

ANN ARBOR HISTORIC DISTRICT COMMISSION

Staff Report

ADDRESS: 317 South State Street, Application Number HDC12-195

DISTRICT: State Street Historic District

REPORT DATE: November 5, 2012

REPORT PREPARED BY: Jill Thacher, Historic Preservation Coordinator

REVIEW COMMITTEE DATE: Tuesday, November 13 for the Thursday, November 15, 2012
HDC meeting

OWNER

Name: Hogarth Management LLC
Address: 115 Depot St
Ann Arbor, MI 48104
Phone: (734) 994-5050

APPLICANT

Kurt Beleck
31850 Northwestern Highway
Farmington Hills, MI 48334
(248) 419-6334

BACKGROUND: This two-story, Art Moderne brick commercial building features tapestry brick and fixed-pane ribbon windows that give the building a horizontal flow, an entrance in the southwest corner with a large curved glass display window, a sign band above the entrance with non-original brown-red tiles, a rounded southwest corner with a curved window in the second story, and an aluminum covered fluted column in the entrance. It was built in 1937 and was occupied by Kresge's department store from then until the 1980s. Michigan Book & Supply was located here from 1989 to 2012.

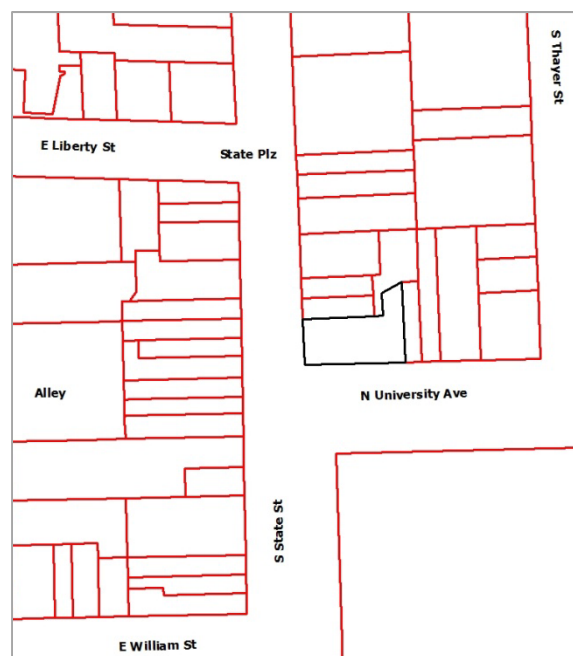
LOCATION: The site is located on the northeast corner of the South State Street and North University Street intersection.

APPLICATION: The applicant seeks HDC approval to install three fabric blade signs, re-cover four existing awnings, and install six gooseneck lamps above the entrance.

APPLICABLE REGULATIONS:

From the Secretary of the Interior's Standards for Rehabilitation:

- (9) New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of



the property and its environment.

- (10) New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

From the Secretary of the Interior's Guidelines for Rehabilitating Historic Buildings (other SOI Guidelines may also apply):

Storefronts

Not Recommended: Introducing a new design that is incompatible in size, scale, material, and color; using inappropriately scaled signs and logos or other types of signs that obscure, damage, or destroy remaining character-defining features of the historic building; using new illuminated signs.

STAFF FINDINGS:

