

ANN ARBOR HOUSING BOARD OF APPEALS

HOUSING INSPECTOR STAFF REPORT

Hearing for HBA16-010 for 730 Tappan Street, Ann Arbor, MI 48103
(Parcel Identification Number: 09-09-28-303-024).

Hearing date: November 9, 2016

DESCRIPTION AND DISCUSSION

Sig Ep Housing Michigan Alpha
310 South Boulevard
Richmond, VA 23220

The owner of the residence located at 730 Tappan Street requests a variance from the requirement for natural light and ventilation in the 8 finished rooms for use as sleeping rooms. Natural light requires glazing area equal to 8% of the room's floor area and natural ventilation equal to 4% of that same area as required by section **8:502 (1) and (2)**. And one 2nd floor finished room for use as sleeping room lacking lighting and ventilation **8:502** and a second exit would be required per section **8:504,3**.

There are 8 finished rooms that lack natural light and ventilation.

Room	Room size	Existing light /vent`	Required light / vent
4	352sqft	20sqft/10sqft	28sqft/14sqft
7	420sqft	13.39sqft/6.69sqft	33.6sqft/16.8sqft
9	280sqft	15Sqft/7.5sqft	22.5sqft/11.25sqft
10	312sqft	16sqft/8sqft	25sqft/12.5sqft
108	na	na	na
109	132sqft	8sqft/4sqft	11sqft/5.5sqft
112	na	na	na
201	506sqft	32sqft/15sqft	40.48sqft/20.24sqft (2 nd floor)

Section 8:515 (2) of the Ann Arbor Housing Code:

The City of Ann Arbor Housing Code allows the Housing Board of Appeals to grant variances on existing structural elements of a building.

Per the Applicant

Practical difficulties and unnecessary financial hardship.

STAFF RECOMMENDATION

Staff recommends the following motion:

I recommend that the board **approve** the requirement for natural light and ventilation with the stipulation that they comply with artificial light in the (MI. Building Code 1205.3) artificial light shall be provided that is adequate to provide an average illumination of 10 foot candles (107 lux) over the area of the room at a height of 30 inches, this does not jeopardize public health and safety.

Deny the second variance from needing a second exit. Chapter.105 **8:504, (3), (a)** second exit is required for 2nd floor room 201.

Ignacio Gneco
Development Services Inspector

10-13-16



City of Ann Arbor
PLANNING & DEVELOPMENT SERVICES

Mailing: 301 E. Huron St. | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647
p. 734.794.6264 | f. 734.994.8460 | rentalhousing@a2gov.org

APPLICATION FOR VARIANCE AND/OR TIME EXTENSION
HOUSING BOARD OF APPEALS

Section 1: Applicant Information

Name of Applicant: SIGEP HOUSING OF MICHIGAN ALPHA, LLC.
Address of Applicant: 730 TAPPAN AVENUE
Daytime Phone: 804-441-0615 Fax: —
Email: ZACH.STULL@SIGEP.NET
Applicant's Relationship to Property: OWNER/LANDLORD

Section 2: Property Information

Address of Property: 730 TAPPAN AVE.
Zoning Classification: R-4-C
Tax ID# (if known): _____
*Name of Property Owner: SIGEP NATIONAL HOUSING

*If different than applicant, a letter of authorization from the property owner must be provided.

Section 3: Request Information

Variance

Chapter(s) and Section(s)

from which a variance is requested:	REQUIRED dimension:	PROPOSED dimension:
<u>8: 501.1 (WINDOW)</u>	<u>NEED 8% OF</u>	_____
<u>8: 501.2 (VENTILATION)</u>	<u>THE SQUARE FOOTAGE</u>	_____
_____	<u>OF ROOM AS WINDOWS</u>	_____

Example: Chapter 105, Section 5:26	Example: 6', 8" Basement Ceiling Height Clearance	Example: 6', 6" Basement Ceiling Height Clearance
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Give a detailed description of the work you are proposing and why it will require a variance (attach additional sheets if necessary)

THERE WILL NOT BE ADDITIONAL WORK NEEDED UNLESS RECOMMENDED BY THE HBA. OUR HOPE IS TO WORK WITH THE CITY TO RECEIVE A VARIANCE FOR THE ROOMS IN QUESTION SINCE THE OCCUPANCY PERMIT ORIGINALLY ALLOWED OUR PROPERTY TO HAVE 45 TENANTS AND WE INSTALLED ALL NECESSARY LIFE SAFETY MEASURES.

Section 4: Variance Request (If not applying for a variance, skip to section 5)

The City of Ann Arbor Housing Board of Appeals has the powers granted by City Code Chapter 105. A variance may be granted by the Housing Board of Appeals only in cases involving practical difficulties or unnecessary hardships when ALL of the following is found TRUE. Please provide a complete response to each item below. These responses, together with the required materials in Section 5 of this application, will form the basis for evaluation of the request by staff and the Housing Board of Appeals.

1. Are there hardships or practical difficulties to complying with the ordinance? Are these hardships or practical difficulties an exception or unique to the property compared to other properties in the City?

2. Are the hardships or practical difficulties more than mere inconvenience, inability to obtain a higher financial return? (explain)

3. What effect will granting the variance have on the neighboring properties?

4. What physical characteristics of your property in terms of size, shape, location or topography prevent you from using it in a way that is consistent with the ordinance?

5. Is the condition which prevents you from complying with the ordinance self imposed? How did the condition come about?

Section 5: Time Extension

Current use of the property

RESIDENTIAL/STUDENT HOUSING
(FRATERNITY HOUSE)

Explain why you are requesting a time extension:

N/A

Section 6: Required Materials

The following materials are required for all variance requests. Failure to provide these materials will result in an incomplete application and will delay staff review and Housing Board of Appeals consideration of the request. The materials listed below must accompany the application and constitute an inseparable part of the application.

All materials must be provided on 8 1/2" by 11" sheets.

- Building floor plans showing interior rooms, including dimensions.
- Photographs of the property and any existing buildings involved in the request.
- Any other graphic or written materials that support the request.
- A Complete List of Tenant Names so that they can be notified that the HBA will do a 'walk-through' of the property on the day of the hearing.

Section 7: Acknowledgement

SIGNATURES MUST BE SIGNED IN PRESENCE OF NOTARY PUBLIC

I, the applicant, request a variance from the above named Chapter(s) and Section(s) of the Ann Arbor City Code for the stated reasons, in accordance with the materials attached hereto.

804-441-0615

Phone Number

Zach W. Stull
Signature

ZACH.STULL@SIGEP.NET

Email Address

ZACH W. STULL
Print Name

I, the applicant, hereby depose and say that all of the aforementioned statements, and the statements contained in the materials submitted herewith, are true and correct. I acknowledge that I've received all instructions, time, date and place of meeting and will be present to present the appeal. ~~Staff will not send additional notification of meeting times.~~

Zach W. Stull
Signature

Further, I hereby give City of Ann Arbor Planning & Development Services unit staff and members of the Housing Board of Appeals permission to access the subject property for the purpose of reviewing my variance request.

Zach W. Stull
Signature

On this 20th day of September, 2018, before me personally appeared the above named applicant and made oath that he/she has read the foregoing application by him/her subscribed and knows the contents thereof, and that the same is true as to his/her own knowledge except as to those matters therein stated to be upon his information and belief as to those matters, he/she believes them to be true.

Melia H. Motley
Notary Public Signature

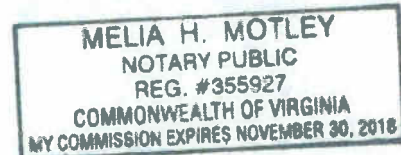
Nov 30, 2018 # 355927

Notary Commission Expiration Date

Melia H. Motley
Print Name

STAFF USE ONLY

Date 10-12-16 Submitted: Fee \$500.00 10/12/16 Paid:
 File HBA16-010 No.: Date of Public 11/10/16 Hearing
 Pre-filing Staff Reviewer & Date ANNA 10/13/16 HBA Action: _____
 Pre-Filing Review: _____
 Staff Reviewer & Date: _____





CITY OF ANN ARBOR

100 N. FIFTH AVE • ANN ARBOR, MI 48104
(734) 794-6267

Receipt Number: 2017-00021859

Project Number HBA16-010
Receipt Print Date: 10/12/2016
Address 730 TAPPAN ST
Applicant
Owner SIG EP HOUSING MICHIGAN ALPHA, LLC
Project Description Light and ventilation and Occupancy variance

FEES PAID

0010-033-3370-0000-4362

P&D - APPEAL FEES 15/16

HBA	0010-033-3370-0000-4362	500.00
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Total Fees for Account 0010-033-3370-0000-4362:	500.00
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TOTAL FEES PAID	500.00
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DATE PAID: Wednesday, October 12, 2016

PAID BY: LOGOS

PAYMENT METHOD: CHECK 1803

Section 4: Variance Request:

1. SigEp National Housing (SENH), the parent entity for Sig Ep Housing of MI Alpha LLC, has been working with the City of Ann Arbor intermittently since 2009 on the purchase and renovation of the property at 730 Tappan Avenue. The housing inspection that was conducted in August of 2016 was the first time SENH was made aware of lighting and ventilation ordinances that were required for each room in the property. SENH believed that after working with the City from 2009-2012, all necessary approval and paper work had been granted from the City Of Ann Arbor. The current occupancy based on the recent housing inspection is 35 members. The City of Ann Arbor (see accompanying certificate of compliance from the City in 2012) originally granted SigEp National Housing an occupancy of 45 tenants. By decreasing our allowed bed occupancy to 35, there becomes a financial hardship that does not allow SENH to make the necessary mortgage payments on the property. SENH only moved forward with this project after the City of Ann Arbor granted SENH a Special Exception Use Permit for 45 beds. After working with the zoning board and being granted an occupancy of 45, SENH proceeded with the purchase and renovations to the facility. (It should be noted that the purchase and adaptive re-use of this property was a complicated financial process, involving equity from fundraising, and first, second and third mortgages. The property is owned and operated by non-profit entities, and operates at best on a break-even basis.) The top priority of our renovations included life safety measures and modern HVAC systems for our tenants. SENH believes that the property is more than adequately equipped with life safety measures that keep our tenants safe. These life safety additions are highlighted below.

We thought it would also be helpful to share the financial details of the property to give the Housing Board of Appeals a complete picture of the financial hardship that would be caused with an occupancy of 35 vs. 45. Please see the attached financial budget for the 2016-2017 year. Here are some additional notes on the mortgage:

- Currently, the combined first and second mortgages on the property are approximately \$2,750,000.
 - The monthly debt service is \$14,783, for an annual total of \$177,396.
 - The deficit at an occupancy of 35 is roughly \$(90,000). At 45 members in the facility, SENH is breaking even.
 - SigEp National Housing only proceeded with the project at the occupancy that was granted by the city of Ann Arbor in 2012 of 45 tenants. The property cannot have a positive cash flow at an occupancy of 35.
2. As aforementioned, SigEp National Housing made it a priority to work with the City of Ann Arbor from 2009-2012 during the purchase and renovation of the property at 730 Tappan Avenue. We wanted to create a safe, healthy environment for our tenants that allowed them to be successful college students. When the Special Exception Use permit was granted to us back in

2012, we were confident in proceeding to re-develop the property with a proforma based on an occupancy of 45 members. After the recent inspection, this max occupancy number has been lowered to 35. At this number of tenants, SigEp National Housing would not have moved forward with the purchase of the property at 730 Tappan Avenue. At 35 members, debt servicing the current mortgage becomes increasingly difficult and creates a financial hardship. Even the exit strategy of renting or selling to another entity (fraternity, sorority, student group, or investor) becomes challenging, as the viability of the property is directly related to the occupancy capacity, and thereby rental income - which was vetted by the Special Exception Use at 45 beds.

3. There will not be any effect on the neighbors if a variance is granted.
4. When SigEp National Housing purchased the property, we made life safety and modern HVAC systems the top priority. The only reason we are currently not compliant with city ordinances is because we do not meet the necessary percentage of glazed area (windows) for a habitable room of at least 8% per ordinance 8:502 - 1. Even though the 8% minimum light standards are not met, we feel that we have more than adequate life safety measure to keep our tenants safe. Here are the upgrades that we completed before tenants were allowed to move in after we purchased the property:
 - Installed a new sprinkler system throughout facility
 - Upgraded the fire alarm system which is monitored 24 hours a day, 7 days a week
 - Installed new smoke detectors in all rooms
 - All rooms have a means of egress in case of a fire
 - All sleeping rooms, and common areas, have heating, air conditioning and ventilation provided by multi-mini split systems or package split systems - all new since August 2012.
 - Rebuilt and upgraded the entire electrical system.
5. The condition that prevents us from complying with the ordinance was not self imposed. When we purchased the property in 2012, we believed we were in compliance with city ordinances. We invested over \$1,300,000 in improvements to a 120 year old church to turn the property into a safe and comfortable home for the MI Alpha Chapter of Sigma Phi Epsilon. We partnered with the City of Ann Arbor to receive the proper approvals from the zoning board of appeals, the appropriate building permits, and the Certificate of Occupancy and Compliance at the completion of renovations. It was not until August of 2016 that we were informed that several of our rooms did not meet the requirements for light and ventilation per the City of Ann Arbor. In all of our conversations with the City of Ann Arbor, our local architects, our General Contractor, and our local property managers, in the last seven years, the lighting and ventilation Housing Code issues have never been mentioned. To the extent that the Special Exception Use approval for 45 beds represents a waiver to the existing conditions of the 120 year old building, we submit that the SEU and the Building Permit represent a waiver supporting this variance request. Also, to the extent that we followed proper procedure in procuring a Building Permit and CO, we submit that this variance request is reasonable for this property and should be approved.

OCCUPANCY OF 35

Michigan Alpha 2016-2017		
University of Michigan		Proforma
Property Value		\$2,800,000
Total Membership		96
Capacity		45
Occupancy	Fall Term	35
	Spring Term	35
Out of House Members	Fall Term	61
	Spring Term	61
REVENUE		
Rent: Room & Board (\$5,825 per semester)		\$407,750
Parlor Fees (\$200 per live out member, per semester)		\$24,400
Parking (\$500 per space, per semester)		\$13,000
Convenience Fee		\$1,000
Gross Scheduled Income		\$446,150
Less Outstanding Revenue (5%)		\$22,308
EFFECTIVE GROSS INCOME		\$423,843
EXPENSES: FACILITY		
Taxes, Fees & Insurance		
Property Taxes		\$50,000
Insurance		\$9,200
Annual Audit & Accounting		\$1,500
Inspections and Registration Fees		\$2,000
Software & Bank Fee		\$2,000
Total Taxes, Fees & Insurance		\$64,700
Utilities		
Security		\$1,000
Fire Protection System		\$500
Cable, Telephone & Internet		\$9,000
Utilities		\$38,000
Trash Service		\$1,200
Total Utilities		\$49,700
Maintenance		
Repairs and Maintenance		\$26,000
Maintenance: Grounds		\$3,500
Cleaning Service & Supplies		\$17,000
Total Maintenance		\$46,500
Management Services		
Local Management		\$11,000
SENH Management		\$17,846
Total Management Services		\$28,846
Total Expenses: Facility		\$189,746
EXPENSES: FOOD/KITCHEN		
Kitchen Equipment: Maintenance and Supplies		\$1,500

Food Service Provider	\$100,000	
Total Expenses: Food/Kitchen		\$101,500
TOTAL OPERATING EXPENSES		\$291,246
EXPENSES: ASSET VALUE PROTECTION		
Capital Reserve	\$22,308	
Capital Improvements	\$22,308	
Total Asset Value Protection		\$44,615
TOTAL EXPENSES		\$335,861
OPERATING SUMMARY		
Net Facility Operation	\$233,147	
Net Food/Kitchen Operation		
Net Operating Income		\$132,597
CASH FLOW FROM OPERATIONS		\$87,982
DEBT SERVICE		
BB&T B042-0 First Mortgage	\$177,396	
TOTAL DEBT SERVICE		\$177,396
NET CASH FLOW		(\$89,415)

OCCUPANCY OF 45

Michigan Alpha 2016-2017		
University of Michigan		Proforma
Property Value		\$2,800,000
Total Membership		96
Capacity		45
Occupancy	Fall Term	45
	Spring Term	45
Out of House Members	Fall Term	51
	Spring Term	51
REVENUE		
Rent: Room & Board (\$5,825 per semester)		\$524,250
Parlor Fees		\$20,400
Parking		\$13,000
Convenience Fee		\$1,000
Gross Scheduled Income		\$558,650
Less Outstanding Revenue (5%)		\$27,933
EFFECTIVE GROSS INCOME		\$530,718
EXPENSES: FACILITY		
Taxes, Fees & Insurance		
Property Taxes		\$50,000
Insurance		\$9,200
Annual Audit & Accounting		\$1,500
Inspections and Registration Fees		\$2,000
Software & Bank Fee		\$2,000
Total Taxes, Fees & Insurance		\$64,700
Utilities		
Security		\$1,000
Fire Protection System		\$500
Cable, Telephone & Internet		\$9,000
Utilities		\$38,000
Trash Service		\$1,200
Total Utilities		\$49,700
Maintenance		
Repairs and Maintenance		\$26,000
Maintenance: Grounds		\$3,500
Cleaning Service & Supplies		\$17,000
Total Maintenance		\$46,500
Management Services		
Local Management		\$11,000
SENH Management		\$22,346
Total Management Services		\$33,346
Total Expenses: Facility		\$194,246
EXPENSES: FOOD/KITCHEN		
Kitchen Equipment: Maintenance and Supplies		\$1,500

