

NEW BUILDING FOR

# 3551 PACKARD

3551 PACKARD  
ANN ARBOR, MI

ARCHITECT'S PROJECT #1274-23

## INDEX OF DRAWINGS

T1.01 TITLE SHEET

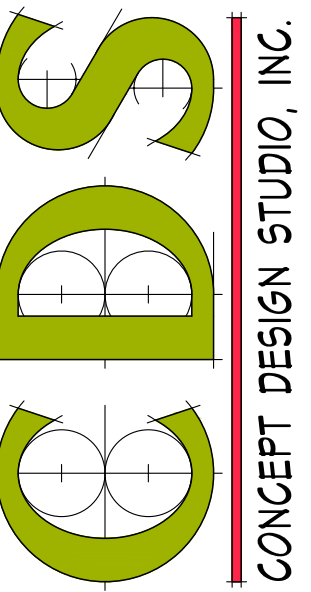
### CIVIL

SHEET 1 OF 1 ALTA SURVEY (BY OTHERS)  
C1.01 SCHEMATIC SITE PLAN  
C1.02 NEIGHBORHOOD SITE AERIAL  
L1.01 SCHEMATIC LANDSCAPE PLAN

### ARCHITECTURAL

A1.01 SCHEMATIC FIRST FLOOR PLAN  
A1.02 SCHEMATIC 2-4 FLOOR PLAN  
A1.03 CONCEPTUAL EXTERIOR ELEVATION  
A1.04 CONCEPTUAL RENDERING

CONCEPT DESIGN STUDIO, INC.  
800 E. ELLIS ROAD, SUITE 508  
NORTON SHORES, MI 49441  
PH. (231) 799-4936  
FAX (231) 799-4937



NEW BUILDING FOR:  
**3551 PACKARD**  
3551 PACKARD STREET, ANN ARBOR, MI

## SCHEMATIC REVIEW SET

MAY 07, 2024

### ABBREVIATIONS

ABOVE FINISH FLOOR	AFF	GALVANIZED	GALV	QUARRY TILE	QT
ACOUSTICAL TILE	ACT	GAUGE	GA		
ADJACENT	ADJ	GLASS	GL		
AIR ADMITTANCE VALVE	AAV	GRADE	GR	RADIUS	R
ALUMINUM	AL	GYPSUM BOARD	GYP BD	REFRIGERATOR	REFRIG
AMERICAN DISABILITIES ACT	ADA	GLAZED MASONRY UNIT	GMU	REINFORCEMENT	REINF
ANODIZED	ANOD.			REQUIRED	REQ'D
APPROXIMATELY	APPROX			ROOF DRAIN	RD
AREA DRAIN	AD	HAND DRYER	HD	ROOF VENT	RV
AT	@	HANDICAPPED	HDGP	ROOM	RM
		HARDWOOD	HDWD	ROUGH OPENING	RO
		HEATING	HTG	RUBBER FLOOR TILE	RFT
		HEATING VENTILATION AND AIR CONDITIONING	HVAC		
		HEIGHT	HT	SANITARY SECTION	SAN SECT
BASEMENT	BSMT	HIGH POINT	HP	SHEET	SHT
BEARING	BRG	HIGHWAY	HXY	SHEET METAL	SHT MTL
BENCH MARK	BM	HOLLOW METAL	HM	SIMILAR	SIM
BETWEEN	BTVN	HORIZONTAL	HORIZ	SIMILAR TO	SIM TO
BARRIER FREE	B.F.	HOT WATER	HW	SMART BOARD	SB
BLOCK	BLK	HOT/COLD WATER	HGW	SPECIFICATION	SPEC
BOARD	BD			SQUARE	SQ
BOTTOM OF	B.O.	INCLUDE	INCL	STAINLESS STEEL	SS
BOTTOM OF STEEL BUILDING	B.O.S. BLDG	INFORMATION	INFO	STANDARD	STD
		INSIDE DIMENSION	ID	START POINT	SP
		INSULATION	INSUL	STEEL	STL
				STORAGE	STOR
CABINET	CAB			STRUCTURAL	STRUCT
CARPET	CPT	JANITOR	JAN	SUSPENDED	SUSP
CATCH BASIN	CB	JANITOR CLOSET	JC		
CEILING	CLG	JOINT	JT	TACK BOARD	TB
CENTER LINE	CL	JOIST	JST	TEMPERED	TEMP
CLEAN OUT	CO			TONGUE & GROOVE	T & G
COLD WATER	CW	LAMINATE	LAM	TOP OF FOOTING	T.O. FTG
COLUMN	COL	LINEAR	LIN	TOP OF FOUNDATION	T.O. FND
CONCRETE	CONC	LONG LEG VERTICAL	LLV	TOP OF STEEL	T.O.S.
CONCRETE MASONRY UNIT	CMU	LOW POINT	LP	TOP OF WALL	T.O.W.
CONTINUOUS	CONT	LOWER LEVEL	LL	THICK	THK
CONTROL JOINT	C.J.			THROUGH	THRU
CUBIC	CU			TYPICAL	TYP.
		MAN HOLE	MH		
DEMOLITION	DEMO	MANUFACTURER	MFR	UNDERWRITER'S LABORATORY	UL
DETAIL	DET	MARKER BOARD	MB	UNLESS NOTED OTHERWISE	UNO
DIAMETER	DIA	MASONRY OPENING	MO		
DIMENSION	DIM	MAXIMUM	MAX	VENT THROUGH ROOF	VTR
DOWN	DN	MECHANICAL	MCH	VENTILATION	VENT
DOWNSPOUT	DN	METAL	MTL	VERIFY IN FIELD	V.I.F.
DRAWING	DWG	MINIMUM	MIN	VERTICAL	VERT
		MISCELLANEOUS	MISC	VINYL COMPOSITE TILE	VCT
		MOUNTED	MTD	VINYL WALL COVERING	VWC
				VOLUME	VOL
EACH	EA	NOMINAL	NOM		
ELECTRIC	ELEC	NOT IN CONTRACT	NIC	WALL CLEAN OUT	W.C.O.
ELECTRIC WATER COOLER	EWG	NUMBER	NUM	WELDED WIRE FABRIC	WWF
ELEVATION	EL			WELDED WIRE MESH	WWM
ELEVATOR	ELEV	ON CENTER	O.C.	WITH	WI
EQUAL	EQ	OPENING	OPN	WITHOUT	WO
EQUIPMENT	EQUIP	OPPOSITE	OPP	WOOD	WD
EXISTING	EXIST	OPPOSITE HAND	O.H.	WOLMANIZED	WOLM
EXPANSION	EXP	OUTSIDE DIAMETER	OD	WORK POINT	WP
EXPANSION JOINT	EJ	OVER HEAD DOOR	OHD		
				YARD CLEAN OUT	Y.C.O.
FEET	FT	PAIR	PR		
FINISHED	FIN	PLASTER CEMENT	PLCG		
FINISHED FLOOR	FF	PLASTER GYPSUM	PLSG		
FIRE EXTINGUISHER	FE	PLATE	FLT		
FIRE EXTINGUISHER CABINET	FEC	PLYWOOD	FLND		
FLOOR	FL	PORCELAIN CERAMIC TILE	PCT		
FLOOR DRAIN	FD	PRESSURE TREATED	PT		
FOOTING	FTG				
FOUNDATION	FND				
FROM FINISHED FLOOR	FFF				

