

**Ann Arbor City Apartments PUD Zoning District
Supplemental Regulations**

Section 1: Purpose

It is the purpose of the City Council in adopting these regulations to provide for the coordinated and unified infill of three parcels of land, integrated into the surrounding neighborhood, providing high density rental housing and restoring public parking on the site.

These regulations seek to promote development of a multiple-story, high density residential use combined with public and private parking within a pedestrian-oriented setting and will provide services to and be compatible with adjacent commercial districts and established neighborhoods at the edge of downtown's core and of the adjacent interface zones to the west.

Section 2: Applicability.

The provisions of these regulations shall apply to the property described as follows:

BEGINNING at the Northwest corner of Lot 1, Block 2 South, Range 2 East, "ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR", Washtenaw County, Michigan as recorded in Transcripts, Page 152, Washtenaw County Records; thence N89°37'44"E 124.02 feet along the Southerly right-of-way line of West Washington Street; thence S00°24'40"E 198.91 feet along the Easterly line of said Lot 1 and Lots 2 and 3 of said "ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR"; thence S89°42'49"W 124.18 feet along the Southerly line of said Lot 3; thence N00°21'53"W 198.72 feet along the Easterly right-of-way line of South First Street to the Point of Beginning. Being Lots 1, 2 and 3, Block 2 South, Range 2 East, "ORIGINAL PLAT OF THE VILLAGE (NOW CITY) OF ANN ARBOR", Washtenaw County, Michigan as recorded in Transcripts, Page 152, Washtenaw County Records and containing 24,673 square feet of land, more or less. Being subject to easements and restrictions of record, if any.

Further, the provisions of these regulations shall be adopted and incorporated into the Ann Arbor City Apartments PUD (Planned Unit Development) zoning district. These regulations, however, are intended to supplement only those provisions in the City Codes that may be modified as a part of a PUD and shall not be construed to replace or modify other provisions or regulations in the City Codes.

Section 3: Findings

During the public hearings on this Planned Unit Development, the City Planning Commission and City Council determined that:

- (A) It is desirable to develop the parcel described above with a mixture of rental housing units combined with public and private parking.
- (B) The surrounding neighborhoods directly adjacent to the subject property primarily contain commercial uses, with some residential and public surface parking lots. Located at the western edge of the downtown's core, neighborhoods further west are single and multiple-family residential and further east are the retail areas of Ashley and Main Streets.

- (C) It is in the best interest of the surrounding properties and the City of Ann Arbor to restore public parking on the above parcels with structured parking above and below grade to serve residents as well as long and short-term parking for downtown visitors.
- (D) Expanded downtown housing options with rental units and increasing downtown's population density and diversity to bolster downtown retail, dining and entertainment attractions and services is consistent with the City of Ann Arbor Downtown Plan.
- (E) Reducing auto dependency by enhancing opportunities to choose alternatives to driving by locating housing within easy walking and bicycling distance of jobs, shopping, entertainment, services and transit, is consistent with the Central Area Plan.
- (F) Pedestrian friendly and sustainable sidewalk improvements will provide an attractive and inviting environment for pedestrians at the street level and will improve access to and along the site.
- (G) The development and availability of 16 units of affordable housing for lower income persons in the City of Ann Arbor will have a beneficial effect for public welfare and will help offset the increased demands for such housing linked to the creation of jobs downtown.
- (H) A rooftop garden and skypark will provide usable open space for building residents.
- (I) The parcel described above meets the standards for approval as a Planned Unit Development, and the regulations contained herein constitute neither the granting of special privilege nor deprivation of property rights.

Section 4: PUD Regulations

- (A) Permitted principal uses of the components of the development (as diagrammed in Exhibit A, PUD Site Plan, attached) shall be:

Residential	Rental dwelling units
Public Parking	Vehicular and bicycle parking

Residential dwelling units in the project may only be converted from rental to condominium ownership after amending the supplemental regulations and providing at least 16 dwelling units as permanently affordable under the City's ordinances, policies and regulations for affordable housing at the time of conversion.