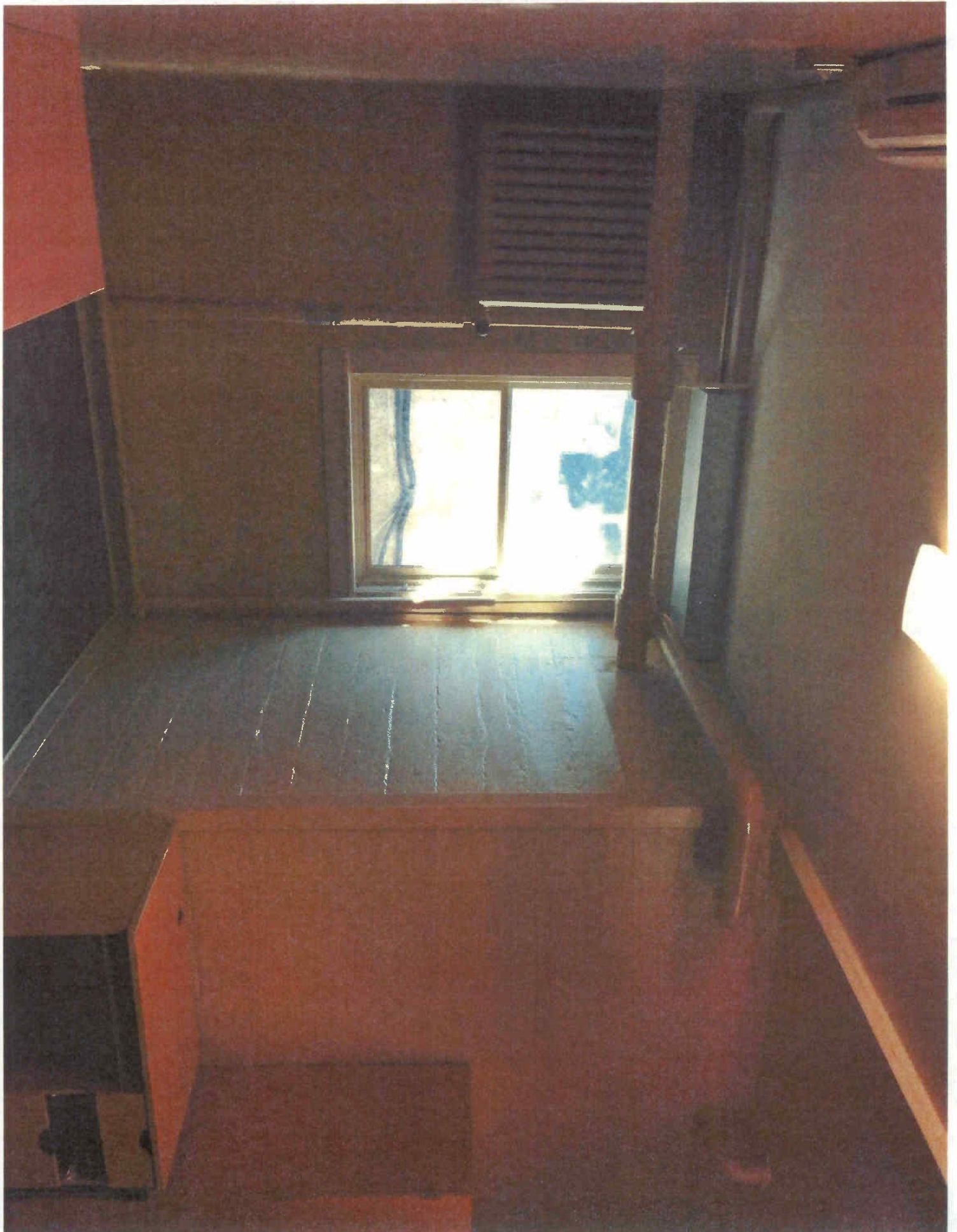
Food Service Provider	\$100,000	
Total Expenses: Food/Kitchen		\$101,500
TOTAL OPERATING EXPENSES		\$295,746
EXPENSES: ASSET VALUE PROTECTION		
Capital Reserve	\$27,933	
Capital Improvements	\$27,933	
Total Asset Value Protection		\$55,865
TOTAL EXPENSES		\$351,611
OPERATING SUMMARY		
Net Facility Operation	\$335,522	
Net Food/Kitchen Operation		
Net Operating Income		\$234,972
CASH FLOW FROM OPERATIONS		\$179,107
DEBT SERVICE		
BB&T B042-0 First Mortgage	\$177,396	
TOTAL DEBT SERVICE		\$177,396
NET CASH FLOW		\$1,710





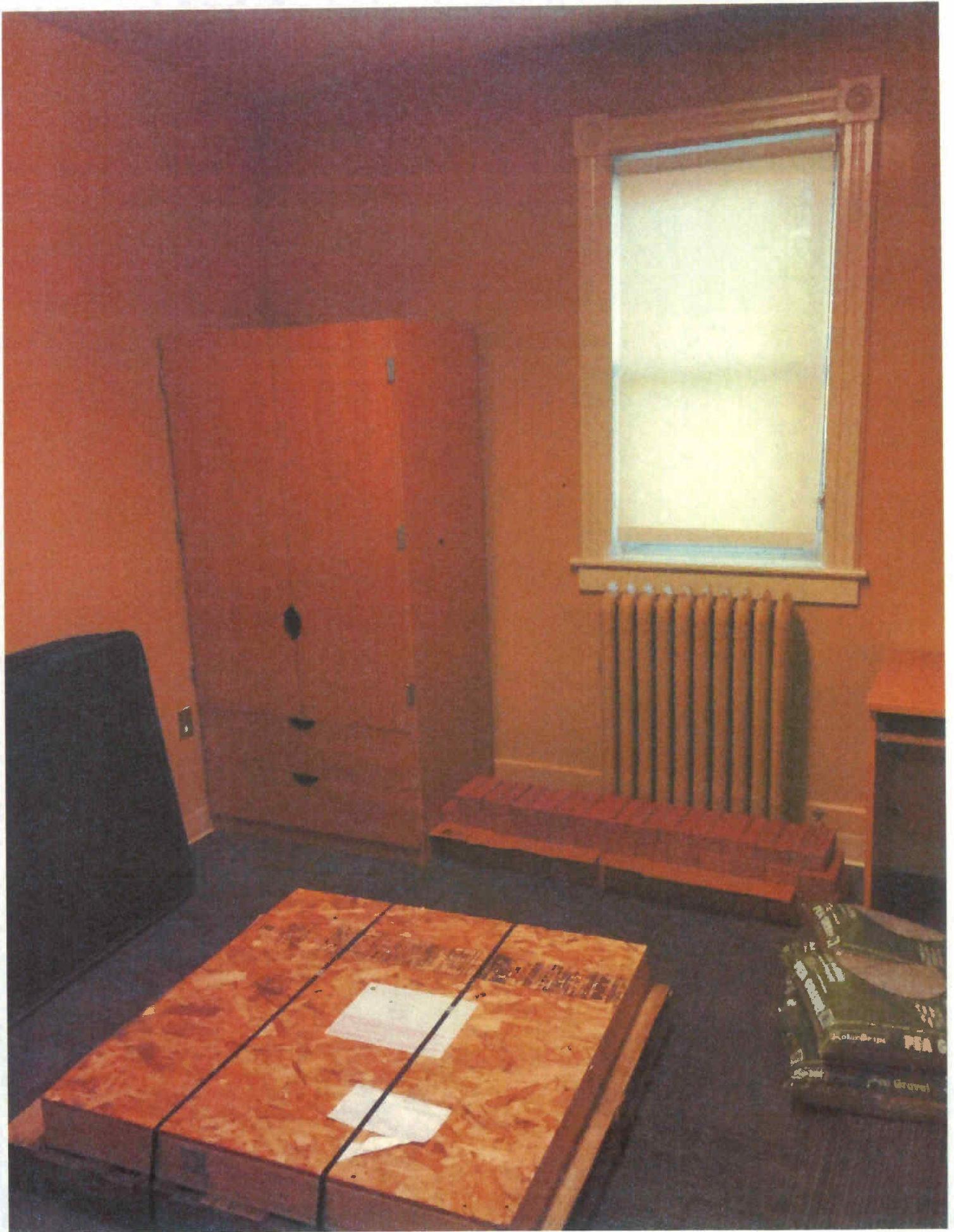


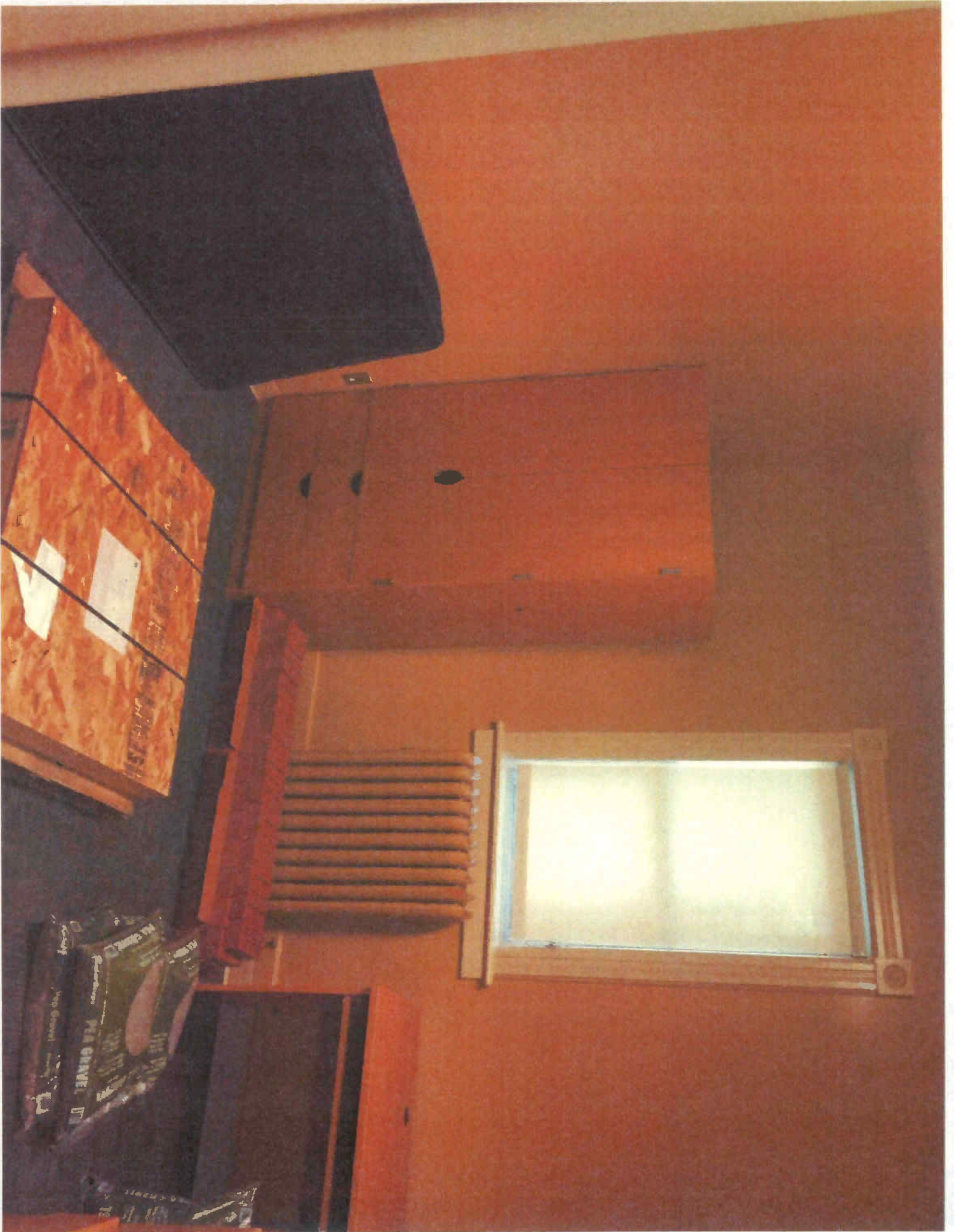














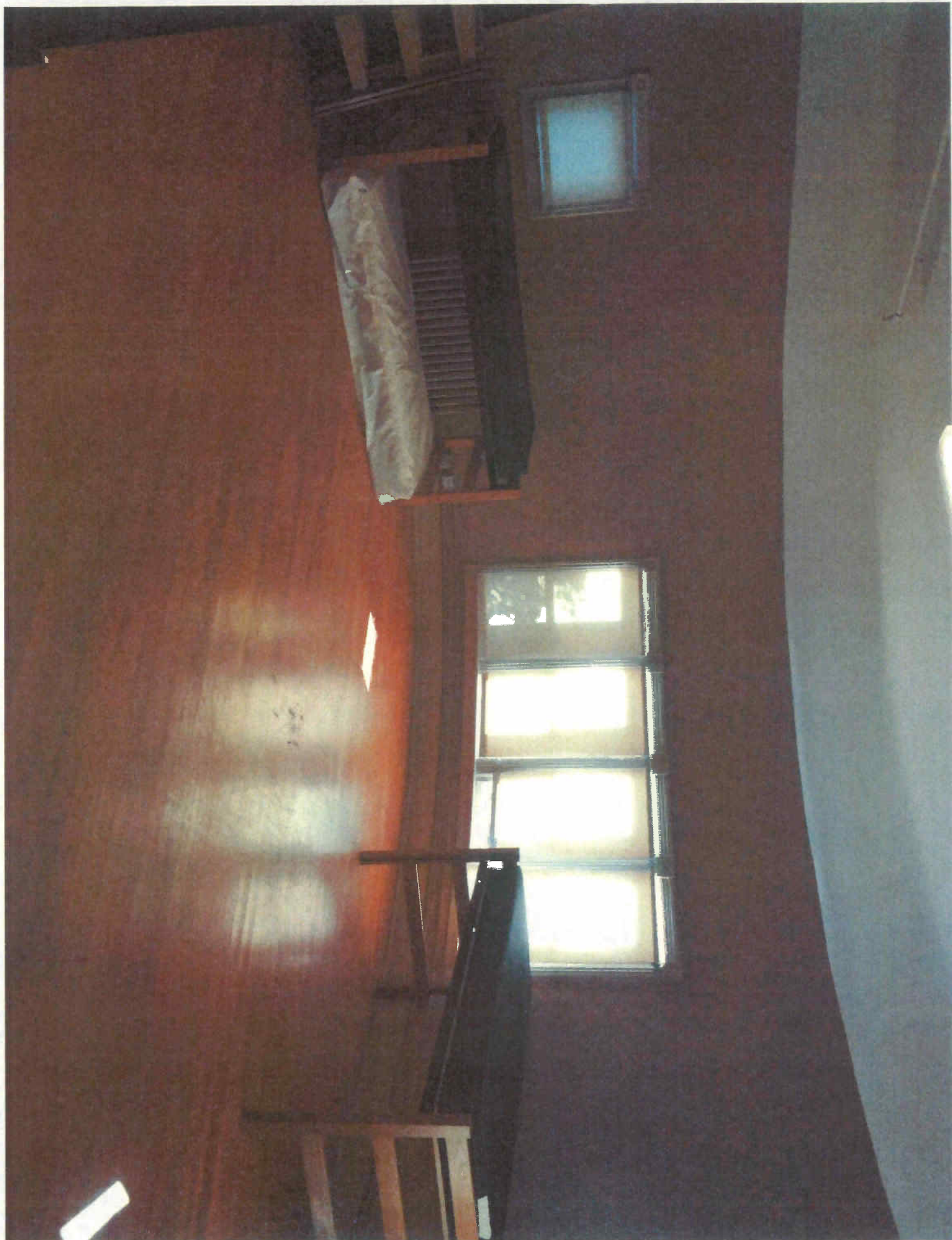














CITY OF ANN ARBOR, MICHIGAN

Community Services Area
Planning & Development Services Unit
301 E. Huron St, P.O. Box 8647,
Ann Arbor, Michigan 48107-8647
Phone: (734) 794-6264
Fax: (734) 994-8460

October 19, 2016

Sig Ep Housing Michigan Alpha, LLC
310 South Boulevard
Richmond, VA 23220
C/O: Zach Stull

Re: 730 Tappan Street, Ann Arbor, Michigan, 48103
Parcel Identification Number ("PIN"): 09-09-28-303-024

Dear Mr. Stull:

Please consider this as a notice to attend the Ann Arbor Housing Board of Appeals meeting for your variance request. You will have the opportunity to address the Board.

