

**Zoning Board of Appeals
February 26, 2020 Regular Meeting**

STAFF REPORT

Subject: ZBA 20-002; 210 Beakes Street

Summary:

Rob Fowler, representing property owner, is requesting relief from Section 5.32.2 Alteration to a Nonconforming Structure. The subject property is zoned R4C Multiple-Family Dwelling and is nonconforming as it does not meet the required lot area, lot width and setbacks for the district. The applicant is seeking to construct a 2'x12' dormer addition to the second story. The second story attic space is being converted to two habitable bedrooms.

Background:

The subject property is located on the south side of Beakes Street between North Fourth and North Fifth Avenues. The home was built in 1901 and the lot is nonconforming as it is only 2,526 square feet in size. The R4C district requires a minimum lot size of 8,500 square feet. Additionally, the lot does not meet the required 60 foot lot width and the structure does not meet the side setback requirements of five feet.

Description:

The existing home was last certified from Rental Housing in 2018 as a one bedroom to be occupied by no more than two occupants. The applicants are proposing a four bedroom home with two bedrooms on the first floor and two bedrooms on the second floor.

Standards for Approval- Alteration to a Nonconforming Structure

The Zoning Board of Appeals has all the power granted by State law and by Section 5.32.2, Application of the Variance Power from the UDC. The following criteria shall apply:

- A) The alteration is approved by the Zoning Board of Appeals upon a finding that it complies as nearly as practicable with the requirements of this chapter and that it will not have a detrimental effect on neighboring property.

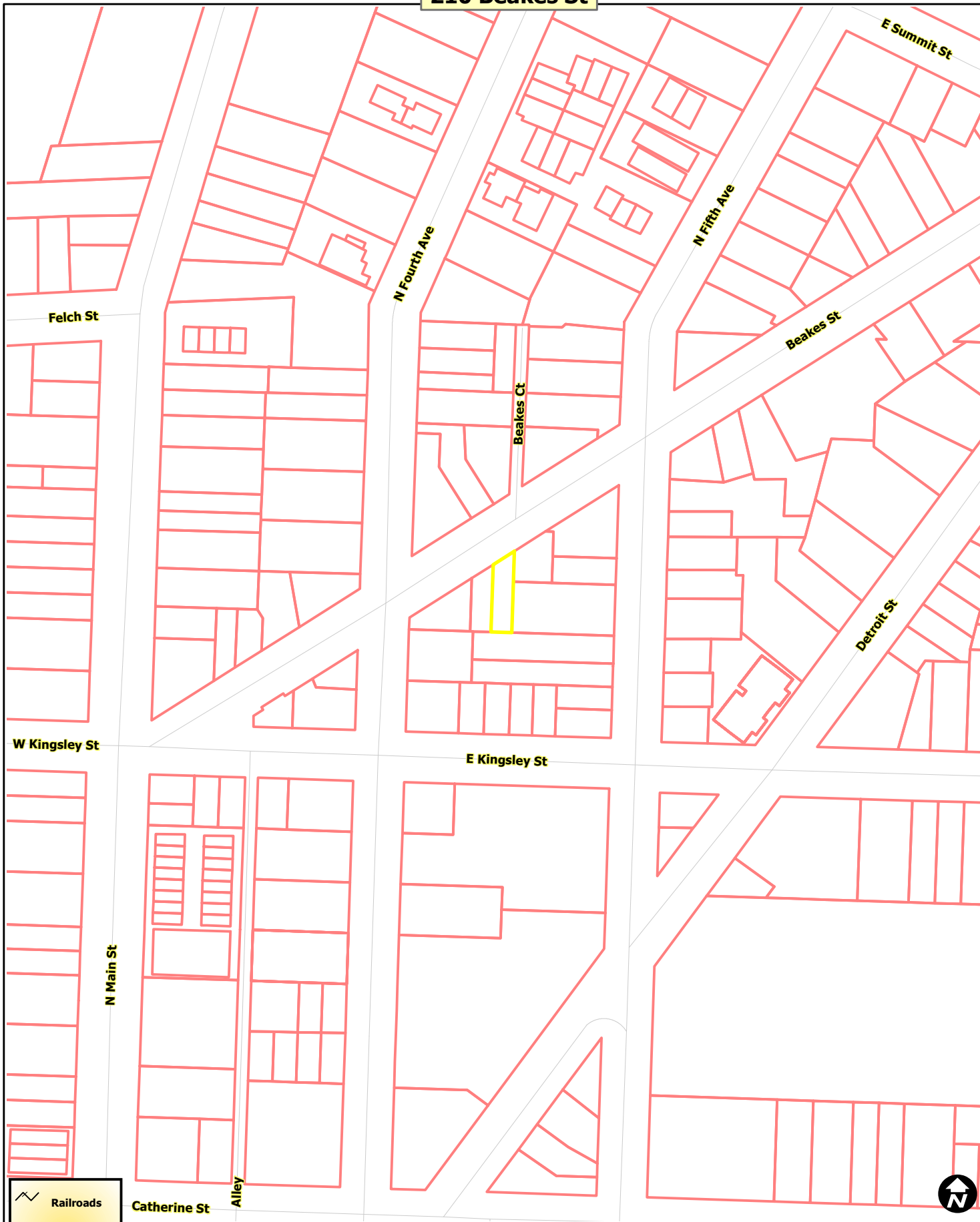
The applicant states that the proposed improvements to the property will not affect the adjacent properties as the dormer expansion is not encroaching further into the side setback. The property to the east that is adjacent to the dormer addition is the same owner as the applicant. The footprint of the home will remain the same.




Respectfully submitted,



**Jon Barrett
Zoning Coordinator**

210 Beakes St

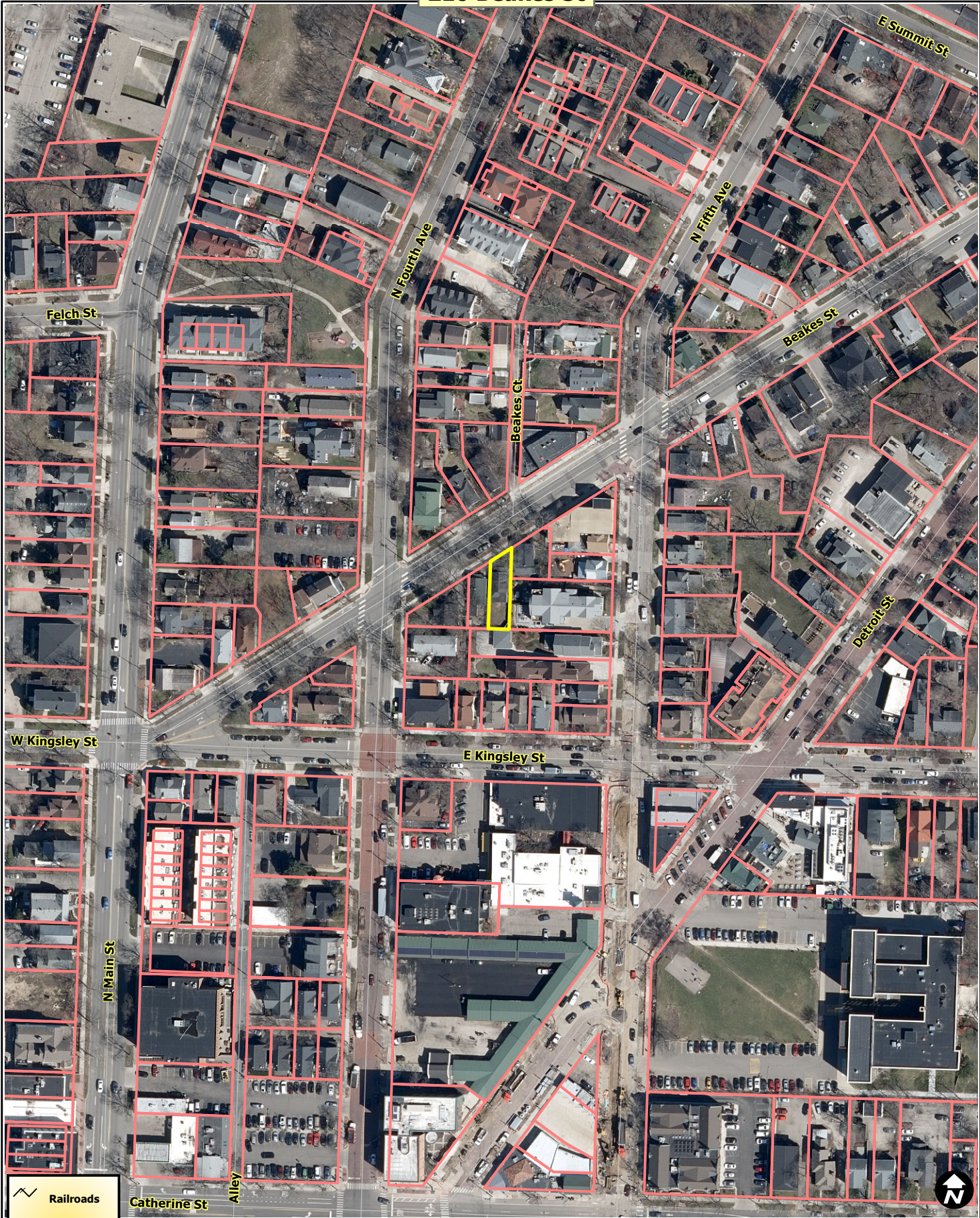


-  Railroads
-  Huron River
-  Tax Parcels



Map date: 1/24/2020
Any aerial imagery is circa 2018
unless otherwise noted
Terms of use: www.a2gov.org/terms

210 Beakes St






- Railroads
- Huron River
- Tax Parcels



Map date: 1/24/2020
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210 Beakes St



-  Railroads
-  Huron River
-  Tax Parcels



Map date: 1/24/2020
Any aerial imagery is circa 2018
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ZONING BOARD OF APPEALS APPLICATION

City of Ann Arbor Planning Services

City Hall: 301 E Huron Street Ann Arbor, MI 48107-8647

Phone: 734-794-6265 Fax: 734-794-8460 Email: planning@a2gov.org

PROPERTY INFORMATION

ADDRESS OF PROPERTY <u>211 Berks</u>	ZIP CODE <u>48104</u>
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ZONING CLASSIFICATION <u>R4C</u>	NAME OF PROPERTY OWNER*If different than applicant, a letter of authorization from the property owner must be provided <u>Zurci Ala</u>
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PARCEL NUMBER <u>09-09-29-122-015</u>	OWNER EMAIL ADDRESS
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APPLICANT INFORMATION

NAME <u>Rob Fowler</u>			
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ADDRESS <u>5550 Fox Run</u>	CITY <u>Saline</u>	STATE <u>MI</u>	ZIP CODE <u>48176</u>
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EMAIL <u>r.fowler17@comcast.net</u>	PHONE <u>734 476 4851</u>
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APPLICANT'S RELATIONSHIP TO PROPERTY <u>Builder</u>
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REQUEST INFORMATION

<input type="checkbox"/> VARIANCE REQUEST Complete Section 1 of this application	<input checked="" type="checkbox"/> REQUEST TO ALTER A NONCONFORMING STRUCTURE Complete Section 2 of this application
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REQUIRED MATERIALS

One hard copy application complete with all required attachments must be submitted. Digital copies of supportive materials included in the submitted hard copy will only be accepted in PDF format by email or accompanying the hard copy application on a USB flash drive.

Required Attachments:

- Boundary Survey of the property including all existing and proposed structures, dimensions of property, and area of property.
- Building floor plans showing interior rooms, including dimensions.
- Photographs of the property and any existing buildings involved in the request.