- (B) Permitted accessory uses shall be:

Home occupations, subject to all the performance standards provided in Ann Arbor City Code.

Maintenance and management areas and storage and utility structures. Such areas and structures shall have a wall, fence, or combination thereof, forming a continuous screen at least four feet high, from any internal or external residential environment, from pedestrian ways, and from the public rights-of-way.

Parking.

Common facilities for resident and building management use, including club and community rooms, fitness/locker rooms, outdoor rooftop garden and skypark, conference and office space.

Wireless communication antennas, if affixed to buildings, or bell towers, carillons, and flagpoles, consistent with applicable provisions of Ann Arbor City Code.

(C) Setbacks (see Exhibit A):

Abutting a Public Street: North (West Washington) – No required minimum
West (South First) – No required minimum

Side/Rear: South & East – No required minimum

(D) Height:

Minimum building height shall be 24 feet, with a minimum of 2 stories.

Maximum building height shall be 105 feet, with a maximum of 10 stories.

Roof-mounted mechanical equipment, penthouses, and decorative architectural features may extend an additional 10 feet beyond the 105-foot maximum building height. Roof mounted antennae are subject to Building Code requirements.

(E) Lot Size: The size of the PUD zoning district shall be 0.57 acres.

The PUD may be developed as condominiums, in accordance with the laws of the State of Michigan; provided, however, that the Condominium Master Deed shall address ownership and mutual obligations of maintenance and liability for certain shared elements of the site, including but not limited to, shared landscaping, utilities, the storm water management system, and architectural review.

(F) Floor Area Ratio: Floor area in percentage of lot area for the PUD shall be determined for the entire 0.57-acre zoning district and shall not exceed 681 per cent based on gross building square footage, including occupied basement space and excluding below grade parking.

(G) Parking:

Vehicular: 230 parking spaces, minimum.
265 spaces, maximum.

Bicycle: No fewer than 25 bicycle parking spaces shall be located throughout the site and in the public right-of-way of West Washington and South First Streets to provide service near building entrances and dwelling units as shown on the approved site plan.

(H) Landscaping and Site Amenities

Landscape design and installation shall be coordinated throughout the PUD zoning district, as referenced in Exhibit A. All paved surface materials and walls shall meet performance standards of the City of Ann Arbor Public Services Area Standard Specifications. All landscaping shall meet the materials standards established in Chapter 62, Landscape and Screening, of the City Code and in these supplemental regulations.

Rooftop garden shall be available for residents and shall be not less than 3,000 square feet in area and shall contain a combination of paving and landscape areas. The rooftop terrace shall include plant materials that may include trees, shrubs, lawn and ground cover and may include benches or seating walls; screening walls; down-directed exterior lights; decorative trash receptacles.

Rooftop skypark shall be available for residents and shall contain an exterior activity area which may contain gathering space, a whirlpool spa, an exterior kitchen, a sun deck and an outdoor theater.

Public sidewalk areas (West Washington & South First Streets) shall contain elements of an urban character, including, but not limited to decorative block or brick paving, deciduous trees; down-directed exterior lights; and other streetscape furnishings.

(I) Site Access

Vehicular:

Access shall be limited to the following (refer to Exhibit A):

West Washington – one curb cut on the northeast side of the property, providing one-way access to the parking structure.

South First – one curb cut on the southwest side of the property providing two-way access to the parking structure.

Public Alley – Service vehicles may use the alley to gain access to the building by the means of doors on the southeast side of the property.

Pedestrian:

Barrier-free public access shall be provided to the site by sidewalks, not less than six feet in width, bordering all public streets.

(J) Architectural Design:

General: Principal exterior materials of all buildings shall be metal and cement fiber panels, masonry and concrete with accent materials, including rough face concrete block, cement fiberboard, and aluminum windows.