This meeting will take place on Wednesday, November 9, 2016 at 1:30 PM on the 2nd floor of City Hall in the Council Chambers.

If you are planning to support your request with information or evidence not included with your application, please submit your additional information to City Housing Department staff either by email at a2rentalhousing@a2gov.org or in person no later than the Friday before the meeting to allow time for distribution to the Board members. If you bring additional materials to the meeting, please bring 10 hard copies for the Board members and City staff.

Sincerely,

Lisha Turner-Tolbert
Rental Housing Services Manager



CITY OF ANN ARBOR, MICHIGAN

Community Services Area
Planning & Development Services Unit
301 E Huron St, P.O. Box 8647,
Ann Arbor, Michigan 48107-8647
Phone: (734) 794-6264
Fax: (734) 994-8460
www.a2gov.org

This is to certify that a

**CERTIFICATE OF COMPLIANCE AND OCCUPANCY,
COFO12-0124,**

has been issued by the City of Ann Arbor Planning & Development Services for substantial compliance with all state and local code requirements pertaining to Building Permit **BLDG12-0077** and may be occupied and used for the following purpose(s):

INTERIOR RENOVATION TO CONVERT EXISTING CHURCH

Property Address: **730 TAPPAN ST**

Owner: **SIG EP HOUSING MICHIGAN ALPHA,
310 SOUTH BOULEVARD
Richmond, VA 23220**

Tenant: **Sigma Phi Epsilon
730 Tappan
Ann Arbor, MI 48104**

Zoning: **R4C**
No. Units: **1**
Use: **R-2, A-2**
Code: **2009 Exist**
Occupant Load: **899**

Building SF: **13706**
No. Stories: **3**
Const. Type: **5B**
Suppression System: **NFPA-13R,**

Stipulations:

INTO A FRATERNITY. PARTITION WALLS, WINDOWS, BATHROOMS, CEILINGS, FLOORING & TRADE UPGRADES

Bicycle parking must be installed per approved plot plan and THREE footing drains disconnects REQUIRED before issuance of CO. Contact: Matt Kowalski x42612

Ralph Welton **8/29/2012**

Building Official



BUILDING PERMIT
CITY OF ANN ARBOR

BUILDING DEPARTMENT
100 North Fifth Avenue
Ann Arbor, MI 48104
Phone: (734) 794-6267
Fax: (734) 994-8460

PLEASE VISIT THE CITY WEB SITE TO SCHEDULE YOUR INSPECTION - WWW.A2GOV.ORG/permits

Permit Number: **BLDG12-0077**

Construction Type: **5B**

Use Group: **899**

Work Type: **COMM ADD/ALT**

INTERIOR RENOVATION TO CONVERT EXISTING CHURCH

Stipulations: **INTO A FRATERNITY. PARTITION WALLS, WINDOWS, BATHROOMS, CEILINGS, FLOORING & TRADE UPGRADES**

Bicycle parking must be installed per approved plot plan and **THREE** footing drains disconnects **REQUIRED** before issuance of CO. Contact: **Matt Kowalski x42612**

LOCATION	OWNER
730 TAPPAN ST 09-09-28-303-010	MEMORIAL CHRISTIAN CHURCH 730 TAPPAN AVE Ann Arbor, MI 48104

Approved plans must be retained on job and this card kept posted until final inspection has been made. Permits and inspection notices must be posted at a single location on site (electrical panel, etc.). Where a Certificate of Occupancy is required, such building shall not be occupied until final inspection has been approved. Minimum 24 hour notice required for inspection. You must request inspection.

CONTRACTOR
Phoenix Contractors Inc 2111 GOLFSIDE Ypsilanti, MI 48197 (734) 487-9640

Permit Item	Account Number	Fee Basis	Amount
PLAN EXAMINATION	0026-033-3330-0000-434	0	2,085.00
BUILDING PERMIT FEE	0026-033-3330-0000-431	0	5,212.00
COMPLIANCE REV OVER 10,000	0010-050-3360-0000-432	0	50.00

Ralph Welton
Building Official

Date Issued: **02/29/2012**
Date Expires: **08/27/2012**

Fee Total: \$7,347.00
Amount Paid: \$7,347.00

BALANCE DUE: \$0.00

I agree this permit is only for the work described and does not grant permission for additional work which requires separate permits. I understand that this permit will become invalid, and null and void if work is not started within 180 days, or if work is suspended or abandoned for a period of 180 days any time after work has commenced, and that I am responsible for assuring all required inspections are requested in conformance with the applicable code.

I hereby certify that the proposed work is authorized by the owner, and that I am authorized by the owner to make this application as authorized agent. I agree to conform to all applicable laws of the State of Michigan and local jurisdiction. All information on the permit application is accurate.

Payment of permit fee constitutes acceptance of above terms.

JONATHAN J. KUCERA, ARCHITECT

10820 Ramshorn Road M IDLOTHIAN, VIRGINIA 23113
804.272.0430 fax 804.272.1956 jkucera2@verizon.net

City of Ann Arbor
Planning & Development Services - Construction Services
301 E. Huron Street, P.O. Box 8647
Ann Arbor, Michigan 48107-8647

September 1, 2016

Attention: Building Official

I am the Owner's Project Representative for Sig Ep Housing of Michigan Alpha, LLC, the owner and manager of the fraternity house at 730 Tappan Street. In July & August, 2016, your offices conducted a Housing Inspection, from which I have a copy of the 8 page report. The purpose of this letter is twofold:

1. To re-state the history of the renovations of this property, and;
2. To request sufficient time to make the physical repairs noted in the inspection, and to address, by variance if necessary, the question of occupancy of several sleeping rooms.

History of the Building Renovations

From 2009 through 2012, I was involved in the property purchase and design of the renovations to convert the former Memorial Christian Church to the new home for the MI Alpha Chapter of Sigma Phi Epsilon Fraternity. The Architect of Record was Hobbs + Black of Ann Arbor; Bill Hobbs is an Alumnus, and Steve Dykstra was the Project Architect. Attached find the following documents pertinent to that process:

- City Planning reports approving the Special Exception Use of the renovated building for 45 sleeping beds, dated April 17, 2012. Procuring this SEU was a condition precedent to closing on the purchase of the building, and achieving the bed count was a qualifying condition for the operating proforma of the project.
- Minutes of the Ann Arbor Zoning Board of Appeals, approving a variance to alter a non-conforming structure. This variance was also a condition of the purchase.
- Copy of the Building Permit, issued 02/29/12 for renovations to convert the existing church to a fraternity occupancy, based on the plans submitted.
- Copy of the Certificate of Compliance and Occupancy, #COFO12-0124.

It has been the perspective of the Owner that these documents, supported by permitted construction documents for existing building modifications, including a wet sprinkler fire suppression system and other life safety provisions, provided the basis for a 45 bed occupancy of the building.

If the essence of the Ann Arbor Housing Code (Chapter 105) is that the floor area ratios for light and ventilation prevail, we have no choice but to file for a variance. However, we need time to clearly understand the application of the Code as it relates to this occupancy, and to file the application.

Response to the Inspection Report

There is no question that the issuance of the report, within weeks of the return of the Chapter residents for the Fall semester, was untimely and created a serious disruption to the residents and management. We also understand that there was a failure of communication among the local property manager and the building owner/manager, resulting in a lack of immediate response. That situation has been resolved, and the Owner is motivated to address the inspection report in three categories of attention:

1. Immediate non-construction work. Cleaning up trash, cutting vegetation, and moving furniture out of egress ways, and other work that has already been done or can be accomplished in short order.
2. Construction, repairs, MEP work, and systems inspection reports: Owner will address those items required by your inspection, and not challenged by variance. However, we need the time to arrange for the work with the appropriate subs and vendors, as well as to conduct the work while the building is occupied.
3. Sleeping Rooms: Owner needs to understand why all sleeping rooms are not now acceptable for the 45 occupancy count as represented by the 2012 Building Permit and 2012 Certificate of Compliance and Occupancy. Then, if necessary, Owner will submit an application for variance. However, this will also take time and effort to organize the proper documentation.

The agent for Owner is Zach Stull, Asset Manager for Sig Ep National Housing. Zach will be responsible for orchestrating the full response to the inspection report, including any application for variance. He can also provide a full set of the 2012 construction documents to more fully explain the building systems.

Sincerely,



Jonathan J. Kucera, Architect
Owner's Project representative



CITY OF ANN ARBOR, MICHIGAN

Community Services Area
Planning & Development Services Unit
100 North Fifth Ave, P.O. Box 8647, Ann Arbor, Michigan 48107
Phone: (734) 994-2674
Fax: (734) 994-2798
www.a2gov.org

Zoning Board of Appeals February 23, 2011 Regular Meeting

STAFF REPORT

Subject: ZBA11-002 – 730 Tappan

Summary: Jonathan Kucera is requesting Permission to Alter a Non-conforming Structure in order to permit the conversion of a non-conforming structure to residential use (fraternity house) with a maximum of 44 beds.

Description and Discussion:

Background:

The subject property is located on the northwest corner of Hill and Tappan and is zoned R4C(Multiple-Family). The original sanctuary was built in 1891 and moved to the current site in 1923. An education wing was constructed in 1972 on the north side of the building. In 1993, a site plan was approved for a small elevator room on the northwest corner of the building. This addition required approval from the Zoning Board of Appeals for Permission to Alter a Non-conforming Structure, as well as a variance from the required amount of parking due to the large number of spaces required by a church use. The permission and variance were granted in September of 1991. The structure is non-conforming for insufficient front setbacks along Tappan and Hill Street.

Current proposal:

The owner of the property wishes to convert the existing building, which is currently used as a church, to a fraternity house with a maximum of 44 occupants. No exterior changes are proposed. Existing parking will remain; 9 parking spaces are required by code and 18 spaces (including one barrier free) currently exist. Fraternity houses are allowed in the R4C zoning district subject to Special Exception Use approval by the Planning Commission. This project is scheduled to go before the Planning Commission on March 1st. The petitioner has been informed of the preferred timeline of ZBA

Both the existing church and residential uses are permitted in the R4C Zoning District. The fraternity use is permitted subject to Special Exception Use approval by the Planning Commission.

(b). *The alteration will not have a detrimental effect on neighboring property*

As mentioned previously, the structure is zoned R4C (Multiple-Family residential), and is located in close proximity to the University campus. The parcel is surrounded by multiple-family structures of similar density and across the street from the University of Michigan School Of Business. There will be no expansion of the building footprint and no additional floor area will be added to the building. There are 18 parking spaces provided on the site and only 9 are required by City Code. Based on the parcel location and surrounding land uses, this proposal will not have a detrimental effect on any neighboring properties.

Respectfully submitted,



Matt Kowalski, AICP
City Planner



City of Ann Arbor

PLANNING & DEVELOPMENT SERVICES — PLANNING DIVISION

301 East Huron Street | P.O. Box 8647 | Ann Arbor, Michigan 48107-8647
p. 734.794.6265 | f. 734.994.8312 | planning@a2gov.org

June 15, 2012

SIG EP Housing of Michigan Alpha, LLC
c/o Patrick Murphy
310 South Boulevard
Richmond, VA 23220

Subject: Sigma Phi Epsilon Revised Special Exception Use – 730 Tappan Street

Dear Mr. Murphy:

I am pleased to inform you that the Ann Arbor City Planning Commission, at its meeting of April 17, 2012, approved the requested modification to the approved special exception use for the Sigma Phi Epsilon fraternity located at 730 Tappan. The special exception use was modified to allow an increase of one occupant for a maximum of 45 occupants, including the resident manager.

Any special exception use approval granted by the Planning Commission must be activated within 3 years of the date of approval. If the use is activated within this period, the approval shall continue as long as the use continues to operate as approved by the Commission.

When an approved special exception use ceases to function for a period of 24 months, the special exception use status shall lapse and shall no longer be in effect. A 12-month extension may be approved by the Planning Commission.

Note that the approval of the Sigma Phi Epsilon Special Exception Use is also subject to: 1) the standards for fraternities in Chapter 55, Section 5:10.4(3), including a resident manager, being met at all times; 2) required bicycle parking as shown on plot plan must be installed and three footing drains must be disconnected before a certificate of occupancy for the fraternity use will be issued; and 3) all improvements, including landscaping, shown on the plot plan and previously approved site plan must be maintained in good condition.

If you have any questions concerning this action, please contact Planning and Development Services at 734-794-6265.

Sincerely,

Wendy L. Rampson
Planning Manager

Enclosure: Plot Plan
c: City Assessor
File No. SEU12-002

PLANNING AND DEVELOPMENT SERVICES STAFF REPORT

For Planning Commission Meeting of April 17, 2012

**SUBJECT: Sigma Phi Epsilon Special Exception Use Modification
(730 Tappan)
File No. SEU12-002**

PROPOSED CITY PLANNING COMMISSION MOTION

The Ann Arbor City Planning Commission, after hearing all interested persons and reviewing all relevant information, finds the petition to substantially meet the standards contained in Chapter 55 (Zoning Ordinance), Section 5:104 (Special Exceptions), and, therefore, approves the Sigma Phi Epsilon Special Exception Use Modification for a fraternity with not more than 45 occupants.

STAFF RECOMMENDATION

Staff recommends the special exception use modification be **approved** because the proposed use is of such location, size and character as to be compatible with the zoning district in which the site is situated; and the location and size of the proposed use, its nature and intensity, the site layout and access, and effect of the proposed use on public services would not be hazardous or inconvenient to the neighborhood nor unduly conflict with the normal traffic of the neighborhood.

LOCATION

This site is located on the northwest corner of Tappan and Hill east of State Street (Central Area; Allen Creek watershed).

DESCRIPTION OF PROJECT


The petitioner seeks approval for modification to the approved special exception use to permit the addition of one occupant to the previously approved maximum of 44 occupants, for a maximum of 45 occupants. The petitioner is establishing a fraternity in a former church located at the northwest corner of Hill and Tappan Streets. The 15,560-square foot structure currently is being renovated by the fraternity in accordance with the special exception use approved by the Planning Commission on March 1, 2011.

The site is zoned R4C (Multiple-Family Dwelling District), in which fraternities are permitted with special exception use approval. Per Chapter 55 (Zoning Ordinance), Section 5:10.4, a parcel used for a fraternity use must have a minimum of 350 square feet per occupant, so this 22,400 square foot parcel could support up to 64 occupants. The petitioner is requesting an occupancy increase to 45 occupants, one of whom must be a resident manager.

The site is currently accessed by two curb cuts, one on Tappan Street and one on Hill Street. Parking for seventeen vehicles (including one barrier free) is provided; 9 spaces parking spaces are required. The petitioner will install 22 bicycle parking spaces: 11 exterior spaces (Class C)

applications that need Planning Commission approval, but due to their schedule of the project, they have requested a hearing from the ZBA first. If approved by the Planning Commission, the project does not need City Council approval.

Zoning Comparison Chart for Non-Conforming Structures

	EXISTING	PROPOSED	REQUIREMENTS
Zoning -	R4C (Multiple-Family District)	R4C	R4C
Front setback	20.5 feet East (Tappan) 19.6 feet South(Hill)	20.5 feet East (Tappan) 19.6 feet South(Hill)	

* 25 feet standard required, however additional setbacks required due to length and height of existing structure

Standards for Approval- Permission to Alter a Non-Conforming Structure

Chapter 55 (Zoning), Section 5:87. Structure nonconformance

- (1) A nonconforming structure may be maintained or restored, but no alteration shall be made to a nonconforming structure unless 1 of the following conditions is met:
 - (a) The alteration is approved by the Zoning Board of Appeals upon a finding that it complies as nearly as practicable with the requirements of this Chapter and that it will not have a detrimental effect on neighboring property.
 - (b) The alteration conforms to all the requirements of this Chapter and is made to a building which will be a single-family dwelling on completion of the alteration and is located in an R1, R2, R3 or R4 district.
- (2) For purposes of this section, alteration shall mean any change in a building which results in additional floor area being fit for occupancy, **a greater number of dwelling or rooming units** or an increase in the exterior dimensions of the building.

(emphasis added by staff)

The Zoning Board of Appeals has all the power granted by State law and by Section 5:98, from the City of Ann Arbor Zoning Ordinance. The following criteria shall apply:

- (a). ***The alteration complies as nearly as practicable with the requirements of the Zoning Chapter.***

The petitioner is seeking permission to convert the existing church into a fraternity house with a maximum of 44 occupants. There will be no addition of floor area and no external modifications in order to convert the existing structure.

and 11 within the basement level of the structure (Class A). No site plan is required because there are no changes being proposed to the site that trigger site plan requirements. No expansion of the current floor area of the building is proposed.