OFFICE USE ONLY

Fee Paid: \$750 ZBA: 20-002

DATE STAMP
CITY OF ANN ARBOR
RECEIVED

JAN 22 2020

PLANNING & DEVELOPMENT SERVICES

ACKNOWLEDGEMENT

All information and materials submitted with this application are true and correct.

Permission is granted to City of Ann Arbor Planning Services and members of the Zoning Board of Appeals to access the subject property for the purpose of reviewing the variance request.

Property Owner Signature: [Signature] Date: 1/21/20

Section 2 City of Ann Arbor Planning Services – Zoning Board of Appeals Application

REQUEST TO ALTER A NONCONFORMING STRUCTURE

For the purposes of Article VI: Nonconformities Section 5.32.2 Nonconforming Structure, **alteration** is defined as any change in a Building that results in additional Floor Area being fit for occupancy, a greater number of dwelling or rooming units or an increase in the exterior dimensions of the Building.

A nonconforming structure may be maintained or restored, but permission to alter a nonconforming structure will only be approved by the Zoning Board of Appeals upon finding that it complies as nearly as practicable with the requirements of this Chapter and that it will not have a detrimental effect on neighboring property.

In the space below, describe the current use of the property, the proposed alteration, and the impact it would have on neighboring property.

210 Beakes is currently Dental House with non habital 2nd Floor with dormer

We want to Build stairs to code Extend existing dormer And put 2 Bedrooms on 2nd Floor

Foot print of House will not change, We are only extending Existing dormer

Please complete the table below as it relates to your request

Requirement	Existing Condition	Code Requirement
Lot Area	2559	
Lot Width	33	
Floor Area Ratio		
Setbacks		
Parking	none	
Landscaping	not affected	
Other		



Quality Campus Housing
We aim to please you

I Zaki Alawi, the current owner of the house on 210 Beakes hereby
Give Rob Fowler authorization to represent me in the Zoning Board of Appeals
Hearing matter and related issues to this property.

Zaki Alawi

414 Huntington Place
Ann Arbor
MI 48104
Tel:734-327 0529 Fax:734-327 5929 Email:zmichiganrental@gmail.com
MichiganRental.com



Beakes St

213

209

604

203

216

521

214

519

210

Existing Dorm

208

515

510

508

511

507

505

207

209

211

213

215

501

E Kingsley St



213

209

604

203

Beakes St

216

521

214

519

Existing Down

210

208

515

510

508

511

507

505

207

209

211

213

215

501

E Kingsley St

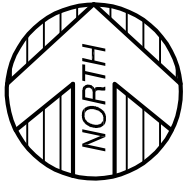
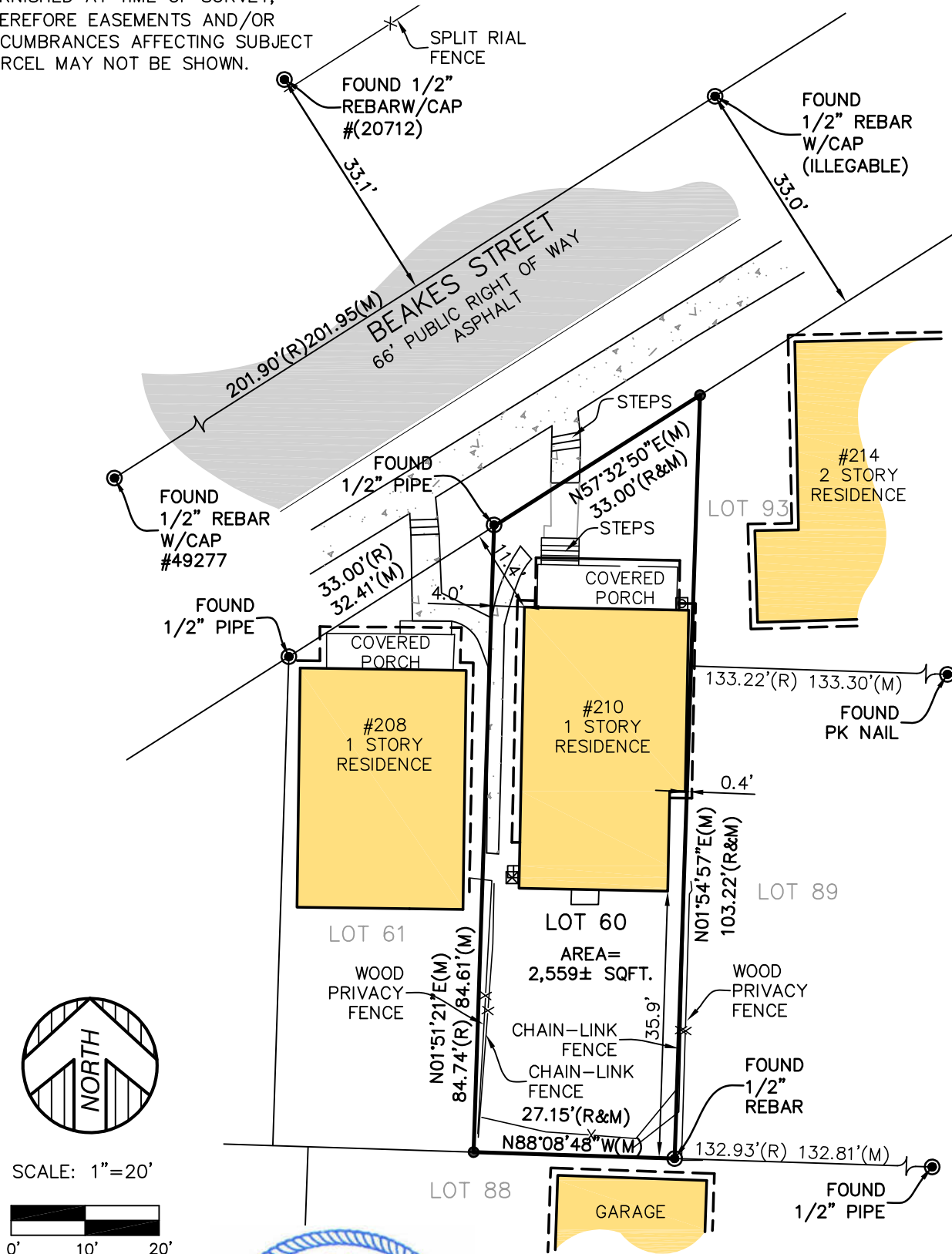
CERTIFIED SURVEY

PROPERTY DESCRIPTION:

LAND SITUATED IN THE CITY OF ANN ARBOR, WASHTENAW COUNTY, MICHIGAN, IS DESCRIBED AS FOLLOWS:
 LOT 60: ASSESSOR'S PLAT NO. 29, ACCORDING TO LIBER 9 OF PLATS, PAGE 20, WASHTENAW COUNTY RECORDS.

NOTE:

A CURRENT TITLE POLICY HAS NOT BEEN FURNISHED AT TIME OF SURVEY, THEREFORE EASEMENTS AND/OR ENCUMBRANCES AFFECTING SUBJECT PARCEL MAY NOT BE SHOWN.



SCALE: 1" = 20'



LEGEND

- SET 1/2" REBAR WITH CAP, #47976
- ⊙ FOUND MONUMENT (AS NOTED)
- (M) MEASURED DIMENSION
- (R) RECORD DIMENSION

I HEREBY CERTIFY THAT I HAVE SURVEYED THE LAND HEREIN PLATTED AND DESCRIBED AND THAT THE RATIO OF CLOSURE MEETS THE REQUIREMENTS OF PUBLIC ACT 132 OF 1970.

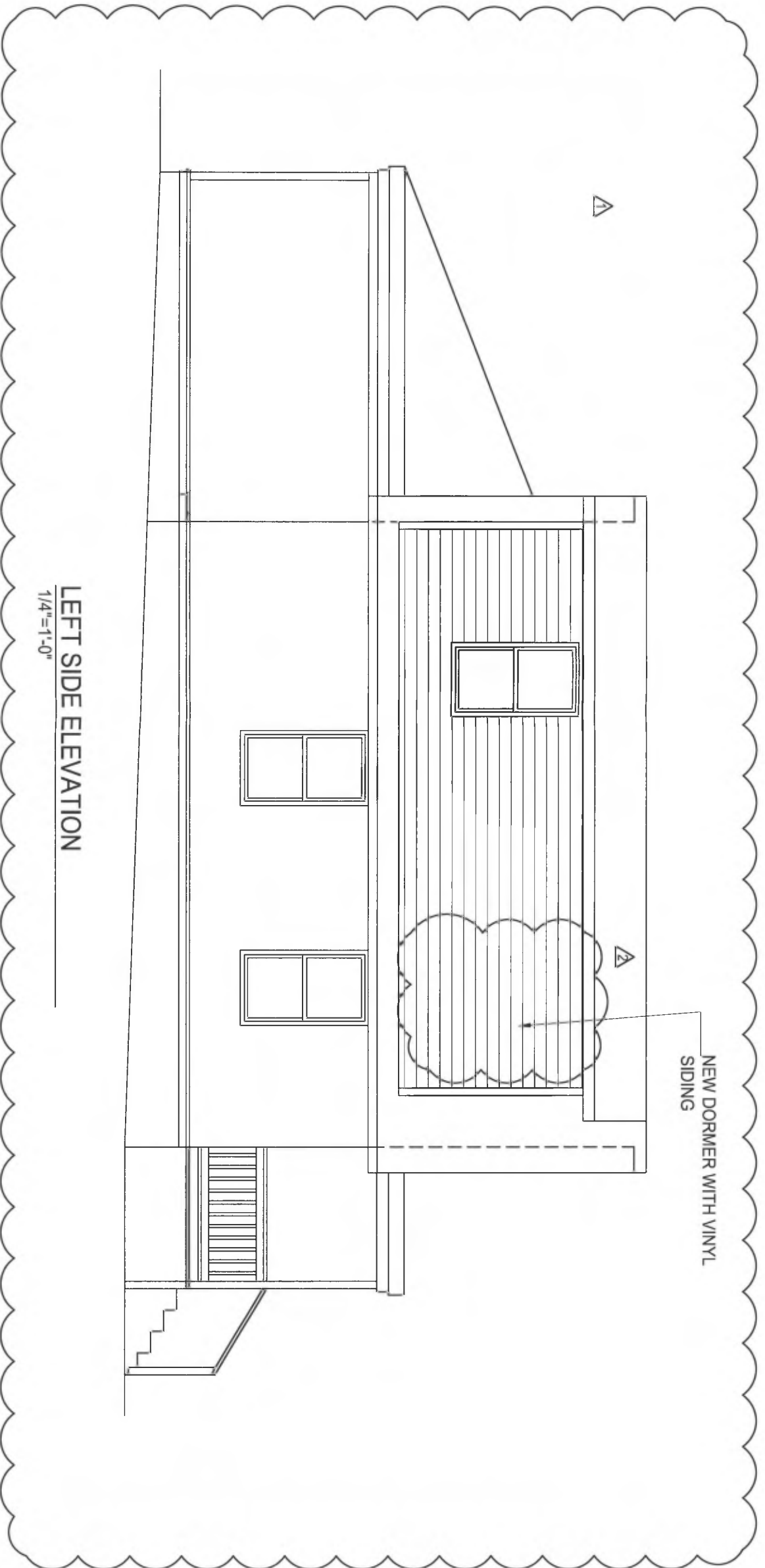
Anthony T. Sycko, Jr.
 ANTHONY T. SYCKO, JR., P.S. NO. 47976

KEM-TEC PROFESSIONAL ENGINEERING, SURVEYING & ENVIRONMENTAL SERVICES
A GROUP OF COMPANIES

Eastpointe (800) 295.7222	Detroit (313) 758.0677	Ann Arbor (734) 994.0888	Grand Blanc (888) 694.0001
FAX: (586) 772.4048		FAX: (810) 694.9955	