PROJECT # 1274-22

#### ISSUANCES

OWNER REVIEW	08.14.2023
OWNER REVIEW	04.14.2023
OWNER REVIEW	03.18.2024
OWNER REVIEW	05.01.2024

#### REVISIONS


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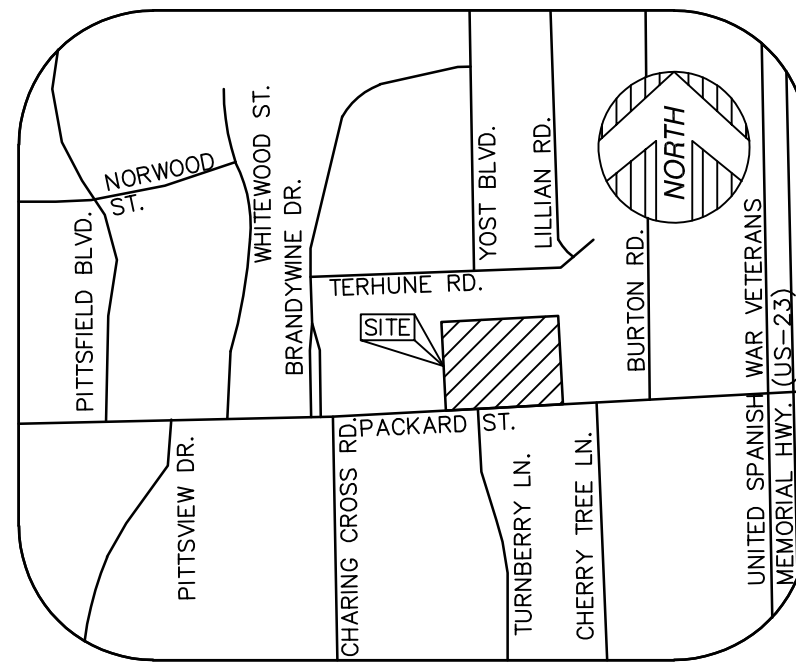
SHEET TITLE  
TITLE SHEET

SHEET NO.

T1.01

PRELIMINARY  
NOT FOR CONSTRUCTION





VICINITY MAP  
(NOT TO SCALE)