COMPARISON CHART

		EXISTING/PROPOSED	REQUIRED
Zoning		R4C (Multiple-Family Dwelling District)	R4C
Gross Lot Area		22,400 sq ft (0.51 acres)	8,500 sq ft MIN
Setbacks	Front	Olivia – 19.50 ft Cambridge – 20.42 ft	25 ft MIN *
	Side	22.33 ft	13.9 ft MIN (10% of the lot width)
	Rear	44 ft	30 ft MIN
Parking - Vehicles		17 spaces (includes 1 barrier-free)	9 spaces MIN (1 space per 5 beds)
Parking – Bicycles		11 Class A 11 Class C	22 spaces MIN

* Permission to alter a non-conforming structure obtained from the Zoning Board of Appeals

SURROUNDING LAND USES AND ZONING

	LAND USE	ZONING
NORTH	Multiple-Family Residential	R4C (Multiple-Family Dwelling District)
EAST	University of Michigan	PL (Public Land)
SOUTH	Multiple -Family Residential	R4C (Multiple-Family Dwelling District)
WEST	Multiple-Family Residential	R4C (Multiple-Family Dwelling District)

HISTORY

The main sanctuary of the church was constructed in 1891 and moved to the current site in 1923. The educational wing along Tappan was constructed in 1973. A small elevator room addition was constructed in 1991. The Zoning Board of Appeals granted approval to alter (add dwelling units) to this non-conforming structure on February 23, 2011. A special exception use was approved by the Planning Commission in March 2011 for a fraternity use with a maximum of 44 occupants. The fraternity purchased the property in early 2012 and interior renovations for the fraternity were begun in March 2012.

PLANNING BACKGROUND

The Master Plan Land Use Element recommends multiple-family uses for the site.

SPECIAL EXCEPTION USE STANDARDS

The Planning Commission, in arriving at its decision relative to any application for a special exception, shall apply the following standards (petitioner's response in regular type, *staff comments in italic type*):

Use and Specific Standards:

The applicant requests special exception use approval to permit the following use(s):

Increase the previously approved Special Use (44 bed fraternity occupancy – see attached letter and building permit) by one bed to a total of 45 beds to allow a separate bedroom for the required resident manager.

The petitioner is proposing to re-use the existing church structure for occupation starting in the fall 2012. The modification request seeks an increase of one occupant for a maximum of 45 occupants (previously approved maximum was 44 occupants). The structure is 15,560 square feet in size and could have a maximum occupancy of 64 occupants. Any special exception use granted by the Planning Commission must be activated within three years of approval.

The proposed use is allowed in accordance with the Schedule of Use Regulations, Chapter 55 Section 5:10.2 Paragraph 3a. Specify how the project meets all standards cited:

The current zoning R4C allows as a permitted principal use any special exception use in R2B, which allows a fraternity occupancy stated in 5:10.4(3)(a)(1-6). The requirements will be met or are not an issue as illustrated on the attached Exhibit 3.

General Standards: The proposed use(s) shall be of such location, size and character as to be compatible with the appropriate and orderly development of the zoning district and adjacent zoning districts in which the site is situated. In applying this standard, the Planning Commission shall consider whether the proposed use:

- 1. Will be consistent with the general objectives of the City Master Plan.**

Yes, as previously approved.

The Master Plan Land Use Element recommends multiple-family uses for the site.

- 2. Will be designed, constructed, operated and maintained in a manner that is compatible with the existing and planned character of the general vicinity.**

Yes, as previously approved. See attached floor plans for most recent room layout.

The existing structure has been integrated well into the surrounding area of multiple-family and University structures.

- 3. Will be consistent with the general character of the neighborhood considering population density, design, scale and bulk; and the intensity and character of activity.**

Yes, substantially multi-family (student rental), commercial, and university occupancies in that block north of Hill Street.

The existing structure has been at this location since 1923 and is similar in character to the surrounding land uses. No changes are proposed to the exterior of the structure or to the site. It is consistent in scale and bulk with structures on adjacent parcels.

- 4. Will not be detrimental to the use, peaceful enjoyment, economic value or development of neighborhood property, or the neighborhood area in general.**

Will not- as previously approved.

An increase of one occupant will not have a detrimental effect on the neighborhood. Surrounding uses are multiple-family and the parcel is located directly across the street from the U of M Central Campus and the School of Business. A resident manager is also required as part of the special exception use standards.

- 5. Will not have a detrimental effect on the natural environment.**

Will not- as previously approved.

No changes are proposed to the site.

The location and size of the proposed use(s), the nature and intensity of the principal use and all accessory uses, the site layout and its relation to streets giving access to it, shall be such that traffic to and from the use(s), the assembly of persons in connection therewith, and the effect of the proposed use on public services and facilities, will not be hazardous or inconvenient to the neighborhood nor unduly conflict with the normal traffic of the neighborhood. In applying this standard, the Planning Commission shall consider, at minimum:

- 6. The location and access to off-street parking and the safe provision for pedestrian traffic.**

See approved site plan – attached.

Access to off-street parking is from existing curb cuts on Tappan and Hill. Sidewalks exist along both streets that promote pedestrian traffic. Staff feels the location of and access to off-street parking is safe.

7. The relationship of the proposed use to main traffic thoroughfares and to streets and road intersections.

See approved site plan – attached.

The proposed use is located on the corner of Tappan and Hill, which are not main traffic thoroughfares. Staff does not anticipate any increased traffic intrusion into the established neighborhood.

8. Vehicular turning movements in relation to traffic flow routes.

See approved site plan – attached.

The two main access points are on Tappan and Hill, streets with minor traffic flow. The access to Hill is one-way, only providing an exit, all traffic entering the site will use the Tappan entrance.

9. The intensity and character of traffic and parking conditions on the site and in the general area.

See approved site plan – attached.

The traffic patterns and parking on the site will not change from its historical use. There will be no increase in on-site parking.

10. The requirements for additional public services and facilities which will be created by the proposed use will not be detrimental to the social and economic welfare of the community.

No increase in public services and facilities, as previously approved and shown on the attached site plan.

Adequate capacity exists for all City utilities to serve the site.

COMMENTS PENDING, UNRESOLVED OR NOTED

Planning – The standards for fraternities listed under Chapter, 55 Section 5:10.4(3) must continue to be met at all times.

Systems Planning and Project Management: Sewer flow data indicates that three footing drains will be required to be disconnected as part of this project.

Prepared by Matthew Kowalski
Reviewed by Wendy Rampson

Sigma Phi Epsilon
Special Exception Use Modification
Page 6

Attachments: Zoning/Parcel Maps
Aerial Photo
Site Survey

c: Owner: SIG EP Housing of Michigan Alpha, LLC
c/o Patrick Murphy
310 South Boulevard
Richmond, VA 23220

Petitioner: Jonathan Kucera, Architect
3711 Darby Drive
Midlothian, VA 23113

Systems Planning
File No. SEU12-002



APPROVED MINUTES OF THE REGULAR MEETING OF
THE ZONING BOARD OF APPEALS OF THE CITY OF ANN ARBOR
February 23, 2011

The Regular Session of the Zoning Board of Appeals was held on Wednesday, February 23, 2011 at 6:00 p.m. in the CTN Building, 2805 South Industrial Hwy., A2, MI. The meeting was called to order at 6:00 p.m. by Acting Chairperson Candice Briere

ROLL CALL

Members Present: (5) C. Briere, E. Briggs, J. Boggs,
A. Milshteyn and S. Briere (arr. @ 6:16 p.m.)

Members Absent: (4) C. Kuhnke, D. Gregorka, W. Carman & 1 Vacancy

Staff Present: (1) M. Kowalski

A - APPROVAL OF AGENDA

A-1 - The Agenda was approved as presented.

B - APPROVAL OF MINUTES -

B-1 Draft Minutes of the 2010-08-25 Regular Session (*Postponed at the December 2010 Regular Session*)

B-2 Draft Minutes of the 2010-10-28 Regular Session (*No November Session.*)

MOTION

Moved by S. Briere, Seconded by A. Milshteyn, "To Approve the August 25, 2010 Regular Session Minutes and the October 20, 2010 Regular Session Minutes as Presented."

On a Voice Vote - MOTION TO APPROVE - PASSED - Unanimous

C - APPEALS & ACTION

C-1 ZBA11-001 - 2907 Lakeview Drive

Description and Discussion

Bonnie Greenspoon (Lewis Greenspoon Architects, representing the owners of this property, is requesting one Variance from Chapter 55 (Zoning) Section 5:57 (Averaging an Existing Front Setback Line), of 13 feet 6 inches for expansion of an existing residential structure into the front setback. (32 feet 6 inches is required by Code for an Averaged Front Setback).

The petitioner is proposing to construct a 296 square foot covered front porch addition to the existing single-family house. The house was built in 1929 and is currently setback 23 feet 6 inches from the front property line and has a small existing covered front stoop.

- 105 b) That the alleged hardships or practical difficulties, or both, which will result from
 106 a failure to grant the variance, include substantially more than mere
 107 inconvenience, inability to attain a higher financial return, or both.
- 108 c) The variance, if granted, will not significantly affect surrounding properties.
- 109 d) The circumstances of the variance request are not self-imposed.
- 110 e) The variance request is the minimum necessary to achieve reasonable use of the
 111 structure.

112 **ADD: Friendly Amendment:** Moved by S. Briere, Seconded by J. Boggs, "To add the
 113 stipulation that this structure shall not be enclosed in the future." (This will be item "f"
 114 below):

115 f) *This structure is not to be enclosed in the future."*

116 On a Voice Vote – MOTION TO APPROVE – PASSED – UNANIMOUS
 117 **Variance Granted**

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 119
 120 **MOTION #2**

121 Moved by E. Briggs, Seconded by A. Milshteyn, "In the case of ZBA11-001, 2907 Lakeview
 122 Drive, the Zoning Board of Appeals hereby grants Permission to Alter a Non-
 123 Conforming Structure, based on the following findings of fact and in accordance with
 124 the established standards for approval:
 125

- 126
- 127 a) The alteration complies as nearly as practicable with the requirements of the
 128 Zoning Chapter; And,
 129
- 130 b) The alteration will not have a detrimental effect on neighboring property."

131
 132 On a Voice Vote – MOTION TO APPROVE – PASSED – UNANIMOUS
 133 **Permission to alter a Non-Conforming Structure - Granted**

134
 135
 136 **C-2 ZBA11-002 – 730 Tappan Street**

137
 138 **Description and Discussion**

139 Gerald Mangona (Sigma Phi Epsilon) is requesting Permission to Alter a Non-Conforming
 140 Structure to permit the addition of residential dwelling units to a Non-conforming structure.
 141

142 The subject property is located on the northwest corner of Hill and Tappan and is zoned R4C
 143 (Multiple-Family). The original sanctuary was built in 1891 and moved to the current site in
 144 1923. An education wing was constructed in 1972 on the north side of the building. In 1993, a
 145 site plan was approved for a small elevator room on the northwest corner of the building. This
 146 addition required approval from the Zoning Board of Appeals for Permission to Alter a Non-
 147 conforming Structure, as well as a variance from the required amount of parking due to the
 148 large number of spaces required by a church use.
 149

150 Permission to Alter A Non-Conforming Structure and a Variance were granted in September
 151 of 1991. The structure is non-conforming for insufficient front setbacks along Tappan and Hill
 152 Streets.

153

154 **Current proposal:**

155

156 The owner of the property wishes to convert the existing building, which is currently used as a
 157 church, to a fraternity house with a maximum of 44 occupants. No exterior changes are
 158 proposed. Existing parking will remain; 9 parking spaces are required by code and 18 spaces
 159 (including one barrier free) currently exist. Fraternity houses are allowed in the R4C zoning
 160 district subject to Special Exception Use approval by the Planning Commission. This project is
 161 scheduled to go before the Planning Commission on March 1st. The petitioner has been
 162 informed of the preferred timeline of ZBA applications that need Planning Commission
 163 approval, but due to their schedule of the project, they have requested a hearing from the ZBA
 164 first. If approved by the Planning Commission, the project does not need City Council approval.

165

166 **Questions to Staff by the Board**

167

168 *General discussion by the Board regarding the density allowed, number of beds allowed and*
 169 *parking. Further discussion on this being a Planning Commission issue. If this is denied, the*
 170 *"Special Exception Use" by Planning Commission, this could be brought back to the ZBA and*
 171 *revoked.*

172

173 **Presentation by the Petitioner**

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175 Mr. John Kucera, architect and executive with C. F. National Housing Corp., whose purpose is
 176 to counsel, provide funding, and provide safe and appropriate housing for its undergraduate
 177 members. We've been assisting the Michigan Alpha Alumni Corp. for the past three months to
 178 assist them in due diligence under an option to purchase this property. The current owner (the
 179 church) is moving on, and we feel that this would be a proper re-use for this structure.

180

181 **Questions to the Petitioner by the Board**

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183 *Questions as to where the organization is currently located. This was answered by alumni.*

184

185 **Public Comment**

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187 1. **Ms. Jane Cooper** of the Housing Corporation of Delta, Delta, Delta sorority, which is
 188 located next door to this building. She stated that although the girls don't object to the
 189 possibility of having a fraternity next door, I have over fifty years of work experience and
 190 knowledge of the interaction of sororities and fraternities. She stated that they are not
 191 opposed to this, but they do have questions related to this. Her goal is to establish
 192 connections with them and get some assurances in response to their questions.

193

194 (Mr. Kucera spoke briefly in response that they plan to be good neighbors and that the
 195 "Special Exception" use requires a "Live In" house coordinator).

195

196 **Discussion by the Board**

197

198 *It was brought up that many of the questions that the public and the Board may have will most*
 199 *likely be answered within the Planning Commission discussion as there are certain rules that*
 200 *they must adhere to in order to achieve the "Special Exception" use.*

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202 **MOTION**

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Moved by J. Boggs, Seconded by E. Briggs, "In the case of ZBA11-002, 730 Tappan, the Zoning Board of Appeals grants Permission To Alter A Non-Conforming Structure, based on the established standards for approval and the following findings of fact:

- a) The alteration complies as nearly as practicable with the requirements of the Zoning Chapter;
- b) The alteration will not have a detrimental effect on neighboring property; And,
- c) This also is contingent on being approved by the Planning Commission."

On a Voice Vote – MOTION TO APPROVE – PASSED – UNANIMOUS
 Permission To Alter A Non-Conforming Structure – Granted

D. OLD BUSINESS – None.

E. NEW BUSINESS – None.

F. REPORTS & COMMUNICATIONS – None.

AUDIENCE PARTICIPATION – GENERAL – None.

ADJOURNMENT

Moved by A. Milshteyn, Seconded by J. Boggs, "That the meeting be adjourned."

On a Voice Vote – MOTION TO ADJOURN - PASSED - UNANIMOUS

Adjournment – 7:02 p.m. (Submitted by: Brenda Acquaviva, Administrative Specialist V
 – Zoning Board of Appeals)

Candice Briere

Candice Briere, Acting Chairperson

05-25-11

Dated

ZBA Minutes

*Note: The complete record of this meeting is available in video format at <http://a2govtv.peqcentral.com/index.php> or is available for a nominal fee by contacting CTN at (734) 794-6150.



CITY OF ANN ARBOR
 Planning & Development Services
 Mailing Address: 301 E. Huron Street, PO Box 8647
 Ann Arbor, MI 48107-8647
 Phone - (734) 794-6264 Fax - (734) 994-8460
rentalhousing@a2gov.org

For Inspections Results
 go to:
www.a2gov.org/permits
 Select "Permits"

HOUSING INSPECTION CODE VIOLATION NOTICE

Address 730 TAPPAN ST Apt # _____ Initial Inspection Date 8.23.16
 Reinspection Date/Time _____

YOU HAVE THE RIGHT TO APPEAL VIOLATIONS OR DEADLINES TO THE BOARD OF APPEALS

The following code violations have been cited during this inspection.

NAV = NO APPARENT VIOLATIONS

Cellar	RMSize	OCC	EXISTING LIGHT AN VENT	8%/4%
1	135	2	✓	✓
2	135	2	✓	✓
3	178	2	✓	✓
4	352	0	20/10	28/14
5	198	3	✓	✓
6	198	3	✓	✓
7	420	0	1339/6.695	33.6/16.8
8	287	5	✓	✓
9	280	0	15/7.5	22.5/11.25
10	312	0	16/8	25/12.5
101	240	4	✓	✓
102	139	2	✓	✓
103	180	3	✓	✓
104	126	1	✓	✓
105	182	3	✓	✓
106	150	2	✓	✓
107	192	3	✓	✓
108	0	0	0	0
109	132	0	8/4	11/5.5
112	0	0	0	0
201	506	0	32/15	40.48/20.24
13RM	35 OCC			

Omission of reference to any item during this inspection shall not nullify any requirement of the housing code nor exempt the owner/agent from meeting such requirements.

Your signature confirms that you have read and understand all violations and notes cited on this document. If you cannot read the handwriting or do not understand why a violation was cited, please discuss this with the inspector before signing this form.