Street elevations (West Washington and South First) shall have a minimum of 30 percent glazing on stories containing residential use.

Transformers, meters, roof mounted equipment, loading, and service areas shall be screened using materials consistent with buildings' principal and accent materials.

Facades: Building façades shall be detailed to provide architectural relief, accent materials, fenestration, and varied rooflines as shown on the approved PUD site plan.

Entrances: Public entrances to the building shall be provided in no fewer locations than the following:

One at the corner of West Washington and South First

One at northeast corner of the site facing West Washington

One at southwest corner of the site facing South First

Parking deck: Interior lighting of the parking deck shall be down-directed and shielded to prevent light spillover and to minimize impact on neighboring properties.

(K) Phasing

The PUD shall be constructed in one phase. However, parking structure occupancy may be obtained earlier than other principal uses.

Phasing and sequencing plans may be amended administratively, following review and approval by staff.

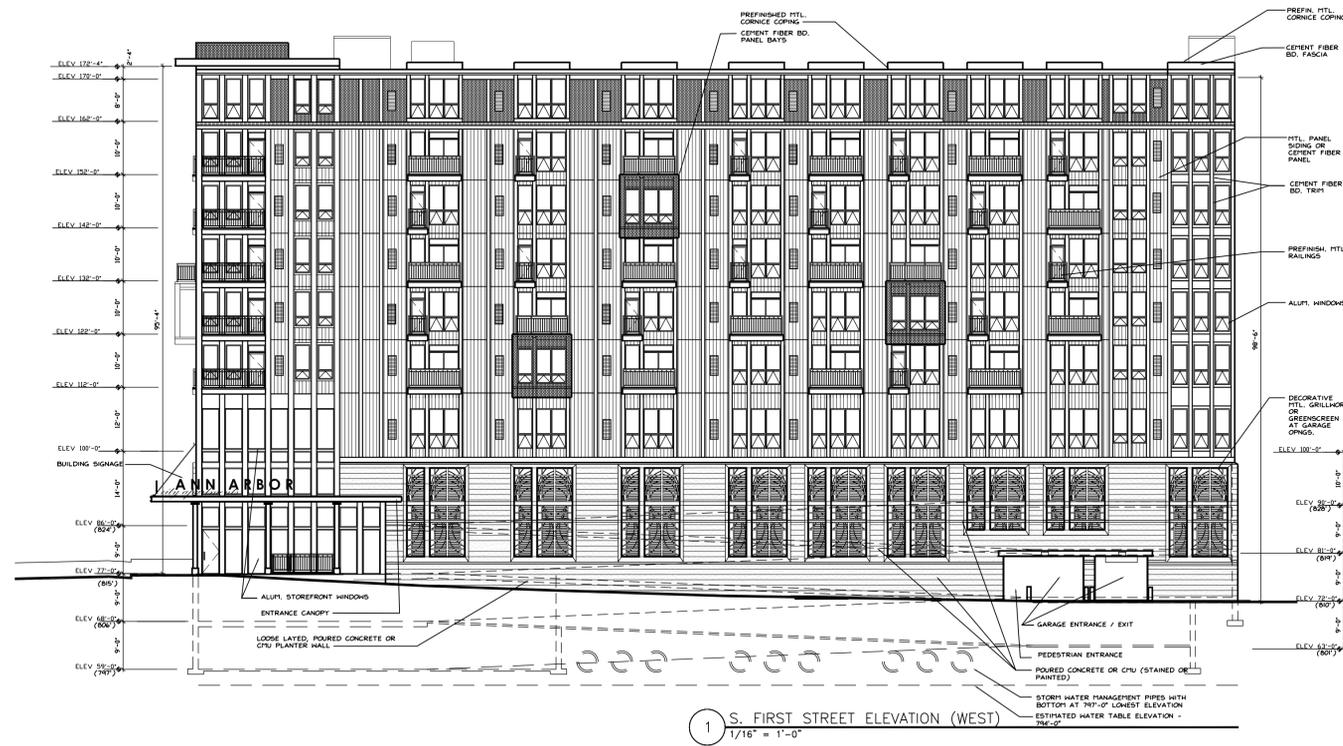
(L) Affordable Housing

A minimum of ten percent of the total residential dwelling units, but not less than 16 units, shall be permanently affordable to lower income households, as defined in Chapter 55 of the Ann Arbor City Code, and shall be made available for lease to eligible households consistent with City ordinances, policies and regulations regarding affordable housing, and under such negotiated terms reasonably acceptable to the City and the Petitioner.

Leaseholders shall be entitled to access to each and every amenity available to market-rate units, including but not limited to off-street parking, on the same terms and conditions for such amenities.