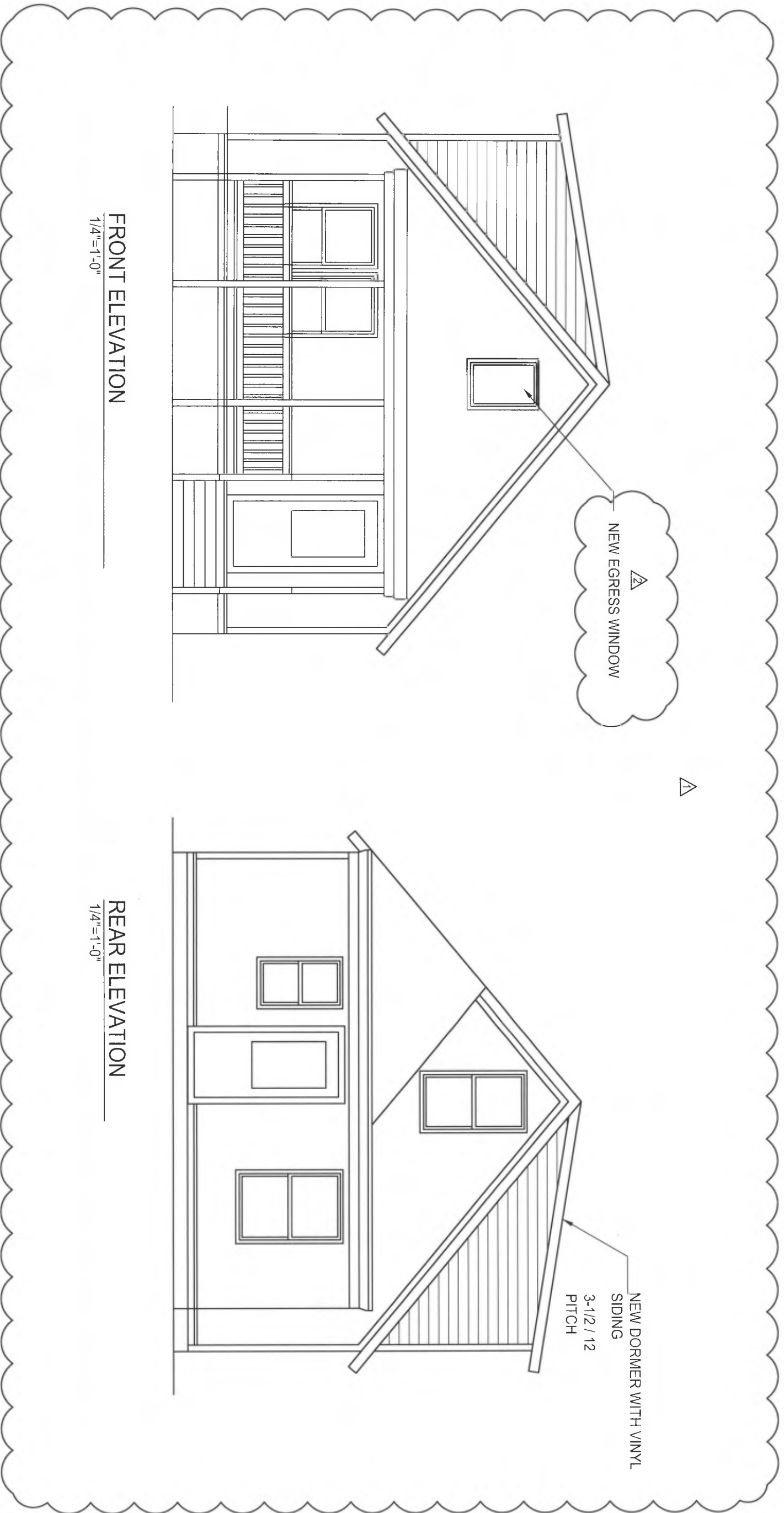
www.kemtecagroupofcompanies.com

CERTIFIED TO: ROB FOWLER CONSTRUCTION	
FIELD SURVEY: AG	DATE: JANUARY 21, 2020
DRAWN BY: DLD	SHEET: 1 OF 1
SCALE: 1" = 20'	JOB NO.: 20-00161



LEFT SIDE ELEVATION
1/4"=1'-0"

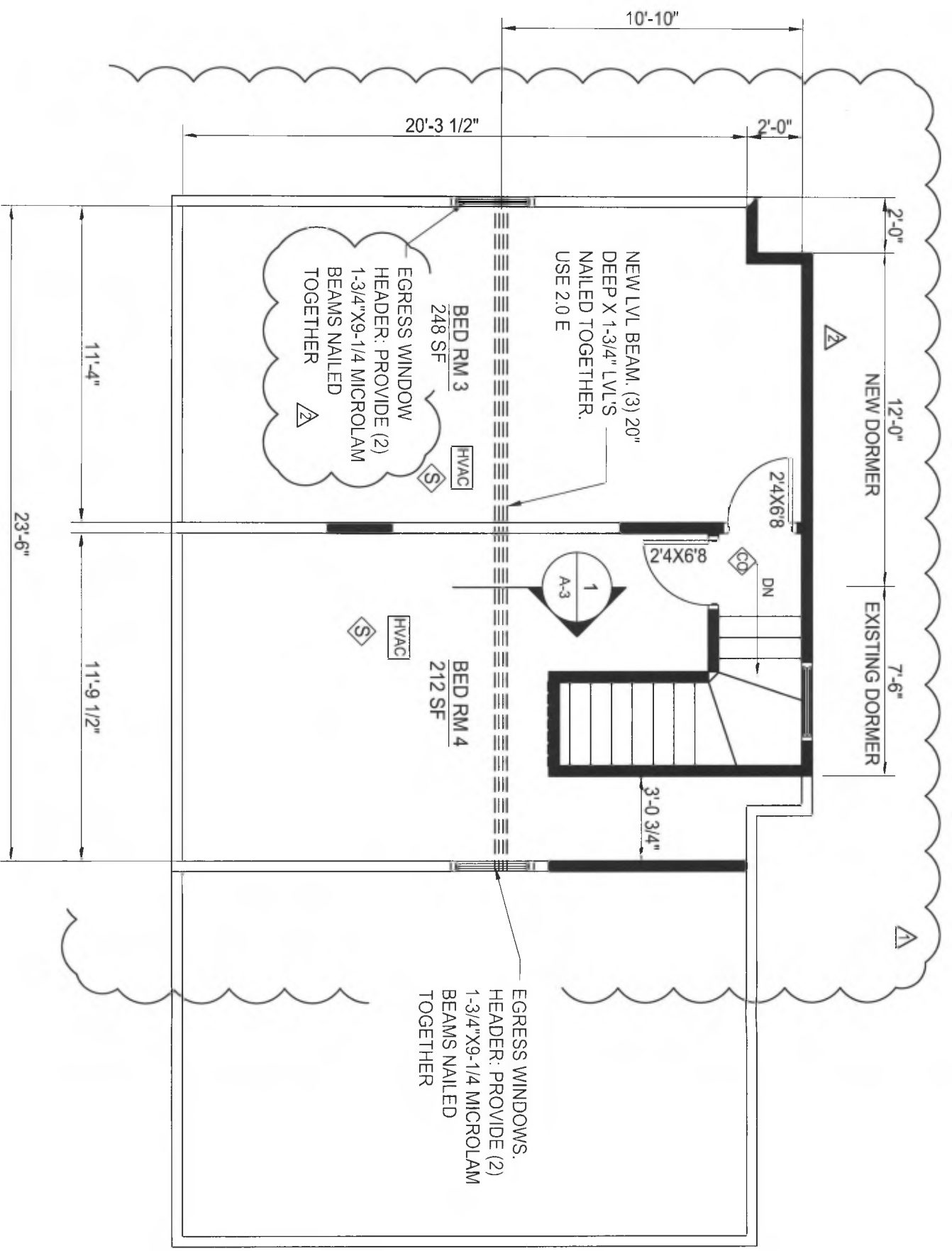
 James Dudzinski ARCHITECT 12306 Volpe Sterling Heights, MI. PH: (586) 864-6930		PROJECT TITLE: RENOVATION		PROJECT LOCATION: 210 BEAKES ANN ARBOR, MI		SHEET TITLE: ELEVATIONS 1/4"=1'-0"		MARK: 		DATE: 9/9/19		ISSUED FOR: DRAWN		MARK: 		DATE: 1/23/20		ISSUED FOR: REVISION		SHEET NO: 7 OF 10	
						1/4"=1'-0"		DATE: 1/9/20		PERMITS REVISION								A-7			



FRONT ELEVATION
 1/4"=1'-0"

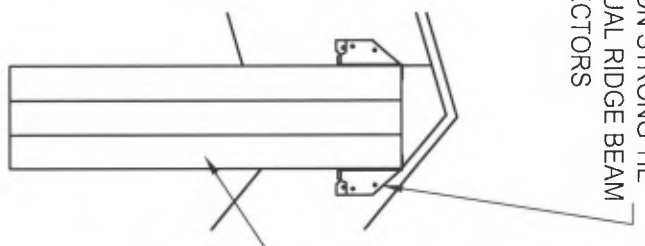
REAR ELEVATION
 1/4"=1'-0"

 James Duddzinski ARCHITECT 12306 Volpe Sterling Heights, MI. PH. (586) 864-6930	PROJECT TITLE: RENOVATION		PROJECT LOCATION: 210 BEAKES ANN ARBOR, MI		SHEET TITLE: ELEVATIONS 1/4"=1'-0"	
	MARK: Δ	DATE: 9/9/19	ISSUED FOR: DRAWN	MARK: Δ	DATE: 1/23/20	ISSUED FOR: REVISION
	DATE: 10/18/19	PERMITS				
	DATE: 1/9/20	REVISION				
SHEET NO: 6 OF 10 A-6						

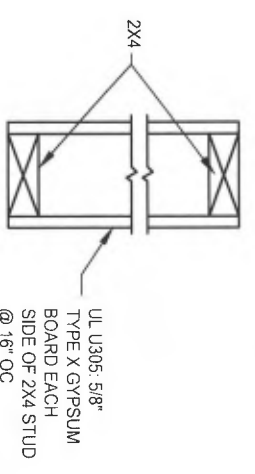


NOTE ALL BEDROOMS REQUIRE AT LEAST 1 EGRESS WINDOW. SEE SHEET A-1 FOR REQUIREMENTS

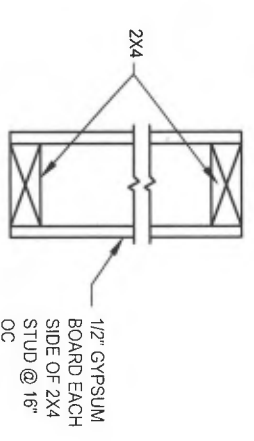
- NEW WALL
- EXISTING WALL
- SMOKE DETECTOR
- EXHAUST FAN
- CARBON MONOXIDE DETECTOR
- GROUND FAULT INTERRUPTER
- HEATED AND COOLED SPACE PER CODE
- WASHER
- DRYER
- W/D STACKABLE WASHER AND DRYER



1 NEW BEAM
1-1/2"=1'-0"



TYPICAL 1 HR RATED WALL
NO SCALE



TYPICAL NON RATED WALL
NO SCALE

James Dudzinski ARCHITECT 12306 Volpe Sterling Heights, MI. PH. (586) 864-6930		PROJECT TITLE: RENOVATION		PROJECT LOCATION: 210 BEAKES ANN ARBOR, MI		SHEET TITLE: NEW SECOND FLOOR 1/4"=1'-0"	
MARK:	DATE:	ISSUED FOR:	MARK:	DATE:	ISSUED FOR:	SHEET NO: 3 OF 10	
△	9/9/19	DRAWN	△	1/23/20	REVISION		
	10/18/19	PERMITS					
	1/9/20	REVISION				A-3	