**PARKING**

NO MARKED PARKING ON SITE

**PARCEL AREA**

121,342± SQUARE FEET = 2.79± ACRES

**BASIS OF BEARING**

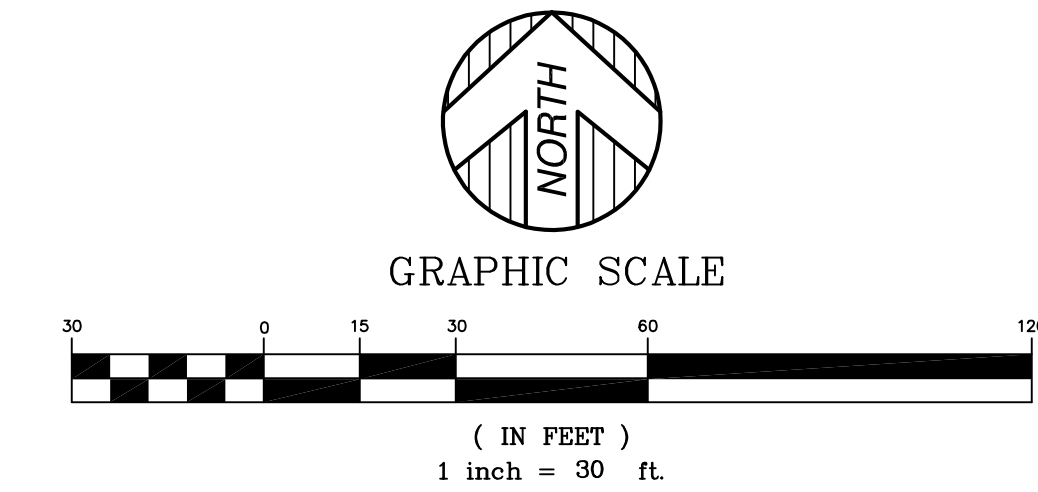
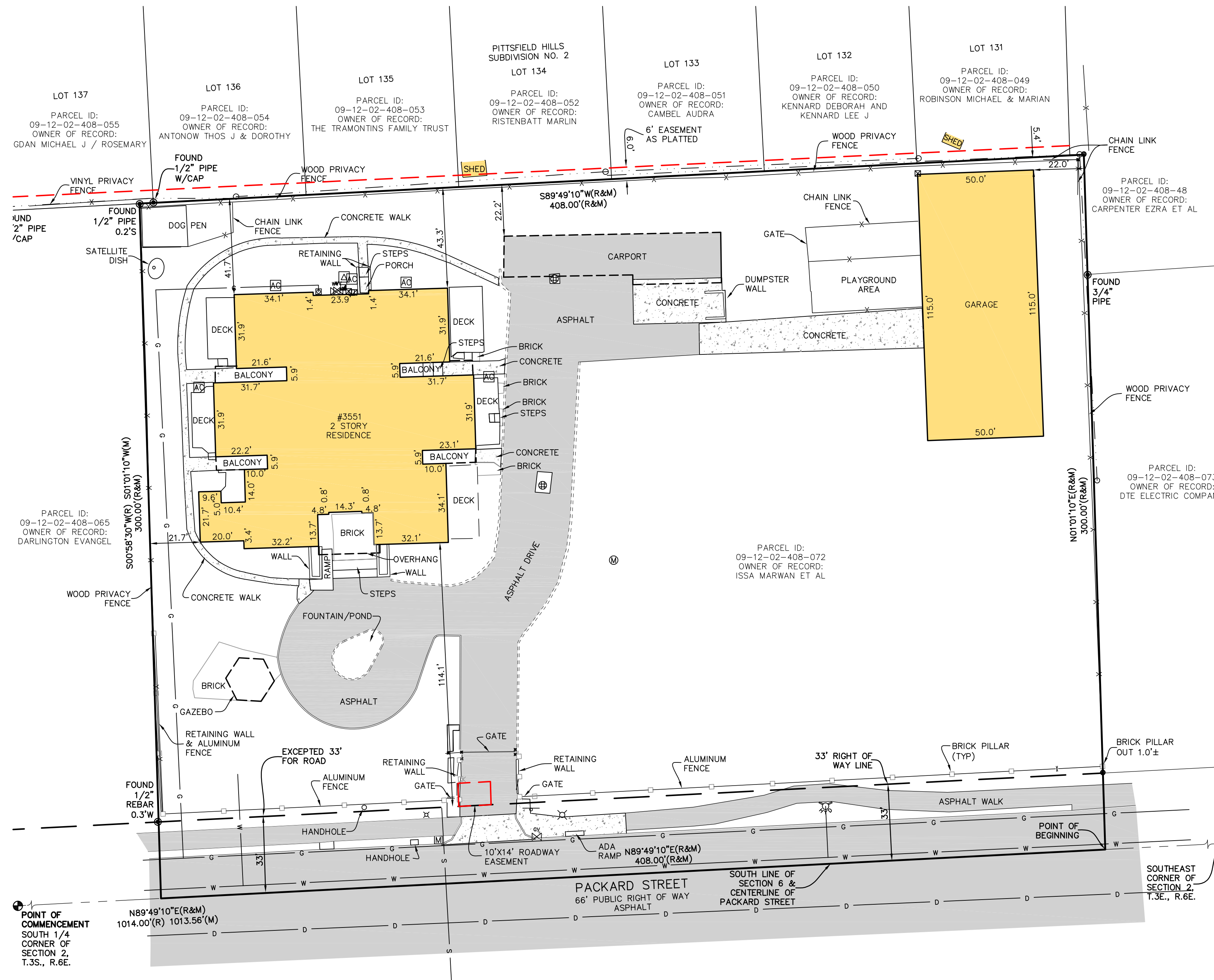
NORTH 89°49'10" EAST, BEING THE SOUTH LINE OF SECTION 2, T3S, R6E, AS DESCRIBED

**SURVEYOR'S NOTES**

- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN THE STRUCTURE INVENTORY SHOWN HEREON.
- THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
- THE SURVEYOR IS UNAWARE OF ANY PROPOSED CHANGES IN STREET RIGHT OF WAY LINES. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.

**LEGEND**

- SET 1/2" REBAR WITH CAP P.S. 47976
- ⊙ FOUND MONUMENT (AS NOTED)
- ⊙ FOUND SECTION CORNER (AS NOTED)
- (R&M) RECORD AND MEASURED DIMENSION
- (R) RECORD DIMENSION
- (M) MEASURED DIMENSION
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PANEL
- ⊕ TRANSFORMER
- ⊕ UTILITY POLE
- ⊕ GAS METER
- ⊕ GAS VALVE
- ⊕ CABLE TV BOX
- ⊕ CABLE TV RISER
- ⊕ TRAFFIC SIGNAL
- ⊕ ROUND CATCH BASIN
- ⊕ FIRE HYDRANT
- ⊕ WATER VALVE
- ⊕ UNKNOWN MANHOLE
- ⊕ AIR CONDITIONING UNIT
- ⊕ FENCE POST
- ⊕ MAIL BOX
- ⊕ DECIDUOUS TREE (AS NOTED)
- PARCEL BOUNDARY LINE
- PLATTED LOT LINE
- ADJOINER PARCEL LINE
- SECTION LINE
- EASEMENT (AS NOTED)
- RIGHT-OF-WAY
- BUILDING
- BUILDING OVERHANG
- CONCRETE CURB
- RAISED CONCRETE
- EDGE OF CONCRETE (CONC.)
- EDGE OF ASPHALT (ASPH.)
- EDGE OF BRICK
- FENCE (AS NOTED)
- WALL (AS NOTED)
- OVERHEAD UTILITY LINE
- GAS LINE
- SANITARY LINE
- STORM LINE
- WATER LINE
- BUILDING AREA
- ASPHALT
- CONCRETE