Attachment: Exhibit A – PUD Site Plan and Elevations

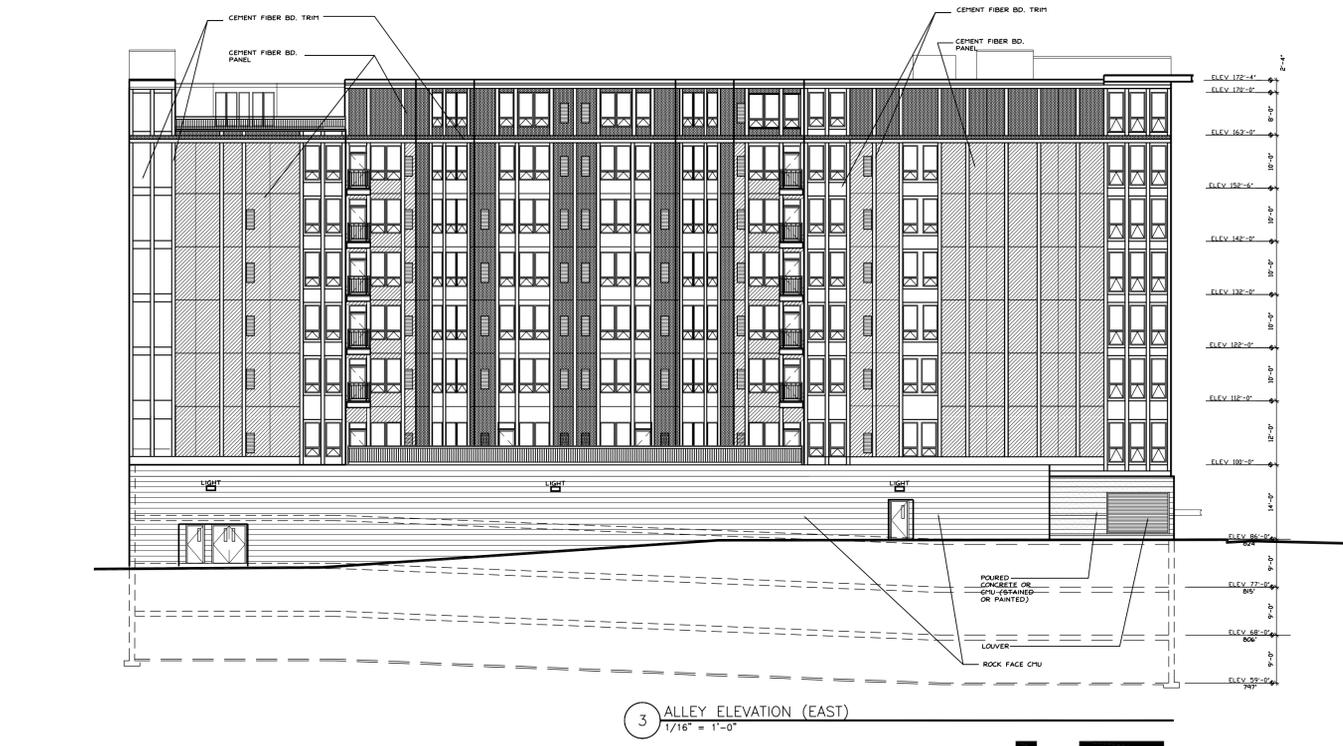
ANN ARBOR CITY APARTMENTS



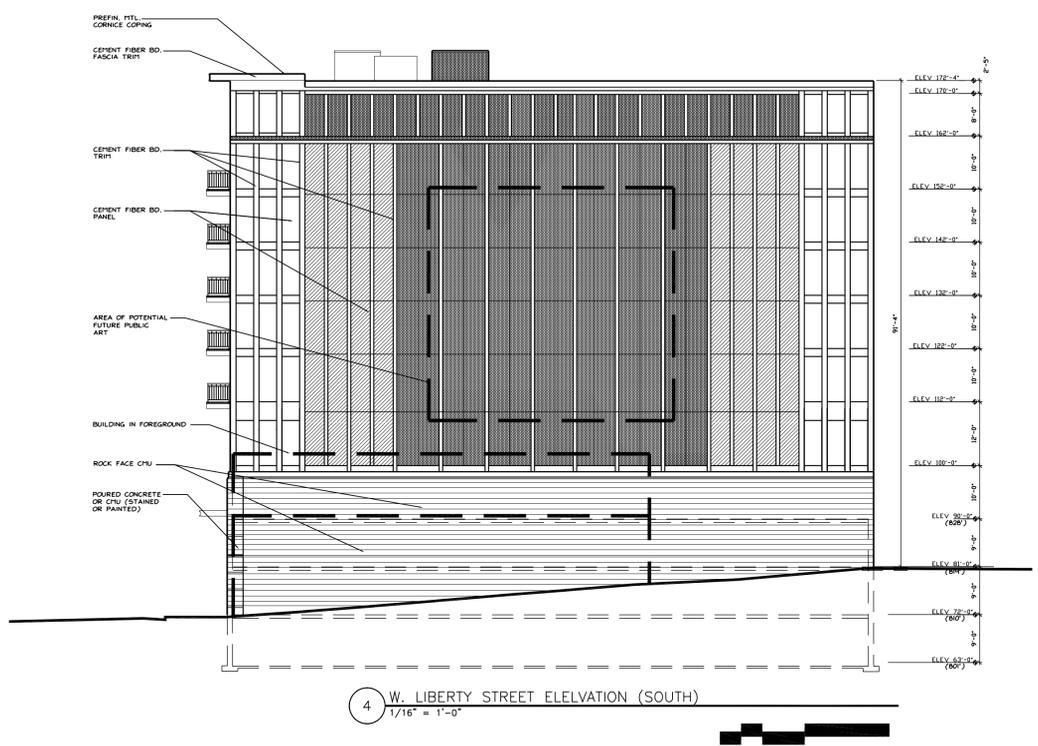
1 S. FIRST STREET ELEVATION (WEST)
1/16" = 1'-0"



2 W. WASHINGTON STREET ELEVATION (NORTH)
1/16" = 1'-0"



3 ALLEY ELEVATION (EAST)
1/16" = 1'-0"



4 W. LIBERTY STREET ELEVATION (SOUTH)
1/16" = 1'-0"

CERTIFICATION
I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Michigan.

REFERENCE ONLY

REVISIONS	No.	DATE
Owner Review		12-11-07
Presubmittal Meeting		12-21-07
City PUD Submittal		1-2-08

DATE	1-28-08
DRAWN BY	JMH
CHECKED BY	MJK
COMMISSION NO.	1697.01

PUD RESPONSE
SUBMITTAL
10/20/08

ELEVATIONS

A3

CERTIFICATION

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Michigan.