APPLICABLE CODES AND LIFE SAFETY INFORMATION SUMMARY

ALL ROOMS WILL MEET CITY OF ANN ARBOR HOUSING CODE.
 8% LIGHT
 4% VENTILATION

BUILDING CODE: 2015 MICHIGAN RESIDENTIAL CODE

BARRIER FREE: NOT APPLICABLE

OCCUPANCY TYPE : R-3

AREA OF BUILDING (PER 502.1) GROSS SQUARE FEET INCLUDES OUTSIDE WALL THICKNESS)

BASEMENT: 571 GROSS SQUARE FEET
 FIRST FLOOR : 812 GROSS SQUARE FEET
 SECOND FLOOR : 171 GROSS SQUARE FEET

HEIGHT OF BUILDING (PER 502.1) 20'-5"
 CONSTRUCTION TYPE: TYPE: V-B

FIRE SUPPRESSION: NOT SUPPRESSED

FIRE ALARM: NONE

HISTORIC DISTRICT: NONE

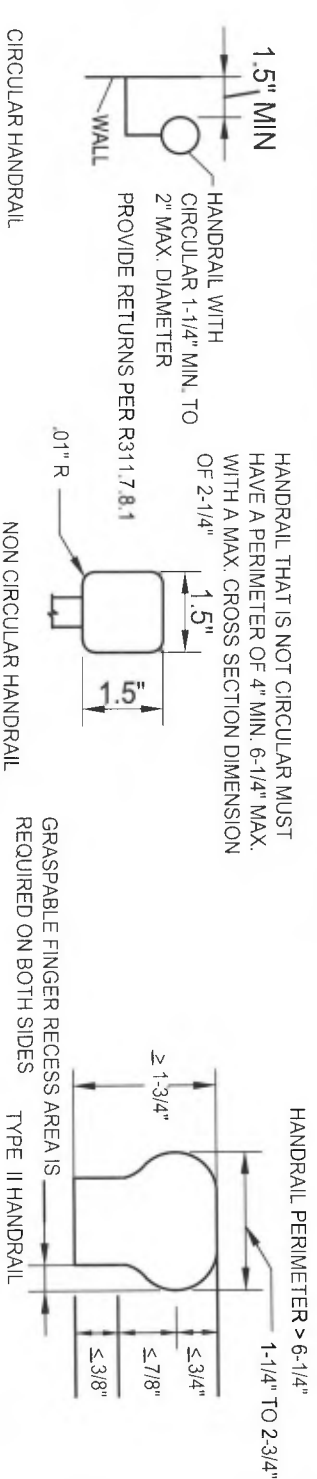
ADMINISTRATIVE REQUIREMENTS

A. SUBMITTALS: ALL SUBMITTALS SHALL BE SUBMITTED ELECTRONICALLY (NOT INCLUDING SAMPLES SUCH AS PAINT DRAW DOWNS). ALLOW TWO WEEKS IN CONSTRUCTION SCHEDULE FOR SUBMITTAL REVIEW AND PROCESSING TIME.

B. SITE MEETINGS: CONTRACTOR SHALL HOST (1) PRE-CONSTRUCTION MEETING AND WEEKLY ON SITE CONSTRUCTION PROGRESS MEETINGS (THROUGHOUT THE DURATION OF THE PROJECT) AND SHALL RECORD MINUTES AND DISTRIBUTE COPIES WITHIN TWO DAYS AFTER MEETING TO PARTICIPANTS, WITH TWO COPIES TO THE ARCHITECT, OWNER, PARTICIPANTS, AND THOSE AFFECTED BY DECISIONS MADE.

HANDRAILS

HANDRAIL HEIGHT MEASURED FROM NOSING 34" MIN. TO 38" MAX.



ADMINISTRATIVE REQUIREMENTS (continued)

C. CONSTRUCTION PROGRESS SCHEDULE: WITHIN 1 DAY AFTER DATE OF AGREEMENT, SUBMIT PRELIMINARY SCHEDULE. SUBMIT UPDATED SCHEDULE EVERY 7 DAYS. CONSTRUCTION SCHEDULES SHALL BE SUBMITTED IN GANTT CHART FORMAT.

D. PRODUCT REQUIREMENTS: NO PRODUCT SUBSTITUTIONS ALLOWED.

GENERAL PROJECT NOTES

A. FURNISH AND INSTALL ALL LABOR, MATERIALS, TOOLS, DUMPSTERS, PERMITS, ETC. TO PROVIDE A COMPLETE AND FINISHED INSTALLATION PER THE CONTRACT DOCUMENTS, AND WHERE SOMETHING IS NOT SPECIFIED, USE THE MOST STRINGENT INDUSTRY STANDARDS AND CODE REQUIREMENTS.

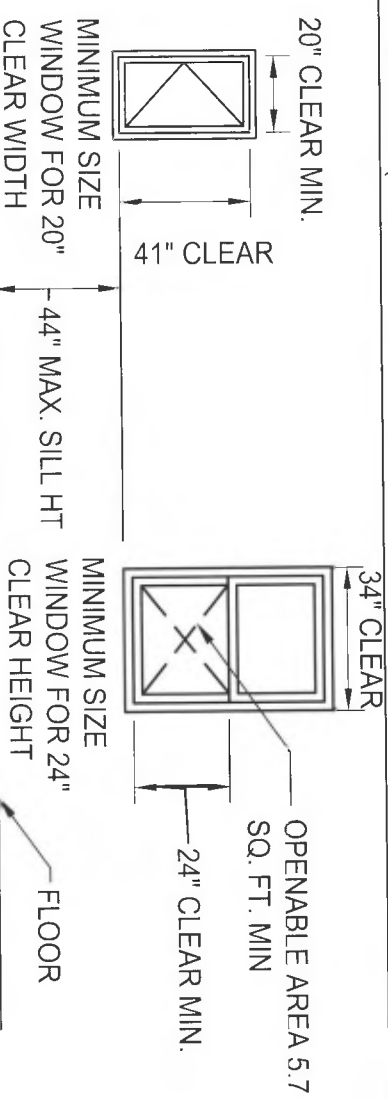
B. ALL WORK SHALL BE PERFORMED BY QUALIFIED AND SKILLED WORKERS, IN A NEAT AND WORKMANLIKE MANNER, AND IN ACCORDANCE WITH INDUSTRY STANDARDS AND PRACTICES.

C. THIS PROJECT SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL LAWS, CODES AND ORDINANCES.

D. ALL PARTS OF THE WORK - INCLUDING MATERIALS, METHODS, ASSEMBLIES, ETC. MUST COMPLY WITH THE MINIMUM REQUIREMENTS OF THE GOVERNING REGULATIONS OF ALL FEDERAL, STATE, DISTRICT AND LOCAL AUTHORITIES HAVING JURISDICTION OVER THE PROJECT AS WELL AS THOSE GREATER REQUIREMENTS INDICATED BY THE CONTRACT DOCUMENTS. NO PART OF THE CONTRACT DOCUMENTS MAY BE CONSTRUED TO REQUIRE OR PERMIT WORK CONTRARY TO A GOVERNING REGULATION. WHERE THERE IS A DISCREPANCY BETWEEN THE GOVERNING CODE AND THE DRAWINGS, THE MOST RESTRICTIVE CASE WILL GOVERN. IN SUCH A CASE, CONSULT WITH ARCHITECT

E. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS RELATING TO THEIR WORK, AND SHALL OBTAIN FIELD APPROVALS ON THEIR WORK FROM REGULATING AGENCIES WHERE REQUIRED

EMERGENCY ESCAPE AND RESCUE WINDOW REQUIREMENTS FOR ALL BEDROOMS (1 MINIMUM REQUIRED)



NEW WALL
EXISTING WALL

⊠ SMOKE DETECTOR
⊙ EXHAUST FAN
⊠ CARBON MONOXIDE DETECTOR

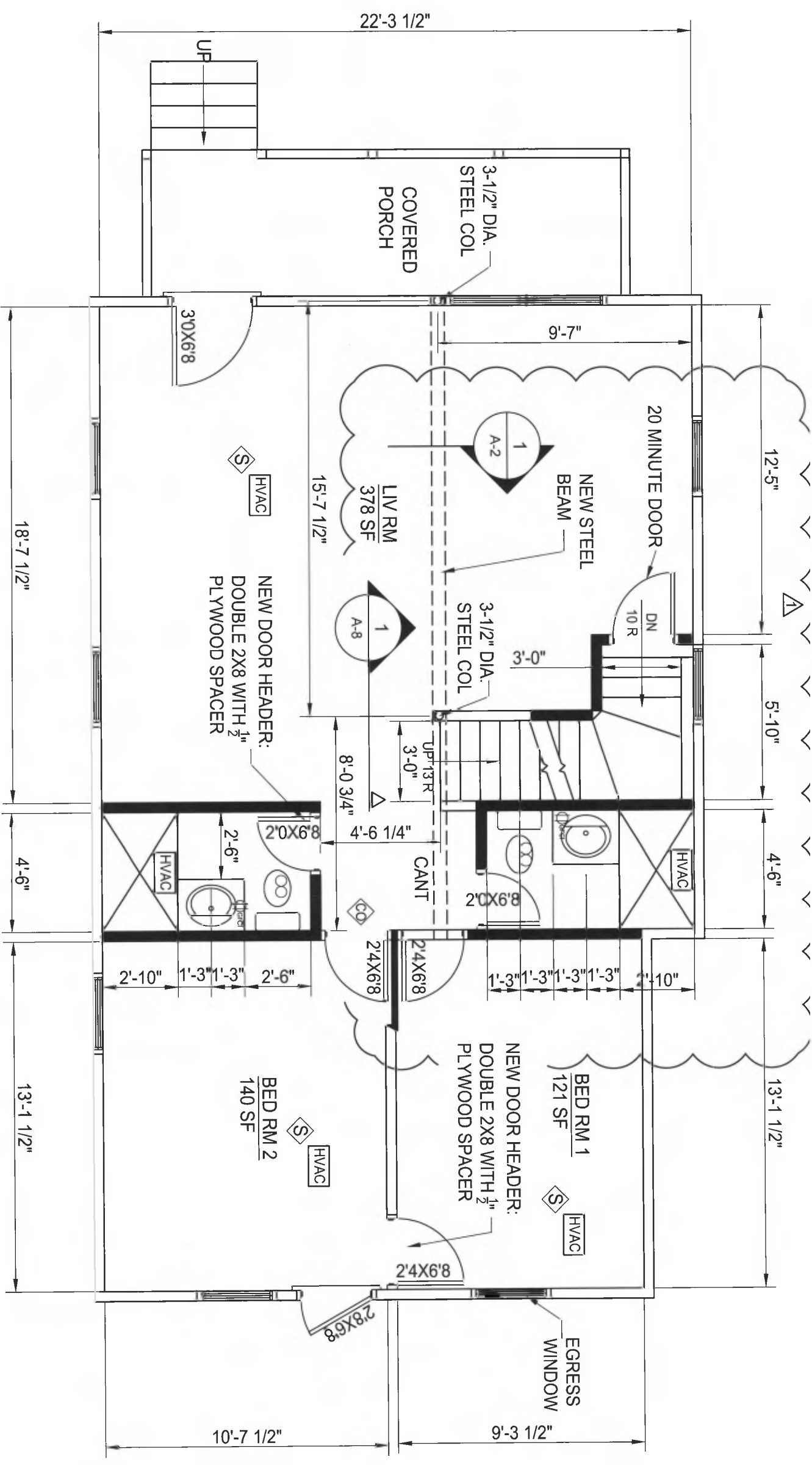
⊠ GROUND FAULT INTERRUPTER
HEATED AND COOLED SPACE PER CODE
W WASHER
D DRYER
W/D STACKABLE WASHER AND DRYER