**PROPERTY DESCRIPTION**

THE LAND SITUATED IN THE ANN ARBOR, COUNTY OF WASHTENAW, STATE OF MICHIGAN, IS DESCRIBED AS FOLLOWS:  
A PORTION OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 2, TOWN 3 SOUTH, RANGE 16 EAST, PITTSFIELD TOWNSHIP (NOW CITY OF ANN ARBOR), WASHTENAW COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTH 1/4 CORNER OF SECTION 2 AND THE CENTER OF PACKARD ROAD; THENCE NORTH 89 DEGREES 49 MINUTES 10 SECONDS EAST 1014.0 FEET TO THE POINT OF BEGINNING; THENCE NORTH 01 DEGREE 01 MINUTE 10 SECONDS EAST 300.0 FEET; THENCE SOUTH 89 DEGREES 49 MINUTES 10 SECONDS WEST 408.0 FEET TO THE EASTERN EDGE OF THAT PROPERTY CONVEYED IN THE WISCONSIN EVANGELICAL LUTHERAN SYNOD IN A DEED RECORDED AT LIBER 980, PAGE 385, WASHTENAW COUNTY RECORDS; THENCE SOUTH 00 DEGREES 58 MINUTES 30 SECONDS WEST 300.0 FEET; THENCE NORTH 89 DEGREES 49 MINUTES 10 SECONDS EAST 408.0 FEET TO THE POINT OF BEGINNING BEING A PART OF SECTION 2, WASHTENAW COUNTY, MICHIGAN.

**TITLE REPORT NOTE**

A CURRENT TITLE POLICY HAS NOT BEEN FURNISHED AT TIME OF SURVEY. THEREFORE EASEMENTS AND/OR ENCUMBRANCES AFFECTING SUBJECT PARCEL MAY NOT BE SHOWN.

**FLOOD NOTE**

SUBJECT PARCEL LIES WITHIN:  
ZONE X: AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN.  
AS SHOWN ON FLOOD INSURANCE RATE MAP: MAP NUMBER 26161C0405E, DATED 4/3/2012, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

**ZONING REGULATIONS**

R4A - MULTIPLE-FAMILY RESIDENTIAL DISTRICT  
\*MINIMUM LOT SIZE - 4,300 SQUARE FEET  
\*REQUIRED MINIMUM SETBACK LINES -  
FRONT - MIN. 15 FEET / MAX. 40 FEET  
SIDE - 20 FEET  
REAR - 30 FEET  
\*MAXIMUM HEIGHT - 35 FEET OR 45 FEET WHEN PARKING SPACES ARE BELOW AT LEAST 35% OF THE BUILDING  
NOTE: ALL ZONING INFORMATION IS TAKEN FROM THE CITY OF ANN ARBOR WEBSITE. ALL ZONING INFORMATION MUST BE VERIFIED FOR COMPLETENESS WITH CURRENT ZONING REGULATIONS.

**SURVEYOR'S CERTIFICATION**

TO MHT HOUSING, INC.:  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 6B, 7A, 7B1, 7B2, 8, 9, 10, 11A, 11B, 13, 16, 17, 19, AND 20 OF TABLE A, THEREOF. THE FIELD WORK WAS COMPLETED ON 04/16/24.  
DATE OF PLAT OR MAP: 04/23/24

**DRAFT**

ANTHONY T. SYCKO, JR., P.S.  
PROFESSIONAL SURVEYOR  
MICHIGAN LICENSE NO. 47976  
22556 GRATIOT AVE., EASTPOINTE, MI 48021  
TSycko@kemttec-survey.com

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**ALTA / NSPS LAND TITLE SURVEY**  
PREPARED FOR: MHT HOUSING, INC.  
3551 PACKARD STREET, ANN ARBOR, MICHIGAN.  
PART OF SECTION 2, TOWN 3 SOUTH, RANGE 16 EAST

NO.	DATE	REVISION	DESCRIPTION
1	04/23/24		
2	04/23/24		
3	APRIL 23, 2024		
4	24-00626		
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### PARKING CALC'S



NEW 4-STORY BUILDING = 49 UNITS + 4,000 S.F. COMMERCIAL  
 = 54 PARKING SPACES PROVIDED

ALL PARKING SPACES = 9'-0" WIDE x 18'-0" DEEP 1/4" MIN. 20'-0" DRIVE LANE

### WASTE COLLECTION

FOR THE NEW BUILDING, THE OWNERS INTENT FOR WASTE COLLECTION IS TO HAVE A SCREENED IN DUMPSTER LOCATION ON SITE. REFER TO DETAILS ON SHEET C1.03. TRASH & RECYCLABLES WOULD BE COLLECTED BY A DISPOSAL COMPANY AS NECESSARY.