1. The two "Walgreens" signs in the sign band replace the former Michigan Book & Supply signs are have been approved by staff. The gooseneck lighting on these signs has not been approved by staff; see below.
2. The applicant seeks approval to re-cover four awnings. They would retain the triangle-shaped form of the existing awnings, and have a black background with white text. Two of the awnings have the word "Walgreens" in script letters, and the other two have the word "pharmacy" in a simple sans-serif modern font next to a green and white medical cross logo.
3. Staff recommends approval of the proposed awnings. They are appropriately scaled to the storefront windows and use the existing awning frames. (If the awning frames can't be reused for any reason, staff will work with the applicant on a staff approval for their replacement.) On the provided mock-up, the awnings appear to be compatible in size, materials, and color to the building. The new signage also appears to be well balanced and does not detract from the character defining features of the building.
4. The three proposed blade signs consist of fabric and will be non-illuminated. Two are located on the south elevation along North University Street, and one is located on the west elevation along South State Street. The signs will be gray in color with white text and a white, blue and green logo. The proposed signs measure seven feet high and two feet wide. The fabric signs will be attached to the building by aluminum arms that are anchored in a ten inch by ten inch aluminum mounting plate.
5. Staff believes that the blade signs are inappropriate for this building. At seven feet, the signs are too tall and extend several feet below the second floor window band, which is a consistent height around both fronts of the building. The signs also interrupt the horizontal flow of the building and detract from the fenestration pattern, which are main character-defining features of the building. In order to protect the exterior masonry the signs should be mounted through the mortar joints, which is not indicated on the provided drawings.
6. The applicant seeks approval to install six large gooseneck lamps above the entrance in the southwest corner of the building. Three lamps would be located on the south

elevation, and three on the west elevation. The proposed lamps will illuminate the two “Walgreens” wall signs located in the sign band of the building above the entrance (which have already been approved at the staff level).

7. Staff does not recommend approval of the proposed gooseneck lamps. Based on the submitted information, the lamps appear too large and the gooseneck style is incompatible with the Art Moderne style of the building. More appropriate lighting could include smaller, less conspicuous lamps or a light bar located above or below the signage. Any new lighting would also need to be mounted through the mortar joints, which is not indicated in the application. A more suitable style of light could be approved at the staff level.

POSSIBLE MOTIONS: (Note that the motions are only a suggestion. The Review Committee, consisting of staff and at least two Commissioners, will meet with the applicant on site and then make a recommendation at the meeting.)

To address awnings:

I move that the Commission issue a certificate of appropriateness for the application at 317 South State Street, a contributing property in the State Street Historic District, to recover four existing awnings that include new signage, as proposed. The proposed work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets *The Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 9 and 10 and the guidelines for storefronts.

To address blade signs and gooseneck lamps:

I move that the Commission issue a certificate of appropriateness for the application at 317 South State Street, a contributing property in the State Street Historic District, to add three new fabric blade signs and install six gooseneck lamps as proposed. The proposed work is compatible in exterior design, arrangement, texture, material and relationship to the rest of the building and the surrounding area and meets *The Secretary of the Interior’s Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*, in particular standards 9 and 10 and the guidelines for storefronts.

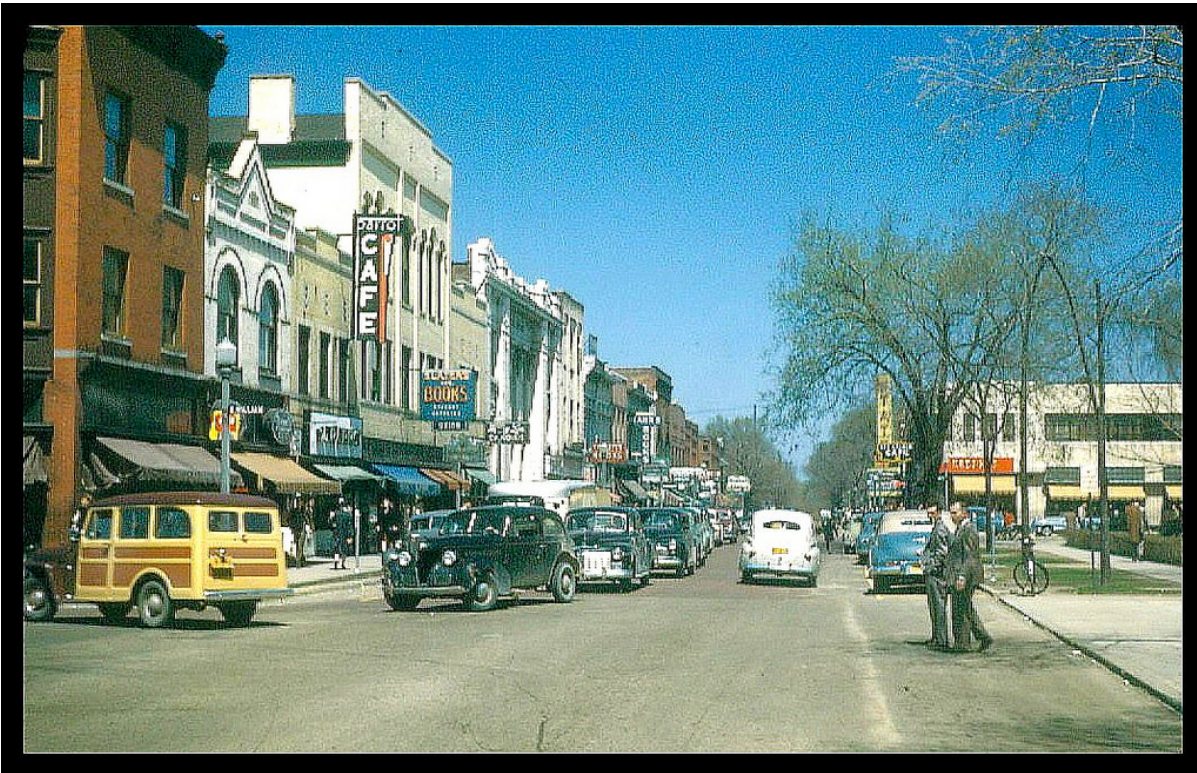
MOTION WORKSHEET:

I move that the Commission issue a Certificate of Appropriateness for the work at 317 South State Street in the State Street Historic District

____ Provided the following condition(S) is (ARE) met: 1) STATE CONDITION(s)

The work is generally compatible with the size, scale, massing, and materials and meets the Secretary of the Interior’s Standards for Rehabilitation, standard(S) number(S) (*circle all that apply*): 1, 2, 3, 4, 5, 6, 7, 8, 9, 10

ATTACHMENTS: application, drawings, photos.



1945 Postcard: Looking north on State Street from William, Kresge's is on the right. Note the band of glass block transom windows above the North U storefronts, and the bright red sign band.



1951 Ann Arbor News photo, paving over the bricks on State Street. Kresge's is on the right.

Note the upper floor awnings.



1955 Postcard

Note the fluted column at the corner, and a better view of the glass block transom.



c.1970s. Note that the first window bay on the University side has been bricked in, as have the transoms. The sign band is new and shinier.. The letters in the sign band are also new.

March 2007 photos:





City of Ann Arbor
PLANNING & DEVELOPMENT SERVICES — PLANNING SERVICES
100 North Fifth Avenue | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647
p. 734.794.6265 | f. 734.994.8312 | planning@a2gov.org

ANN ARBOR HISTORIC DISTRICT COMMISSION APPLICATION

Section 1: Property Being Reviewed and Ownership Information
Address of Property: <u>317 S. STATE STREET</u>
Historic District: _____
Name of Property Owner (If different than the applicant): <u>HOGARTH MANAGEMENT LLC.</u>
Address of Property Owner: <u>115 DEPOT ST. ANN ARBOR MI 48104</u>
Daytime Phone and E-mail of Property Owner: <u>734-994-5050</u>
Signature of Property Owner: <u>[Signature]</u> Date: <u>10/26/2012</u>
Section 2: Applicant Information
Name of Applicant: <u>KURT BELEC</u>
Address of Applicant: <u>31850 NORTHWESTERN HIGHWAY</u>
Daytime Phone: <u>(248) 419-6334</u> Fax: (____)
E-mail: <u>KURT@AGREEREALTY.COM</u>
Applicant's Relationship to Property: <input type="checkbox"/> owner <input type="checkbox"/> architect <input type="checkbox"/> contractor <input checked="" type="checkbox"/> other
Signature of applicant: <u>[Signature]</u> Date: <u>10/26/2012</u>
Section 3: Building Use (check all that apply)
<input type="checkbox"/> Residential <input type="checkbox"/> Single Family <input type="checkbox"/> Multiple Family <input type="checkbox"/> Rental
<input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Institutional
Section 4: Stille-DeRossett-Hale Single State Construction Code Act (This item MUST BE INITIALED for your application to be PROCESSED)
Public Act 169, Michigan's Local Historic Districts Act, was amended April 2004 to include the following language: "...the applicant has certified in the application that the property where the work will be undertaken has, or will have before the proposed completion date, a fire alarm or smoke alarm complying with the requirements of the Stille-DeRossett-Hale Single State Construction Code Act, 1972 PA 230, MCL 125.1501 to 125.1531."
Please initial here: <u>[Signature]</u>