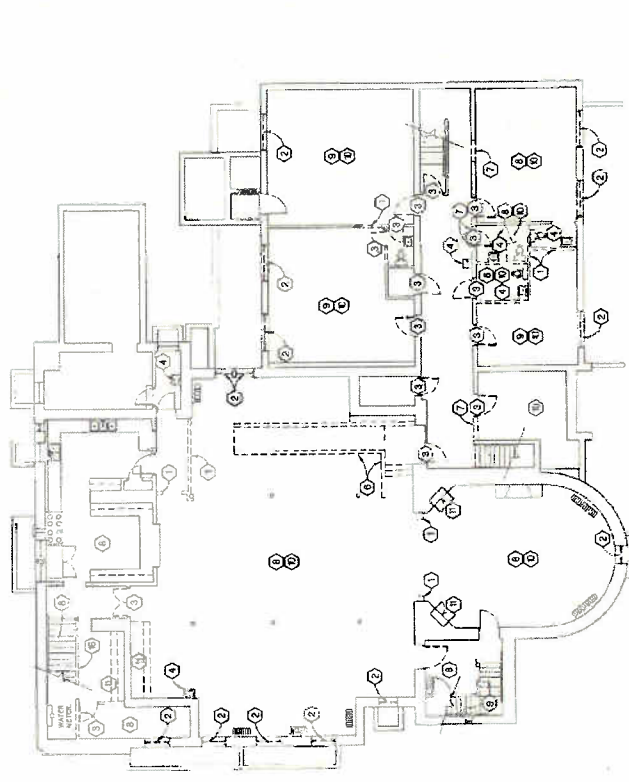
Inspector Signature/Date [Signature] Authorized Agent Signature/Date _____

PROJECT
SIGMA PHI EPSILON
730 TAPPAN STREET
ANN ARBOR, MI



CONTRACTOR
11-803
PROJECT NUMBER
D-100
SHEET NUMBER

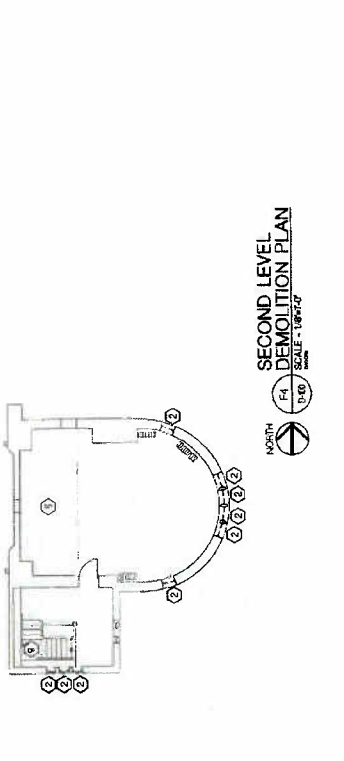
DEMOLITION PLANS



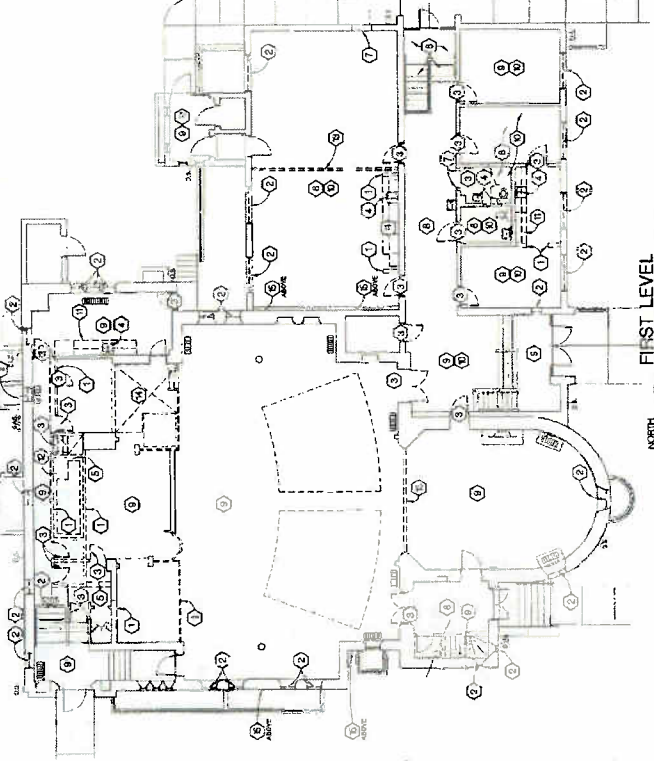
LOWER LEVEL DEMOLITION PLAN
SCALE: 1/8" = 1'-0"

- DEMOLITION KEY NOTES**
1. ITEMS IDENTIFIED WITH THESE NUMBERS SHALL BE DEMOLISHED IN THE ORDER LISTED.
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 19. ITEMS IDENTIFIED WITH THESE NUMBERS SHALL BE DEMOLISHED IN THE ORDER LISTED.
 20. ITEMS IDENTIFIED WITH THESE NUMBERS SHALL BE DEMOLISHED IN THE ORDER LISTED.
 21. ITEMS IDENTIFIED WITH THESE NUMBERS SHALL BE DEMOLISHED IN THE ORDER LISTED.
 22. ITEMS IDENTIFIED WITH THESE NUMBERS SHALL BE DEMOLISHED IN THE ORDER LISTED.

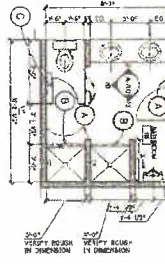
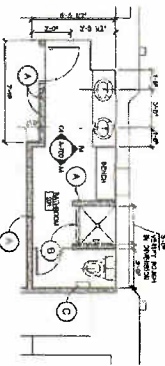
- GENERAL DEMOLITION NOTES**
1. ALL WORK SHALL BE ACCORDING TO THE 1997 INTERNATIONAL MECHANICAL AND ELECTRICAL CODE AND THE 2000 INTERNATIONAL BUILDING CODE.
 2. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 3. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 4. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 5. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 6. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 7. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 8. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 9. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 10. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 11. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 12. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 13. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 14. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 15. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 16. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 17. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 18. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 19. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 20. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 21. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.
 22. ALL DEMOLITION SHALL BE ACCORDING TO THE 2000 INTERNATIONAL BUILDING CODE.



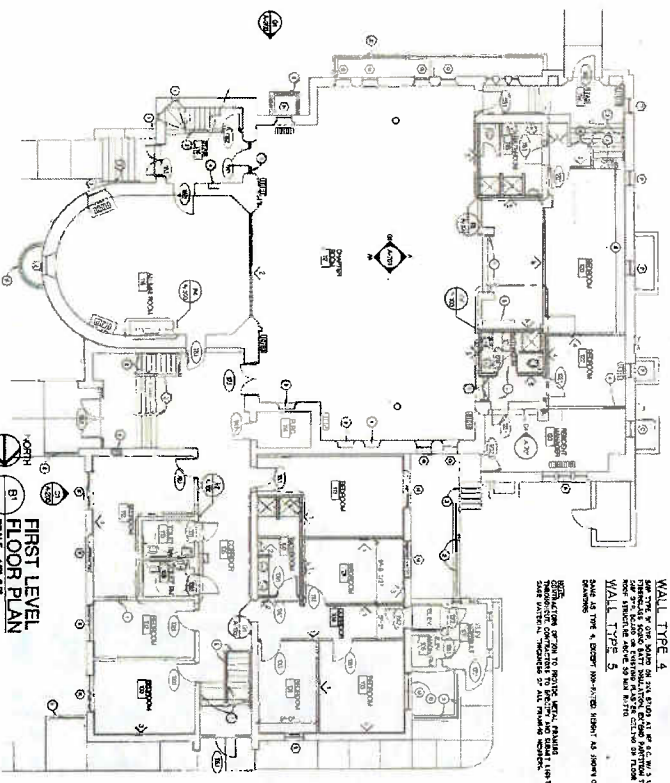
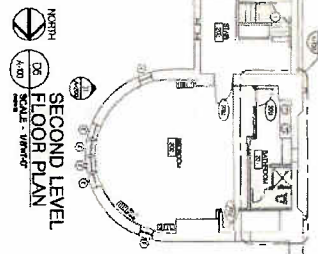
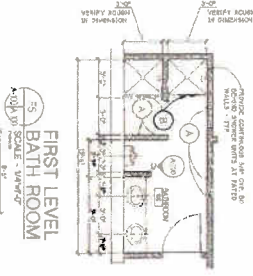
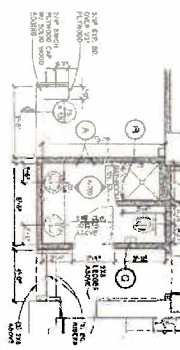
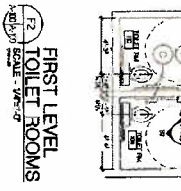
SECOND LEVEL DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



FIRST LEVEL DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



- MATERIALS AND FINISHES**
- 1 WALL PAINT - 1080
 - 2 WALL PAINT - 1080
 - 3 WALL PAINT - 1080
 - 4 TOILET VASIS 24" X 14" X 14" (E242)
 - 5 PAINT - 1080 (E242)
 - 6 MIRROR WITH STAINLESS STEEL FRAME 24" X 14" (E242)
 - 7 MIRROR WITH STAINLESS STEEL FRAME 14" X 14" (E242)
- BY DONORS OF PLAN.



- KEY NOTES**
- 1 ALL WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 2 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 3 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 4 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 5 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 6 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 7 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 8 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 9 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 10 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 11 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 12 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 13 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 14 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 15 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 16 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 17 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 18 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 19 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
 - 20 ALL EXISTING WALL JOINTS TO BE REPAIRED WITH MORTAR AND PAINT
- WALL TYPE 1**
 1/2" CMU BLOCK WITH 2" EPS INSULATION AND 1/2" GYPSUM BOARD WITH FINISH
- WALL TYPE 2**
 1/2" CMU BLOCK WITH 2" EPS INSULATION AND 1/2" GYPSUM BOARD WITH FINISH
- WALL TYPE 3**
 1/2" CMU BLOCK WITH 2" EPS INSULATION AND 1/2" GYPSUM BOARD WITH FINISH
- WALL TYPE 4**
 1/2" CMU BLOCK WITH 2" EPS INSULATION AND 1/2" GYPSUM BOARD WITH FINISH
- WALL TYPE 5**
 1/2" CMU BLOCK WITH 2" EPS INSULATION AND 1/2" GYPSUM BOARD WITH FINISH

PROJECT NUMBER
 1-803
 SHEET NUMBER
 A-100

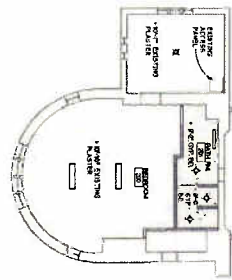
FIRST AND SECOND LEVEL PLANS
 SHEET TITLE

CONTRACTOR
 CONTRACT NUMBER
 CONTRACT DATE

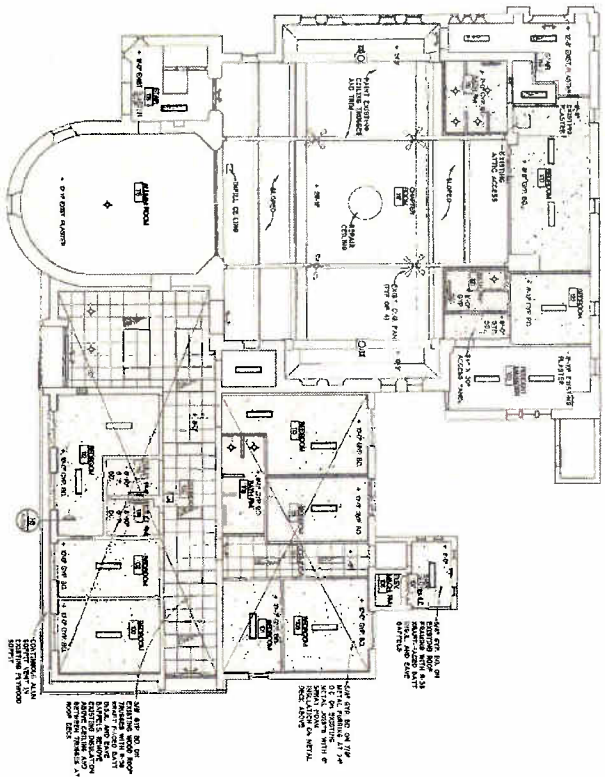


SIGMA PHI EPSILON
MICHIGAN ALPHA HOUSE
 730 TAPPAN STREET
 ANN ARBOR, MI

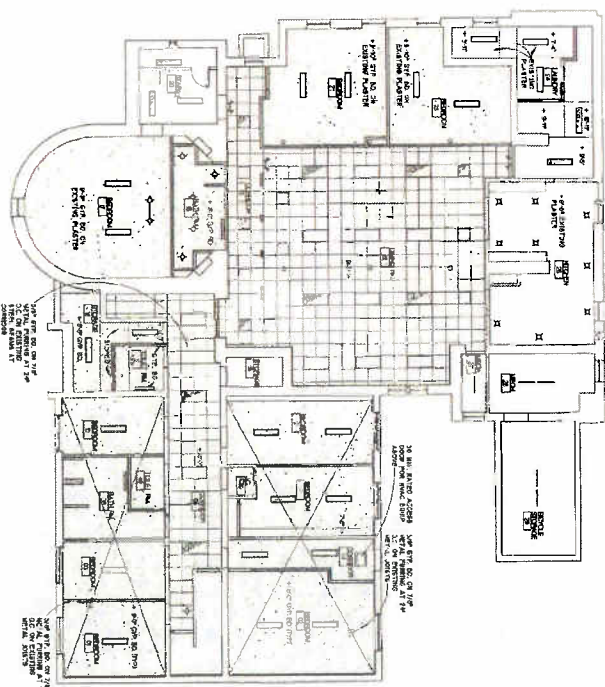
DESIGNED BY
 CHECKED BY
 DATE REVISION
 DATE REVISION
 DATE REVISION



SECOND LEVEL REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"



FIRST LEVEL REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"



LOWER LEVEL REFLECTED CEILING PLAN
 SCALE: 1/8" = 1'-0"

SHEET NO. 1003

DATE ISSUED	1/22/03
DRAWN BY	...
CHECKED BY	...

SIGMA PHI EPSILON
MICHIGAN ALPHA HOUSE
 730 TAPPAN STREET
 ANN ARBOR, MI

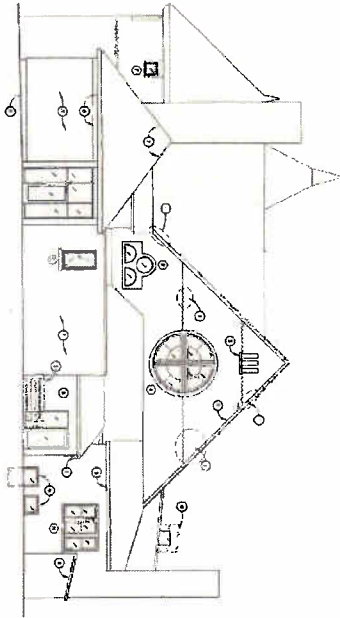


SIGMA PHI EPSILON ARCHITECTS
 1000 N. ZEEB ROAD
 ANN ARBOR, MI 48106
 TEL: 734.763.1234
 FAX: 734.763.1235
 WWW: SPE-ARCH.COM

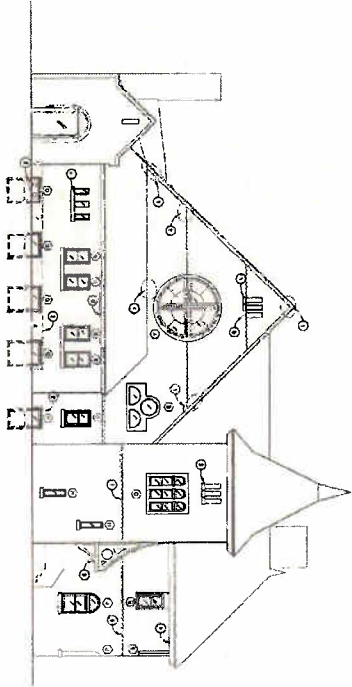
REFLECTED CEILING PLANS
 SHEET TITLE

PROJECT NUMBER
 T-803

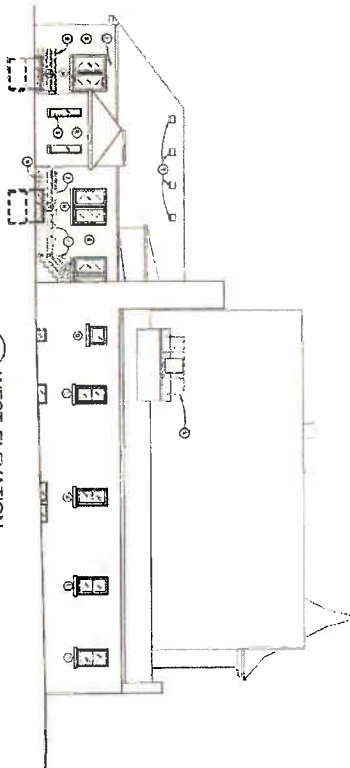
SHEET NUMBER
 A-120



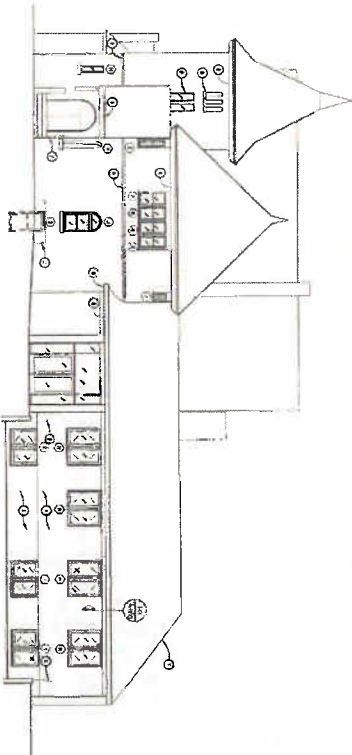
03 NORTH ELEVATION
 1/8" = 1'-0"