### LEGEND

-  NEW CONCRETE SIDEWALK
-  NEW BITUMINOUS PAVING

### SITE NOTES:

CURRENTLY ZONED R4A

PROPOSED RE-ZONING PUD

SITE AREA = 106,468 S.F. (2.44 ACRES)

### ZONING ANALYSIS

EXISTING ZONING:

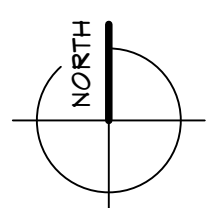
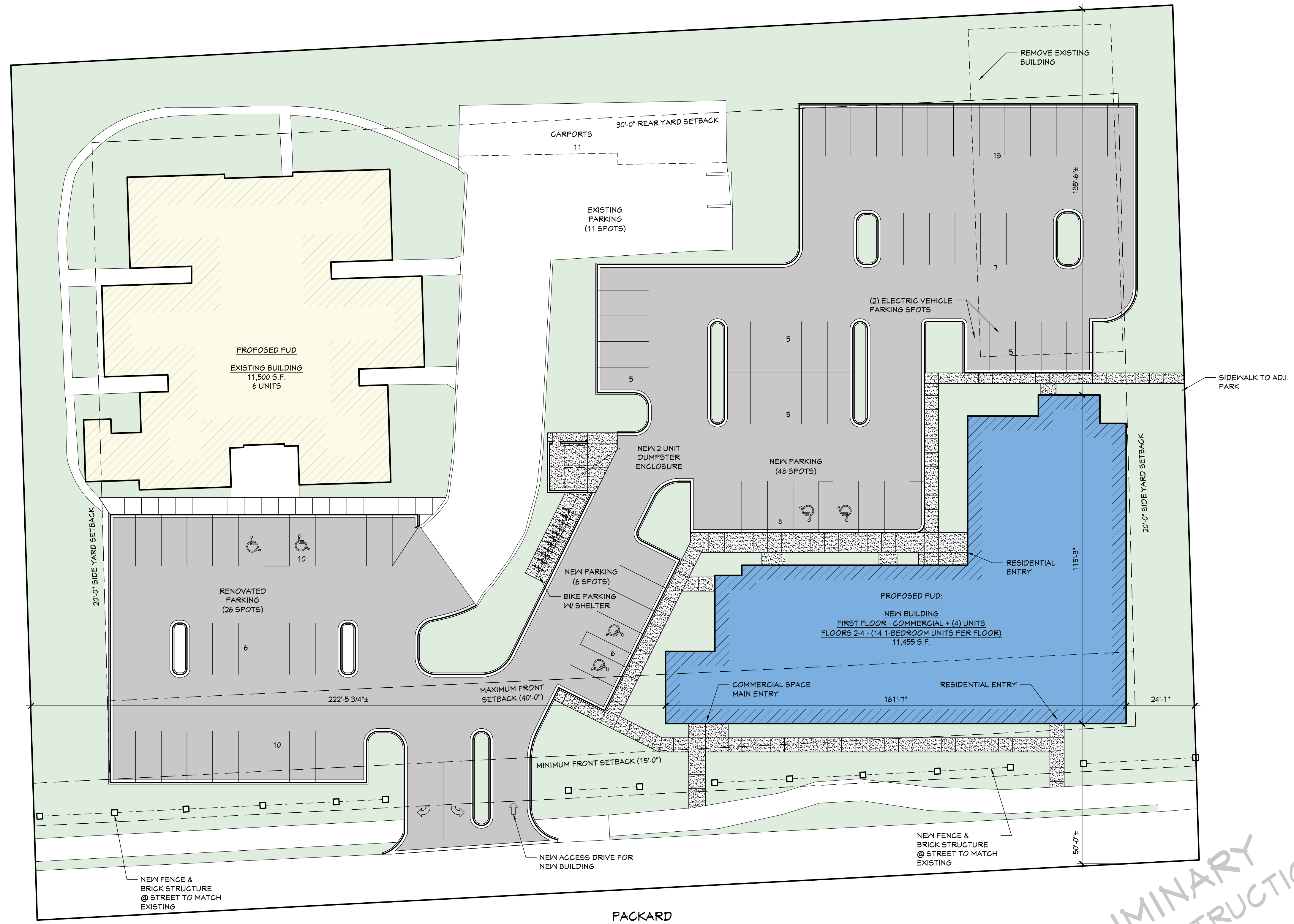
#### TABLE 5.17-8 MULTIPLE-FAMILY RESIDENTIAL ZONING DISTRICT DIMENSIONS\*

Other use and development standards also apply and may supersede or effect the requirements in this table, such as Sections 5.16 Use Specific Standards, 5.18 Special Dimensional and Site Layout Standards, 5.19 Parking Standards and 5.20 Landscaping, Screening, and Buffering.

DISTRICT	MIN. LOT AREA PER D.U. (SQ. FT.) (see Table Notes)	MINIMUM OPEN SPACE AND ACTIVE OPEN SPACE	REQUIRED SETBACK (FT.)				MAX. HEIGHT (FT.)	MIN. LOT DIMENSIONS	
			MIN. FRONT	MAX. FRONT	MIN. SIDE	MIN. REAR		AREA (SQ. FT.)	WIDTH (FT.)
R4A	4,800	65% of Lot Area 800 sq. ft./D.U.	15	40 [A]	20 plus [E]	20	80 plus [C]	33 or 43 when [D]	81,780 120

COMPARISON:

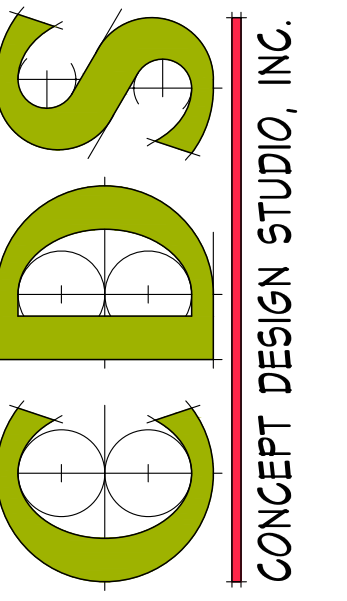
PUD:	R4A
ACTUAL DWELLING UNITS PER ACRE = 18.5	ALLOWED = 10
PROPOSED RETAIL / COMMERCIAL	NOT ALLOWED
SETBACKS	MET
PARKING REQ'D	MET
BICYCLE PARKING	MET
MINIMUM EV PARKING SPACES	EV-2 = 90% OF SPACES / NOT MET EV-1 = 10% OF SPACES / NOT MET
PARKING SPACES =	0 REQUIRED