Section 5: Description of Proposed Changes (attach additional sheets as necessary)

1. Provide a brief summary of proposed changes. THE FORMER 1200 STORE
LOCATED AT S. STATE ST. & UNIVERSITY IS PROPOSED
TO BE RENOVATED INTO A WALGREENS STORE.
~~THIS STORE WILL BE A FIRST OF KIND WALGREENS~~
~~'CORNER' STORE~~

2. Provide a description of existing conditions. _____
THE EXISTING BUILDING FACADE IS TO REMAIN
ALONG WITH THE INTERIOR STRUCTURAL ELEMENTS.
NEW SIGNAGE IS BEING PROPOSED AT THIS TIME.

3. What are the reasons for the proposed changes? TO OPEN THE
~~FIRST ON CAMPUS 'CORNER'~~ WALGREENS STORE.

4. Attach any additional information that will further explain or clarify the proposal, and indicate these attachments here.
EXISTING ELEVATIONS PHOTOS & PROPOSED
SIGNAGE GRAPHICS PENDING.

5. Attach photographs of the existing property, including at least one general photo and detailed photos of proposed work area.

STAFF USE ONLY

Date Submitted: _____ Application to _____ Staff or _____ HDC

Project No.: _____ HDC _____ Fee Paid: _____

Pre-filing Staff Reviewer & Date: _____ Date of Public Hearing: _____

Application Filing Date: _____ Action: _____ HDC COA _____ HDC Denial

Staff signature: _____ _____ HDC NTP _____ Staff COA

Comments:

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585 Bond Street - Lincolnshire, IL 60069
 PHONE: (847) 520-1255 FAX: (847) 520-1543
www.kieffersigns.com

CUSTOMER: *Walgreens*
 LOCATION: Store #106 - Ann Arbor, MI
 SALESMAN: LB
 DESIGNER: LMK
 DATE: 11/6/12

REQUIRED
 • Technical Survey
 • Verify Elevation Dims.