NEW W 40 STEEL BEAM WITH PLATE DESIGNED BY OTHER

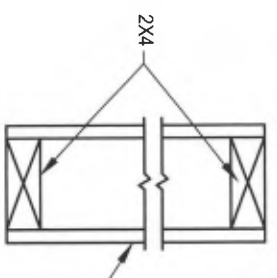
2ND FINISH

FLOOR JOISTS

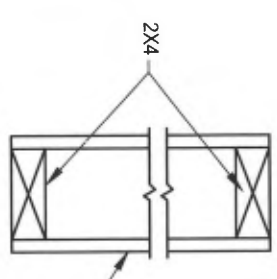
1 NEW BEAM
1-1/2"=1'-0"



NOTE ALL BEDROOMS REQUIRE AT LEAST 1 EGRESS WINDOW. SEE SHEET A-1 FOR REQUIREMENTS

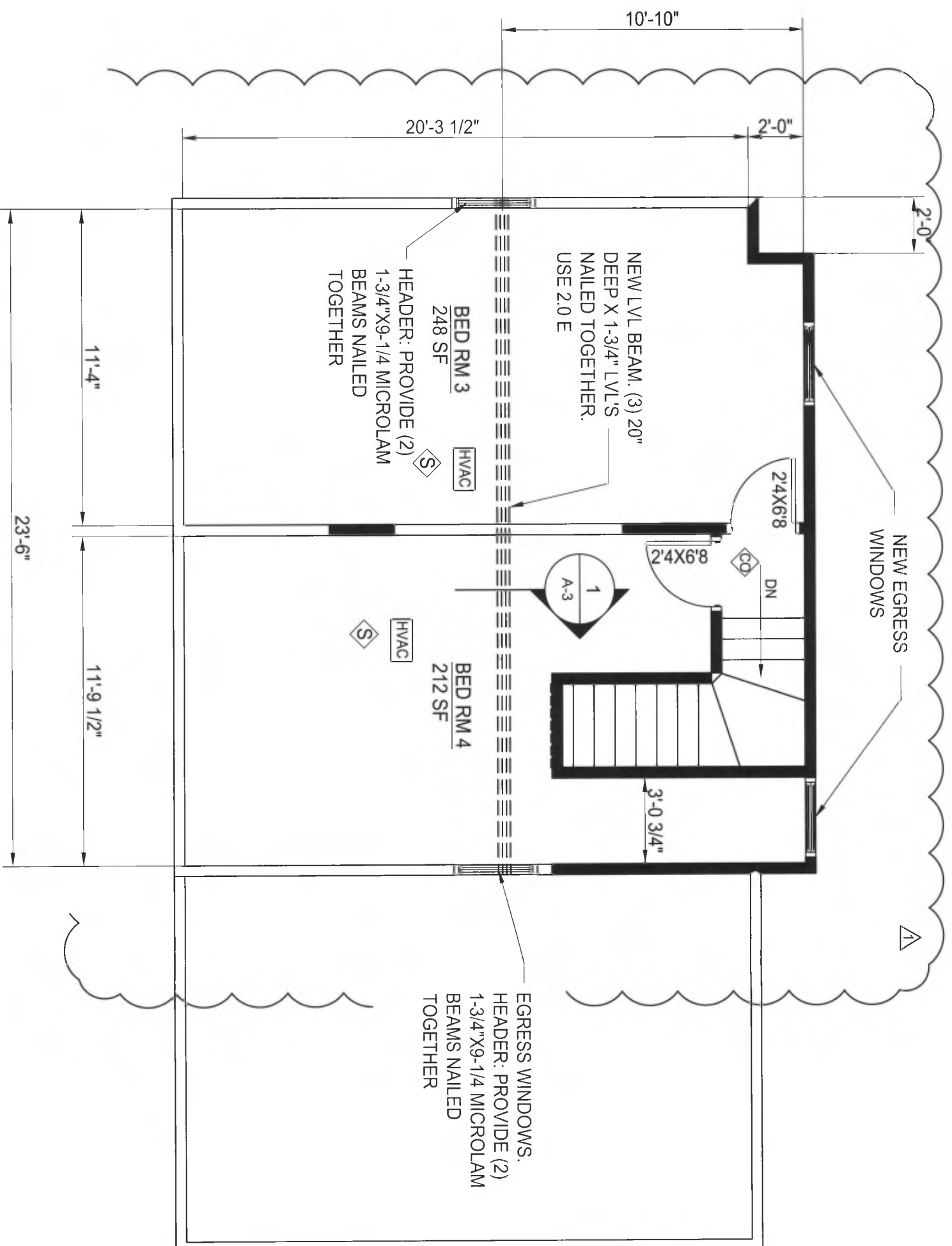


TYPICAL NON RATED WALL
NO SCALE



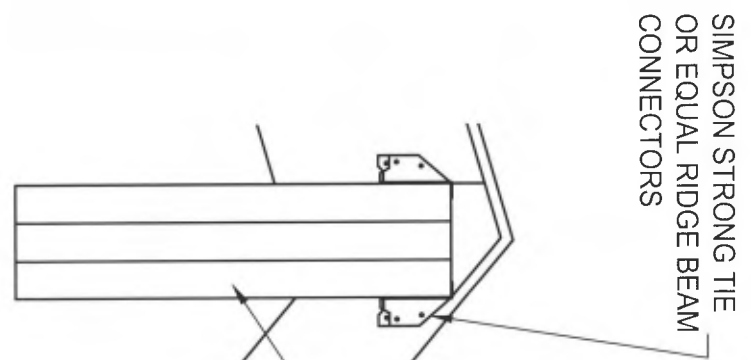
TYPICAL 1 HR RATED WALL
NO SCALE

MARK:	DATE:	ISSUED FOR:	MARK:	DATE:	ISSUED FOR:
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	1/10/20	DEVISION			

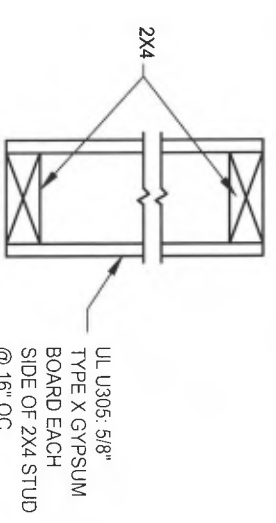


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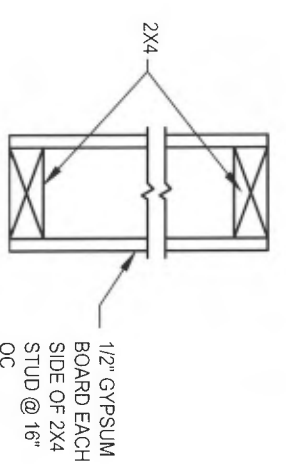
- NEW WALL
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- HEATED AND COOLED SPACE PER CODE
- W WASHER
- D DRYER
- W/D STACKABLE WASHER AND DRYER



1 NEW BEAM
1-1/2"=1'-0"



TYPICAL 1 HR RATED WALL
NO SCALE



TYPICAL NON RATED WALL
NO SCALE

James Dudzinski ARCHITECT 12306 Volpe Sterling Heights, MI. PH. (586) 864-6930		PROJECT TITLE: RENOVATION		PROJECT LOCATION: 210 BEAKES ANN ARBOR, MI		SHEET TITLE: NEW SECOND FLOOR 1/4"=1'-0"	
MARK:	DATE:	ISSUED FOR:	MARK:	DATE:	ISSUED FOR:	MARK:	DATE:
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	1/9/20	REVISION					
						SHEET N 3 OF 11 A-3	



James Dudzinski
 ARCHITECT
 12306 Voipe
 Sterling Heights, MI.
 PH. (586) 864-6930

PROJECT TITLE:
RENOVATION

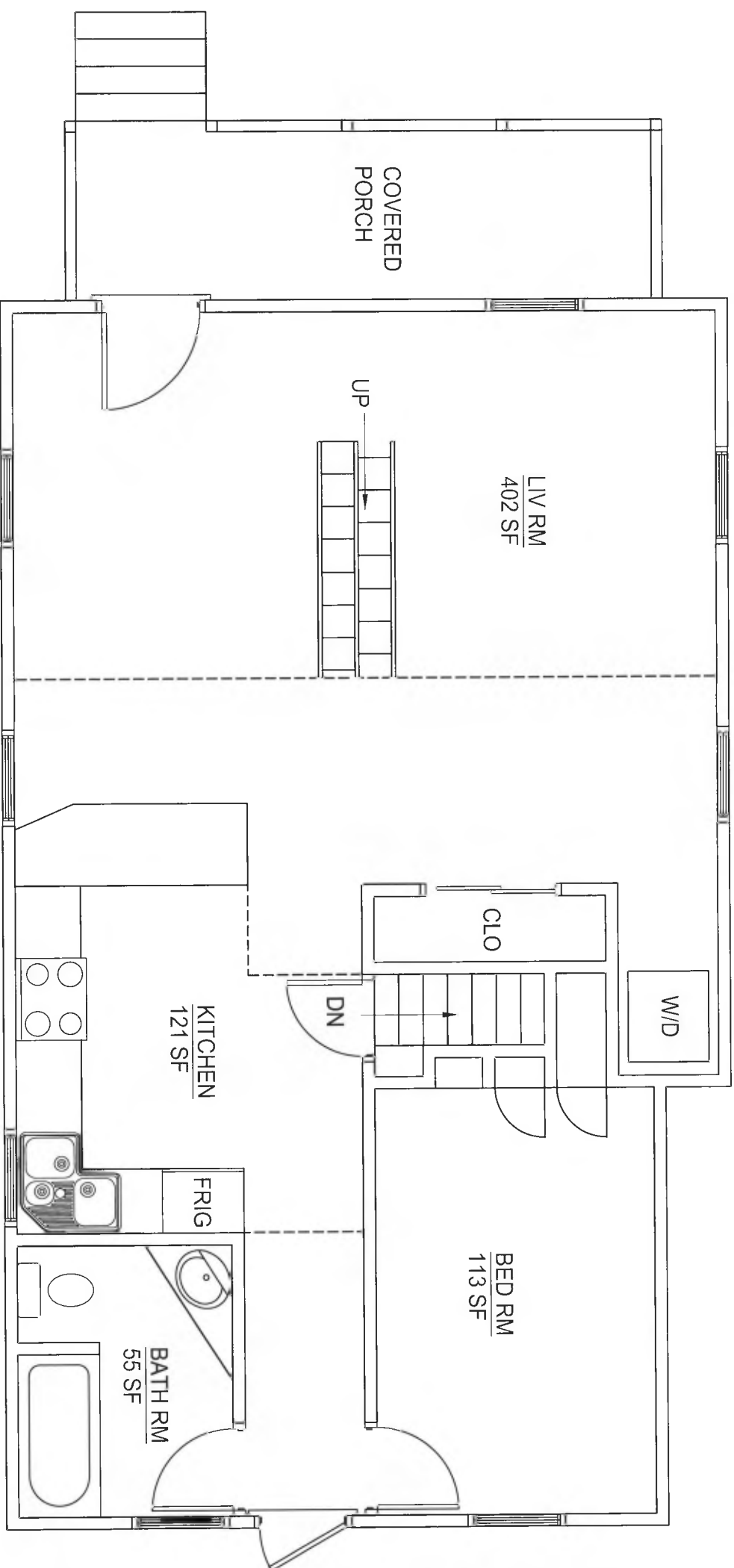
PROJECT LOCATION:
**210 BEAKES
 ANN ARBOR, MI**