### SCHEMATIC SITE PLAN

SCALE: 1" = 20'-0"

CONCEPT DESIGN STUDIO, INC.  
 800 E. ELLIS ROAD, SUITE 508  
 NORTH SHORES, MI 48441  
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NEW BUILDING FOR:  
**3551 PACKARD**  
 3551 PACKARD STREET, ANN ARBOR, MI

PROJECT # 1274-22

ISSUANCES

OWNER REVIEW 08.14.2023

OWNER REVIEW 04.14.2023

OWNER REVIEW 03.18.2024

REVISIONS

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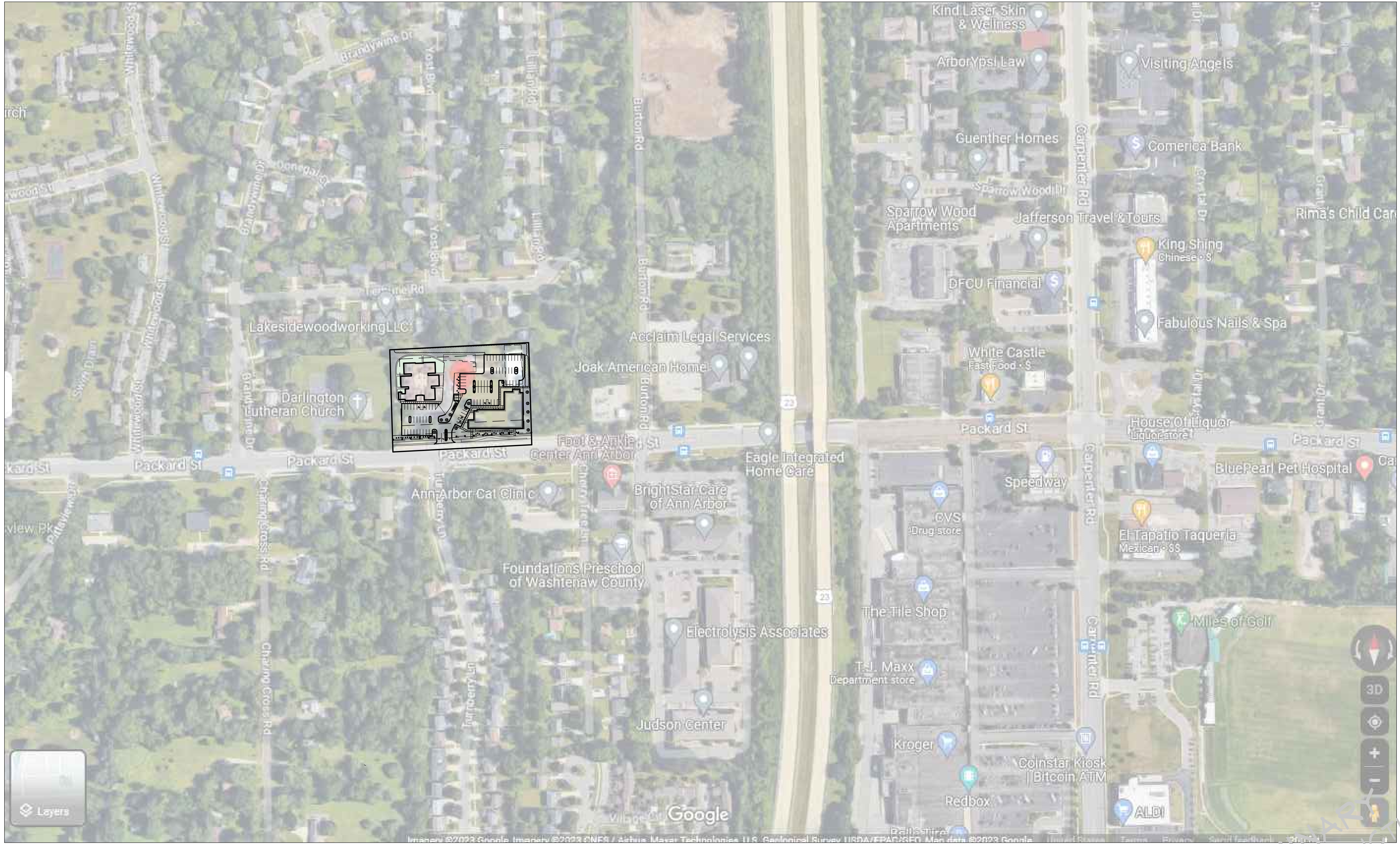
SHEET TITLE  
 SCHEMATIC SITE PLAN

SHEET NO.