COMPANION FILES

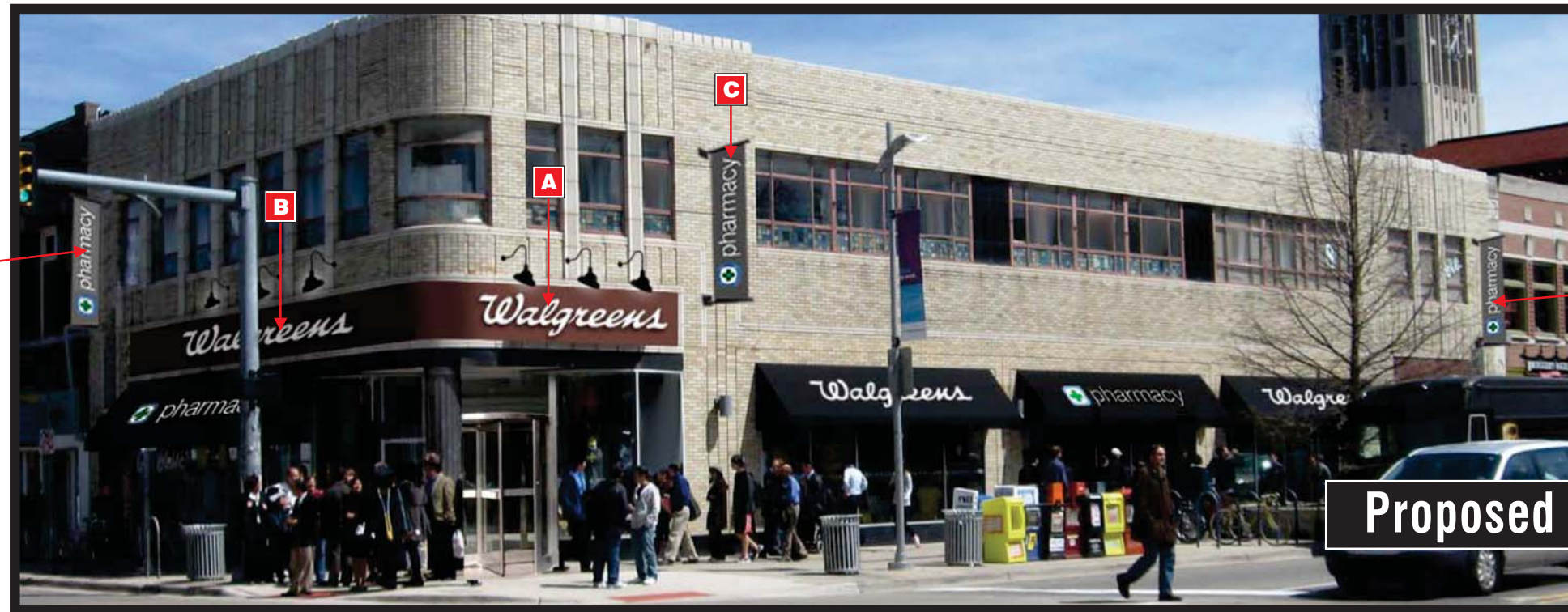
PRODUCTION PROCESSING

Kieffer Item # _____
 Job # _____
 -001 _____
 -002 _____
 -003 _____
 -004 _____

INITIALS: _____
 DATE: _____

REVISION: _____
 A _____
 B _____
 C _____
 D _____
 E _____
 F _____
 G _____
 H _____
 I _____
 J _____

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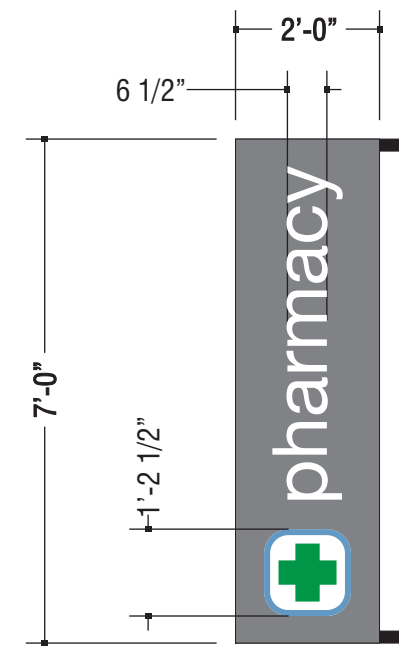
Proposed



A 1 SET of NON-Illuminated SCRIPT Letters
 WHITE FACES/WHITE RETURNS



B 1 SET of NON-Illuminated SCRIPT Letters
 WHITE FACES/WHITE RETURNS



C NON-Illuminated Fabric Banners
 (3) required

Store #106 - Ann Arbor, MI

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 SALESMAN: **LB**
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COMPANION FILES

PRODUCTION PROCESSING

Kieffer Item # _____
 Job # _____
 -001 _____
 -002 _____
 -003 _____
 -004 _____