01 SOUTH ELEVATION
 1/8" = 1'-0"



02 WEST ELEVATION
 1/8" = 1'-0"



04 EAST ELEVATION
 1/8" = 1'-0"

ELEVATION KEY NOTES

- 1. 2x4 and 1" x 4x8 studs at 16" o.c.
- 2. 1/2" gypsum board on exterior walls
- 3. 1/2" exterior wood sheath
- 4. 1/2" exterior wood sheath
- 5. 1/2" exterior wood sheath
- 6. 1/2" exterior wood sheath
- 7. 1/2" exterior wood sheath
- 8. 1/2" exterior wood sheath
- 9. 1/2" exterior wood sheath
- 10. 1/2" exterior wood sheath
- 11. 1/2" exterior wood sheath
- 12. 1/2" exterior wood sheath
- 13. 1/2" exterior wood sheath
- 14. 1/2" exterior wood sheath
- 15. 1/2" exterior wood sheath
- 16. 1/2" exterior wood sheath
- 17. 1/2" exterior wood sheath
- 18. 1/2" exterior wood sheath
- 19. 1/2" exterior wood sheath
- 20. 1/2" exterior wood sheath

SIGMA PHI EPSILON
MICHIGAN ALPHA HOUSE
 700 TAPPAN STREET
 ANN ARBOR, MI



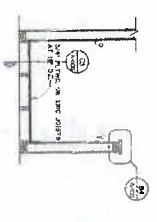
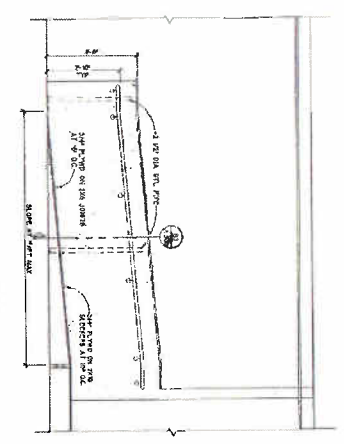
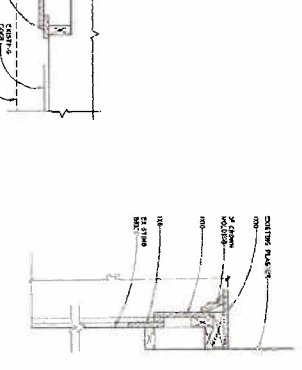
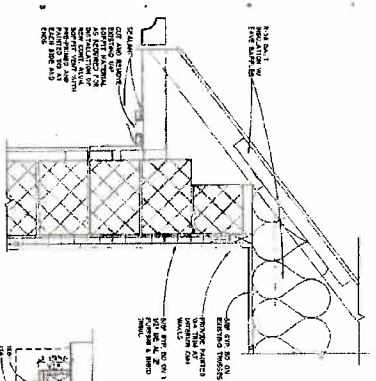
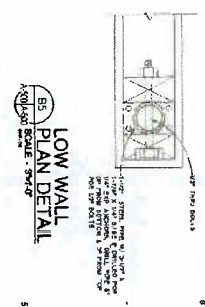
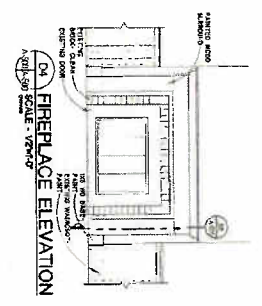
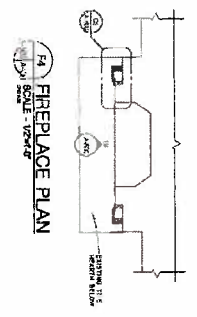
HOBBS-BLACK ARCHITECTS
 200 N. ZEEB ROAD
 ANN ARBOR, MI 48106
 TEL: 734.763.1100
 FAX: 734.763.1101
 WWW.HOBBSBLACK.COM

CONSULTANT

PROJECT NUMBER
 11-803

EXTERIOR ELEVATIONS
 SHEET TITLE

PROJECT NUMBER
 A-200
 SHEET NUMBER



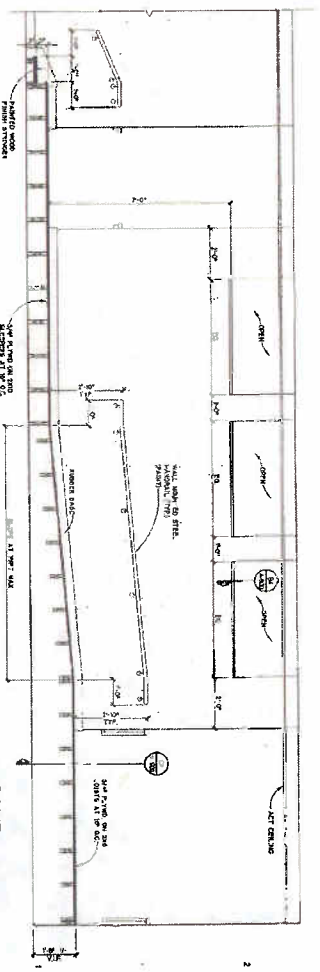
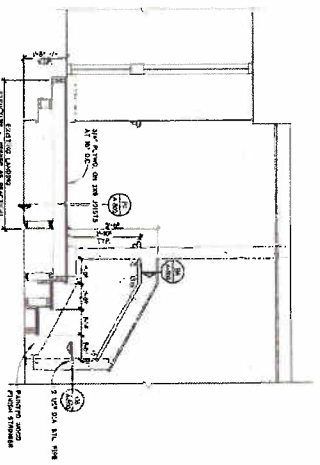
H8 AT EAVE
SCALE - 1/8"=1'-0"

H9 PLAN DETAIL
SCALE - 1/8"=1'-0"

E3 FIREPLACE SECTION
SCALE - 1/8"=1'-0"

R3 RAMP SECTION DETAIL
SCALE - 1/8"=1'-0"

R4 RAMP SECTION DETAIL
SCALE - 1/8"=1'-0"



PROJECT NUMBER	A-500
PROJECT NAME	SIGMA PHI EPSILON MICHIGAN ALPHA HOUSE
ARCHITECT	BLACK ARCHITECTS
DATE	3/20/11
SCALE	1/8"=1'-0"
PROJECT NUMBER	11-903
PROJECT NAME	SIGMA PHI EPSILON MICHIGAN ALPHA HOUSE
ARCHITECT	BLACK ARCHITECTS
DATE	3/20/11
SCALE	1/8"=1'-0"

SIGMA PHI EPSILON
MICHIGAN ALPHA HOUSE
730 TAPPAN STREET
ANN ARBOR, MI

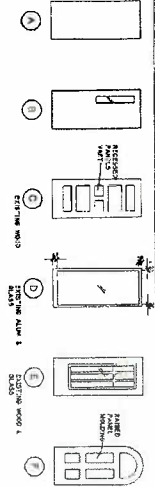
DATE ENDED	
DESIGNED BY	
CHECKED BY	
SCALE	
PROJECT NUMBER	
PROJECT NAME	
ARCHITECT	
DATE	
SCALE	

DOOR SCHEDULE

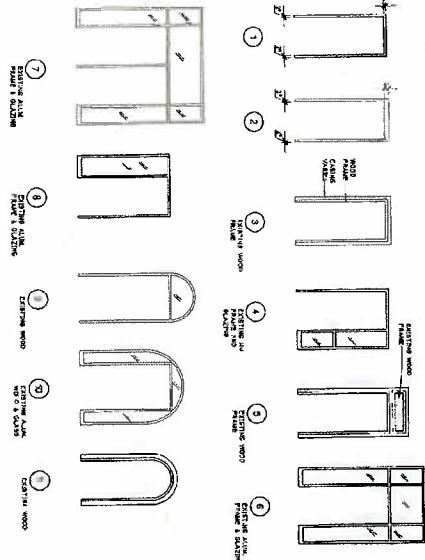
NO.	DOOR SIZE	DOOR	FRAME	FINISH	GLASS	SWITCH	HANDLE	LOCK	REMARKS
001	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
002	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
003	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
004	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
005	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
006	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
007	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
008	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
009	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
010	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
011	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
012	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
013	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
014	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
015	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
016	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
017	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
018	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
019	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
020	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
021	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
022	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
023	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
024	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
025	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
026	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
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028	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
029	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
030	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
031	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
032	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
033	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
034	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
035	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
036	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
037	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
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039	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
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044	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
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046	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
047	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
048	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
049	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	
050	3'-0" x 7'-0"	WOOD	WOOD	WOOD	PT	PT	PT	PT	

REMARKS:
 1. FRAME SHALL BE FINISHED WITH
 2. GLASS SHALL BE FINISHED WITH
 3. HANDLE SHALL BE FINISHED WITH
 4. LOCK SHALL BE FINISHED WITH
 5. SWITCH SHALL BE FINISHED WITH
 6. FINISH SHALL BE FINISHED WITH
 7. ALL FINISHES SHALL BE FINISHED WITH
 8. ALL FINISHES SHALL BE FINISHED WITH
 9. ALL FINISHES SHALL BE FINISHED WITH
 10. ALL FINISHES SHALL BE FINISHED WITH

DOOR TYPES



FRAME TYPES



SIGMA PHI EPSILON
 MICHIGAN ALPHA HOUSE
 700 TAPPAN STREET
 ANN ARBOR, MI

DESIGNED BY: [Name]
 DRAWN BY: [Name]

DATE: [Date]
 SCALE: [Scale]
 SHEET: [Sheet Number]

A-600
SHEET NUMBER

11-803
PROJECT NUMBER

DOOR E & TYPES
SHEET TITLE

HOBBES ARCHITECTS
 1111 N. ZEEB ROAD
 ANN ARBOR, MI 48106
 TEL: 734.769.1111
 FAX: 734.769.1112
 WWW.HOBBESARCHITECTS.COM

DATE: [Date]
 SCALE: [Scale]
 SHEET: [Sheet Number]

2nd SHEET

DATE ISSUED
OWNER'S NAME
PROJECT NAME

DRAWN BY
CHECKED BY

SIGMA PHI EPSILON
MICHIGAN ALPHA HOUSE
730 TAPPAN STREET
ANN ARBOR, MI



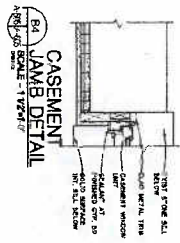
HOBBS-BLACK ARCHITECTS
1515 STATE STREET, SUITE 400
ANN ARBOR, MI 48106
734.763.1111
WWW.HOBBSBLACKARCHITECTS.COM

CONSULTANT

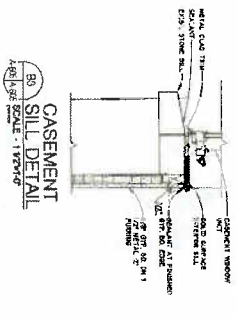
WINDOW TYPES & DETAILS
SHEET TITLE

11-803
PROJECT NUMBER

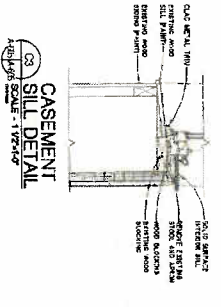
A-605
SHEET NUMBER



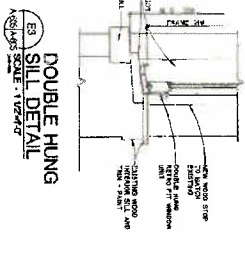
64 CASEMENT JAMB DETAIL
SCALE: 1/8\"/>



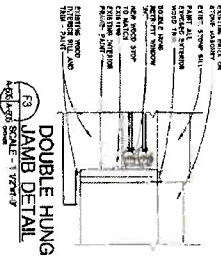
80 CASEMENT SILL DETAIL
SCALE: 1/8\"/>



83 CASEMENT SILL DETAIL
SCALE: 1/8\"/>

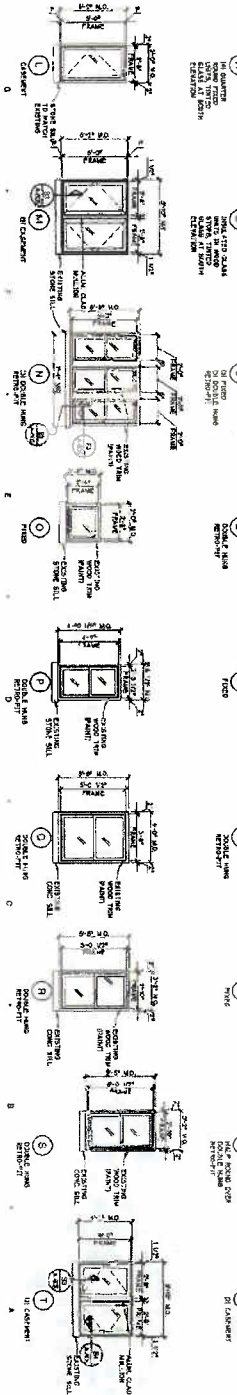


85 DOUBLE HUNG SILL DETAIL
SCALE: 1/8\"/>

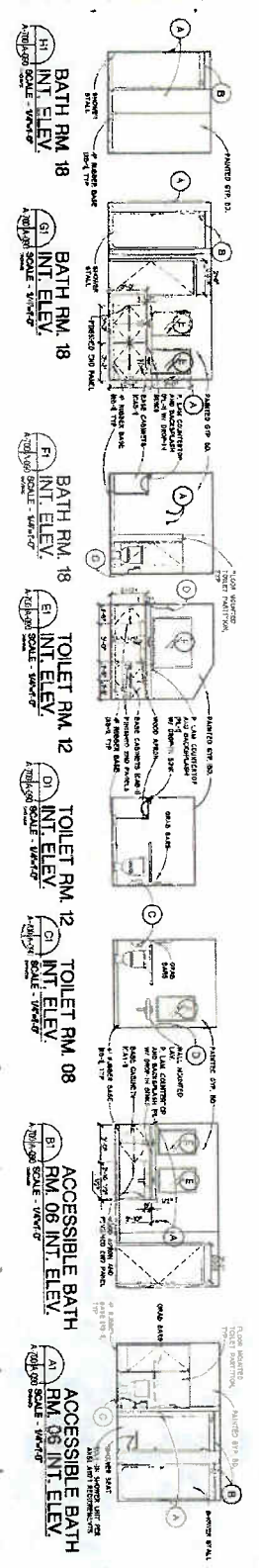
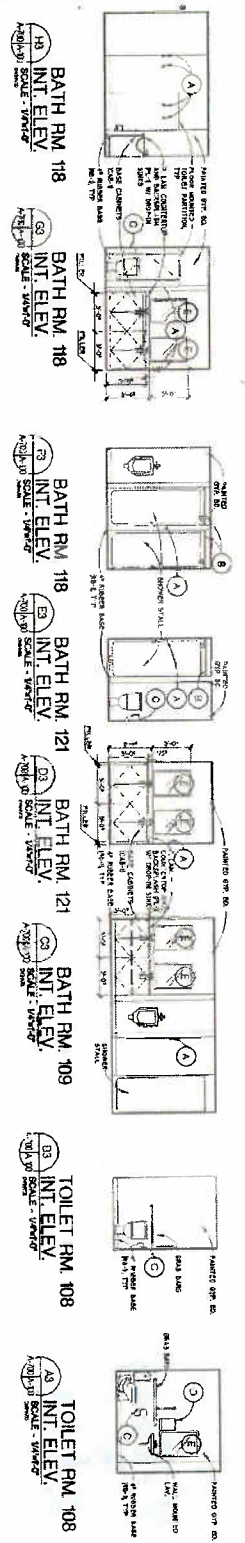
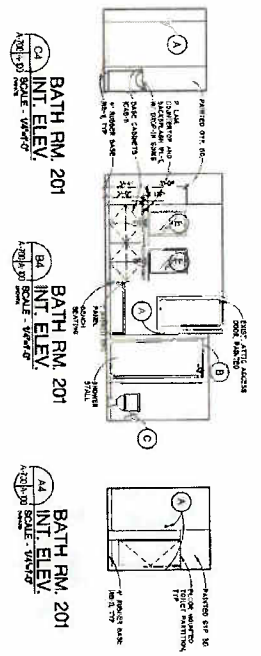
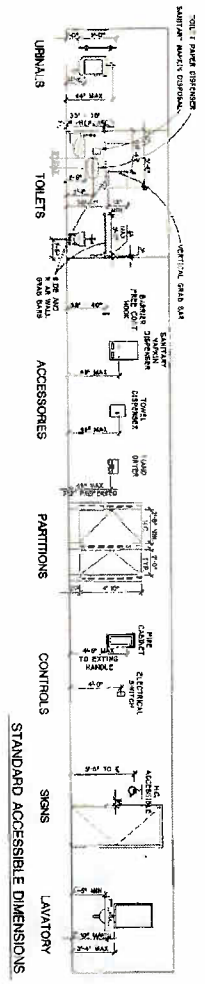


88 DOUBLE HUNG JAMB DETAIL
SCALE: 1/8\"/>

WINDOW TYPES: ALTERNATE CLAD WOOD WINDOWS (CLASS) WITH OVERLAP. SPOKE FROM CENTER OF FIELD ABOVE ALL SIKINGERS. WITH OVERLAP WINDOWS TO REMOVE METAL, VENTILATION AT ALL WINDOWS EXCEPT ROOMS 11, 24, 25, AND 22 TYPES TO MATCH DRAWING FOR ROOMS 22, 24, 25, 26, AND 27.