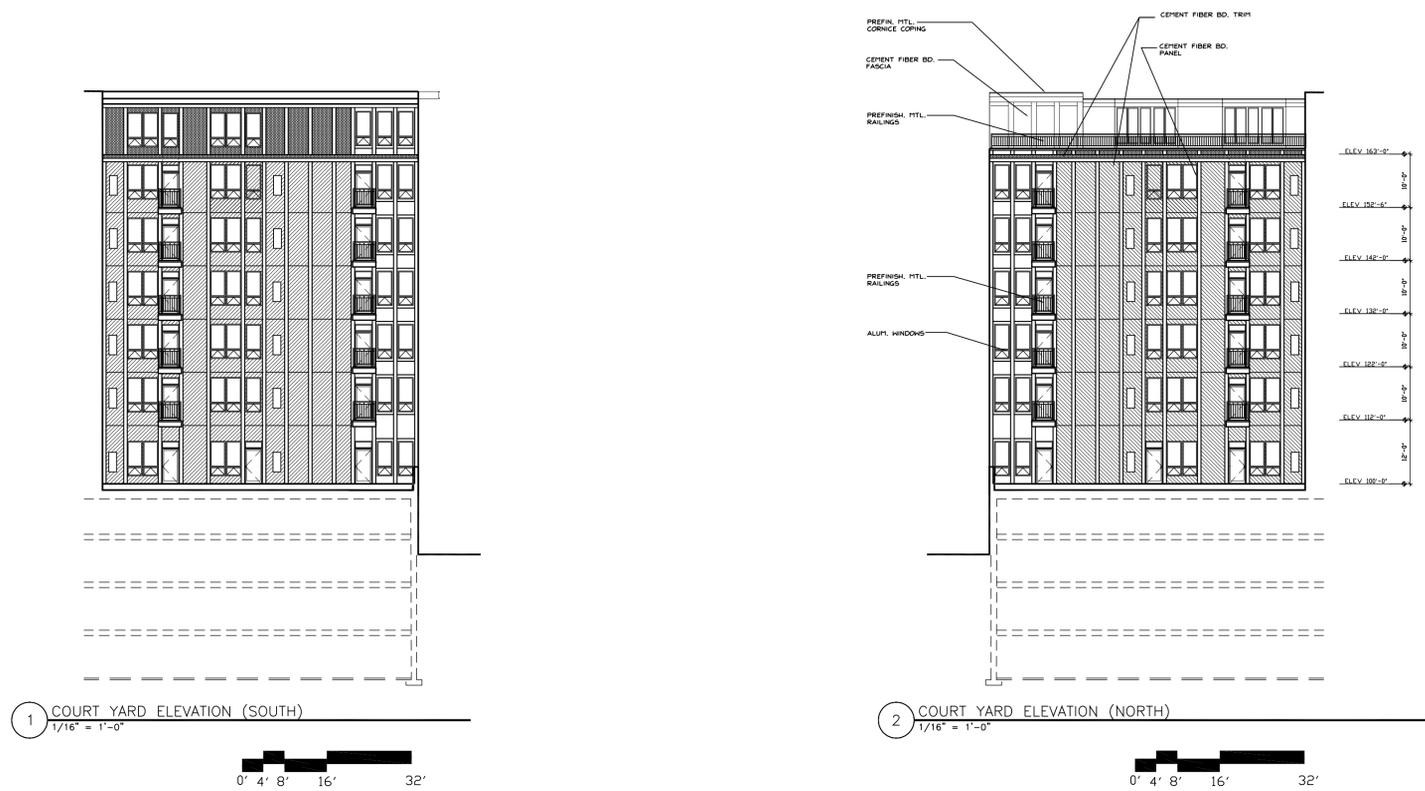
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DRAWN BY	JVH
CHECKED BY	MJK
COMMISSION NO.	1697.01