INITIALS: _____ DATE: _____

REVISION:	A	B	C	D	E	F	G	H	I	J

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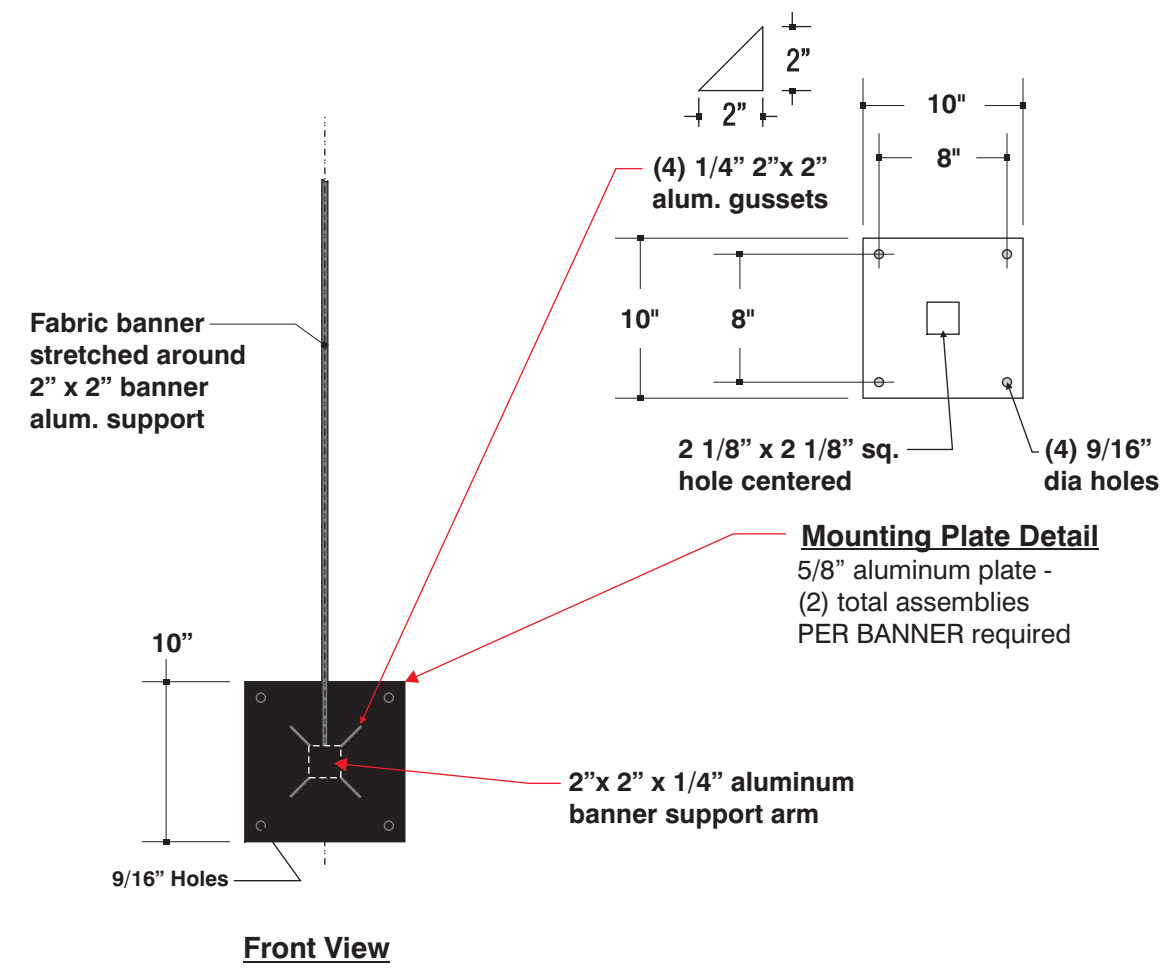
NON-ILLUMINATED Reverse Channel Walgreens Letters - Typical Mounting/Specs.

A RETURN	MATERIAL	.063" ALUMINUM
	DEPTH	3" WELDED RETURN
	COLOR	WHITE
	FINISH	URETHANE ENAMEL
B STUD	TYPE	WELDED 1/4-20 NC TAPPED
C THREADED ROD		1/4-20 NC THREAD
		WHITE
D FACE	MATERIAL	.100" ALUMINUM
	COLOR	WHITE
	FINISH	URETHANE ENAMEL

Aluminum Letter Face

Welded tapped stud

1/4" Threaded Rod



NON-ILLUMINATED Fabric Banner Mounting (typical)

317 SOUTH STATE

FOR LEASE
RETAIL/
OFFICE
First
Martin
Corporation
734-994-5050





district
Area
UR
KE
itorium

pitaya

STATE

First
Martin



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LEGAL OFFICE
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BRUEGGER



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