- STANDARD ACCESSIBLE DIMENSIONS**
- (A) CLEAR WIDTH: 36" MIN.
 - (B) CLEAR HEIGHT: 80" MIN.
 - (C) CLEARANCE FROM OBSTACLES: 18" MIN.
 - (D) CLEARANCE FROM OBSTACLES: 18" MIN.
 - (E) CLEARANCE FROM OBSTACLES: 18" MIN.
 - (F) CLEARANCE FROM OBSTACLES: 18" MIN.
 - (G) CLEARANCE FROM OBSTACLES: 18" MIN.
 - (H) CLEARANCE FROM OBSTACLES: 18" MIN.
 - (I) CLEARANCE FROM OBSTACLES: 18" MIN.
 - (J) CLEARANCE FROM OBSTACLES: 18" MIN.



SIGMA PHI EPSILON
MICHIGAN ALPHA HOUSE
730 TAPPAN STREET
ANN ARBOR, MI



H&S BLACK ARCHITECTS
1000 TOWN CENTER
ANN ARBOR, MI 48106
TEL: 734.763.1111
WWW.H&SBLACK.COM

PROJECT INFO

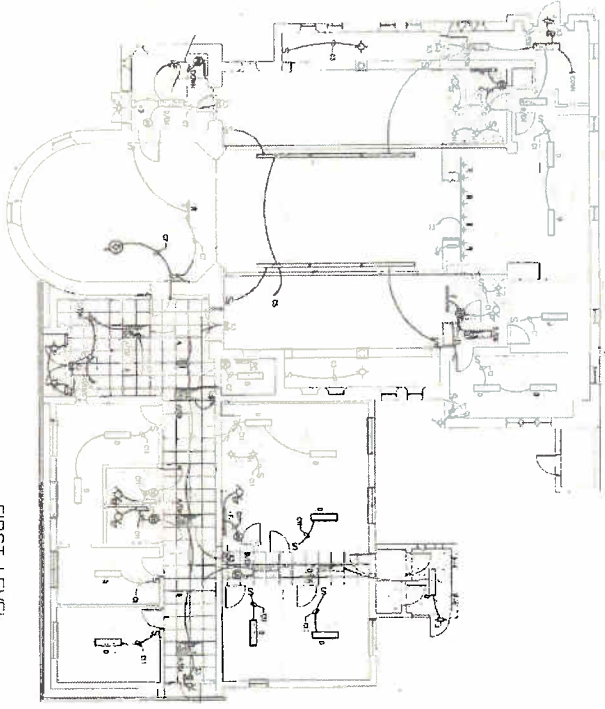
PROJECT NAME: INTERIOR ELEVATIONS & DETAILS SHEET TITLE

PROJECT NUMBER: 11-803

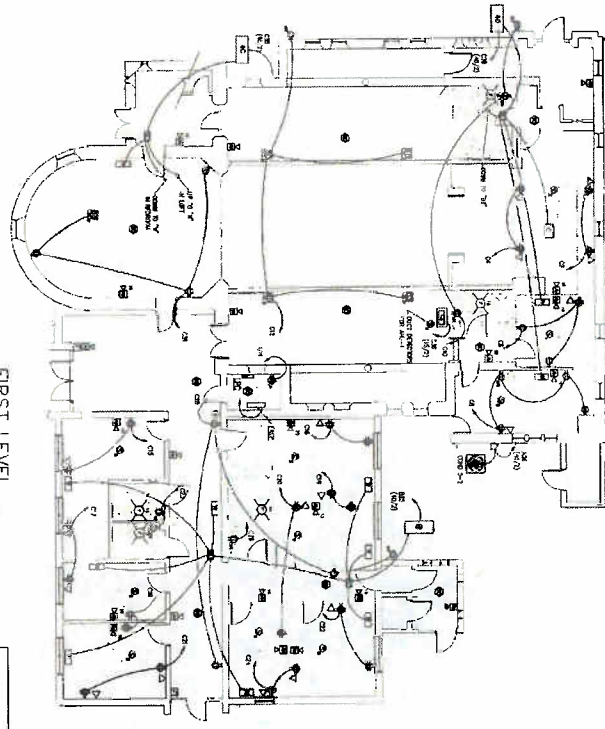
PROJECT NUMBER: A-700

PROJECT NO.	DATE
REVISED	BY
DATE	BY
DATE	BY
DATE	BY
DATE	BY

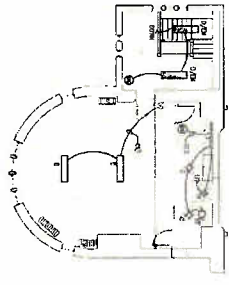
2 FIRST LEVEL LIGHTING PLAN
SCALE 1/8"=1'-0"



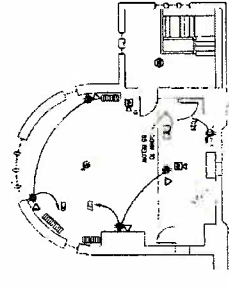
1 FIRST LEVEL ELECTRICAL PLAN
SCALE 1/8"=1'-0"



4 SECOND LEVEL LIGHTING PLAN
SCALE 1/8"=1'-0"



3 SECOND LEVEL ELECTRICAL PLAN
SCALE 1/8"=1'-0"



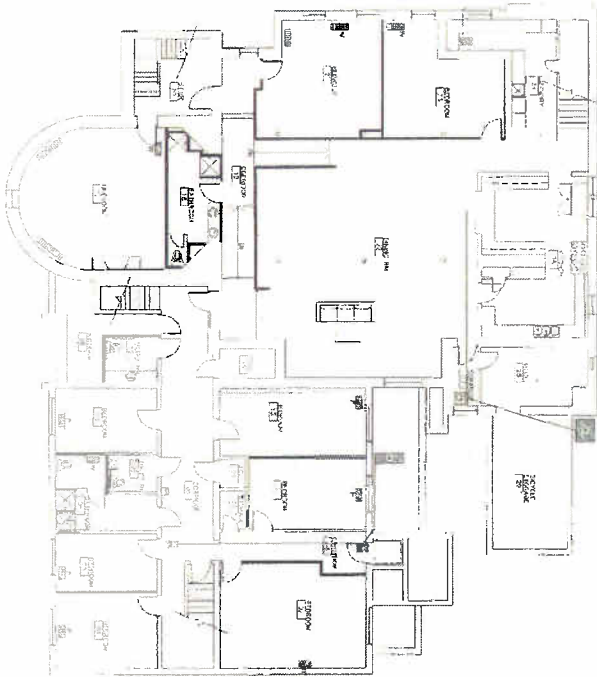
SHEET TITLE
FIRST FLOOR ELECTRICAL PLANS

PROJECT
**SICMA PHI FPSILON
MICHIGAN ALPHA HOUSE**
730 TAPPAN STREET
ANN ARBOR, MICHIGAN

K&F ELECTRIC
1641 W. DISTRICT - P.O. BOX 218
SALINE, MI 48178 (313) 236-1229

NEIL ADAMS, INC.
CONSULTING ENGINEERS - LIGHTING DESIGNERS
3433 TRIMBLE ROAD - DETROIT, MI 48202-1222 - (313) 236-3021

E-100



LOWER LEVEL EQUIPMENT LOCATION
 Scale - 1/8" = 1'-0"

CONNECTICUT WOODS UNIT SCHEDULE		ANTICOR SCHEDULE	
UNIT	ROOM	UNIT	ROOM
1	RECEPTION	1	RECEPTION
2	OFFICE	2	OFFICE
3	KITCHEN	3	KITCHEN
4	BATH	4	BATH
5	STAIR	5	STAIR
6	STAIR	6	STAIR
7	STAIR	7	STAIR
8	STAIR	8	STAIR
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100	STAIR	100	STAIR

MICHIGAN ALPHA HOUSE
 LOWER LEVEL EQUIPMENT LOCATION
 M-490

91233
 91233
 91233

MICHIGAN ALPHA HOUSE

ROBERTSON MORRISON INC.
 4721 RUNWAY BLVD.
 ANN ARBOR, MI 48106
 FAX: 734-662-6084
 PHONE: 734-662-3141
 AND COOLING

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ROBERTSON MORRISON INC.
4721 RUNWAY BLVD
ANN ARBOR, MI 48108
PHONE: 734-622-2141
FAX: 734-622-0284
AND COOLING

MICHIGAN ALPHA HOUSE

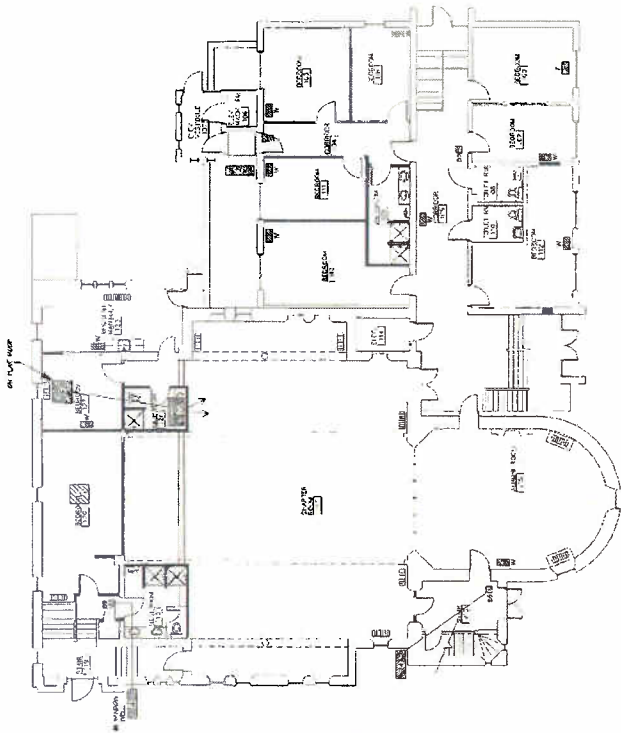
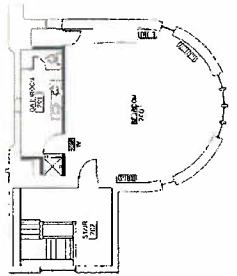
DATE: 08/21/12
SHEET: 12388
SCALE: AS SHOWN
DRAWN BY: D.C.B.

MAIN LEVEL EQUIPMENT LOCATION M-100

MICHIGAN ALPHA HOUSE

CONVERTIBLE JACOBA UNIT SCHEDULE	
UNIT	NOTE
1	1
2	2
3	3
4	4
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99	99
100	100

SECOND LEVEL EQUIPMENT LOCATION
Scale: 1/8" = 1'-0"



MAIN LEVEL EQUIPMENT LOCATION
Scale: 1/8" = 1'-0"

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ROBERTSON MORRISON INC.
ANN ARBOR, MI 48106
FAX: 734.668.6108
PHONE: 734.668.4111
AND COOLING

MICHIGAN ALPHA HOUSE

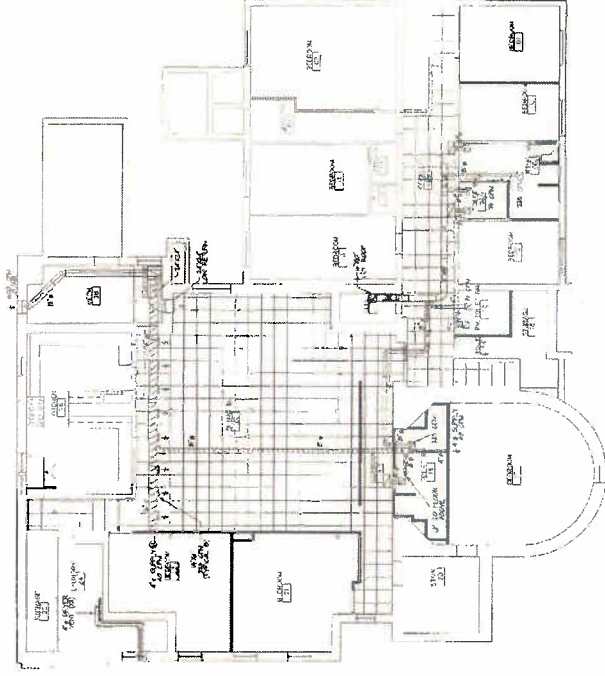
NOTES
REVISED
BY
DATE

DATE: 10/10/10
DRAWN BY: J.C.S.

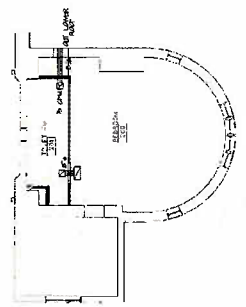
DUCT LAYOUT
M-120

REVISION ALPHA HOUSE

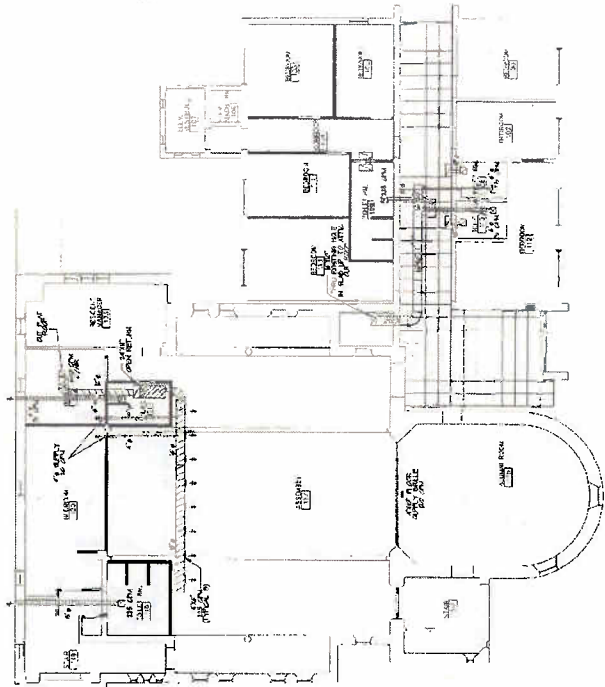
CONNECTABLE INDOOR UNIT SCHEDULE	
UNIT	MODEL
1	10000 BTU
2	15000 BTU
3	20000 BTU
4	25000 BTU
5	30000 BTU
6	35000 BTU
7	40000 BTU
8	45000 BTU
9	50000 BTU
10	55000 BTU
11	60000 BTU
12	65000 BTU
13	70000 BTU
14	75000 BTU
15	80000 BTU
16	85000 BTU
17	90000 BTU
18	95000 BTU
19	100000 BTU



LOWER LEVEL REFLECTED CEILING PLAN
DATE: 10/10/10
DRAWN BY: J.C.S.