ELEVATIONS

A4



GENERAL NOTES

- SEE SHEET A900 FOR WINDOW & DOOR INFORMATION.
- ALL LOUVERS, VENTS, UNFINISHED ELECTRICAL DEVICES & GRILLES ARE TO BE PREFINISHED TO MATCH ADJACENT WALL COLOR, UNLESS OTHERWISE NOTED.
- ALL ELECTRICAL BOXES TO BE PAINTED TO MATCH ADJACENT WALL COLOR
- ALL TRANSITIONS IN MATERIAL AND COLOR TO OCCUR AT INSIDE CORNERS, UNO
- CAULK: MATCH COLOR OF ADJACENT FINISH AND/OR LIGHTER OF FINISH COLORS AT JOINTS SPANNING COLOR/MATERIAL CHANGE

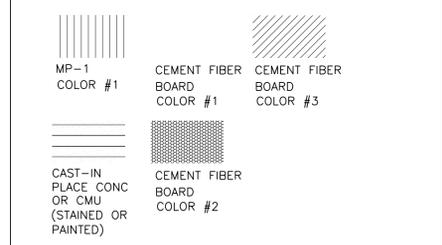
EXTERIOR MATERIAL/COLOR INDEX

Manufacturer/Color are for reference only materials and color are to be confirmed with material and manufacturer supplied. They are subject to the bidding process comparable products from alternate manufacturers may be used.

The following is a list of exterior finish materials and characteristics for their designated locations. When samples are received for all items as requested, a selection will be made and the palette assembled. The final palette of finishes will be assembled on a mock up panel maintained at Contractor's Field office for control of installation.

- BRICK
- COLOR #1 -
- COLOR #2 -
- MORTAR -
- METAL PANEL SIDING
- COLOR #1 -
- CEMENT FIBER BOARD PANELS
- COLOR #1 -
- COLOR #2 -
- COLOR #3 -
- COLOR #4 -
- OTHER
- WINDOWS - COLOR #1 -
- STOREFRONT - COLOR #1 -
- PREFINISHED FLASHING - COLOR #1 -
- - COLOR #1 -

EXTERIOR FINISH HATCHING



EXTERIOR FINISH SCHEDULE

ITEM	MATERIAL	NOTES	COLOR
BALCONIES	ALUMINUM	2	3
ENTRY CANOPY	ALUMINUM	2	2
COPING	ALUMINUM		2
SOFFIT	PREFIN. METAL		2
STOREFRONT (ALUMINUM)	ALUM/GLASS	1	4
DOORS (HM)	HOLLOW METAL		1
DECORATIVE GRILLES	ALUMINUM	1	2
DOORS FRAMES	HOLLOW METAL		1
WINDOWS	ALUMINUM	1	2
DOWNSPOUTS	ALUMINUM		1
MAGIC PAK LOUVERS/ STAMPED PANELS	ALUMINUM		1

- COLORS**
 1 = MATCH ADJACENT WALL COLOR
 2 = CLEAR ANODIZED
 3 = BLACK
 4 = RED

- NOTES:**
 1. WINDOW & STOREFRONT FLASHING TO MATCH FRAMES
 2. ROOF FLASHING COLOR: CLEAR ANODIZED

PUD RESPONSE
SUBMITTAL
10/20/08



North Elevation

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ANN ARBOR, MICHIGAN
Village Green Companies BKV Group

CITY BKV
GROUP



West Elevation

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ANN ARBOR, MICHIGAN
Village Green Companies BKV Group

CITY BKV
GROUP



South Elevation

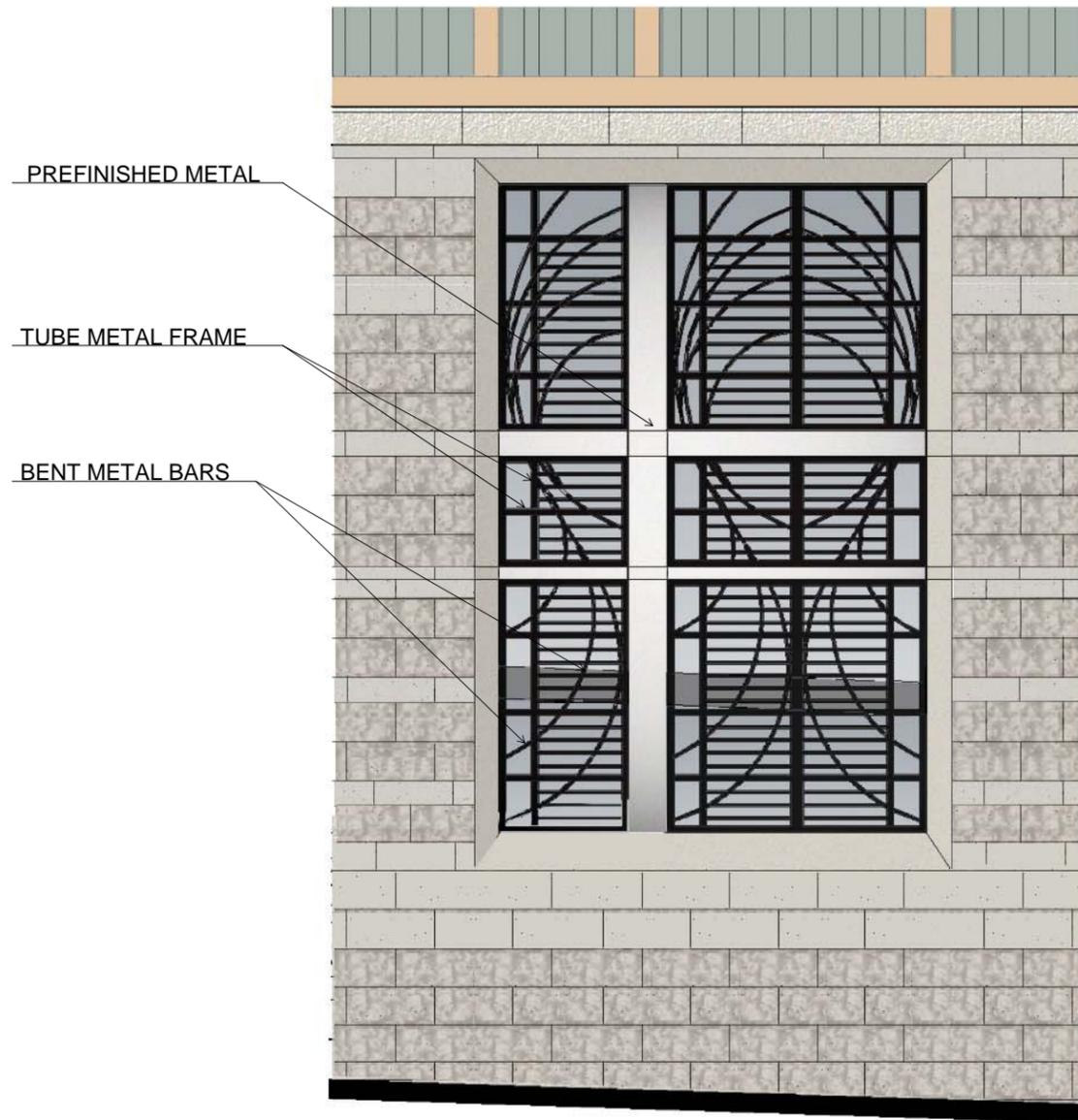
East Elevation

ANN ARBOR CITY APARTMENTS

10-20-08

ANN ARBOR, MICHIGAN
Village Green Companies BKV Group

CITY BKV
GROUP



Parking Ramp Grill Detail



Courtyard South Elevation



Courtyard North Elevation

ANN ARBOR CITY APARTMENTS

10-20-08

ANN ARBOR, MICHIGAN
 Village Green Companies BKV Group

CITY BKV
 GROUP