C1.01

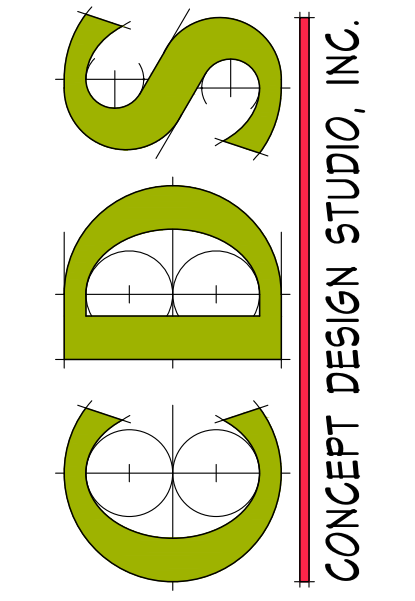
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**NEIGHBORHOOD SITE AERIAL**  
SCALE: NTS

CONCEPT DESIGN STUDIO, INC.  
800 E. ELLIS ROAD, SUITE 508  
NORTON SHORES, MI 49441  
PH. (231) 799-4838  
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NEW BUILDING FOR:  
**3551 PACKARD**  
3551 PACKARD STREET, ANN ARBOR, MI

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SHEET TITLE  
**NEIGHBORHOOD SITE AERIAL**

SHEET NO.  
**C1.02**

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5/12/2024 10:50 AM Z:\PROJECTS\1274-22 NHT Housing - Packard Avenue (Ann Arbor)\3 Drawings\1274-22\01\_aerial2023 - Copy.dwg









NEW BUILDING FOR:  
**3551 PACKARD**  
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PROJECT # 1274-22

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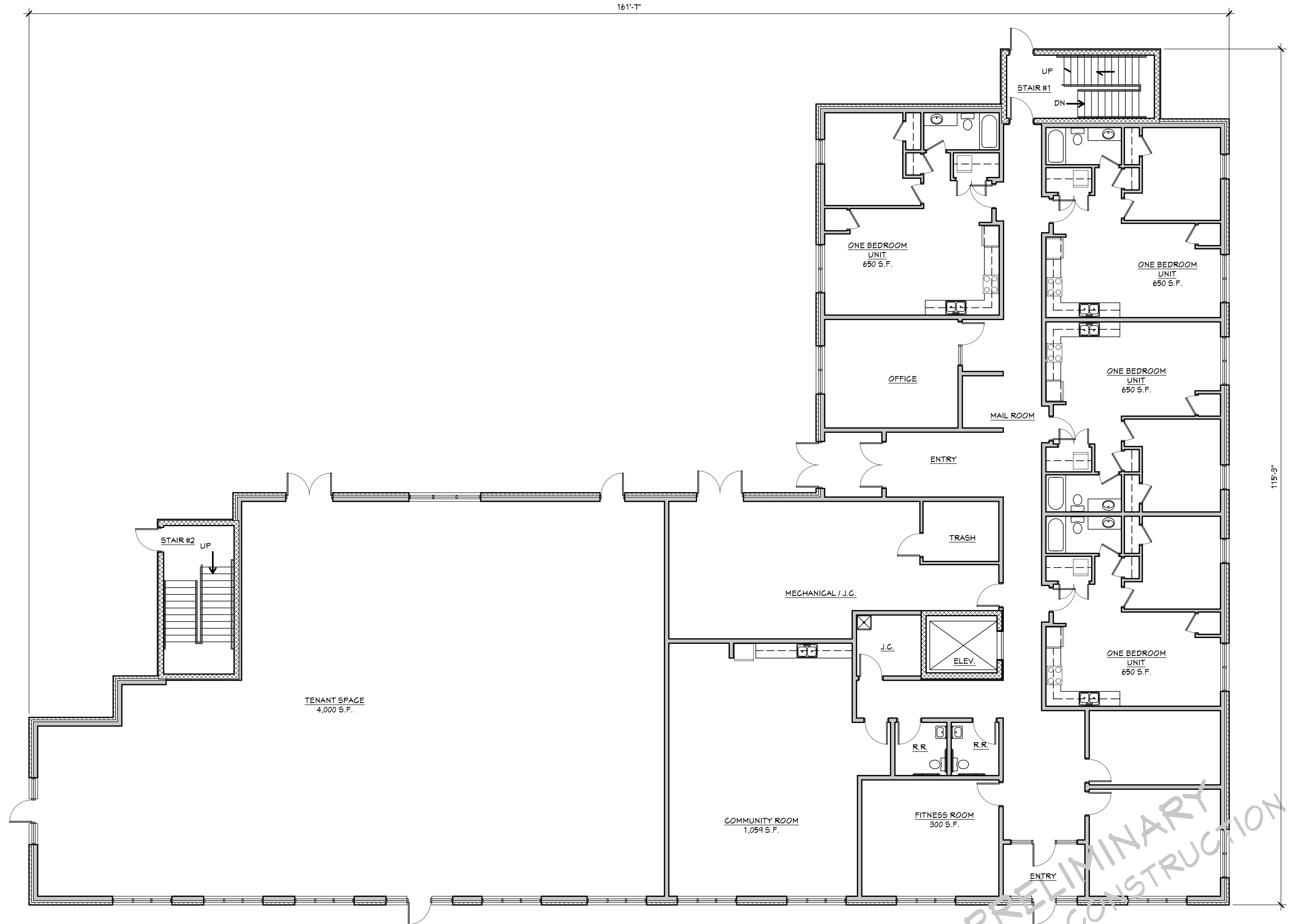
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SHEET TITLE  
**FIRST FLOOR PLAN**

