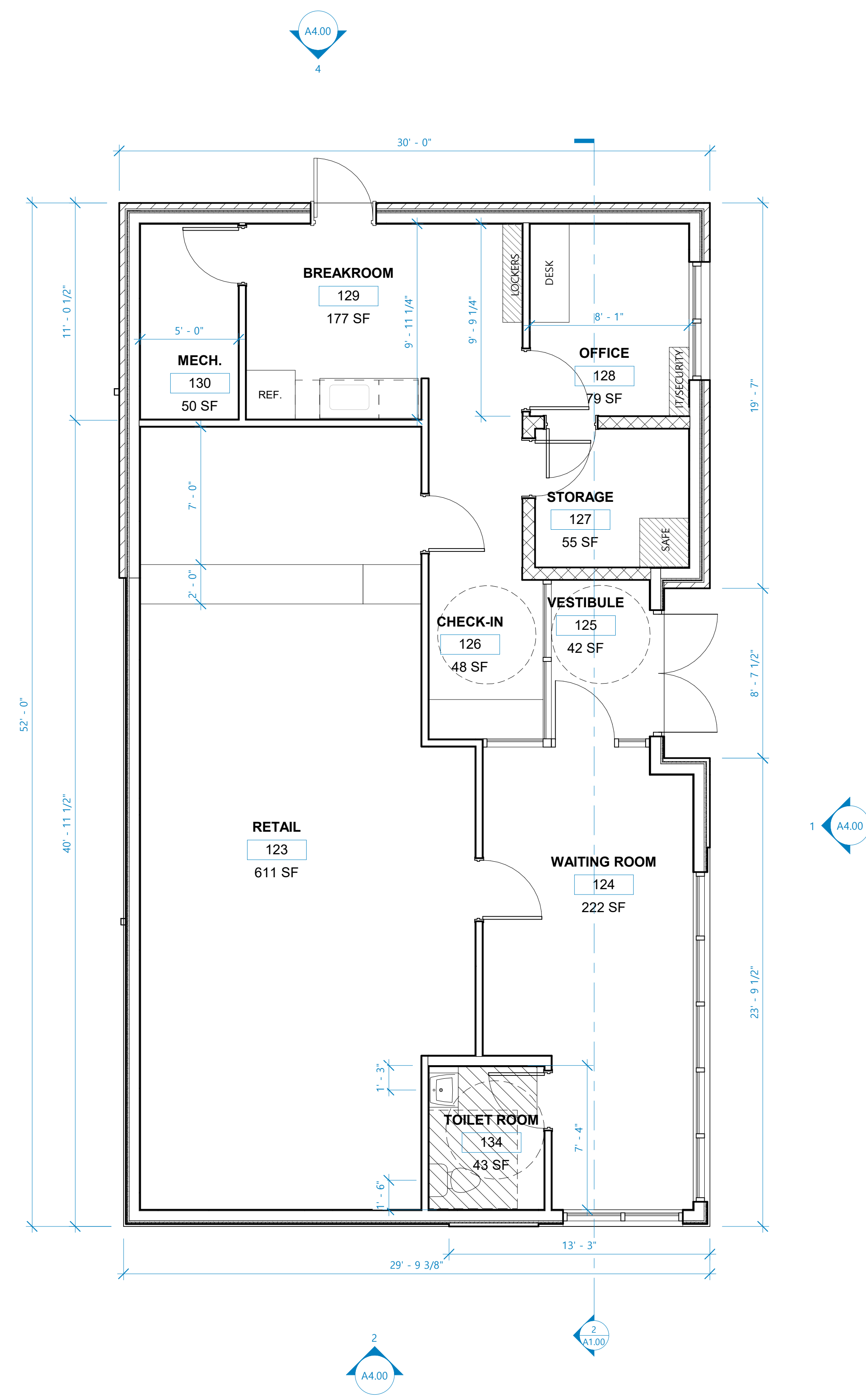
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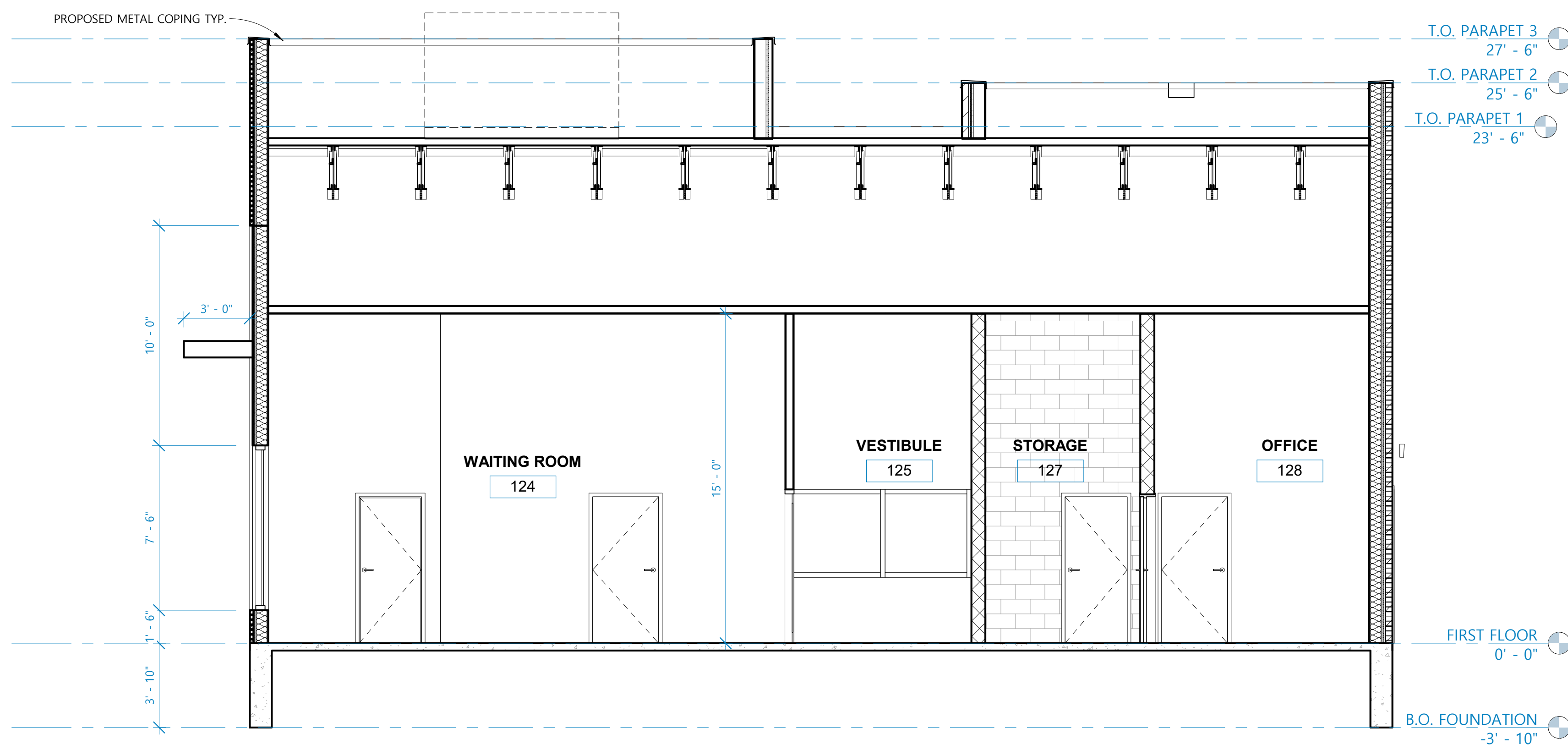
DESIGN	Designer
DRAWN	Author
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FLOOR PLAN & SECTION

A1.00



1 NEW BUILDING FLOOR PLAN
1/4" = 1'-0"



2 PROPOSED BUILDING SECTION
1/4" = 1'-0"



**DAMIAN
FARRELL
DESIGN
GROUP**

359 METTY DRIVE, SUITE 4A
ANN ARBOR, MI 48103
tel: 734.998.1331

2385 E ELLSWORTH
2385 E ELLSWORTH ROAD
ANN ARBOR, MI 48108

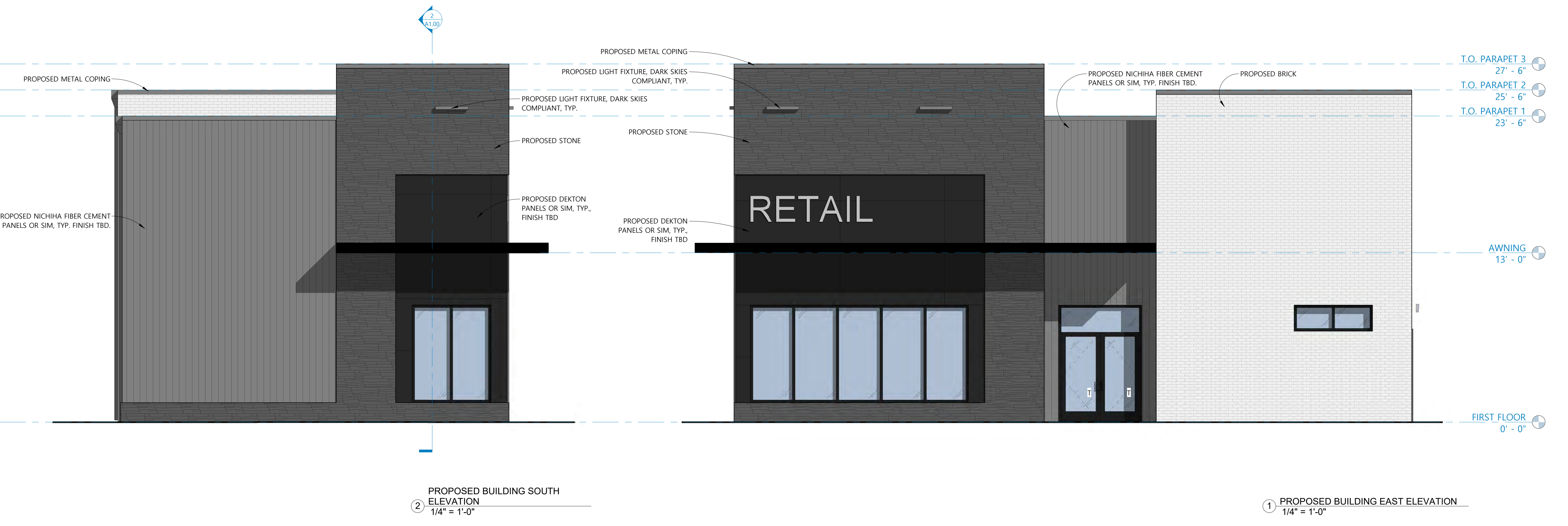
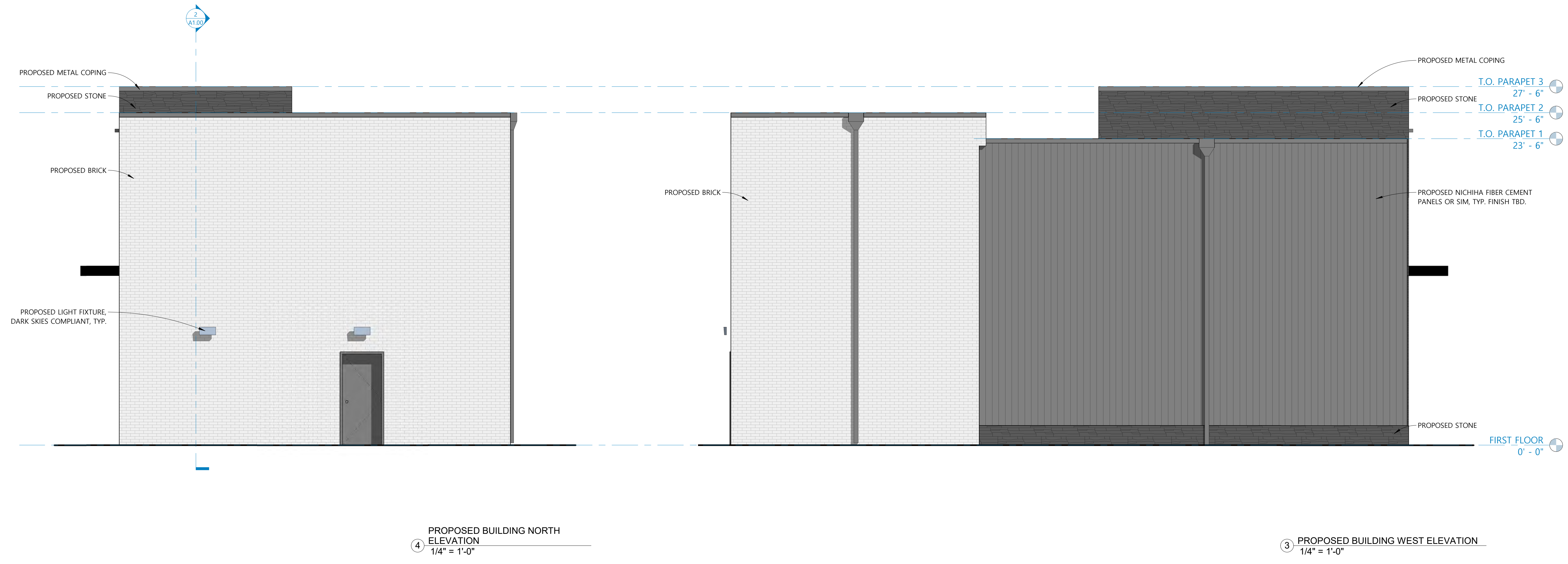
FOR SITE PLAN APPROVAL

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DESIGN: Designer
DRAWN: Author
PROJECT NO.: 180208_05_07

ELEVATIONS

A4.00



C:\Users\architect.D\FDG1\Documents\190912_2385 Ellsworth Road_Lot_split_central_2020_detached_architect.rvt

313.645.2771

[HYPERLINK](mailto:M2C2.Brian@gmail.com)

<mailto:M2C2.Brian@gmail.com>

M2C2.Brian@gmail.com

[Link](http://www.hyperlink.com)

PO Box 2088

Ann Arbor, MI. 48106

September 15, 2020

Brett Lenart

301 E. Huron St, PO Box 8647

Ann Arbor, MI 48107-8647

Dear Mr. Lenart,

I am writing you today to formally request an amendment to SEU18-034's conditions pursuant to Section 5.29.5.E.3 of the Unified Development Code. Specifically, we respectfully request that the condition requiring Site Plan Approval by November 19, 2020, and other conditions subject to the new land division and site plan be extended by 6 months to allow the applicant additional time for submittal and review of the revised site plan.

In reviewing the previous proposed Site Plan it was determined that significant cost savings could be achieved by repurposing the existing building in lieu of new construction. Through background due diligence of existing provisioning centers and retail facilities currently in service within the City it was determined that there would be a greater need for additional parking to allow for operation of the facility and to help alleviate traffic circulation within the site and public roadway. The reuse of the existing building would allow for both a cost savings for the project and would also allow for the additional needed parking on site.

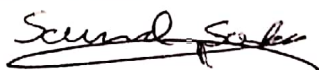
Unfortunately, complications from the COVID pandemic have greatly impacted the efficiencies of design, engineering and professional staff. The mandated government restrictions have also led to delays which have greatly impacted this process. Despite our team's best efforts, we have experienced significant delays from our design and engineering professionals due to the difficulties that they have experienced in adapting to a remote office environment and the challenges that presents for highly collaborative industries. Furthermore, the City's transition to remote working has removed some of the traditional face-to-face spontaneous problem solving opportunities, as well as more productive in-person meetings with staff. We understand the challenges that the pandemic has created the planning department and we do appreciate how staff has tried to keep things moving along,

but unfortunately all of these impediments have created delays that have put this project in jeopardy.

In closing, we once again would respectfully request an extension of the SEU conditions subject to the new land division and site plan be extended six months to allow for the submission and approval of the site plan and amended SEU.

Very truly yours,

Sarmed Soka

A handwritten signature in black ink, appearing to read "Sarmed Soka", with a horizontal line drawn underneath it.

cc: Alexis Dileo
Kyle Gonzalez
Brian Fenech
Heath Heart