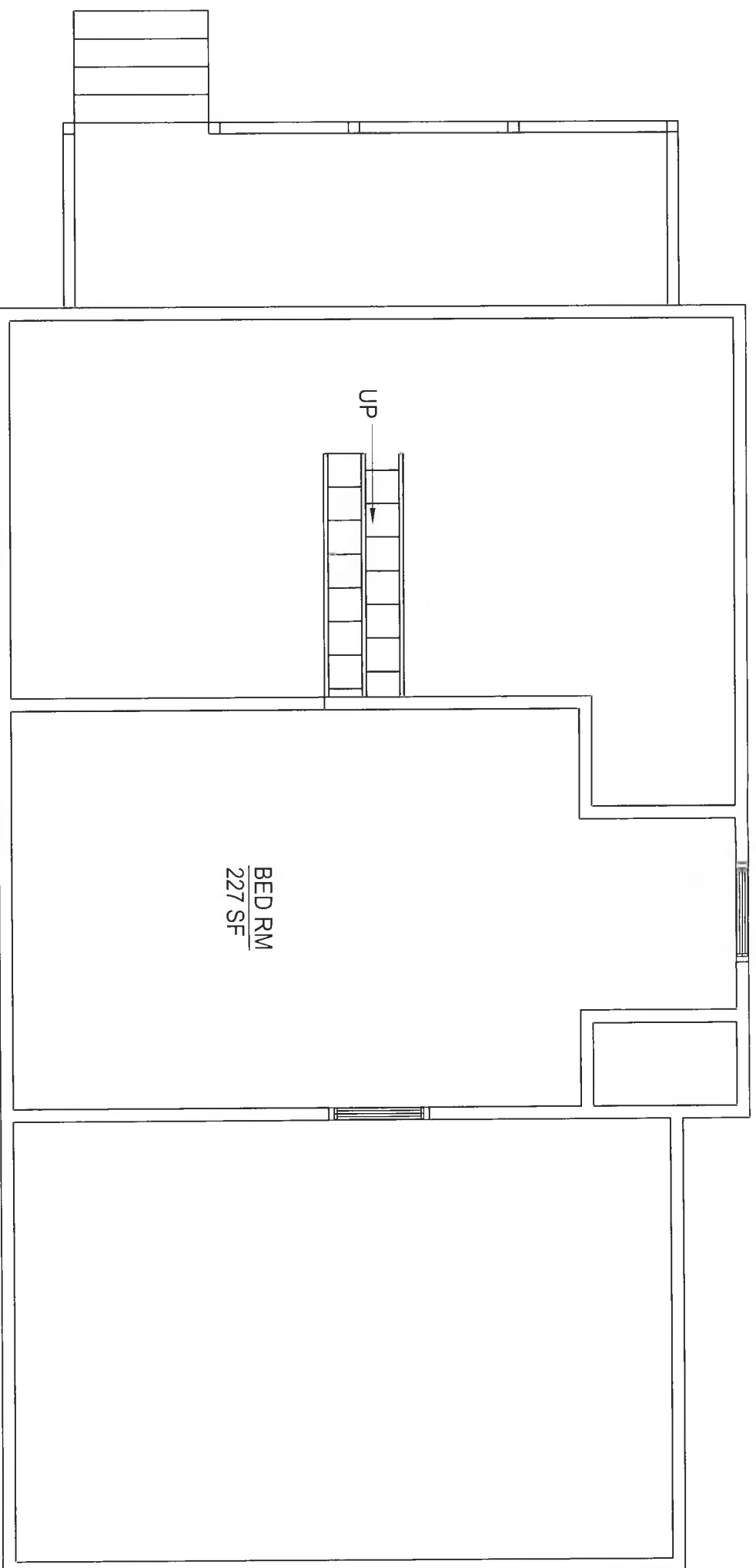
SHEET TITLE:
EXISTING 1ST FLOOR
 1/4"=1'-0"

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	9/9/19	DRAWN			
	10/18/19	PERMITS			

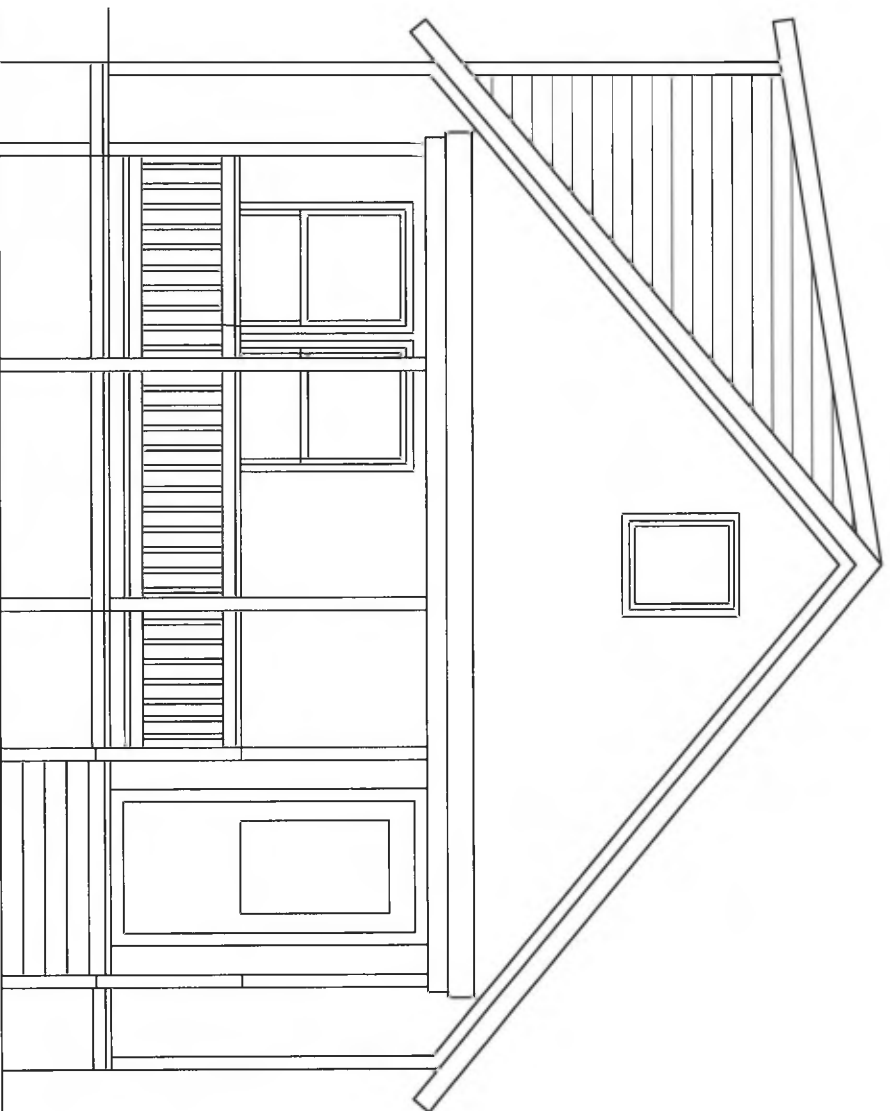
SHEET N
 4 OF 1

A-4

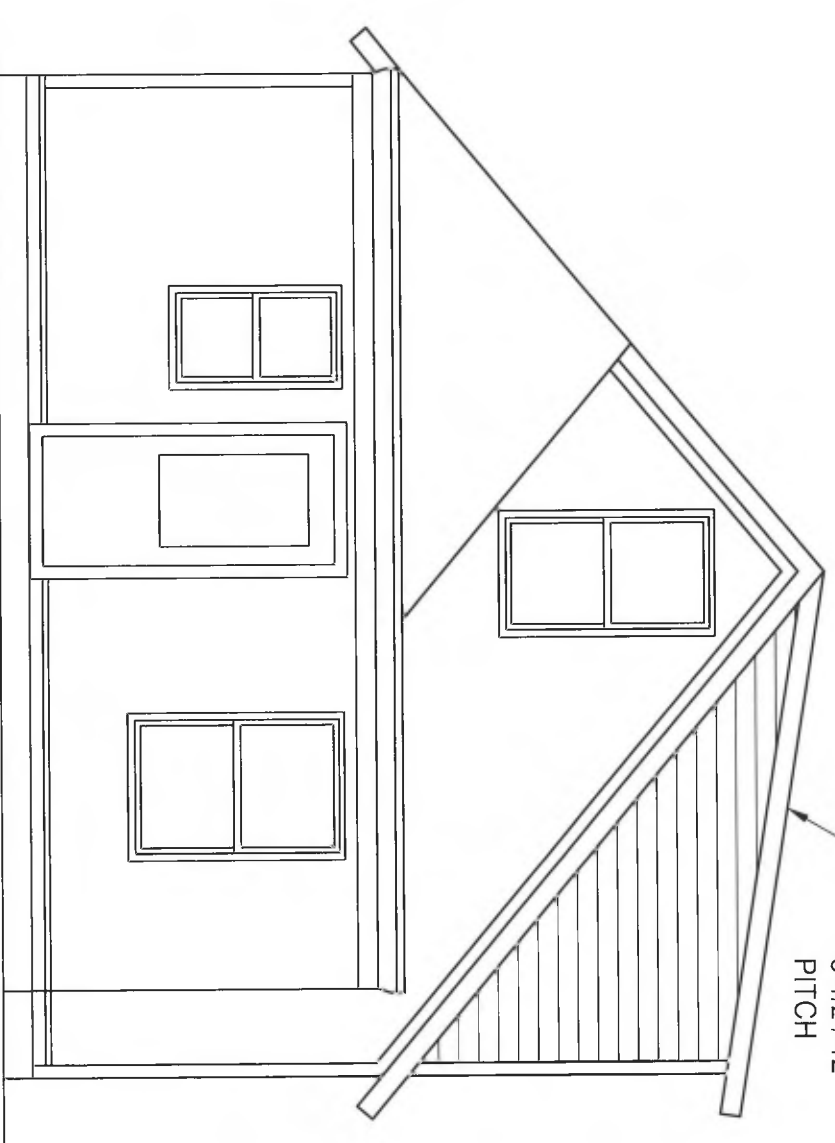




 James Dudzinski ARCHITECT 12306 Volpe Sterling Heights, MI. PH. (586) 864-6930		PROJECT TITLE: RENOVATION		PROJECT LOCATION: 210 BEAKES ANN ARBOR, MI		SHEET TITLE: EXISTING SECOND FLOOR 1/4"=1'-0"		MARK:	DATE:	ISSUED FOR:	MARK:	DATE:	ISSUED FOR:	SHEET N°
								9/9/19	DRAWN					5 OF 14
								10/18/19	PERMITS					A-5



FRONT ELEVATION
1/4"=1'-0"



REAR ELEVATION
1/4"=1'-0"



NEW DORMER WITH VINYL
SIDING
3-1/2 / 12
PITCH

James Dudzinski
ARCHITECT
12306 Volpe
Sterling Heights, MI.
PH. (586) 864-6930

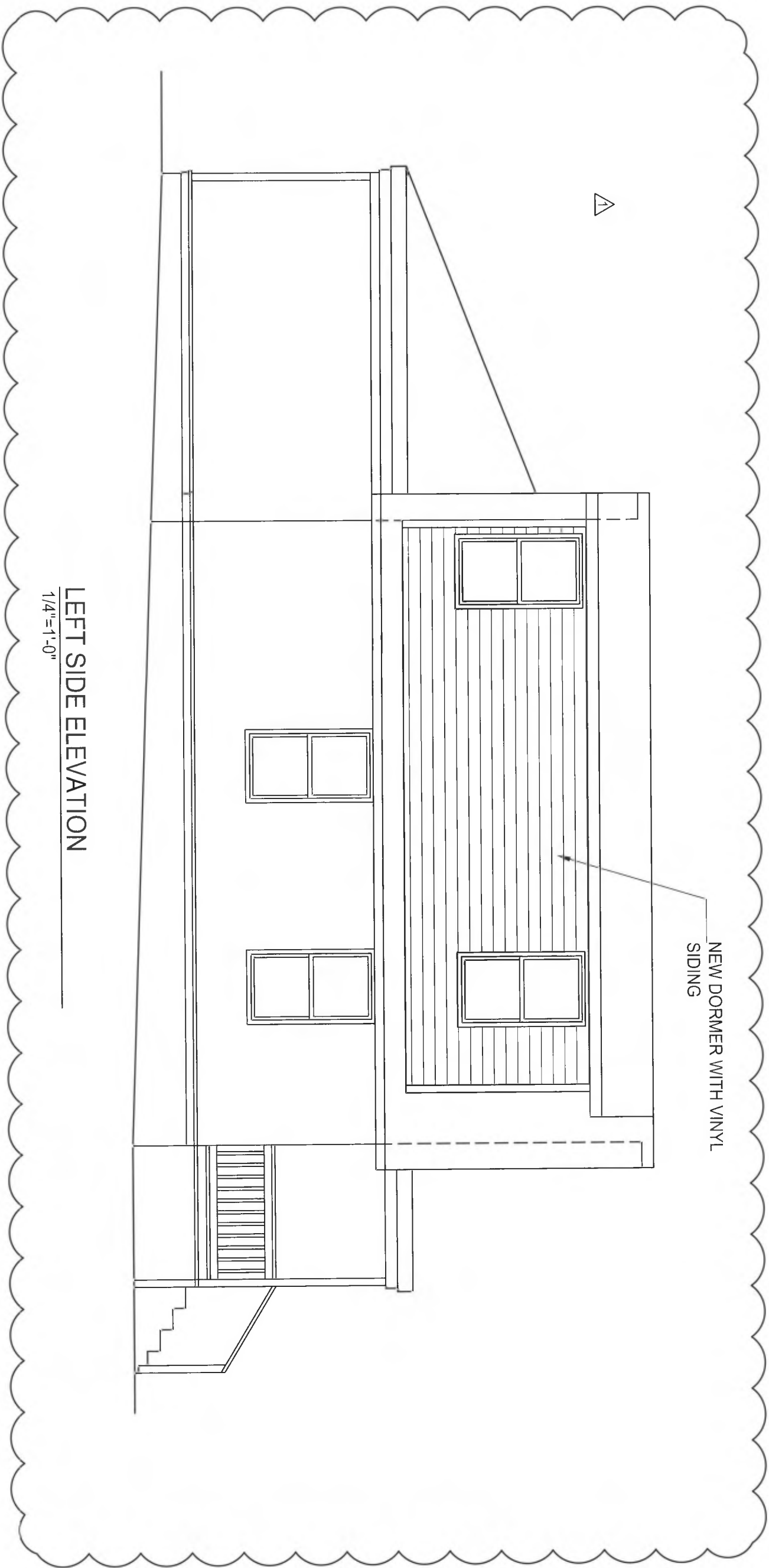
PROJECT TITLE:
RENOVATION

PROJECT LOCATION:
**210 BEAKES
ANN ARBOR, MI**



SHEET TITLE:
ELEVATIONS
1/4"=1'-0"

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	9/9/19	DRAWN			
	10/18/19	PERMITS			
△	1/9/20	REVISION			

SHEET N°
6 OF 14
A-6

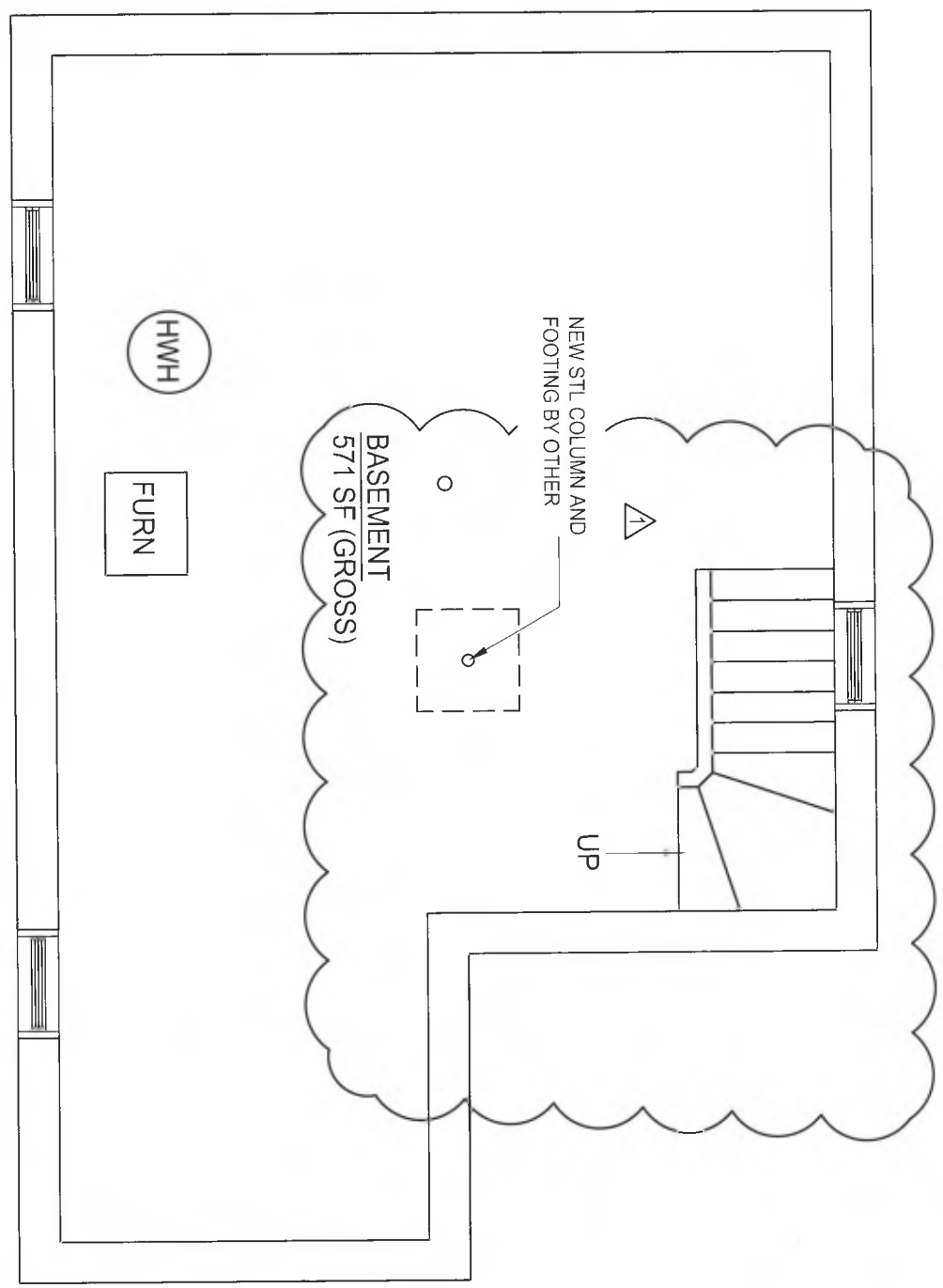
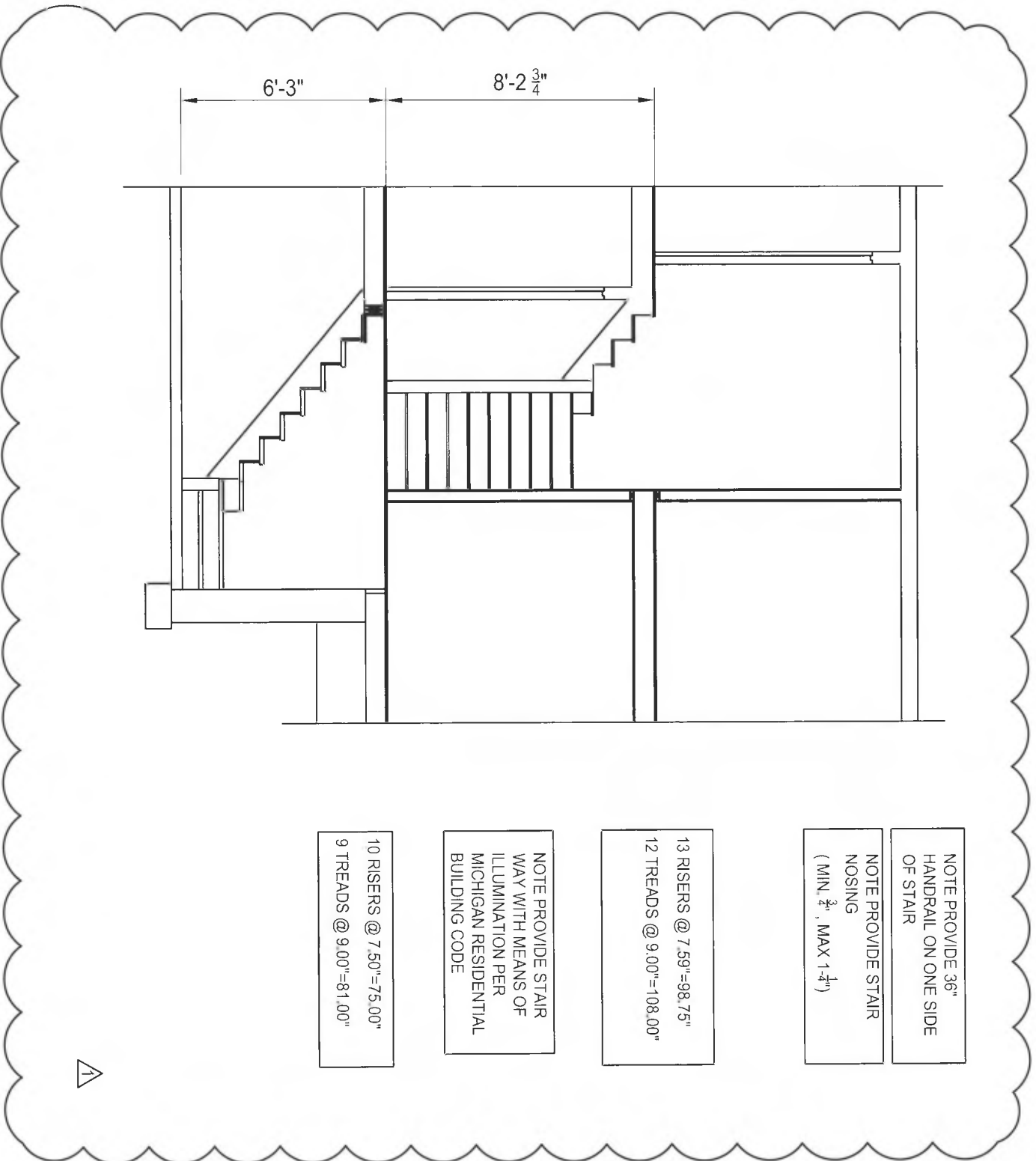


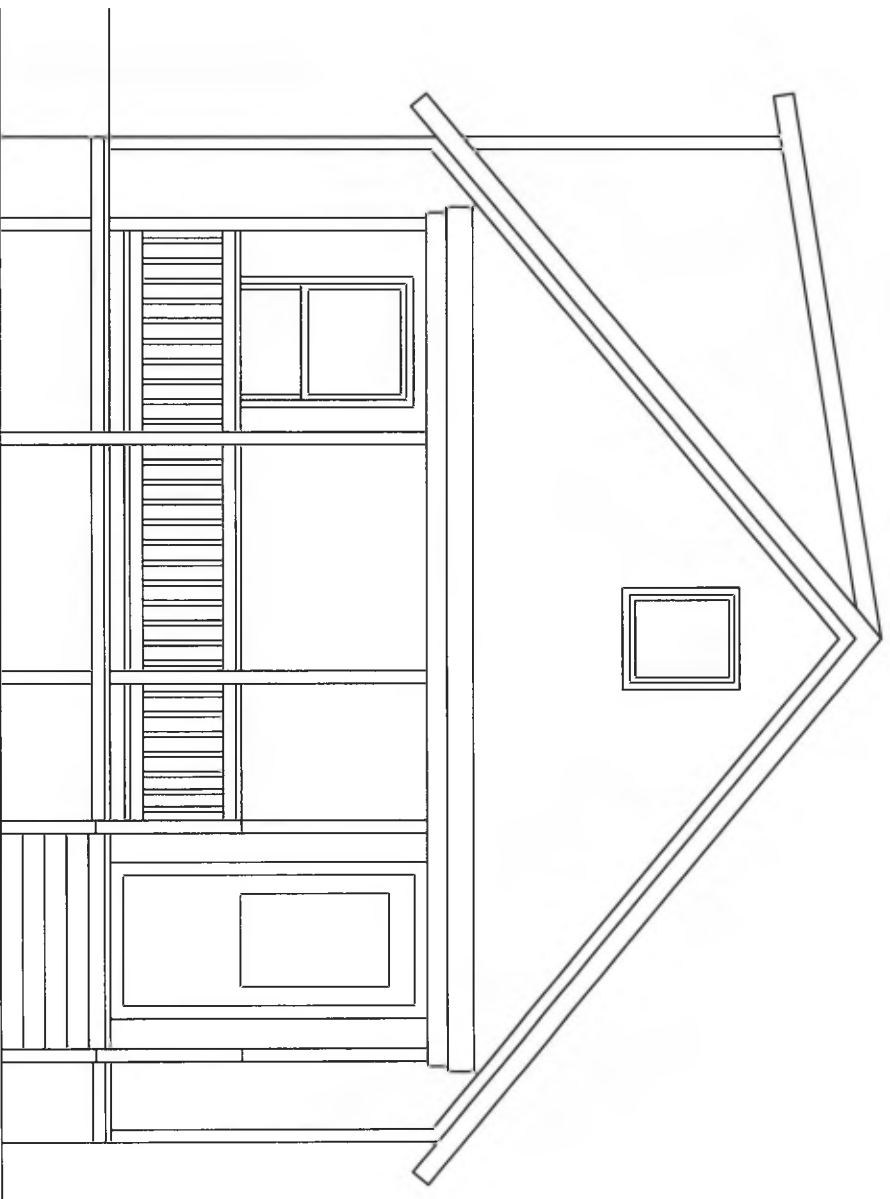
LEFT SIDE ELEVATION
 1/4" = 1'-0"

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								DATE: 10/18/19 ISSUED FOR: PERMITS											
								DATE: 1/9/20 ISSUED FOR: REVISION											

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	9/9/19	DRAWN				8 OF 11
	10/18/19	PERMITS				
	1/9/20	REVISION				A-8

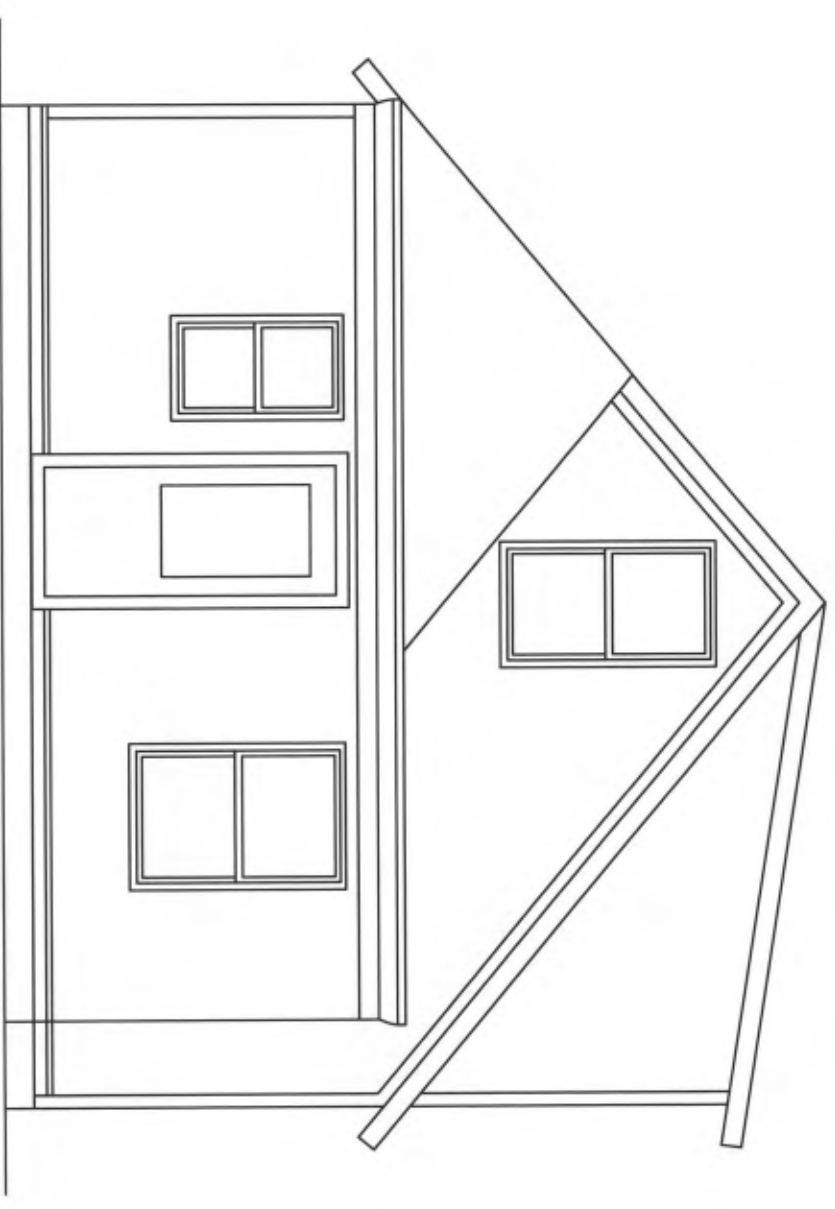
1 NEW STAIR SECTION / ELEVATION
 A-2 1/4"=1'-0"





EXISTING FRONT ELEVATION

1/4"=1'-0"



EXISTING REAR ELEVATION

1/4"=1'-0"



James Dudzinski
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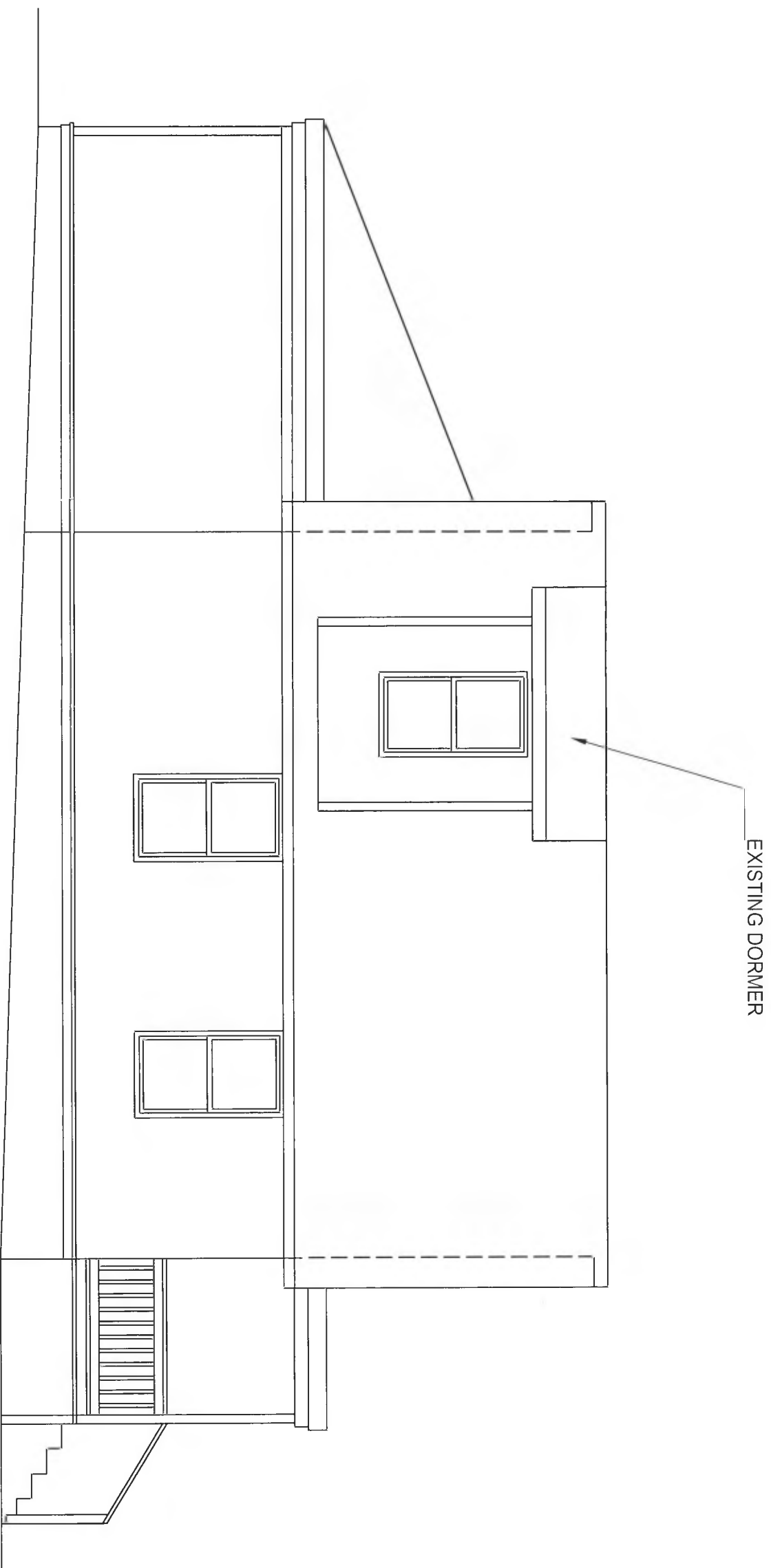
PROJECT TITLE:
RENOVATION

PROJECT LOCATION:
**210 BEAKES
ANN ARBOR, MI**

SHEET TITLE:
EXISTING ELEVATIONS
1/4"=1'-0"

MARK:	DATE:	ISSUED FOR:	MARK:	DATE:	ISSUED FOR:
	9/9/19	DRAWN			
	10/18/19	PERMITS			

SHEET NO
9 OF 10
A-9



EXISTING LEFT SIDE ELEVATION
 1/4"=1'-0"

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PROJECT TITLE:
RENOVATION

PROJECT LOCATION:
**210 BEAKES
 ANN ARBOR, MI**

SHEET TITLE:
EXISTING ELEVATIONS
 1/4"=1'-0"

MARK:	DATE:	ISSUED FOR:	MARK:	DATE:	ISSUED FOR:
	9/9/19	DRAWN			
	10/18/19	PERMITS			

SHEET NO
 10 OF 1
A10