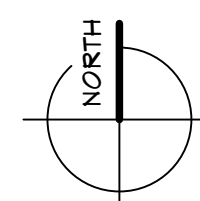
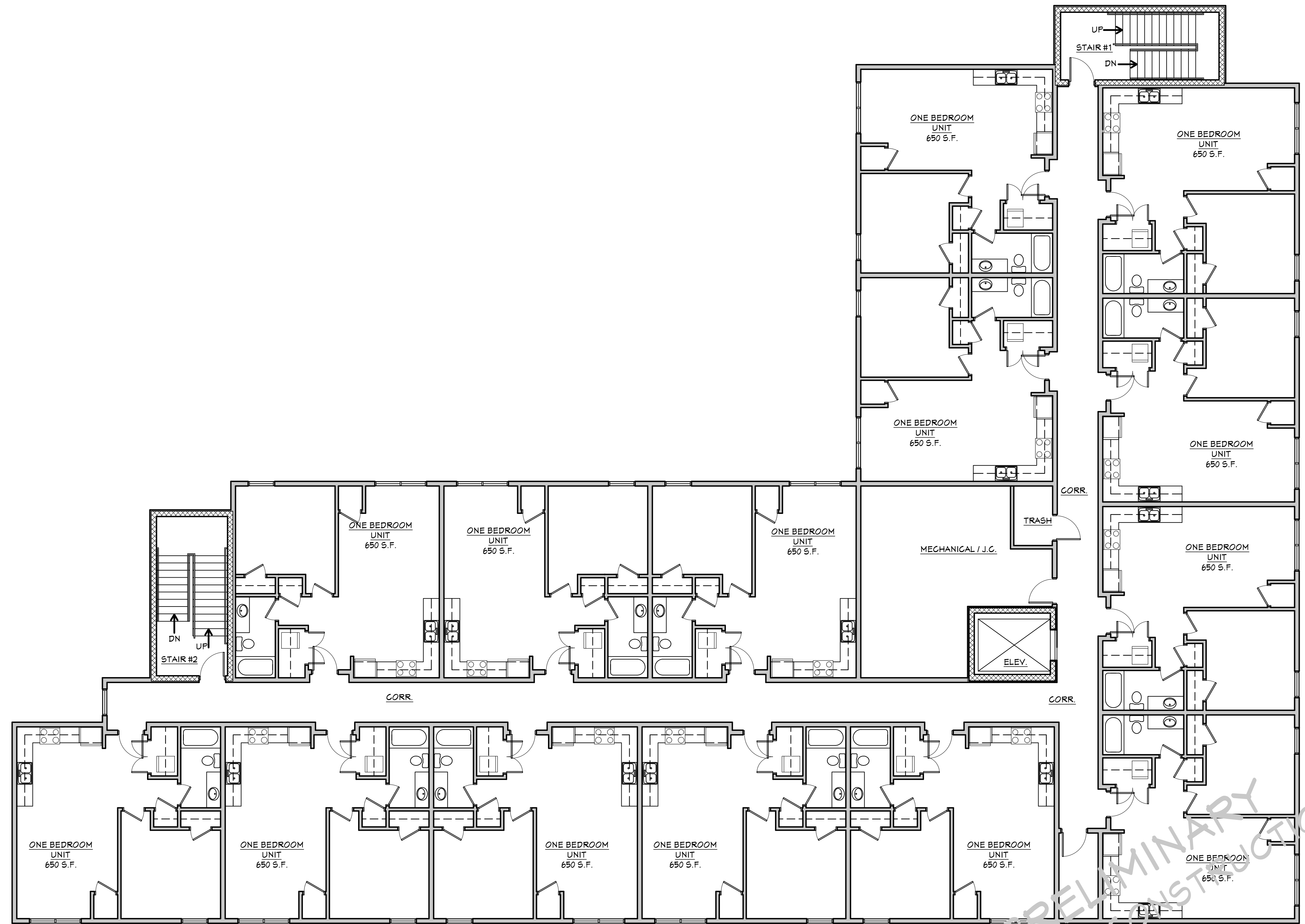
SHEET NO.

**A1.01**



**FIRST FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"

PRELIMINARY  
 NOT FOR CONSTRUCTION

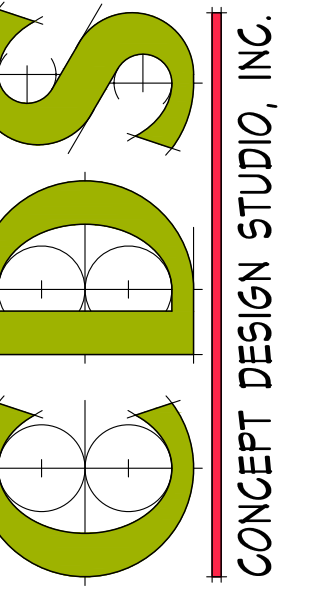


**SCHEMATIC 2 THRU 4 FLOOR PLAN**

SCALE: 1/8" = 1'-0"

PRELIMINARY  
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SHEET TITLE  
**CONCEPTUAL  
 MAIN ELEVATION**

SHEET NO.

**A1.03**



**CONCEPTUAL MAIN ELEVATION**

SCALE: 3/16" = 1'-0"

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5/12/2024 10:51 AM Z:\PROJECTS\1274-22 MHT Housing - Packard Avenue (Ann Arbor)\3 Drawings\1274-22C101\_august2023 - Copy.dwg



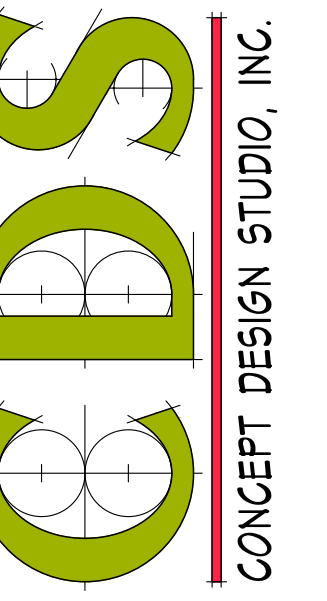


MAIN ELEVATION - RENDERING CONCEPT

SCALE: NTS

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SHEET TITLE  
MAIN ELEVATION  
- RENDERING  
CONCEPT

SHEET NO.

**A1.04**

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