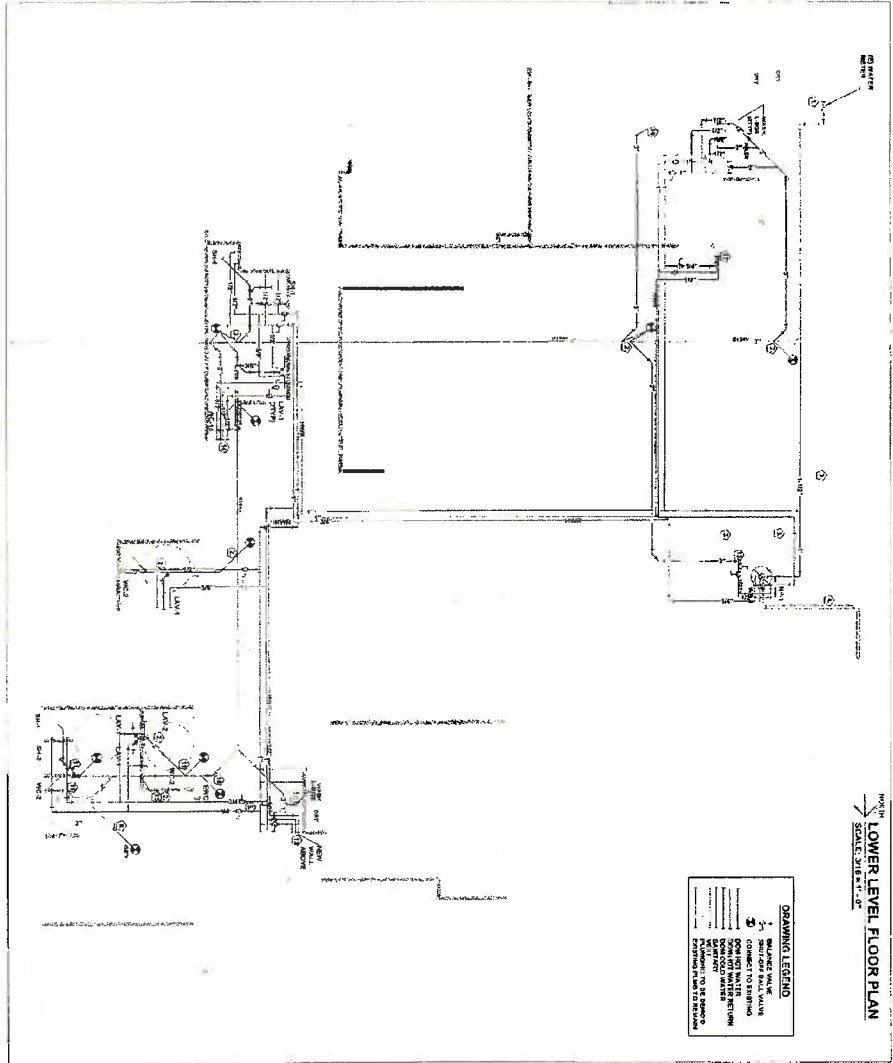


SECOND LEVEL REFLECTED CEILING PLAN
DATE: 10/10/10
DRAWN BY: J.C.S.



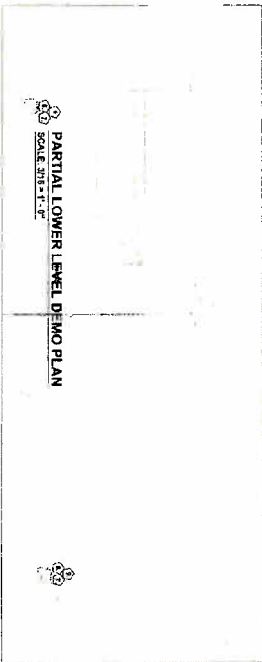
FIRST LEVEL REFLECTED CEILING PLAN
DATE: 10/10/10
DRAWN BY: J.C.S.

LOWER LEVEL FLOOR PLAN
SCALE: 3/16" = 1'-0"



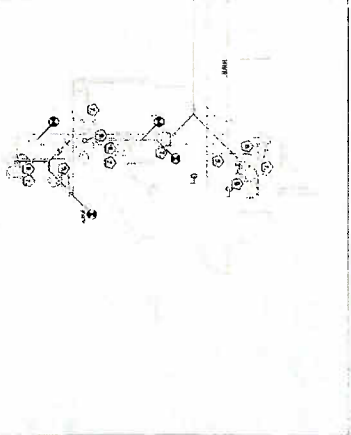
DRAWING LEGEND

1	REMOVE EXISTING
2	NEW
3	EXISTING



PARTIAL LOWER LEVEL DEMO PLAN
SCALE: 3/16" = 1'-0"

- GENERAL NOTES - ALL SHEETS**
1. CONNECTIONS TO ALL EXISTING DEVICES SHALL BE FIELD VERIFIED.
 2. FURNISH AND INSTALL ALL PLUMBING SYSTEMS IN ACCORDANCE WITH MICHIGAN PLUMBING CODE, AND LOCAL ORDINANCES.
 3. REFER TO SHEET P-100 FOR PLUMBING FIXTURE SCHEDULE, AND OTHER RELATED INFORMATION.
 4. PROVIDE SHUT-OFF VALVE TO EACH FIXTURE. PROVIDE SHUT-OFF VALVES TO BRANCHES SERVING MULTIPLE BATHROOM FIXTURES.
 5. AIR ADJUSTANCE VALVES ARE ALLOWED WHERE VENTS WHERE EXISTING CONDITIONS PERMIT THE USE OF TROPICAL VENTS AND VENTS THROUGH ROOF.
 6. REFRIG NOT SHOWN THROUGH WALL OR CURTIN.
 7. ALL HOT WATER LINES SHALL BE INSULATED WITH 1" THICK INSULATION.



PARTIAL LOWER LEVEL DEMO PLAN
SCALE: 3/16" = 1'-0"

- KEY NOTES THIS SHEET**
1. CONNECT TO EXISTING WATER MAIN. WATER SERVICE PLUMBING AND INSTALL REDUCED PRESSURE BACKFLOW PREVENTER. FLOOR IS EXISTING.
 2. CONNECT TO EXISTING SANITARY IN THE AREA. SAW CUT FLOORS AS REQUIRED. PATCH TO MATCH EXISTING FINISH.
 3. EXISTING DOMESTIC KITCHEN UTILITIES TO REMAIN AS IS.
 4. REMOVE VENT WATER HEATER THROUGH SIDE WALL. INSTALL PER MANUFACTURERS INSTALLATION.
 5. 1/2" CW SERVICE SHOWN AS NEW. EXISTING OVERHEAD DOMESTIC HOT AND COLD WATER IN THIS AREA. REMOVE EXISTING OVERHEAD DOMESTIC HOT AND COLD WATER SERVICE. REMOVE EXISTING OVERHEAD DOMESTIC HOT AND COLD WATER SERVICE. PATCH TO MATCH EXISTING.
 6. EXISTING STACK IN THIS GENERAL AREA. CONNECT NEW VENT FROM NEW FIXTURES AS REQUIRED.
 7. EXISTING PLUMBING FIXTURES TO BE REMOVED.
 8. CUT AND CAP OVERHEAD PLUMBING SERVICES BACK TO MAIN.
 9. CUT AND CAP SANITARY AT FLOOR. CUT AND CAP VENT PIPING TO MAINTAIN AS RESER. AT LOWER LEVEL. CAP AT MAIN.
 10. REMOVE EXISTING CW AND SAN FROM OLD FIXTURE TO NEW ENC. NECESSARY PATCH TO MATCH EXISTING.
 11. 1/2" CW, 1/2" HW, 1/2" HW, RESERS UP THROUGH WALL ABOVE. TO SERVE UPPER LEVEL.
 12. 1/2" HW, 1/2" CW, 2" SAN UP TO NEW FIXTURES.
 13. 2" SAN, 1/2" HW, 1/2" CW, UP TO LOFT LEVEL FIXTURES.
 14. 2" SAN RESES UP TO RELOCATED FIXTURES.
 15. 2" SAN UP.
 16. 3/4" HW, 1/2" HW, 1/2" CW UP THROUGH WALL TO FIRST LEVEL OVERHEAD.

SHEET INDEX

P-090	LOWER LEVEL FLOOR PLAN
P-100	FIRST LEVEL FLOOR PLAN
P-200	LOFT LEVEL FLOOR PLAN & DETAILS

JOAN KUTYDOWSKI MENDE
MICHIGAN REGISTRATION
#0367966

SEAL

LOWER LEVEL FLOOR PLAN

SHEET TITLE

PROJECT NUMBER: P-090

DATE: 08/20/2024

DESIGNED BY: C.A.T. USIBRO

DRAWN BY: C.A.T. USIBRO

CHECKED BY: C.A.T. USIBRO

PROJECT: SIGMA PHI EPSILON MICHIGAN ALPHA HOUSE 730 TAPPAN ST ANN ARBOR, MI

PROJECT: HOBBSLACK

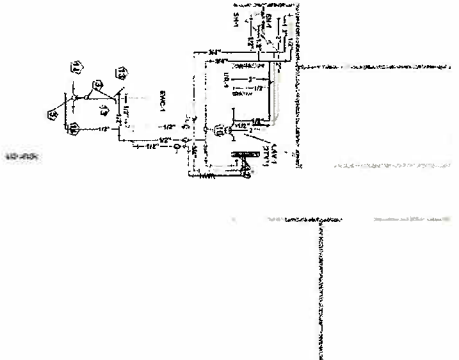
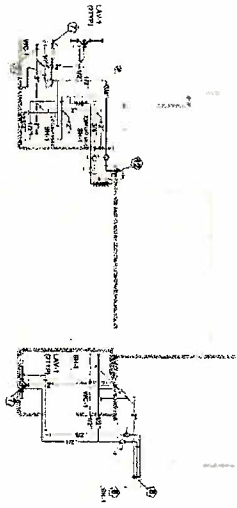
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SCALE: 3/16" = 1'-0"

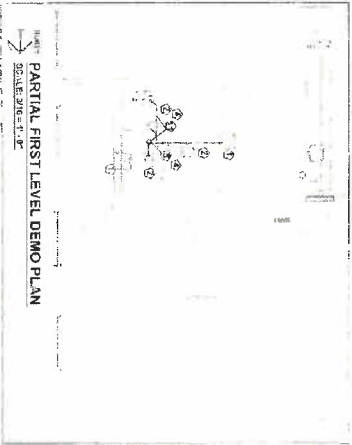
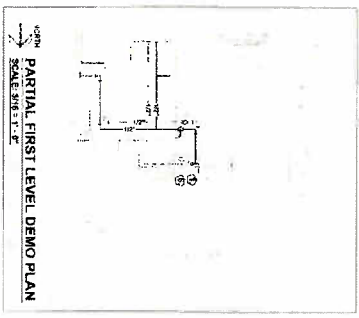
PROJECT: HOBBSLACK

DATE: 08/20/2024

SCALE: 3/16" = 1'-0"



FIRST LEVEL FLOOR PLAN



- KEY NOTES THIS SHEET**
- EXISTING PLUMBING FIXTURES TO BE REMOVED.
 - EXISTING PLUMBING FIXTURES TO BE RELOCATED AND REUSED.
 - CONNECT TO EXISTING SANITARY IN THIS AREA. SPOUSE FLOOR IS REQUIRED. PATCH TO MATCH EXISTING FINISH.
 - CUT AND CAP OVERHEAD PLUMBING SERVICES BACK TO EXISTING MAIN. EX. 1/2" VENT OVERHEAD AND 2" VENT THRU ROOF TO REMAIN.
 - CONNECT EXISTING PLUMBING SERVICES TO NEW FUTURE. 2" VENT UP, 3" VENT THRU ROOF.
 - 2" SAN 1/2" HW, CM DOWN TO MECHANICAL ROOM THRU CABINET SPACE. 3" SAN DOWN TO DINING ROOM.
 - EXISTING 2" SAN DOWN TO REMAIN.
 - REMOVE EXISTING SANITARY FROM FIXTURES TO BE RELOCATED. RELOCATE RISER TO DROP IN NEW WALL BELOW. MAINTAIN VENT AND VENT THRU ROOF FROM RECONNECTION.
 - NEW HW, CM, 1/2" HW, RISERS FROM BELOW.
 - EXISTING HW, VENT, RECON MEETS ACCESSIBLE REQUIREMENTS.
 - NEW HW, HW, CM AND 2" SAN UP TO LOFT FIXTURES ENCLOSED PIPING.

DATE ISSUED
 DRAWN BY
 CHECKED BY
 PROJECT NO.
 SHEET NO.

SIGMA PHI EPSILON
 MICHIGAN ALPHA HOUSE
 730 TAPPAN ST
 ANN ARBOR, MI

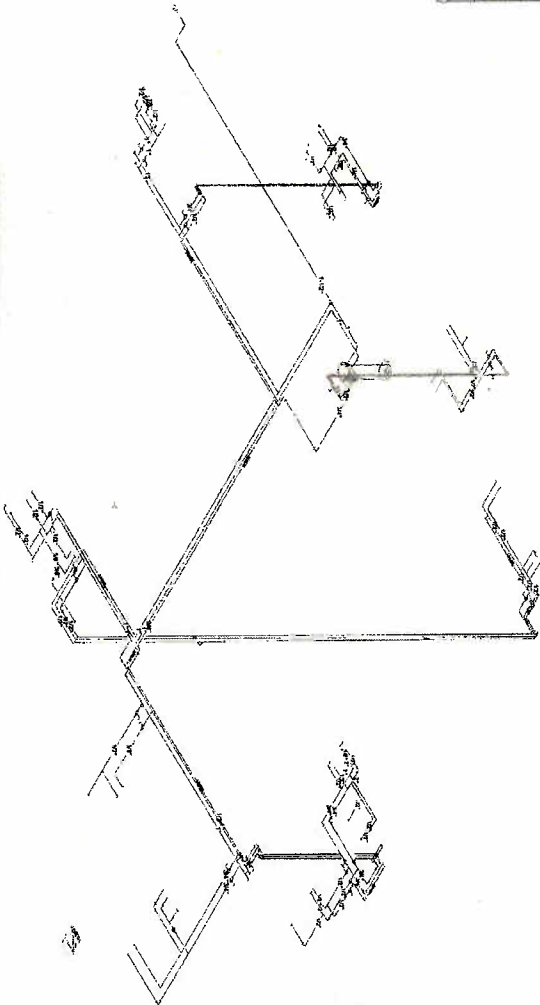


HOBBENBACK & ASSOCIATES, INC.
 1000 W. WASHINGTON ST.
 ANN ARBOR, MI 48106
 (313) 763-1111
 FAX (313) 763-1112
 WWW.HOBBENBACK.COM

FIRST LEVEL FLOOR PLAN
 SHEET NO. 11-803
 PROJECT NUMBER P-100
 SHEET NUMBER

ITEM	MANUF	MODEL	EQW	SLN	OW	HWT	REMARKS
W1-1	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-2	WMC	300C	30.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-3	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-4	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-5	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-6	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-7	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-8	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-9	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-10	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-11	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-12	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-13	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-14	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-15	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-16	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-17	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-18	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-19	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-20	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-21	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-22	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-23	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-24	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-25	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-26	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-27	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-28	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-29	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-30	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-31	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-32	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-33	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-34	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-35	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-36	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-37	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-38	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-39	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-40	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-41	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-42	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-43	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-44	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-45	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-46	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-47	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-48	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-49	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD
W1-50	MARLBIRD	14-150	14.00W	7"	3/8"	NA	CONV. ROOF BALD

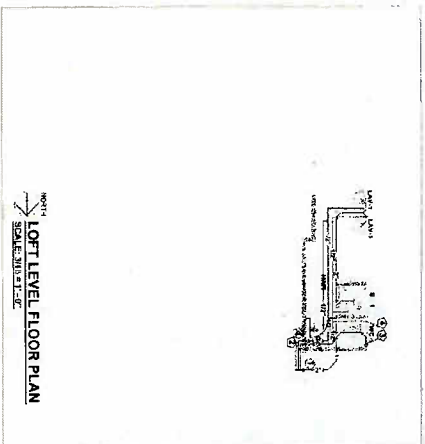
SUPPLY RISER DIAGRAM
NO TO SCALE



- KEY NOTES THIS SHEET**
- 1 2" DIA. IN FLOOR SPACE DROP ROOM.
 - 2 1/2" DIA. CW FROM BELOW ROUTE THRU FLOOR SPACE THEN RISE TO OVERHEAD IN CORNER.
 - 3 2" VENT UP 3" VENT THRU ROOF.
 - 4 SUPPLY RISERS NOT SHOWN IN WALL FOR CLARITY.

DRAWING LEGEND

- 1 DUAL EXHAUST
- 2 DUAL EXHAUST
- 3 DUAL EXHAUST
- 4 DUAL EXHAUST
- 5 DUAL EXHAUST
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- 46 DUAL EXHAUST
- 47 DUAL EXHAUST
- 48 DUAL EXHAUST
- 49 DUAL EXHAUST
- 50 DUAL EXHAUST



PROJECT NUMBER:
11-803

SHEET NUMBER:
P-200

LOFT LEVEL FLOOR PLAN & DETAILS
SHEET NO. 5

CONSULTANT:
MICHIGAN ALPHA HOUSE



SIGMA PHI EPSILON
MICHIGAN ALPHA HOUSE
730 TAPPAN ST
ANN ARBOR, MI

PROJECT:
DRAWN BY:
CHECKED BY: